

HOUSTON PLANNING COMMISSION

AGENDA

AUGUST 24, 2017



COUNCIL CHAMBER
CITY HALL ANNEX
2:30 P.M.

PLANNING COMMISSION MEMBERS



Martha L. Stein, *Chair*
M. Sonny Garza, *Vice Chair*
Susan Alleman
Bill Baldwin
Fernando L. Brave
Antoine Bryant
Lisa Clark
Algenita Davis
Mark A. Kilkenny
Lydia Mares
Paul R. Nelson
Linda Porras-Pirtle
Shafik I. Rifaat
Megan R. Sigler
Eileen Subinsky
Zafar Tahir
Meera D. Victor

The Honorable Judge Robert Hebert
Fort Bend County
The Honorable Ed Emmett
Harris County
Commissioner James Noack
Montgomery County

ALTERNATE MEMBERS

Richard W. Stolleis, P.E.
Charles O. Dean, P.E.
Fort Bend County
Raymond J. Anderson, P.E.
Harris County
Mark J. Mooney, P.E.
Montgomery County

EX- OFFICIO MEMBERS

Carol Lewis, Ph.D.
Carol Haddock, P.E.
Dawn Ullrich
Carrin F. Patman

SECRETARY

Patrick Walsh, P.E.

Meeting Policies and Regulations

Order of Agenda

Planning Commission may alter the order of the agenda to consider variances first, followed by replats requiring a public hearing second and consent agenda last. Any contested consent item will be moved to the end of the agenda.

Public Participation

The public is encouraged to take an active interest in matters that come before the Planning Commission. Anyone wishing to speak before the Commission may do so. The Commission has adopted the following procedural rules on public participation:

1. Anyone wishing to speak before the Commission must sign-up on a designated form located at the entrance to the Council Chamber.
2. If the speaker wishes to discuss a specific item on the agenda of the Commission, it should be noted on the sign-up form.
3. If the speaker wishes to discuss any subject not otherwise on the agenda of the Commission, time will be allowed after all agenda items have been completed and "public comments" are taken.
4. The applicant is given first opportunity to speak and is allowed two minutes for an opening presentation. The applicant is also allowed a rebuttal after all speakers have been heard; two additional minutes will be allowed.
5. Speakers will be allowed two minutes for specially called hearing items, replats with notice, variances, and special exceptions.
6. Speakers will be allowed 1 minute for all consent agenda items.
7. Time limits will not apply to elected officials.
8. No speaker is permitted to accumulate speaking time from another person.
9. Time devoted to answering any questions from the Commission is not charged against allotted speaking time.
10. The Commission reserves the right to limit speakers if it is the Commission's judgment

that an issue has been sufficiently discussed and additional speakers are repetitive.

11. The Commission reserves the right to stop speakers who are unruly or abusive.

Limitations on the Authority of the Planning Commission

By law, the Commission is required to approve subdivision and development plats that meet the requirements of Chapter 42 of the Code of Ordinances of the City of Houston. The Commission cannot exercise discretion nor can it set conditions when granting approvals that are not specifically authorized by law. If the Commission does not act upon a Sec. I agenda item within 30 days, the item is automatically approved. The Commission's authority on platting does not extend to land use. The Commission cannot disapprove a plat because it objects to the use of the property. All plats approved by the Commission are subject to compliance with applicable requirements, e.g., water, sewer, drainage, or other public agencies.

Contacting the Planning Commission

Should you have materials or information that you would like for the Planning Commission members to have pertaining to a particular item on their agenda, contact staff at 832-393-6600. Staff can either incorporate materials within the members Agenda packets, or can forward to the members messages and information.

Contacting the Planning Department

The Planning and Development Department is located at 611 Walker Street on the Sixth Floor. Code Enforcement is located at 1002 Washington Street.

The Departments mailing address is:
P.O. Box 1562
Houston, Texas 77251-1562

The Departments website is:
www.houstonplanning.com

E-mail us at:
Planning and Development
Dylan.Osborne@houstontx.gov

Plat Tracker Home Page:
www.HoustonPlatTracker.org



PLANNING & DEVELOPMENT DEPARTMENT

www.HoustonPlanning.com or (832) 393-6600

SPEAKER GUIDELINES

WELCOME to a meeting of the City's Planning and Development Department. Your input is valued. Commissioners take action according to established standards; see rules or policies for details. Staff is available to help orient you on meeting procedures. **For the City's I SPEAK language line, including traducción en Español, call (832) 393-3000.**

Submit a **SPEAKER FORM** to be recognized as a speaker. Turn in the completed, legible form to the staff near the front desk, normally before the item is called for consideration. Organized groups may submit forms in a desired speaker sequence to staff. However, the Chair may take items out of order.

One recognized speaker at the podium at a time. As your name is called, move to the podium to speak, or announce from your seat if you wish to decline. Any handouts can be provided to staff near the podium, for distribution while you begin speaking. Speakers may speak only one time per item, including if the item is deferred. Speaker's time cannot be allocated to another person. Speaker's times are normally 1-2 minutes or as otherwise identified.

At the podium, state your name for the record. Ideally, also state your position on the item, and then deliver your comments. A bell is rung if the allowed speaking time is exceeded. There may also be questions for you, from the Chair or recognized Commissioners, before you return to your seat. No audible expressions from the audience, including no applause, boos, or verbal outbursts.

Speakers with general comments can sign up to speak during the public comment section of the agenda. Turn in visitor badges at the building's check stations at departure. **THANK YOU.**

...

Commission or Group:

SPEAKER SIGN IN FORM

DATE: _____

AGENDA ITEM NUMBER _____

AGENDA ITEM NAME _____

YOUR NAME (Speaker) _____

Telephone or email (Optional) _____

Do you have handouts or items to be distributed during your comments? _____ (Check if Yes)

Your position or comments: ____ **Applicant** ____ **Supportive** ____ **Opposed** ____ **Undecided**

Houston Planning Commission

AGENDA

August 24, 2017

Meeting to be held in
Council Chamber, City Hall Annex
2:30 p.m.

Call to Order

Director's Report

Approval of the August 10, 2017 Planning Commission Meeting Minutes

I. Platting Activity (Subdivision and Development plats)

- a. Consent Subdivision Plats (Carlos G. Espinoza y Sánchez)
- b. Replats (Carlos G. Espinoza y Sánchez)
- c. Replats requiring Public Hearings with Notification (Suvidha Bandi, Arica Bailey, Devin Crittle, Geoff Butler, Aracely Rodriguez, Carlos G. Espinoza y Sánchez)
- d. Subdivision Plats with Variance Requests (Suvidha Bandi, Aracely Rodriguez, Christa Stoneham, Geoff Butler, Carson Lucarelli, Muxian Fang)
- e. Subdivision Plats with Special Exception Requests
- f. Reconsiderations of Requirement
- g. Extension of Approvals (Carson Lucarelli)
- h. Name Changes (Carson Lucarelli)
- i. Certificates of Compliance (Carson Lucarelli)
- j. Administrative
- k. Development Plats with Variance Requests (Jose Mendoza)

II. Establish a public hearing date of September 28, 2017

- a. Amended Plat of Alameda Place partial replat no 9
- b. Chevy Chase partial replat no 3
- c. Chasewood Meadows partial replat no 3
- d. Craig Woods partial replat no 21
- e. East 29th Street Grove
- f. Goldquest Group
- g. Houston Skyscraper Shadows partial replat no 2
- h. West Court partial replat no 8

III. Public Hearing and Consideration of a Hotel/Motel variance for Super 8 Hotel located at 7660 South Loop East (Devin Crittle)

IV. Public Hearing and Consideration of a Special Minimum Lot Size Area application for portions of the North MacGregor Oaks and Timber Crest Subdivisions (MLSA 651) (Annette Mitchell)

V. Excuse the absences of Commissioners Baldwin and Bryant

VI. Public Comment

VII. Adjournment

Minutes of the Houston Planning Commission

(A CD/DVD of the full proceedings is on file in the Planning and Development Department)

August 10, 2017

Meeting held in

Council Chambers, Public Level, City Hall Annex

2:30 p.m.

Call to Order

Chair Martha L. Stein called the meeting to order at 2:33 p.m. with a quorum present.

Martha L. Stein, Chair

M. Sonny Garza, Vice Chair

Susan Alleman

Arrived at 2:52 p.m. during item #96

Bill Baldwin

Absent

Fernando Brave

Arrived at 2:36 p.m. during I

Antoine Bryant

Absent

Lisa Clark

Algenita Davi

Mark A. Kilkenny

Lydia Mares

Paul R. Nelson

Linda Porras-Pirtle

Arrived at 2:37 p.m. during item #26

Shafik Rifaat

Megan R. Sigler

Eileen Subinsky

Zafar Tahir

Meera D. Victor

Mark Mooney for

Left at 3:44 p.m. during item #123

The Honorable James Noack

Charles O. Dean for

The Honorable Robert E. Herbert

Raymond Anderson for

The Honorable Ed Emmet

EXOFFICIO MEMBERS

Carol A. Lewis

Carol Haddock

Dawn Ullrich

Carrin F. Patman

DIRECTOR'S REPORT

The Director's Report was given by Patrick Walsh, Director, Planning and Development Department.

Chair Martha L. Stein called on Commissioner Tahir for a point of personal privilege to introduce a visitor. Commissioner Tahir introduce Samiya Javed a summer intern that has been working in his office. She focused on the Mobility Plan using Gessner as a test case and has written a paper.

Commission Tahir forwarded the paper to the Chairperson and will forward a copy to the Planning Director, so he can forward to all the Planning Commissioners.

APPROVAL OF THE JULY 27, 2017 PLANNING COMMISSION MEETING MINUTES

Commission action: Approved the July 27, 2017 Planning Commission meeting minutes.

Motion: **Clark** Second: **Garza** Vote: **Carries** Abstaining: **Rifaat, Subinsky and Victor**

I. PLATTING ACTIVITY (Consent and Replat items A and B, 1 – 88)

Items removed for separate consideration: **26**

Staff recommendation: Approve staff's recommendation for items **1 – 88** subject to the CPC 101 form conditions.

Commission action: Approved staff's recommendation for items **1 - 88** subject to the CPC 101 form conditions.

Motion: **Garza** Second: **Subinsky** Vote: **Unanimous** Abstaining: **None**

Commissioners Anderson recused himself.

Staff recommendation: Approve staff's recommendation for items **26** subject to the CPC 101 form conditions.

Commission action: Approved staff's recommendation for items **26** subject to the CPC 101 form conditions.

Motion: **Sigler** Second: **Rifaat** Vote: **Unanimous** Abstaining: **None**

Commissioners Anderson returned.

C PUBLIC HEARINGS

89	Amended Plat of Almeda Place partial replat no 8	C3N	Withdrawn
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90	Braeburn Gardens partial replat no 2	C3N	Approve
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Staff recommendation: Approve the plat subject to the CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Rifaat** Second: **Mares** Vote: **Unanimous** Abstaining: **None**

91	Cottage Grove Lake partial replat no 1	C3N	Defer
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Staff recommendation: Defer the application for two weeks per the applicant's request.

Commission action: Deferred the application for two weeks per the applicant's request.

Motion: **Kilkenny** Second: **Garza** Vote: **Unanimous** Abstaining: **None**

92	Greenway Addition Gulfgate Dodge replat no 1 and extension	C3N	Approve
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Staff recommendation: Grant the requested variance(s) and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance(s) and approved the plat subject to the CPC 101 form conditions.

Motion: **Davis** Second: **Clark** Vote: **Unanimous** Abstaining: **None**

93 Lakewood Heights Sec 3 partial replat no 1 C3N Approve
Staff recommendation: Approve the plat subject to the CPC 101 form conditions.
Commission action: Approved the plat subject to the CPC 101 form conditions.
Motion: **Garza** Second: **Mares** Vote: **Unanimous** Abstaining: **None**

94 Newport Sec 4 partial replat no 2 C3N Approve
Staff recommendation: Approve the plat subject to the CPC 101 form conditions.
Commission action: Approved the plat subject to the CPC 101 form conditions.
Motion: **Porras-Pirtle** Second: **Clark** Vote: **Unanimous** Abstaining: **None**
Speakers: Jessica Zhau – opposed: Mary Villareal, applicant - supportive.

95 Morgan Addition partial replat no 6 C3N Approve
Staff recommendation: Approve the plat subject to the CPC 101 form conditions.
Commission action: Approved the plat subject to the CPC 101 form conditions.
Motion: **Subinsky** Second: **Rifaat** Vote: **Unanimous** Abstaining: **None**

96 Oak Estates partial replat no 2 C3N Approve
Staff recommendation: Approve the plat subject to the CPC 101 form conditions.
Commission action: Approved the plat subject to the CPC 101 form conditions.
Motion: **Sigler** Second: **Clark** Vote: **Unanimous** Abstaining: **None**

97 Raintree Village Sec 1 partial replat no 2 C3N Defer
Staff recommendation: Defer the application per Chapter 42 planning standards.
Commission action: Deferred the application per Chapter 42 planning standards.
Motion: **Anderson** Second: **Mares** Vote: **Unanimous** Abstaining: **None**

98 Villas at Spring Shadows replat no 1 C3N Approve
Staff recommendation: Approve the plat subject to the CPC 101 form conditions.
Commission action: Approved the plat subject to the CPC 101 form conditions.
Motion: **Kilkenny** Second: **Rifaat** Vote: **Unanimous** Abstaining: **None**
Speaker: Chuck Alexander – undecided.

D VARIANCES

99 Christ the Redeemer Catholic Community Sec 2 replat no 1 C2R Approve
Staff recommendation: Grant the requested variance(s) and approve the plat subject to the CPC 101 form conditions.
Commission action: Granted the requested variance(s) and approved the plat subject to the CPC 101 form conditions.
Motion: **Garza** Second: **Anderson** Vote: **Unanimous** Abstaining: **None**

100 Clarkson Court C3P Defer
Staff recommendation: Defer the application for two weeks per the applicant's request.
Commission action: Deferred the application for two weeks per the applicant's request.
Motion: **Alleman** Second: **Mares** Vote: **Unanimous** Abstaining: **None**

101 Driscoll at River Oaks Sec 1**C2****Approve**

Staff recommendation: Grant the requested variance(s) and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance(s) and approved the plat subject to the CPC 101 form conditions.

Motion: **Garza**Second: **Clark**Vote: **Unanimous**Abstaining: **None**

Speaker: Richard Smith, Managing Engineer, Public Works and Engineering Department.

102 Elon**C2R****Defer**

Staff recommendation: Defer the application for two weeks for further study and review.

Commission action: Deferred the application for two weeks for further study and review.

Motion: **Kilkenny**Second: **Subinsky**Vote: **Unanimous**Abstaining: **None****103 Gosling Commercial Reserve****C2R****Approve**

Staff recommendation: Approve the plat subject to the CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Mares**Second: **Alleman**Vote: **Unanimous**Abstaining: **None****104 Greens at Brentford replat no 1****C2R****Approve**

Staff recommendation: Grant the requested variance(s) and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance(s) and approved the plat subject to the CPC 101 form conditions.

Motion: **Dean**Second: **Davis**Vote: **Unanimous**Abstaining: **None**

Speaker: Tracy Youngblood, applicant – supportive.

105 Harris County WCID No 110**C2****Defer****Waste Water Treatment Plant no 1**

Staff recommendation: Defer the application for two weeks to allow applicant time to submit revised information.

Commission action: Deferred the application for two weeks to allow applicant time to submit revised information.

Motion: **Anderson**Second: **Kilkenny**Vote: **Unanimous**Abstaining: **None****106 Holocaust Museum Houston****C2R****Defer**

Staff recommendation: Defer the application for two weeks to allow applicant time to submit revised information.

Commission action: Deferred the application for two weeks to allow applicant time to submit revised information.

Motion: **Alleman**Second: **Clark**Vote: **Unanimous**Abstaining: **None****107 Miranda Trucking****C2****Approve**

Staff recommendation: Grant the requested variance(s) and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance(s) and approved the plat subject to the CPC 101 form conditions.

Motion: **Rifaat**Second: **Sigler**Vote: **Unanimous**Abstaining: **None**

108 Northpark **C2** **Defer**
Staff recommendation: Defer the application for two weeks per the applicant's request.
Commission action: Deferred the application for two weeks per the applicant's request.
Motion: **Kilkenny** Second: **Garza** Vote: **Unanimous** Abstaining: **None**

109 Old Town Spring Business Park Reserve **C3P** **Approve**
Staff recommendation: Grant the requested variance(s) and approve the plat subject to the CPC 101 form conditions.
Commission action: Granted the requested variance(s) and approved the plat subject to the CPC 101 form conditions.
Motion: **Anderson** Second: **Rifaat** Vote: **Unanimous** Abstaining: **None**

110 Silver Ranch Sec 16 **C3P** **Approve**
Staff recommendation: Grant the requested variance(s) and approve the plat subject to the CPC 101 form conditions.
Commission action: Granted the requested variance(s) and approved the plat subject to the CPC 101 form conditions.
Motion: **Dean** Second: **Clark** Vote: **Unanimous** Abstaining: **None**

111 Telge Road Park **C2** **Defer**
Staff recommendation: Defer the application for two weeks per the applicant's request.
Commission action: Deferred the application for two weeks per the applicant's request.
Motion: **Garza** Second: **Anderson** Vote: **Unanimous** Abstaining: **None**

E SPECIAL EXCEPTIONS
None

F RECONSIDERATION OF REQUIREMENTS

112 Henneke Estates **C2** **Approve**
Staff recommendation: Grant the reconsideration of requirements with variance(s), and approve the plat subject to the CPC 101 form conditions.
Commission action: Granted the reconsideration of requirements with variance(s), and approved the plat subject to the CPC 101 form conditions.
Motion: **Dean** Second: **Anderson** Vote: **Unanimous** Abstaining: **None**

113 Martinez Bella Vista **C2R** **Approve**
Staff recommendation: Grant the requested variance to not extend Cedar Street, but deny the variance to not extend Industry Street and approve the plat subject to the CPC101 form conditions.
Commission action: Granted the requested variance to not extend Cedar Street, but denied the variance to not extend Industry Street and approved the plat subject to the CPC101 form conditions.
Motion: **Garza** Second: **Anderson** Vote: **Carries** Opposing: **Davis, Kilkenny and Subinsky**

114 Mason McAlister Place **C2** **Defer**
Staff recommendation: Defer the application for two weeks per the applicant's request.
Commission action: Deferred the application for two weeks per the applicant's request.
Motion: **Anderson** Second: **Rifaat** Vote: **Unanimous** Abstaining: **None**

G, H and I were taken together at this time.

G EXTENSIONS OF APPROVAL

115	Life Family Cypress Campus	EOA	Approve
116	Newport Southwest Sec 1	EOA	Approve
117	Tranquility Plaza	EOA	Approve

H NAME CHANGES

118	Crossing at the Commons of Lake Houston Parkland (prev. Commons Waterway Parkland)	NC	Approve
119	Crossing at the Commons of Lake Houston Sec 1 (prev. Commons Waterway Sec 6)	NC	Approve

I CERTIFICATES OF COMPLIANCE

120	24640 Wayne Road	COC	Approve
121	5611 South Rice Avenue	COC	Approve

Staff recommendation: Approve staff's recommendation for items 115-121.

Commission action: Approved staff's recommendation for items 115-121.

Motion: **Porras-Pirtle** Second: **Clark** Vote: **Unanimous** Abstaining: **None**

**J ADMINISTRATIVE
NONE**

K DEVELOPMENT PLATS WITH VARIANCE REQUESTS

122	13518 Pinerock Lane	DPV	Approve
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Staff recommendation: Grant the variance(s) and approve the development plat subject to the conditions listed.

Commission action: Granted the variance(s) and approved the development plat subject to the conditions listed.

Motion: **Kilkenny** Second: **Davis** Vote: **Unanimous** Abstaining: **None**

123	2348 Southgate Blvd.	DPV	Approve
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Staff recommendation: Grant the variance(s) and approve the development plat subject to the conditions listed.

Commission action: Granted the variance(s) and approved the development plat subject to the conditions listed.

Motion: **Davis** Second: **Garza** Vote: **Unanimous** Abstaining: **None**

Speaker: Richard Smith, Managing Engineer, Public Works and Engineering Department.

II. ESTABLISH A PUBLIC HEARING DATE OF SEPTEMBER 14, 2017 FOR:

- a. Brundage Woods replat no 1
- b. Clayton Sec 1 partial replat no 1
- c. Craig Woods partial replat no 20

d. Melody Oaks partial replat no 20

e. Shadyvilla Addition no 2 partial replat no 5

Staff recommendation: Establish a public hearing date of September 14, 2017 for items II a-e.

Commission action: Established a public hearing date of September 14, 2017 for items II a-e.

Motion: **Clark**

Second: **Garza**

Vote: **Unanimous**

Abstaining: **None**

III. PUBLIC HEARING AND CONSIDERATION OF A HOTEL/MOTEL VARIANCE FOR SUPER 8 HOTEL LOCATED AT 7660 SOUTH LOOP EAST

Staff recommendation: Defer the application for two weeks to give the Legal Department time to review the documents submitted by the applicant.

Commission action: Deferred the application for two weeks to give the Legal Department time to review the documents submitted by the applicant.

Motion: **Davis**

Second: **Garza**

Vote: **Unanimous**

Abstaining: **None**

IV. CONSIDERATION OF A HOTEL/MOTEL VARIANCE FOR AMERICAS BEST VALUE INN HOTEL LOCATED AT 55 SORTERS MCCLELLAN ROAD

Withdrawn

V. PUBLIC HEARING AND CONSIDERATION OF A SPECIAL MINIMUM LOT SIZE BLOCK APPLICATION FOR THE 5200 BLOCK OF SUE MARIE LANE, EAST AND WEST SIDES (MLSB 661)

Staff recommendation: Approve the Special Minimum Lot Size Block application for the 5200 block of Sue Marie Lane, east and west sides, MLSB 661, and forward to City Council.

Commission action: Approved the Special Minimum Lot Size Block application for the 5200 block of Sue Marie Lane, east and west sides, MLSB 661, and forwarded to City Council.

Motion: **Kilkenny**

Second: **Davis**

Vote: **Unanimous**

Abstaining: **None**

Speakers: Yvonne Green, applicant, Reginald Mack and Brenda Gonzales – supportive; Jesse Rodriguez, Tommy Walker, Jason Kimbell and Terrie Sechrist – opposed.

VI. EXCUSE THE ABSENCES OF COMMISSIONERS BRAVE, MOONEY AND VICTOR

Commissioners Brave, Commissioner Mooney and Commissioner Victor were present therefore, no Commission action was required.

VII. PUBLIC COMMENT

NONE

VIII. ADJOURNMENT

There being no further business brought before the Commission, Chair Martha L. Stein adjourned the meeting at 4:05 p.m.

Motion: **Clark**

Second: **Rifaat**

Vote: **Unanimous**

Abstaining: **None**

Martha L. Stein, Chair

Patrick Walsh, Secretary

Item No.	Subdivision Plat Name	App Type	Deferral	Staff's Recommendation
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A-Consent

1	Adelaide Sec 1	C3P		Approve the plat subject to the conditions listed
2	Airtex DTP Addition	C2		Approve the plat subject to the conditions listed
3	Alder Trails Sec 13	C3F		Approve the plat subject to the conditions listed
4	Ark Bar Business Center	C2		Approve the plat subject to the conditions listed
5	Balmoral Thompson Bend Drive Street Dedication Sec 1	SP		Defer Chapter 42 planning standards
6	Bridgeland Parkland Village Sec 20	C3P		Approve the plat subject to the conditions listed
7	Bridgeland Tuckerton Road Street Dedication Sec 1	SP	DEF1	Approve the plat subject to the conditions listed
8	Buffalo Group	C2		Approve the plat subject to the conditions listed
9	Chase Bank Bay Area	C2		Approve the plat subject to the conditions listed
10	Corner of Telge	C2		Approve the plat subject to the conditions listed
11	Crockett Park	C2		Approve the plat subject to the conditions listed
12	Crosstimbers Square	C2		Approve the plat subject to the conditions listed
13	Cypress Rosehill Plaza	C2		Approve the plat subject to the conditions listed
14	Donovan Street Grove	C2		Approve the plat subject to the conditions listed
15	Draco Spring Manufacturing Company	C3F		Approve the plat subject to the conditions listed
16	East 13th Street Grove	C2		Approve the plat subject to the conditions listed
17	Elyson GP	GP		Approve the plat subject to the conditions listed
18	Elyson Falls Drive Street Dedication Sec 4	C3P	DEF2	Approve the plat subject to the conditions listed
19	Ford Road Family Dollar GP	GP		Approve the plat subject to the conditions listed
20	Ford Road Family Dollar Sec 1	C2	DEF1	Approve the plat subject to the conditions listed
21	Furay Park View	C3P		Defer Chapter 42 planning standards
22	Gillespie Street Sec 2 replat no 4	C3F		Approve the plat subject to the conditions listed
23	Grand Vista Sec 26	C3P		Approve the plat subject to the conditions listed
24	Greensbrook Place GP	GP	DEF2	Approve the plat subject to the conditions listed
25	Greensbrook Place Sec 6	C3P	DEF2	Approve the plat subject to the conditions listed
26	Hernandez Reserve on Tidwell	C2		Defer for further study and review
27	Hidden Meadow Sec 9	C3P		Approve the plat subject to the conditions listed
28	Hidden Meadow Sec 10	C3F		Approve the plat subject to the conditions listed
29	Jasmine Heights Sec 9	C3P	DEF1	Approve the plat subject to the conditions listed

Platting Summary**Houston Planning Commission****PC Date: August 24, 2017**

Item No.	Subdivision Plat Name	App		Staff's Recommendation
		Type	Deferral	
30	Jasmine Heights Sec 10	C3P	DEF1	Approve the plat subject to the conditions listed
31	Katy Creek Ranch Market	C2		Approve the plat subject to the conditions listed
32	Lake House Sec 2	C3F	DEF1	Approve the plat subject to the conditions listed
33	Lakes of Bella Terra West Sec 2	C3F		Defer Additional information reqd
34	Lakewood Heights Sec 3 partial replat no 1	C3F		Approve the plat subject to the conditions listed
35	LIDL West Road and SH249	C2		Approve the plat subject to the conditions listed
36	Long Meadows partial replat no 2	C3F		Approve the plat subject to the conditions listed
37	Mason McAlister Place GP	GP		Approve the plat subject to the conditions listed
38	Mason McAlister Place Sec 1	C2	DEF1	Approve the plat subject to the conditions listed
39	McDonalds Mercury	C2		Approve the plat subject to the conditions listed
40	Mediterranean Forest	C3F	DEF2	Approve the plat subject to the conditions listed
41	Morgan Addition partial replat no 6	C3F		Approve the plat subject to the conditions listed
42	North Eldridge Business Park	C2		Approve the plat subject to the conditions listed
43	Peron 2920	C2		Approve the plat subject to the conditions listed
44	Rancho Verde GP	GP		Approve the plat subject to the conditions listed
45	Rancho Verde North Detention Reserve	C2	DEF2	Approve the plat subject to the conditions listed
46	Rancho Verde Sec 9	C3F		Approve the plat subject to the conditions listed
47	Rancho Verde Sec 10	C3F		Approve the plat subject to the conditions listed
48	Rancho Verde Sec 11	C3P	DEF2	Approve the plat subject to the conditions listed
49	Reserve at Clear Lake City Sec 13	C3P		Approve the plat subject to the conditions listed
50	Reserves at Huffmeister	C2		Approve the plat subject to the conditions listed
51	Rosehill Reserve GP	GP		Defer Additional information reqd
52	Rosehill Reserve Sec 8	C3P		Defer Additional information reqd
53	THV Commercial on Beltway 8	C3F		Approve the plat subject to the conditions listed
54	Unique Boat and RV	C2		Approve the plat subject to the conditions listed
55	Unique Truck Parts	C2		Approve the plat subject to the conditions listed
56	Villas at Spring Shadows replat no 1	C3F		Approve the plat subject to the conditions listed
57	Westgreen Developments Sec 1	C2	DEF1	Approve the plat subject to the conditions listed
58	Wheeler Avenue Baptist Church North	C2		Approve the plat subject to the conditions listed
59	Windrow Sec 1	C3P		Defer for further study and review
60	Woodlands Creekside Park West Sec 39	C3F		Approve the plat subject to the conditions listed

Item No.	Subdivision Plat Name	App Type	Deferral	Staff's Recommendation
61	Woodridge Forest Sec 19	C3F	DEF1	Approve the plat subject to the conditions listed
62	Yogi Divine Society of Texas	C2		Approve the plat subject to the conditions listed

B-Replats

63	Dixon Financial Services LTD	C2R		Approve the plat subject to the conditions listed
64	Downey Oaks Place	C2R		Defer Chapter 42 planning standards
65	Goliad Park	C2R		Approve the plat subject to the conditions listed
66	Gonzalez Corner	C2R		Defer Chapter 42 planning standards
67	Gonzalez Estates	C2R		Defer Chapter 42 planning standards
68	Grand Parkway Marketplace partial replat no 2	C2R		Approve the plat subject to the conditions listed
69	Independent Mods	C2R	DEF2	Approve the plat subject to the conditions listed
70	KSR Addition partial replat no 1	C2R		Approve the plat subject to the conditions listed
71	Lincoln Heights partial replat no 1	C2R		Defer Chapter 42 planning standards
72	Lyons Redev Fortieth Venture	C2R		Defer Applicant request
73	Lyons Redev Thirtysixth Venture	C2R		Approve the plat subject to the conditions listed
74	Medrano Property	C2R		Approve the plat subject to the conditions listed
75	Memorial Heights Estates	C2R		Approve the plat subject to the conditions listed
76	Neuen Estates	C2R	DEF1	Withdraw
77	Oxford Landing	C2R		Approve the plat subject to the conditions listed
78	Oxford Villas	C2R		Approve the plat subject to the conditions listed
79	Park West at Oak Forest	C2R		Defer Additional information reqd
80	Pecan Heights	C2R		Approve the plat subject to the conditions listed
81	Reserve on Plainfield	C2R	DEF1	Withdraw
82	Rogers Court	C2R		Approve the plat subject to the conditions listed
83	Sanberg Investments LTD	C2R		Defer Additional information reqd
84	Shepnett Center	C2R	DEF2	Approve the plat subject to the conditions listed
85	Sundale Plaza	C2R	DEF1	Approve the plat subject to the conditions listed
86	Trails on Wellington Street	C2R		Approve the plat subject to the conditions listed
87	Unique Estate	C3R	DEF2	Approve the plat subject to the conditions listed
88	West 22nd Patio Homes	C2R		Approve the plat subject to the conditions listed
89	West 22nd Street Views	C2R		Approve the plat subject to the conditions listed
90	West Bellfort Square	C2R	DEF1	Approve the plat subject to the conditions listed
91	Williamsburg Parkway Sec 1 partial replat no 1	C2R		Approve the plat subject to the conditions listed

Item No.	Subdivision Plat Name	App Type	Deferral	Staff's Recommendation
92	Yalda Real Estate Group LLC	C2R		Approve the plat subject to the conditions listed
93	Zermenos Lakeside Home	C2R		Withdraw

C-Public Hearings Requiring Notification

94	Avondale partial replat no 3	C3N		Approve the plat subject to the conditions listed
95	Avondale partial replat no 4	C3N		Approve the plat subject to the conditions listed
96	Benders Landing Estates Sec 4 partial replat no 2	C3N		Defer Applicant request
97	Bicycle Bungalows replat no 1	C3N		Defer for further study and review
98	Binglewood Sec 2 partial replat no 1	C3N		Withdraw
99	Broadmoor partial replat no 3	C3N		Approve the plat subject to the conditions listed
100	Cottage Grove Lake partial replat no 1	C3N	DEF1	Grant the requested variance(s) and Approve the plat subject to the conditions listed
101	Facundo Plaza	C3N		Approve the plat subject to the conditions listed
102	Houston Acreage Estates partial replat no 1	C3N		Defer Applicant request
103	Longwoods partial replat no 2	C3N		Approve the plat subject to the conditions listed
104	Neuen Manor partial replat no 7	C3N		Approve the plat subject to the conditions listed
105	Newport Sec 4 partial replat no 4	C3N		Approve the plat subject to the conditions listed
106	Raintree Village Sec 1 partial replat no 2	C3N	DEF1	Withdraw
107	Spring Forest Sec 2 partial replat no 2	C3N		Approve the plat subject to the conditions listed
108	Spring Forest Sec 2 partial replat no 3	C3N		Approve the plat subject to the conditions listed

D-Variances

109	Aldine Land Holding Inc	C2R		Defer Additional information reqd
110	Bauer Landing Sec 5	C3P	DEF1	Approve the plat subject to the conditions listed
111	Bauer Sunlight Drive Street Dedication Sec 1 and Reserve	C3P		Grant the requested variance(s) and Approve the plat subject to the conditions listed
112	Blue Ridge Hillcroft K8 School	C2		Defer Additional information reqd
113	CG7600LP GP	GP		Defer Additional information reqd
114	CG7600LP Sec 1	C2		Defer Additional information reqd
115	Clarkson Court	C3P	DEF2	Withdraw
116	Cypress Telge Park	C2	DEF1	Grant the requested variance(s) and Approve the plat subject to the conditions listed
117	EaDo Lofts	C2R		Grant the requested variance(s) and Approve the plat subject to the conditions listed
118	Elon	C2R	DEF1	Withdraw
119	Fairgrounds Addition partial replat no 1	C2R		Defer Chapter 42 planning standards
120	Hardy Road Industrial Park	C2R		Defer Per Harris County's Request

Platting Summary**Houston Planning Commission****PC Date: August 24, 2017**

Item No.	Subdivision Plat Name	App Type	Deferral	Staff's Recommendation
121	Harris County WCID No 110 Waste Water Treatment Plant no 1	C2	DEF1	Approve the plat subject to the conditions listed
122	Holocaust Museum Houston	C2R	DEF2	Grant the requested variance(s) and Approve the plat subject to the conditions listed
123	Hyatt Place Reserve	C2		Defer Applicant request
124	Kingwood Elite Storage	C2	DEF1	Grant the requested variance(s) and Approve the plat subject to the conditions listed
125	Koehler Iron Works	C2		Grant the requested variance(s) and Approve the plat subject to the conditions listed
126	Luz de Atardecer	C2		Defer Chapter 42 planning standards
127	Ranch at Magnolia Point	C3P		Defer Chapter 42 planning standards
128	Retreat at Lakewood Forest partial replat no 1	C2R		Grant the requested variance(s) and Approve the plat subject to the conditions listed
129	Sheldon ISD High School GP	GP		Defer for further study and review
130	Somerset Green Sec 7	C3R		Grant the requested variance(s) and Approve the plat subject to the conditions listed
131	Wu Eunice Homes	C2R		Grant the requested variance(s) and Approve the plat subject to the conditions listed

E-Special Exceptions

None

F-Reconsideration of Requirements

None

G-Extensions of Approval

132	Greystone Commerce Park	EOA	Approve
133	Muoneke Estates	EOA	Approve

H-Name Changes

None

I-Certification of Compliance

134	22150 TX 494	COC	Defer
135	25231 Fawn Lane	COC	Defer

K-Development Plats with Variance Requests

136	6261 Briar Rose Drive	DPV	Approve
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Platting Summary**Houston Planning Commission****PC Date: August 24, 2017**

Item		App		Staff's
No.	Subdivision Plat Name	Type	Deferral	Recommendation

Hotel/Motel Variances

III	Super 8 Hotel located at 7660 South Loop East	HMT	Defer	
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 1
Action Date: 08/24/2017
Plat Name: Adelaide Sec 1
Developer: Adelaide Interests, LTD, Camcorp Management Inc.
Applicant: EHRA
App No/Type: 2017-1469 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	44.8700	Total Reserve Acreage:	3.3900
Number of Lots:	375	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77449	407W	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 1
Action Date: 08/24/2017
Plat Name: Adelaide Sec 1
Developer: Adelaide Interests, LTD, Camcorp Management Inc.
Applicant: EHRA
App No/Type: 2017-1469 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Addressing: Queensborough Creek Road makes a 90 degree turn. The vertical segment is an extension of Goulburn River Drive and must be named this as well. Tobins Gully Drive also makes a 90 degree turn and will need to one new street name. Please enter into plat tracker. Jerrara Stream Court, Frazers Ravine Court, and Dingo Stream Court do not meet the cul de sac requirements. Please change street type.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

"Court" is not an appropriate suffix for 3 streets. See markup

Add street name break and change street name. See markup

Queensborough Creek at Old Greenhouse: UVE, increase ROW width to 60 ft. for wider pavement accommodating two exit lanes

Reserve B (Gummert at Adelaide river) UVE analysis

Provide all-way stop warrant letter for neighborhood collector, Adelaide River at Queensborough Creek.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 2
Action Date: 08/24/2017
Plat Name: Airtex DTP Addition
Developer: Houston (Airtex) DTP, LLC
Applicant: John Cowan and Associates
App No/Type: 2017-1193 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.0130	Total Reserve Acreage:	1.0130
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	Harris County Utility District 16
County	Zip	Key Map ©	City / ETJ
Harris	77073	372D	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 2
Action Date: 08/24/2017
Plat Name: Airtex DTP Addition
Developer: Houston (Airtex) DTP, LLC
Applicant: John Cowan and Associates
App No/Type: 2017-1193 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approved
City Engineer: DETENTION IS REQUIRED AND MISSING B.L.

Harris County Flood Control District: Flood Control review - Include HCFCD Fee information on the plat (see uploaded PDF).

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Coordinate with HCFCD to determine if any additional land is needed for drainage purposes

Coordinate with traffic before plat recordation.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 3
Action Date: 08/24/2017
Plat Name: Alder Trails Sec 13
Developer: Taylor Morrison of Texas, Inc.
Applicant: GBI Partners, LP
App No/Type: 2017-1188 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	8.8790	Total Reserve Acreage:	0.8620
Number of Lots:	31	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 196
County	Zip	Key Map ©	City / ETJ
Harris	77433	367P	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

052. Section 11 must be recorded prior to or simultaneously with this plat.

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 3
Action Date: 08/24/2017
Plat Name: Alder Trails Sec 13
Developer: Taylor Morrison of Texas, Inc.
Applicant: GBI Partners, LP
App No/Type: 2017-1188 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approved

Harris County Flood Control District: Flood Control review - Correct HCCF Nos. and who they belong to (Public Fee) on channel K167-01-00 (see uploaded PDF).

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Sec 11 will need to be recorded prior to or simultaneously with this plat

Check with HCFCF to determine if any additional drainage easements are required.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 4
Action Date: 08/24/2017
Plat Name: Ark Bar Business Center
Developer: ADVANCE SURVEYING, INC.
Applicant: Advance Surveying, Inc.
App No/Type: 2017-1426 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	2.2329	Total Reserve Acreage:	2.2329
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77064	369X	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 059.1. Acreage in title and on plat must match at recordation.
- 060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 4
Action Date: 08/24/2017
Plat Name: Ark Bar Business Center
Developer: ADVANCE SURVEYING, INC.
Applicant: Advance Surveying, Inc.
App No/Type: 2017-1426 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approve.
City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Harris County Flood Control District: Flood Control review - No comments.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

We have received the subject plat. An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c) (<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org . For drainage analysis related questions, please email civildevel@hcpid.org .

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 5
Action Date: 08/24/2017
Plat Name: Balmoral Thompson Bend Drive Street Dedication Sec 1
Developer: LGI Homes - Texas, LLC
Applicant: Pape-Dawson Engineers
App No/Type: 2017-1482 SP

Staff Recommendation:
Defer Chapter 42 planning standards

Total Acreage:	2.3640	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 400
County	Zip	Key Map ©	City / ETJ
Harris	77396	376T	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the application.

(Low or high impact process)

Appointments may be schedule using the online service.

Submit application online at houstonpermittingcenter.org

Harris County Flood Control District: Flood Control review - No comments.

Addressing: Label the street on the plat.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Balmoral Park Lakes East Sec 4 and Ralston road street dedication will need to be recorded prior to plat recordation.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 6
Action Date: 08/24/2017
Plat Name: Bridgeland Parkland Village Sec 20
Developer: Bridgeland Development L.P.
Applicant: LJA Engineering, Inc - (Woodlands Office)
App No/Type: 2017-1405 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	19.6900	Total Reserve Acreage:	2.7000
Number of Lots:	24	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Type 1 PAE
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77433	366S	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Summit Point Crossing will need to be recorded prior to or simultaneously with this plat.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 7
Action Date: 08/24/2017
Plat Name: Bridgeland Tuckerton Road Street Dedication Sec 1
Developer: Bridgeland Development, LP A Maryland Limited Partnership
Applicant: BGE, Inc.
App No/Type: 2017-1246 SP

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	4.6410	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 489
County	Zip	Key Map ©	City / ETJ
Harris	77433	366X	ETJ

Conditions and Requirements for Approval

013. Provide pipeline release letter with Recordation Package.

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

121. Add One-foot Reserve plat note: (adjacent to street) One-foot reserve dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent property, the condition of this dedication being that when the adjacent property is subdivided or re-subdivided in a recorded subdivision plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs, assigns or successors.

187. Appendix C:Lienholders Acknowledgement and Subordination Statement(s) is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



PLANNING & DEVELOPMENT DEPARTMENT

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 7
Action Date: 08/24/2017
Plat Name: Bridgeland Tuckerton Road Street Dedication Sec 1
Developer: Bridgeland Development, LP A Maryland Limited Partnership
Applicant: BGE, Inc.
App No/Type: 2017-1246 SP

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approved
Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Easements outside of plat boundary will need to be recorded prior to plat recordation
Permits variance and maintenance agreement will be required for non-standard ROW width
Plans to include traffic signal modifications, northbound 250 ft. LTL Tuckerton at Fry Road
Note on plans: Construction and public access to Fry Road shall be prohibited until traffic signal modification is activated
Indicate approximate centerline skew angle at Fry Road, increase corner clip dimensions if 35 ft. does not meet Geometric Guidelines
Limited scope TIA required for transition location and dimensions if half-boulevard construction is proposed
Minimum tangent of 250 ft on Tuckerton Road approach to Fry Road.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 8
Action Date: 08/24/2017
Plat Name: Buffalo Group
Developer: BIG RED DOG
Applicant: Civil-Surv Land Surveying, L.C.
App No/Type: 2017-1417 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	4.3870	Total Reserve Acreage:	4.3870
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	13	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77025	532T	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1. Multi-Family note must be included in the general notes section.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Parks and Recreation: 1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 9
Action Date: 08/24/2017
Plat Name: Chase Bank Bay Area
Developer: DBCHASE, LLC
Applicant: Windrose
App No/Type: 2017-1431 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	4.0000	Total Reserve Acreage:	4.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	21	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77062	618L	City

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)
047. Make minor corrections and additions as indicated on the marked file copy.
- 059.1. Acreage in title and on plat must match at recordation.
- 060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)
1. The drawing must be oriented facing true north

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be scheduled using the Online Queuing Service

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED AND MISSING B.L.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 10
Action Date: 08/24/2017
Plat Name: Corner of Telge
Developer: Corner of Telge, LLC
Applicant: Hovis Surveying Company Inc.
App No/Type: 2017-1443 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.9635	Total Reserve Acreage:	0.9635
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77429	368E	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 059.1. Acreage in title and on plat must match at recordation.
- 060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.
- 073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



PLANNING & DEVELOPMENT DEPARTMENT

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 10
Action Date: 08/24/2017
Plat Name: Corner of Telge
Developer: Corner of Telge, LLC
Applicant: Hovis Surveying Company Inc.
App No/Type: 2017-1443 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approve.
City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c) (<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org . For drainage analysis related questions, please email civildevel@hcpid.org .

sanitary control easement may need TCEQ exemption for encroaching on public ROW and adjacent owner's signature for encroaching upon adjacent property

Increase corner clip dimension to comply with Geometric Guidelines

Add UVE for westbound right on red
plat name must match application.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 11
Action Date: 08/24/2017
Plat Name: Crockett Park
Developer: BB RESIDENTIAL GROUP, INC
Applicant: Bates Development Consultants
App No/Type: 2017-1496 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1061	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77007	493G	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be schedule using the online service.

Submit application online at houstonpermittingcenter.org

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 12
Action Date: 08/24/2017
Plat Name: Crosstimbers Square
Developer: HAZA FOODS LLC
Applicant: MOMENTUM ENGINEERING
App No/Type: 2017-1422 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.6875	Total Reserve Acreage:	0.6875
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77022	453K	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1. All easements listed in the title must be reflected on the plat

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 13
Action Date: 08/24/2017
Plat Name: Cypress Rosehill Plaza
Developer: Sarwar Business, LLC
Applicant: Century Engineering, Inc
App No/Type: 2017-1465 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.9426	Total Reserve Acreage:	1.9426
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77429	327J	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 13
Action Date: 08/24/2017
Plat Name: Cypress Rosehill Plaza
Developer: Sarwar Business, LLC
Applicant: Century Engineering, Inc
App No/Type: 2017-1465 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION IS REQUIRED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c) (<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org . For drainage analysis related questions, please email civildevel@hcpid.org .

Driveway on Grant required near eastern boundary to allow ingress / egress away from westbound queues at Cypress Rosehill consider a layout consistent with future shared access to the property to the east for Grant all-way access when a divided boulevard is constructed with a median opening 500 ft. from Cypress Rosehill.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 14
Action Date: 08/24/2017
Plat Name: Donovan Street Grove
Developer: Cityside Homes, LLC
Applicant: Total Surveyors, Inc.
App No/Type: 2017-1461 C2

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	0.6000	Total Reserve Acreage:	0.0088
Number of Lots:	14	Number of Multifamily Units:	0
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77091	452H	City

Conditions and Requirements for Approval

- 047. Make minor corrections and additions as indicated on the marked file copy.
- 203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
- 204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the application.
 (Low or high impact process)

Appointments may be schedule using the online service.

Submit application online at houstonpermittingcenter.org

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65% AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION.

Solid Waste: The proposed development does not have at least ten feet of frontage on a public street, not including the driveway, for each residential unit. The proposed development does contain two distinct five-foot by five-foot square areas for each residential unit in the development or subdivision for the placement of automated service containers and recycling containers, however, the Solid Waste Plan depicts these areas as extending more than five feet into the roadway. The proposed development is therefore ineligible for COH garbage collection.



Agenda Item: 15
Action Date: 08/24/2017
Plat Name: Draco Spring Manufacturing Company
Developer: DRACO SPRING MANUFACTURING COMPANY
Applicant: Boundary One, LLC
App No/Type: 2017-1235 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	4.8160	Total Reserve Acreage:	4.8160
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	7	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77087	534R	City

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

068. Provide a vicinity map that locates the subdivision site within the boundaries of an existing major thoroughfare grid.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Add note: All vehicular access is hereby denied to Meyer Street.

Remove the gate out of the right-of-way along Meyer Street. Remove all encroachments out of the right-of-way along Edna Street and move the awning back to the 10 feet building line before recordation. Submit a letter from PWE confirming that encroachments have been removed prior to recordation.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



PLANNING &
DEVELOPMENT
DEPARTMENT

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 15
Action Date: 08/24/2017
Plat Name: Draco Spring Manufacturing Company
Developer: DRACO SPRING MANUFACTURING COMPANY
Applicant: Boundary One, LLC
App No/Type: 2017-1235 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 16
Action Date: 08/24/2017
Plat Name: East 13th Street Grove
Developer: Mazzarino Construction
Applicant: Total Surveyors, Inc.
App No/Type: 2017-1386 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.4430	Total Reserve Acreage:	0.0000
Number of Lots:	4	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	453W	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.
City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 17
Action Date: 08/24/2017
Plat Name: Elyson GP
Developer: Newland Communities
Applicant: BGE|Kerry R. Gilbert Associates
App No/Type: 2017-1480 GP

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	3663.3000	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77493	405N	ETJ

Conditions and Requirements for Approval

045. The alignment and width of all major thoroughfares within or adjacent to the proposed General Plan shall conform to the requirements of the most recent Major Thoroughfare and Freeway Plan. (24)

046. General Plan approval is for street patterns as shown on the plat only. (24)

046.1. Approval of the General Plan shall remain in effect for four years from the date of the Commission approval. Renewal of the GP shall occur when a section meeting the requirements of 42-24 (f) is recorded.

047. Make minor corrections and additions as indicated on the marked file copy.

056. Sections of a subdivision shall be identified numerically and sequentially.

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

143.1. Along a local street, there shall be an intersection with a local street, collector street or major thoroughfare at least every 1400 feet. (128)

143.2. Measure from ROW edge to ROW edge to accurately measure intersection spacing.

162. Along a major thoroughfare, there shall be an intersection with a local street, collector street or major thoroughfare at least every 2600 feet. (127)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 17

Action Date: 08/24/2017

Plat Name: Elyson GP

Developer: Newland Communities

Applicant: BGE|Kerry R. Gilbert Associates

App No/Type: 2017-1480 GP

Staff Recommendation:

Approve the plat subject to the conditions listed

City Engineer: DETENTION IS PROVIDED ON GP

Harris County Flood Control District: Flood Control review - This plat requires a Plat Release Letter.

Harris Engineer: This general plan is contingent upon review and approval of the Harris County Engineering Department prior to recording section plats.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 18
Action Date: 08/24/2017
Plat Name: Elyson Falls Drive Street Dedication Sec 4
Developer: Nash FM 529, LLC a Delaware limited liability company
Applicant: BGE, Inc.
App No/Type: 2017-1192 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	4.8490	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 458
County	Zip	Key Map ©	City / ETJ
Harris	77449	405U	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

052. Peek Road in Elyson Street Dedication Sec 1 must be recorded prior to or simultaneously with this plat.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 18
Action Date: 08/24/2017
Plat Name: Elyson Falls Drive Street Dedication Sec 4
Developer: Nash FM 529, LLC a Delaware limited liability company
Applicant: BGE, Inc.
App No/Type: 2017-1192 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approved
Harris County Flood Control District: Flood Control review - No comments.
CenterPoint: Must also apply for a Grants to Others through Land Use Group in SROW for road crossing.
Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Easements outside of plat boundary will need to be recorded prior to plat recordation
SB left turn lane will be required on Peek Road at Elyson Falls Drive.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 19
Action Date: 08/24/2017
Plat Name: Ford Road Family Dollar GP
Developer: G2K DEVELOPMENT PARTNERS
Applicant: Century Engineering, Inc
App No/Type: 2017-1479 GP

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	2.4084	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Porter MUD
County	Zip	Key Map ©	City / ETJ
Montgomery	77365	297J	ETJ

Conditions and Requirements for Approval

045. The alignment and width of all major thoroughfares within or adjacent to the proposed General Plan shall conform to the requirements of the most recent Major Thoroughfare and Freeway Plan. (24)

046. General Plan approval is for street patterns as shown on the plat only. (24)

046.1. Approval of the General Plan shall remain in effect for four years from the date of the Commission approval. Renewal of the GP shall occur when a section meeting the requirements of 42-24 (f) is recorded.

047. Make minor corrections and additions as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 20
Action Date: 08/24/2017
Plat Name: Ford Road Family Dollar Sec 1
Developer: G2K DEVELOPMENT PARTNERS
Applicant: Century Engineering, Inc
App No/Type: 2017-1329 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.2741	Total Reserve Acreage:	1.1892
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Porter MUD
County	Zip	Key Map ©	City / ETJ
Montgomery	77365	297J	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 059.1. Acreage in title and on plat must match at recordation.
- 060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.
- 073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: APPROVE.
City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 21
Action Date: 08/24/2017
Plat Name: Furay Park View
Developer: N/A
Applicant: The Interfield Group
App No/Type: 2017-1477 C3P

Staff Recommendation:
Defer Chapter 42 planning
standards

Total Acreage:	19.1893	Total Reserve Acreage:	14.0290
Number of Lots:	4	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77016	415Q	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

088.1. A subdivision plat shall identify each reserve by alphabetical letter and shall show the total acreage of the reserve within the delineated reserve boundaries. The use intended for each reserve shall be noted. A reserve tract for which a use has not been determined shall be identified on the plat as an unrestricted reserve. (192)

146. Identify, dimension and provide square footage for all right-of-way dedications. "xx s.f. are hereby dedicated to the public for right-of-way purposes.

146.1. Provide for dedication of cutback(s) as indicated on the marked file copy.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

This plat is being deferred because it is supposed to be in the replat section but was submitted in Plat Tracker as a consent application.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 21
Action Date: 08/24/2017
Plat Name: Furay Park View
Developer: N/A
Applicant: The Interfield Group
App No/Type: 2017-1477 C3P

Staff Recommendation:
Defer Chapter 42 planning standards

City Engineer: DETENTION IS REQUIRED AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION.

Harris County Flood Control District: Flood Control review - No comments.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c) (<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org . For drainage analysis related questions, please email civildevel@hcpid.org .

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 22
Action Date: 08/24/2017
Plat Name: Gillespie Street Sec 2 replat no 4
Developer: Stahlman
Applicant: Field Data Srvce, Inc
App No/Type: 2017-1453 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.0900	Total Reserve Acreage:	0.0000
Number of Lots:	20	Number of Multifamily Units:	0
COH Park Sector:	11	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77020	494J	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Parks and Recreation: • To be added to the general notes on the face of the plat: No building permit or other permit, except permits for construction of public improvements, will be issued by the City of Houston, Texas, for construction within the subdivision until such time as the funds required under provisions of Section 42-253 of the Code of Ordinances of the City of Houston, Texas, has been submitted and accepted by the City.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be scheduled using the Online Queuing Service

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 23
Action Date: 08/24/2017
Plat Name: Grand Vista Sec 26
Developer: Taylor Morrison of Texas, Inc.
Applicant: BGE|Kerry R. Gilbert Associates
App No/Type: 2017-1425 C3P

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	20.2000	Total Reserve Acreage:	0.2100
Number of Lots:	112	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Fort Bend County MUD 190
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	526L	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

1. Add wastewater note: All lots shall have adequate wastewater collection service.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: 1) Submit final plat to FBC for formal review
 2) Submit civil construction plans
 3) Provide additional UE's along 50' ROW
 4) This does not constitute a formal review by Fort Bend County as not all review comments are provided in this portal.
 PWE Utility Analysis: Approved
 City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 24
Action Date: 08/24/2017
Plat Name: Greensbrook Place GP
Developer: Woodmere Development Co., LTD.
Applicant: IDS Engineering Group
App No/Type: 2017-1240 GP

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	109.9730	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 148
County	Zip	Key Map ©	City / ETJ
Harris	77044	416L	ETJ

Conditions and Requirements for Approval

045. The alignment and width of all major thoroughfares within or adjacent to the proposed General Plan shall conform to the requirements of the most recent Major Thoroughfare and Freeway Plan. (24)

046. General Plan approval is for street patterns as shown on the plat only. (24)

046.1. Approval of the General Plan shall remain in effect for four years from the date of the Commission approval. Renewal of the GP shall occur when a section meeting the requirements of 42-24 (f) is recorded.

047. Make minor corrections and additions as indicated on the marked file copy.

Identify adjacent tracts outside GP boundary.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved.

Harris County Flood Control District: Call out HCFCD ROW per HCFCD Policy, Criteria, & Procedures Manual
CenterPoint: Due to close proximity to CenterPoint Energy Transmission Corridor, developer/applicant must submit drainage and wet utility plans for further review to ensure no negative impact on rights, access, maintenance, and/or facilities.

Harris Engineer: This general plan is contingent upon review and approval of the Harris County Engineering Department prior to recording section plats

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

At Tee intersection SE corner at WWTP:

Revise to an L curve or a corner cul-de-sac. County regs do not allow driveway connections off the end of a stub street.

Reserves over Centerpoint easement should include open space / recreation for a future county bike trail



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 25
Action Date: 08/24/2017
Plat Name: Greensbrook Place Sec 6
Developer: Woodmere Development Co., LTD.
Applicant: IDS Engineering Group
App No/Type: 2017-1241 C3P

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	25.2300	Total Reserve Acreage:	13.2570
Number of Lots:	49	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 148
County	Zip	Key Map ©	City / ETJ
Harris	77044	416L	ETJ

Conditions and Requirements for Approval

- 047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
- 063. All appropriate engineering and surveying data shall be shown. (42 & 44)
- 064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.
 City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
 Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
 Coordinate with HCFCD to determine if additional land is needed for channel improvements
 Either L curve at the intersection of Greenspark Lane and Greensbrook Trail or cul-de-sac at the dead-end of Greenspark Lane is required for access to WWTP. Otherwise "access denied" should be added at the dead-end and access to WWTP should be taken off Greensbrook Trail away from the intersection.
 Reserves over Centerpoint easement should include open space / recreation for a future bike trail.



Agenda Item: 26
Action Date: 08/24/2017
Plat Name: Hernandez Reserve on Tidwell
Developer: josefina hernandez
Applicant: Houston Platting
App No/Type: 2017-1286 C2

Staff Recommendation:
Defer for further study and
review

Total Acreage:	0.6487	Total Reserve Acreage:	0.6487
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	4	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77016	454D	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

127. Provide Visibility Triangle at intersections and add plat note: Add Visibility triangle note: The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle. This area shall assure adequate visibility sight lines for vehicular traffic approaching the intersection. The maximum height of the visibility triangle shall be 20 feet as measured vertically from the ground. (162)

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

It needs to be determined whether is plat is a replat or not. There are deed and previous plat restricted building lines shown on the plat. With the 15' platted building, this means it was a previous plat. Provide Vol 42 Pg 42.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 27
Action Date: 08/24/2017
Plat Name: Hidden Meadow Sec 9
Developer: Century Land Holdings of Texas, LLC
Applicant: McKim & Creed, Inc.
App No/Type: 2017-1450 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	14.6230	Total Reserve Acreage:	0.2832
Number of Lots:	99	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Greenwood Utility District
County	Zip	Key Map ©	City / ETJ
Harris	77044	417W	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Easements outside of plat boundary will need to be recorded prior to plat recordation

Coordinate with HCFCD if additional land for drainage channel is needed.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 28
Action Date: 08/24/2017
Plat Name: Hidden Meadow Sec 10
Developer: Century Land Holdings of Texas, LLC
Applicant: McKim & Creed, Inc.
App No/Type: 2017-1430 C3F

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	12.9850	Total Reserve Acreage:	1.3688
Number of Lots:	41	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Greenwood Utility District
County	Zip	Key Map ©	City / ETJ
Harris	77044	417W	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

052. East Little York street dedication sec 1 must be recorded prior to or simultaneously with this plat.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1) Remaining portion of east little York is to be included with future sections east of this plat, as shown on the markup.

2) East Little York street dedication sec 1 must be recorded prior to or simultaneously with this plat

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

East Little York Road will need to be recorded prior to or simultaneously with this plat

Easements outside of plat boundary will need to be recorded prior to plat recordation

UVE analysis at Van Hut intersections.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 29
Action Date: 08/24/2017
Plat Name: Jasmine Heights Sec 9
Developer: D.R. Horton-Texas Ltd., A Texas Limited Partnership
Applicant: Van De Wiele & Vogler, Inc.
App No/Type: 2017-1406 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	46.1800	Total Reserve Acreage:	16.0800
Number of Lots:	154	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 105
County	Zip	Key Map ©	City / ETJ
Harris	77449	406T	ETJ

Conditions and Requirements for Approval

023. Single-family residential lots in the suburban area shall have minimum 20-foot front building lines along the local street. Should the lot side or back a local street a 10-foot side or rear building line will be required. A further reduction in the front building line shall be allowed when using the typical lot layout. Add BL 158 illustration and notes on the plat. (158)

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

143. Minimum intersection spacing along a local street shall be 75 feet. (128)

143.2. Measure from ROW edge to ROW edge to accurately measure intersection spacing.

159. Provide centerline tie.

163. The minimum spacing of intersections along a major thoroughfare is 600 feet. (127)

Address intersection spacing/stub street along Bear Creek.

For Your Information:



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 29
Action Date: 08/24/2017
Plat Name: Jasmine Heights Sec 9
Developer: D.R. Horton-Texas Ltd., A Texas Limited Partnership
Applicant: Van De Wiele & Vogler, Inc.
App No/Type: 2017-1406 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Harris County Flood Control District: Flood Control review - No comments.
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Obtain INO letters from pipeline companies to cross over easement
Coordinate with HCFCD to determine if any additional land for drainage purposes is needed
UVE should be checked at Marigold Meadow Street and Westfield Creek Road.
EB left turn lane will be required on West Little York Road at Westfield Creek Road.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 30
Action Date: 08/24/2017
Plat Name: Jasmine Heights Sec 10
Developer: D.R. Horton-Texas Ltd., A Texas Limited Partnership
Applicant: Van De Wiele & Vogler, Inc.
App No/Type: 2017-1410 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	43.0500	Total Reserve Acreage:	0.8917
Number of Lots:	219	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 105
County	Zip	Key Map ©	City / ETJ
Harris	77449	406S	ETJ

Conditions and Requirements for Approval

023. Single-family residential lots in the suburban area shall have minimum 20-foot front building lines along the local street. Should the lot side or back a local street a 10-foot side or rear building line will be required. A further reduction in the front building line shall be allowed when using the typical lot layout. Add BL 158 illustration and notes on the plat. (158)

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

052. Jasmine Heights Sec 9 must be recorded prior to or simultaneously with this plat.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

137. Reverse curves for collector and local streets shall have a minimum centerline radius of 300 feet and be separated by a tangent distance of not less than 50 feet. (132)

143.2. Measure from ROW edge to ROW edge to accurately measure intersection spacing.

163. The minimum spacing of intersections along a major thoroughfare is 600 feet. (127)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 30
Action Date: 08/24/2017
Plat Name: Jasmine Heights Sec 10
Developer: D.R. Horton-Texas Ltd., A Texas Limited Partnership
Applicant: Van De Wiele & Vogler, Inc.
App No/Type: 2017-1410 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Harris County Flood Control District: Flood Control review - No comments.
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
need INO letter from pipeline company for pavement over easement
Median nose at the opening on W. Little York Road at Poppy Blossom Street should be designed to include extension of future left turn lane.
Street name should be consistent
Add 20' X20' corner cuts at Corisande st.
UVE will need to be checked at Westgreen and Corisande st.
UVE will need to be checked at Poppy Blossom and West Little York

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 31
Action Date: 08/24/2017
Plat Name: Katy Creek Ranch Market
Developer: Falcon Westheimer Parkway, Ltd.
Applicant: Windrose
App No/Type: 2017-1418 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.6925	Total Reserve Acreage:	1.6925
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris Fort Bend Counties MUD 5
County	Zip	Key Map ©	City / ETJ
Fort Bend	77494	485N	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

051. Tie plat boundary to the nearest intersection of public street rights-of-way.

059.1. Acreage in title and on plat must match at recordation.

189. Appendix E: Certificate for Engineer or Surveyor is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: 1) Submit to FBC for formal review
2) Submit civil construction plans
3) Add 10' landscape easement along Westheimer Pkwy
4) Update Commissioner Pct 1 to Vincent M. Morales, Jr., and County Clerk to Laura Richard
5) This review does not constitute a formal review by Fort Bend County as not all review comments are provided in this portal
PWE Utility Analysis: Approved
City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 32
Action Date: 08/24/2017
Plat Name: Lake House Sec 2
Developer: Trendmaker Homes, Inc.
Applicant: E.I.C. Surveying Company
App No/Type: 2017-1356 C3F

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	102.1918	Total Reserve Acreage:	35.1206
Number of Lots:	183	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Type 1 PAE
Water Type:	Proposed Utility District	Wastewater Type:	Proposed Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Waller	77493	444E	ETJ

Conditions and Requirements for Approval

022. Single-family residential lots in a suburban area shall have minimum 20-foot front building lines along the local street. Should a lot side or back a local street a 10-foot side or rear building line will be required. (158)
- 041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown of the face of the plat.
047. Make minor corrections and additions as indicated on the marked file copy.
057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)
058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)
091. Provide One-foot reserve as indicated on the plat and add applicable One-foot Reserve note to the plat. (193)
174. Add Permanent Access Easement note to the plat and/or add PAE paragraph to the Appendix A: Owner's Acknowledgement. (189)
176. All type 1 PAEs must comply with all public street standards. (122)
- 176.1. All type 1 PAEs must be designated as PAE/PUE to accommodate public utilities.
- 180.1. Add this note to the face of the plat: This subdivision contains one or more permanent access easements that have not been dedicated to the public or accepted by the City of Houston or any other local government agency as public rights-of-way. The City of Houston has no obligation, nor does any other local government agency have any obligation, to maintain or improve any permanent access easement within the subdivision, which obligation shall be the sole responsibility of the owners of property in this subdivision.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Check with Waller County, if any additional ROW dedication is needed.

For Your Information:



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 32
Action Date: 08/24/2017
Plat Name: Lake House Sec 2
Developer: Trendmaker Homes, Inc.
Applicant: E.I.C. Surveying Company
App No/Type: 2017-1356 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Addressing: "Fountain Place Lane" has 2 street types: place and lane. Please change name.
PWE Utility Analysis: Approve
City Engineer: DETENTION IS PROVIDED ON THIS SECTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 33
Action Date: 08/24/2017
Plat Name: Lakes of Bella Terra West Sec 2
Developer: LOB West, Inc
Applicant: Benchmark Engineering Corporation
App No/Type: 2017-1435 C3F

Staff Recommendation:
 Defer Additional
 information reqd

Total Acreage:	14.5590	Total Reserve Acreage:	3.0880
Number of Lots:	63	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Fort Bend	77406	525J	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

- 1).record lakes of bella terra sec 1 prior to or simultaneously with this plat
- 2)Provide a letter of no objection from Centerpoint and Coordinate with their Asset Planning & Optimization department via email at TransmissionReview@centerpoint.com
- 3)The remaining pipeline north of this plat will be recorded with section 6 of lakes of bella terra

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: 1) Provide 25' BL on Lot 3, Block 1 fronting Zanubia Court
 2) Provide transition between BL at Lot 19, Block 1 and Reserve A
 3) Submit civil construction plans
 4) This does not constitute a formal review by Fort Bend County as not all review comments are provided in this portal.

PWE Utility Analysis: Approve
 CenterPoint: Due to close proximity to CenterPoint Energy Transmission Corridor, developer/applicant must submit drainage and wet utility plans for further review to ensure no negative impact on rights, access, maintenance, and/or facilities.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 34
Action Date: 08/24/2017
Plat Name: Lakewood Heights Sec 3 partial replat no 1
Developer: N/A
Applicant: E.I.C. Surveying Company
App No/Type: 2017-1494 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.8264	Total Reserve Acreage:	0.8264
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	3	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77336	338R	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

051. Tie plat boundary to the nearest intersection of public street rights-of-way.

187. Appendix C:Lienholders Acknowledgement and Subordination Statement(s) is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be schedule using the online service.

Submit application online at houstonpermittingcenter.org

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

PWE Traffic: No comments.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 35
Action Date: 08/24/2017
Plat Name: LIDL West Road and SH249
Developer: LIDL US Operations LLC
Applicant: Jones|Carter - Woodlands Office
App No/Type: 2017-1484 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	4.2810	Total Reserve Acreage:	4.2810
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	Northwest Park MUD
County	Zip	Key Map ©	City / ETJ
Harris	77086	411B	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Coordinate with HCFCD to determine if additional drainage easements are required

Increase corner clip dimension L2 for dedication of additional ROW using dimensions in Geometric Guidelines (account for skew)

Provide documentation of TxDOT driveway permit with plans

UVE analysis at L2 for NB right on red at channelized turn lane

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 36
Action Date: 08/24/2017
Plat Name: Long Meadows partial replat no 2
Developer: N/A
Applicant: The Interfield Group
App No/Type: 2017-1489 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.4610	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	9	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77024	489H	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1)This is an FYI only: A tree located in the right-of-way (ROW) is identified on the existing conditions survey. Trees located partially or wholly within the City ROW are protected by Article VI of Ch. 33 of the Houston Code of Ordinances. Refer to Ch. 16 of the Infrastructure Design Manual for tree protection procedures. If removal is required, the procedure as outlined in 33-155 must be abided. No tree in the ROW may be removed without an approved tree removal permit.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be schedule using the online service.

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 37
Action Date: 08/24/2017
Plat Name: Mason McAlister Place GP
Developer: MCI GRAND PARKWAY, LTD
Applicant: Jones|Carter - Woodlands Office
App No/Type: 2017-1495 GP

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	8.5000	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 71
County	Zip	Key Map ©	City / ETJ
Harris	77449	445H	ETJ

Conditions and Requirements for Approval

046. General Plan approval is for street patterns as shown on the plat only. (24)

046.1. Approval of the General Plan shall remain in effect for four years from the date of the Commission approval. Renewal of the GP shall occur when a section meeting the requirements of 42-24 (f) is recorded.

047. Make minor corrections and additions as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Harris County Flood Control District: Flood Control review - Include HCFCD Fee information, show and label channel U101-00-00 and top of banks on the plat.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 38
Action Date: 08/24/2017
Plat Name: Mason McAlister Place Sec 1
Developer: MCI GRAND PARKWAY, LTD
Applicant: Jones|Carter - Woodlands Office
App No/Type: 2017-1413 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	3.3900	Total Reserve Acreage:	3.3900
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 71
County	Zip	Key Map ©	City / ETJ
Harris	77449	445H	ETJ

Conditions and Requirements for Approval

047.1. Make minor corrections and additions as indicated on scanned image file attached to the application.

049.4. Add the following plat note for plats located in Montgomery and Liberty counties: The Coordinates shown hereon are Texas Central Zone no. 4203 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

116. Add BL plat note: Unless otherwise indicated, the building line (b.l.), whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time. (150)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 38
Action Date: 08/24/2017
Plat Name: Mason McAlister Place Sec 1
Developer: MCI GRAND PARKWAY, LTD
Applicant: Jones|Carter - Woodlands Office
App No/Type: 2017-1413 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Harris County Flood Control District: Flood Control review - Label channel U101-00-00 Mayde Creek (see uploaded PDF).

City Engineer: MAKE SURE DETENTION IS CALLED OUT ON PLAT

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Plat shall not be recorded for abandonment of Glen Mills Drive until conditions of abandonment letter from 2015 have been fulfilled

Remove stub and adjust acreage as if stub was abandoned. County denies variance.

Limited scope TIA will be required prior to approval of site plans to confirm driveway and left turn lane requirements.

L7 should be 28.28' for 20 ft x 20 ft cutback at Bridgewater Village Drive and Mason Rd.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 39
Action Date: 08/24/2017
Plat Name: McDonalds Mercury
Developer: McDonald's Real Estate Company d/b/a (Delaware) McDonald's Real Estate Company
Applicant: Texas Engineering And Mapping Company
Ann No/Type: 2017-1449 C2

Staff Recommendation:
 Approve the plat subject to the conditions listed

Total Acreage:	0.8532	Total Reserve Acreage:	0.8532
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	4	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77013	496E	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

134.04. Add to general notes on face of plat: This property(s) is located in Park Sector number 4.

146.1. Provide for dedication of cutback(s) as indicated on the marked file copy.

187. Appendix C:Lienholders Acknowledgement and Subordination Statement(s) is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1) Add multi family note

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 39

Action Date: 08/24/2017

Plat Name: McDonalds Mercury

Developer: McDonald's Real Estate Company d/b/a (Delaware) McDonald's Real Estate Company

Applicant: Texas Engineering And Mapping Company

App No/Type: 2017-1449 C2

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.
(Low or high impact process)

Appointments may be scheduled using the Online Queuing Service

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION IS PROVIDED

Staff Recommendation:

Approve the plat subject to the conditions listed

Harris County Flood Control District: Flood Control review - No comments.

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 4.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 40
Action Date: 08/24/2017
Plat Name: Mediterranean Forest
Developer: American Citihome Group, Inc
Applicant: Owens Management Systems, LLC
App No/Type: 2017-1281 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	8.8805	Total Reserve Acreage:	1.8205
Number of Lots:	68	Number of Multifamily Units:	0
COH Park Sector:	18	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77072	528R	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

178. The intersection angle created by two type 2 PAEs or private streets shall be between 80- and 90-degrees. With a 90-degree angle the intersection shall have a 20-ft. radius. With an angle less than a 90-degree the intersection shall have a 25-ft. radius. (129, 231)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Provide at least one fire hydrant within 100' from the intersection of a public street and private street.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 40
Action Date: 08/24/2017
Plat Name: Mediterranean Forest
Developer: American Citihome Group, Inc
Applicant: Owens Management Systems, LLC
App No/Type: 2017-1281 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to WCR application.
Low or high impact process.
Submit application online at houstonpermittingcenter.org

City Engineer: IF THE F.H. ARE PRIVATE, IT NEED 15'X25' W.M.E. FOR PRIVATE FIRE LINE USE. IF THE F.H. AND FIRE LINE ARE PUBLIC, IT NEED 10'X10' F.H.E. AND 20' W.L.E., ALSO DETENTION IS REQUIRED AND NEED W.M.E.
DRAINAGE PLAN IS APPROVED

PWE Traffic: on-street parking can be accommodated along the 28' P.A.E.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 41
Action Date: 08/24/2017
Plat Name: Morgan Addition partial replat no 6
Developer: Five Star Management
Applicant: Tetra Surveys
App No/Type: 2017-1488 C3F

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	0.1403	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77019	492V	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

A tree located in the right-of-way (ROW) is identified on the existing conditions survey. Trees located partially or wholly within the City ROW are protected by Article VI of Ch. 33 of the Houston Code of Ordinances. Refer to Ch. 16 of the Infrastructure Design Manual for tree protection procedures. If removal is required, the procedure as outlined in 33-155 must be abided. No tree in the ROW may be removed without an approved tree removal permit.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be schedule using the online service.

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 42
Action Date: 08/24/2017
Plat Name: North Eldridge Business Park
Developer: Robco North Eldridge, LLC
Applicant: Hovis Surveying Company Inc.
App No/Type: 2017-1436 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	3.1736	Total Reserve Acreage:	3.1167
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77377	328M	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 42
Action Date: 08/24/2017
Plat Name: North Eldridge Business Park
Developer: Robco North Eldridge, LLC
Applicant: Hovis Surveying Company Inc.
App No/Type: 2017-1436 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approve
City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c) (<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org . For drainage analysis related questions, please email civildevel@hcpid.org .

ROW dedication width and site plan approval required by N Eldridge CIP project manager

Limited scope TIA required for driveway and left turn lane locations, dimensions and developer construction requirements.

Left turn lane construction as part of County CIP project will require a developer contribution agreement.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 43
Action Date: 08/24/2017
Plat Name: Peron 2920
Developer: Canterra Classics
Applicant: Terra Associates, Inc.
App No/Type: 2017-1421 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.7000	Total Reserve Acreage:	1.7000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Bridgestone MUD
County	Zip	Key Map ©	City / ETJ
Harris	77388	290R	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

202. Include Harris County Road Law certificate to Appendix A: Owners Acknowledgement. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

1. Provide a 15' X 15' (at minimum) cutback as shown on the marked up copy, make sure to subtract cutback area from internal plat boundary acreage/sq. feet.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved
City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 44
Action Date: 08/24/2017
Plat Name: Rancho Verde GP
Developer: D.R. Horton-Texas, LTD
Applicant: Huitt-Zollars, Inc.
App No/Type: 2017-1473 GP

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	361.5900	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77530	458W	ETJ

Conditions and Requirements for Approval

045. The alignment and width of all major thoroughfares within or adjacent to the proposed General Plan shall conform to the requirements of the most recent Major Thoroughfare and Freeway Plan. (24)

046. General Plan approval is for street patterns as shown on the plat only. (24)

046.1. Approval of the General Plan shall remain in effect for four years from the date of the Commission approval. Renewal of the GP shall occur when a section meeting the requirements of 42-24 (f) is recorded.

054. Reference 42-41 through 42-51 for plat, general plan and street dedication plat graphical and legal requirements.

056. Sections of a subdivision shall be identified numerically and sequentially.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

Internal intersection spacing must be met.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 44
Action Date: 08/24/2017
Plat Name: Rancho Verde GP
Developer: D.R. Horton-Texas, LTD
Applicant: Huitt-Zollars, Inc.
App No/Type: 2017-1473 GP

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION IS PROVIDED ON GP

Harris County Flood Control District: Flood Control review - Include Key Map information on the Vicinity Map.
Harris Engineer: This general plan is contingent upon review and approval of the Harris County Engineering Department prior to recording section plats.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Limited scope TIA at Dell Dale at Rancho Plata Drive intersection, including TSWS for subdivision build-out
Plans to include left turn lane and other recommended improvements (or commitment letter for improvements to be constructed with future sections)

Provide UVE analysis Dell Dale at Rancho Plata Drive

Provide U-turn template for access to lots near Dell Dale if raised median planned on Rancho Plata Drive

Provide AM peak hour westbound queuing analysis at Dell Dale, include recommended No Parking signs on plans

School zone flashers on Dell Dale at proposed Rancho Plata to be relocated at developer expense show on plans with note: "Contact 713-881-3210 Harris County Signal Maintenance 48 hours prior to flasher relocation"

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 45
Action Date: 08/24/2017
Plat Name: Rancho Verde North Detention Reserve
Developer: Sunlake Limited
Applicant: Huitt-Zollars, Inc.
App No/Type: 2017-1180 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	7.5610	Total Reserve Acreage:	7.5610
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77049	458S	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved
Harris County Flood Control District: Flood Control review - Include HCFCD Easement information and correct width (it is 120' not 220'), see uploaded PDF.
Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 46
Action Date: 08/24/2017
Plat Name: Rancho Verde Sec 9
Developer: D.R. Horton-Texas, LTD
Applicant: Huitt-Zollars, Inc.
App No/Type: 2017-1474 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	44.0980	Total Reserve Acreage:	18.6850
Number of Lots:	142	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	MUD 84 and MUD 52
County	Zip	Key Map ©	City / ETJ
Harris	77530	458W	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown of the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

052. Rancho Verde Sec 10 must be recorded prior to or simultaneously with this plat.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 46
Action Date: 08/24/2017
Plat Name: Rancho Verde Sec 9
Developer: D.R. Horton-Texas, LTD
Applicant: Huitt-Zollars, Inc.
App No/Type: 2017-1474 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION, AND DRAINAGE PLAN IS NOT APPROVED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Easements outside of plat boundary would need to be dedicated by separate instrument

A sanitary control easement may need a TCEQ exemption for ROW encroachment prior to plat recordation

SB left turn lane will be required on Dell Dale at Rancho Plata Drive (Traffic)

UVE should be checked at Rancho Plata Drive and Dell Dale Street (Traffic)

TIA will be required to evaluate Dell Dale intersection layout, future signalization on completion of development within GP, pedestrian path to adjacent schools: Alice Johnson Jr. High, adjacent to drainage reserve and other schools along Dell Dale Street, school zone signage on Rancho Plata Drive (Traffic)

Plans to include left turn lane and other recommended improvements (or commitment letter for improvements to be constructed with future sections)

Provide u-turn template for access to lots near Dell Dale if raised median planned on Rancho Plata Drive

Provide AM peak hour westbound queueing analysis at Dell Dale, include recommended No Parking signs on plans

School zone flashers on Dell Dale at proposed Rancho Plata to be relocated at developer expense show on plans with note: "Contact 713-881-3210 Harris County Signal Maintenance 48 hours prior to flasher relocation"

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 47
Action Date: 08/24/2017
Plat Name: Rancho Verde Sec 10
Developer: D.R. Horton-Texas, LTD
Applicant: Huitt-Zollars, Inc.
App No/Type: 2017-1476 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	18.1800	Total Reserve Acreage:	0.5540
Number of Lots:	101	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77530	458W	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown of the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

052. Rancho Verde Sec 9 must be recorded prior to or simultaneously with this plat.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 47
Action Date: 08/24/2017
Plat Name: Rancho Verde Sec 10
Developer: D.R. Horton-Texas, LTD
Applicant: Huitt-Zollars, Inc.
App No/Type: 2017-1476 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION, AND DRAINAGE PLAN IS NOT APPROVED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c) (<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org . For drainage analysis related questions, please email civildevel@hcpid.org .

Easements dedicated by separate instrument will need to be recorded prior to or simultaneously with this plat. Sec 9 will need to be recorded prior to or simultaneously with this plat.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 48
Action Date: 08/24/2017
Plat Name: Rancho Verde Sec 11
Developer: D.R. Horton-Texas, LTD
Applicant: Huitt-Zollars, Inc.
App No/Type: 2017-1178 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	15.0200	Total Reserve Acreage:	0.5546
Number of Lots:	96	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77530	458W	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
063. All appropriate engineering and surveying data shall be shown. (42 & 44)
064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved
Harris County Flood Control District: Flood Control review - No comments.
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Sec 10 will need to be recorded prior to or simultaneously with this plat
Easements outside of plat boundary will need to be recorded prior to plat recordation

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 49
Action Date: 08/24/2017
Plat Name: Reserve at Clear Lake City Sec 13
Developer: Trendmaker Development
Applicant: BGE|Kerry R. Gilbert Associates
App No/Type: 2017-1429 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	20.9000	Total Reserve Acreage:	4.1600
Number of Lots:	53	Number of Multifamily Units:	0
COH Park Sector:	21	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77059	578U	City

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

159. Provide centerline tie.

ADD FOLLOWING NOTE: The Planning Commission granted a variance to allow excessive intersection spacing along the eastern property boundary subject to specific conditions on 2014-0908. The variance approval was contingent on the proposed land use. Any change of land use would make the variance approval invalid and may require a replat.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



PLANNING & DEVELOPMENT DEPARTMENT

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 49
Action Date: 08/24/2017
Plat Name: Reserve at Clear Lake City Sec 13
Developer: Trendmaker Development
Applicant: BGE|Kerry R. Gilbert Associates
App No/Type: 2017-1429 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.
(Low or high impact process)

Appointments may be scheduled using the Online Queuing Service

Submit application online at houstonpermittingcenter.org

CenterPoint: Due to close proximity to CenterPoint Energy Transmission Corridor, developer/applicant must submit drainage and wet utility plans for further review to ensure no negative impact on rights, access, maintenance, and/or facilities.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 50
Action Date: 08/24/2017
Plat Name: Reserves at Huffmeister
Developer: Smithers Merchant Builders, LP
Applicant: BGE, Inc.
App No/Type: 2017-1427 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	10.4140	Total Reserve Acreage:	10.4140
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	Harris County FWSD 61
County	Zip	Key Map ©	City / ETJ
Harris	77429	368K	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.
City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Left turn lane construction on plans for driveway facing median opening
Increase Birdcall Lane corner clip with ROW dedication to comply with Geometric Guidelines
Show UVE on plat.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 51
Action Date: 08/24/2017
Plat Name: Rosehill Reserve GP
Developer: Rosehill Reserve
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2017-1451 GP

Staff Recommendation:
 Defer Additional
 information reqd

Total Acreage:	329.1960	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77377	286Q	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

Coordinate with Harris County and Transportation Group the alignment of Major Thoroughfares through the GP.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.
 City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This general plan is contingent upon review and approval of the Harris County Engineering Department prior to recording section plats
 Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
 Label Holderrieth Road on GP per markups and approved MTFP alignment
 Relocate stub street at east boundary to avoid conflict with existing pond and church structures.
 Plat is requested to be deferred.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 52
Action Date: 08/24/2017
Plat Name: Rosehill Reserve Sec 8
Developer: Rosehill Reserve
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2017-1333 C3P

Staff Recommendation:
 Defer Additional
 information reqd

Total Acreage:	17.5890	Total Reserve Acreage:	1.8230
Number of Lots:	70	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77377	286R	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved

Addressing: Change Royal Rose Road to Royal Bush Road on final plat. Add street breaks to plat.

Harris County Flood Control District: Flood Control review - No comments.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

"Trace" doesn't appear to be a street name suffix. Choose another suffix.

Easements outside plat boundary will need to be recorded before plat recordation

Plat is requested to be deferred along with GP

Label Rose Hill Church Road with recording information at east boundary L2

Revise Royal Rose at Blooming Hill to eliminate Reserve E blocking a northerly extension of Blooming Hill needed for compliance with Chapter 42 block length, add 1 ft. reserves where ROW is adjacent to acreage

Provide all-way stop neighborhood collector warrant recommendation letter Royal Rose at Blooming Hill.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 53
Action Date: 08/24/2017
Plat Name: THV Commercial on Beltway 8
Developer: THV EQUIPMENT HOLDINGS USA
Applicant: tejas surveying, inc
App No/Type: 2017-1433 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	7.9770	Total Reserve Acreage:	7.5475
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	7	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77048	574W	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.
(Low or high impact process)
Appointments may be scheduled using the Online Queuing Service
Submit application online at houstonpermittingcenter.org
City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 54
Action Date: 08/24/2017
Plat Name: Unique Boat and RV
Developer: Hanna Elias
Applicant: Texas Engineering And Mapping Company
App No/Type: 2017-1447 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	7.5472	Total Reserve Acreage:	5.2868
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Fort Bend	77406	524P	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047.1. Make minor corrections and additions as indicated on scanned image file attached to the application.

051. Tie plat boundary to the nearest intersection of public street rights-of-way.

186. Appendix B: Execution of Owners Acknowledgement is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



PLANNING & DEVELOPMENT DEPARTMENT

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 54
Action Date: 08/24/2017
Plat Name: Unique Boat and RV
Developer: Hanna Elias
Applicant: Texas Engineering And Mapping Company
App No/Type: 2017-1447 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Fort Bend Engineer: 1) Add sidewalk note
2) Coordinate ROW dedication and contribution to build with FBC Engineering
3) Add note stating "A minimum distance of 10' shall be maintained between residential dwellings"
4) ID easement types
5) This does not constitute a formal review by Fort Bend County as not all review comments are provided in this portal.
PWE Utility Analysis: Approve.
City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 55
Action Date: 08/24/2017
Plat Name: Unique Truck Parts
Developer: June Design
Applicant: Gruller Surveying
App No/Type: 2017-1309 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.5161	Total Reserve Acreage:	0.5161
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	4	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77013	455Z	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047.1. Make minor corrections and additions as indicated on scanned image file attached to the application.

051. Tie plat boundary to the nearest intersection of public street rights-of-way.

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)
Provide the complete information about the Lienholder on the title report.

190.2. Add 'Martha L. Stein, Chair' as Chair in the Planning Commission certificate.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 56
Action Date: 08/24/2017
Plat Name: Villas at Spring Shadows replat no 1
Developer: KB Home
Applicant: BGE, Inc.
App No/Type: 2017-1466 C3F

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	4.0600	Total Reserve Acreage:	1.0879
Number of Lots:	40	Number of Multifamily Units:	0
COH Park Sector:	10	Street Type (Category):	Type 2 PAE
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77043	450J	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047.1. Make minor corrections and additions as indicated on scanned image file attached to the application.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the application.

(Low or high impact process)

Appointments may be schedule using the online service.

Submit application online at houstonpermittingcenter.org

City Engineer: IF THE F.H. ARE PRIVATE, IT NEED 15'X25' W.M.E. FOR PRIVATE FIRE LINE USE. IF THE F.H. AND FIRE LINE ARE PUBLIC, IT NEED 10'X10' F.H.E. AND 20' W.L.E., AND NEED W.M.E. DETENTION IS PROVIDED.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 57
Action Date: 08/24/2017
Plat Name: Westgreen Developments Sec 1
Developer: Christian Bach Investments, LLC
Applicant: Windrose
App No/Type: 2017-1367 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	6.2200	Total Reserve Acreage:	6.2200
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77449	406N	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 57
Action Date: 08/24/2017
Plat Name: Westgreen Developments Sec 1
Developer: Christian Bach Investments, LLC
Applicant: Windrose
App No/Type: 2017-1367 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approve

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: Flood Control review - No comments.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c)

(<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org. For drainage analysis related questions, please email civildevel@hcpid.org

Documentation of TxDOT driveway approval should be submitted with site plans.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 58
Action Date: 08/24/2017
Plat Name: Wheeler Avenue Baptist Church North
Developer: Horizon Group International
Applicant: Owens Management Systems, LLC
App No/Type: 2017-1464 C2

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	4.8880	Total Reserve Acreage:	4.8880
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	15	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77004	533D	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the application.

(Low or high impact process)

Appointments may be schedule using the online service.

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED, ALSO NEED TO SHOW B.L. ON WHEELER STREET.

PWE Traffic: No comments.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 59
Action Date: 08/24/2017
Plat Name: Windrow Sec 1
Developer: Affiliated Properties, LP
Applicant: Costello, Inc.
App No/Type: 2017-1491 C3P

Staff Recommendation:
Defer for further study and
review

Total Acreage:	34.8900	Total Reserve Acreage:	5.6756
Number of Lots:	157	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77447	325E	ETJ

Conditions and Requirements for Approval

012.2.1 Dead-end utility easements are not permitted.

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

053. Change street name(s) as indicated on the file copy to avoid duplication.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

077. Minimum lot size in the suburban area is 5000 square feet without compensating open space. (182)

080. Add the Lot Size - Suburban Compensating Open Space Table and plat notes to the plat. (184)

146. Identify, dimension and provide square footage for all right-of-way dedications.

186. Appendix B: Execution of Owners Acknowledgement is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

206. Staff recommendation is disapproval for the following reasons;
Compensating Open Space Table,
Coordinate with county for entrance to Zube Park,
Right-of-Way dedication.

For Your Information:



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 60
Action Date: 08/24/2017
Plat Name: Woodlands Creekside Park West Sec 39
Developer: THE WOODLANDS LAND DEVELOPMENT COMPANY, LP
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2017-1486 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	24.6980	Total Reserve Acreage:	9.6090
Number of Lots:	48	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77375	249U	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

052. Wentwoods Drive must be recorded prior to or simultaneously with this plat.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

139. Dedicate 5' for widening of Zion Lutheran Cemetery Road as indicated on the marked file copy.

146. Identify, dimension and provide square footage for all right-of-way dedications. "xx s.f. are hereby dedicated to the public for right-of-way purposes.

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Add following note on face of the plat: All lots shall have adequate wastewater collection services.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 60

Action Date: 08/24/2017

Plat Name: Woodlands Creekside Park West Sec 39

Developer: THE WOODLANDS LAND DEVELOPMENT COMPANY, LP

Applicant: LJA Engineering, Inc.- (West Houston Office)

App No/Type: 2017-1486 C3F

Staff Recommendation:

Approve the plat subject to the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Wendtwoods Drive Street dedication plat will need to be recorded prior to Sec 39 plat recordation

UVE analysis at Mariposa Woods at Creekside Forest Drive (both directions)

Street acceptance for Wendtwoods Drive will need to occur before street acceptance for this plat

Dedicate 5 feet of widening along Zion Lutheran Cemetery Road.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 61
Action Date: 08/24/2017
Plat Name: Woodridge Forest Sec 19
Developer: WR Forest, LLC
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2017-1385 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	4.6810	Total Reserve Acreage:	0.6110
Number of Lots:	27	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Woodridge MUD
County	Zip	Key Map ©	City / ETJ
Montgomery	77365	296T	ETJ

Conditions and Requirements for Approval

012.2.1 Dead-end utility easements are not permitted.

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

049.4. Add the following plat note for plats located in Montgomery and Liberty counties: The Coordinates shown hereon are Texas Central Zone no. 4203 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

052. Woodridge Forest Sec 10 (App No 2017-1377) must be recorded prior to or simultaneously with this plat.

159. Provide centerline tie.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Coordinate UE with Montgomery County and provide letter of approval at recordation.

Add wastewater note on face of the plat: All lots shall have adequate wastewater collection service.

Add CenterPoint note on face of the plat: Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.

For Your Information:



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 61
Action Date: 08/24/2017
Plat Name: Woodridge Forest Sec 19
Developer: WR Forest, LLC
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2017-1385 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Applications may be schedule using the online system.

Submit application online at houstonpermittingcenter.org

City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Harris County Flood Control District: Flood Control review - Plat is entirely in Montgomery County. Include Key Map information on the vicinity map.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 62
Action Date: 08/24/2017
Plat Name: Yogi Divine Society of Texas
Developer: Yogi Divine Society of Texas, LLC
Applicant: Windrose
App No/Type: 2017-1487 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	4.3270	Total Reserve Acreage:	4.3270
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	Spring Creek Forest PUD
County	Zip	Key Map ©	City / ETJ
Harris	77379	330H	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 190.2. Add 'Martha L. Stein, Chair' as Chair in the Planning Commission certificate.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: Flood Control review - No comments.
Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Coordinate with HCFCD to determine if any additional drainage easements are required
Limited scope TIA required for driveway and left turn lane locations, dimensions and developer construction requirements.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 63
Action Date: 08/24/2017
Plat Name: Dixon Financial Services LTD
Developer: ADVANCE SURVEYING, INC.
Applicant: Advance Surveying, Inc.
App No/Type: 2017-1434 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	5.0000	Total Reserve Acreage:	5.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	7	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77061	535T	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be scheduled using the Online Queuing Service

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

PWE Traffic: No comments.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 64
Action Date: 08/24/2017
Plat Name: Downey Oaks Place
Developer: downey oaks llc
Applicant: Replat Specialists
App No/Type: 2017-1256 C2R

Staff Recommendation:
Defer Chapter 42 planning standards

Total Acreage:	0.4619	Total Reserve Acreage:	0.0046
Number of Lots:	8	Number of Multifamily Units:	0
COH Park Sector:	2	Street Type (Category):	Combination
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77076	413T	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

134.02. Add to general notes on face of plat: This property(s) is located in Park Sector number 2.

190.2. Add 'Martha L. Stein, Chair' as Chair in the Planning Commission certificate.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

216. Add shared driveway plat notes: 2) Vehicular access to each lot is provided for by a shared driveway only.

220. Add shared driveway plat notes: 5) This subdivision contains one or more shared driveways that have not been dedicated to or accepted by the City of Houston or any other local government agency as public rights-of-way. The City of Houston has no obligation, nor does any other local government agency have any obligation, to maintain or improve any shared driveways within the subdivision, which obligation shall be the sole responsibility of the owners of property in this subdivision.

1. Use new Centerpoint note: Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.

2. Provide new survey if there is no existing dwelling unit and disregard correlating mark ups.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 64
Action Date: 08/24/2017
Plat Name: Downey Oaks Place
Developer: downey oaks llc
Applicant: Replat Specialists
App No/Type: 2017-1256 C2R

Staff Recommendation:
Defer Chapter 42 planning standards

Parks and Recreation: • To be added to the general notes on the face of the plat: No building permit or other permit, except permits for construction of public improvements, will be issued by the City of Houston, Texas, for construction within the subdivision until such time as the funds required under provisions of Section 42-253 of the Code of Ordinances of the City of Houston, Texas, has been submitted and accepted by the City.

- To be corrected on the general notes on face of plat: This property(s) is located in Park Sector number .
- This percentage (100%) shall be applied to the then-current fee in lieu of dedication.

To be corrected on the general notes on face of plat: The then-current fee in lieu of dedication shall be applied to this number (8 units) of dwelling units.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION IS REQUIRED AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 65
Action Date: 08/24/2017
Plat Name: Goliad Park
Developer: ZGQ DEVELOPMENT LLC
Applicant: Bates Development Consultants
App No/Type: 2017-1444 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1148	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77007	493G	City

Conditions and Requirements for Approval

1. Revise lot size table.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: = As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.
(Low or high impact process)

Appointments may be scheduled using the Online Queuing Service

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%
AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION.

PWE Traffic: No comments.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 66
Action Date: 08/24/2017
Plat Name: Gonzalez Corner
Developer: Survtech Surveyors
Applicant: Survtech Corporation
App No/Type: 2017-1275 C2R

Staff Recommendation:
 Defer Chapter 42 planning
 standards

Total Acreage:	0.5200	Total Reserve Acreage:	0.5200
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	20	Street Type (Category):	Combination
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77396	375S	City

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

020. The building lines established along non-major thoroughfares for non-single-family residential properties shall have a 10-foot building line unless otherwise noted. (156)

030. Provide a fully dimensioned 15' x 15' visibility triangle at each street intersection. Add Visibility Triangle note to the plat. (162)

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

100. If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

127. Provide Visibility Triangle at intersections and add plat note: The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle. This area shall assure adequate visibility sight lines for vehicular traffic approaching the intersection. The maximum height of the visibility triangle shall be 20 feet as measured vertically from the ground. (162)

134.20. Add to general notes on face of plat: This property(s) is located in Park Sector number 20.

189. Appendix E: Certificate for Engineer or Surveyor is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

205. The names of all persons who will sign the plat shall be lettered under a line provided for the signatures. (45)

207.1. Staff requests a two week deferral for further study and legal review of the separately filed deed restrictions.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 66
Action Date: 08/24/2017
Plat Name: Gonzalez Corner
Developer: Survtech Surveyors
Applicant: Survtech Corporation
App No/Type: 2017-1275 C2R

Staff Recommendation:
Defer Chapter 42 planning standards

1. Add Centerpoint note: Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED AND MISSING B.L.

Harris County Flood Control District: Flood Control review - Include channel number and HCFCD Easement information on the plat (see uploaded PDF).

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 20.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 67
Action Date: 08/24/2017
Plat Name: Gonzalez Estates
Developer: Survtech Surveyors
Applicant: Survtech Corporation
App No/Type: 2017-1270 C2R

Staff Recommendation:
Defer Chapter 42 planning standards

Total Acreage:	0.4100	Total Reserve Acreage:	0.4100
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	20	Street Type (Category):	Combination
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77396	374V	City

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

020. The building lines established along non-major thoroughfares for non-single-family residential properties shall have a 10-foot building line unless otherwise noted. (156)

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

100. If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

134.20. Add to general notes on face of plat: This property(s) is located in Park Sector number 20.

159. Provide intersection tie.

189. Appendix E:Certificate for Engineer or Surveyor is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

205. The names of all persons who will sign the plat shall be lettered under a line provided for the signatures. (45)

207.1. Staff requests a two week deferral for further study and legal review of the separately filed deed restrictions.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

1. Add Centerpoint note: Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 67

Action Date: 08/24/2017

Plat Name: Gonzalez Estates

Developer: Survtech Surveyors

Applicant: Survtech Corporation

App No/Type: 2017-1270 C2R

Staff Recommendation:

Defer Chapter 42 planning standards

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application. Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED AND MISSING B.L.

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 20.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 68
Action Date: 08/24/2017
Plat Name: Grand Parkway Marketplace partial replat no 2
Developer: GP Marketplace 1750, LLC
Applicant: BGE, Inc.
App No/Type: 2017-1452 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	5.0830	Total Reserve Acreage:	5.0830
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77389	290L	ETJ

Conditions and Requirements for Approval

043. Identify adjacent tracts with correct record information.
047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.
City Engineer: DETENTION IS REQUIRED

Harris Engineer: plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Grand parkway marketplace partial replat no 1 and extension will need to be recorded prior to or simultaneously with this plat
Increase corner clip dimension L2, revise angle for dedication complying with Geometric Guidelines for skew shown revise building line setbacks at corner.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 69
Action Date: 08/24/2017
Plat Name: Independent Mods
Developer: ADVANCE SURVEYING, INC.
Applicant: Advance Surveying, Inc.
App No/Type: 2017-1205 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1287	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77022	453N	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 70
Action Date: 08/24/2017
Plat Name: KSR Addition partial replat no 1
Developer: Vaquero Ventures
Applicant: JPH
App No/Type: 2017-1458 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	2.1250	Total Reserve Acreage:	2.1250
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77379	329H	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

- 1)add replat language
- 2)title block should match legal description.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.
City Engineer: DETENTION IS REQUIRED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c)

(<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org. For drainage analysis related questions, please email civildevel@hcpid.org.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 71
Action Date: 08/24/2017
Plat Name: Lincoln Heights partial replat no 1
Developer: jose martinez
Applicant: Replat Specialists
App No/Type: 2017-1265 C2R

Staff Recommendation:
Defer Chapter 42 planning standards

Total Acreage:	0.1607	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77022	453N	City

Conditions and Requirements for Approval

025. Single family residential lots in the urban area adjacent to a collector or local street shall have a 10 foot building line for the principal structure and a 17 foot building line for any carport or garage. Add BL 159 A illustration and notes to the plat. (159)

030. Provide a fully dimensioned 15' x 15' visibility triangle at each street intersection. Add Visibility Triangle note to the plat. (162)

047. Make minor corrections and additions as indicated on the marked file copy.

146. Identify, dimension and provide square footage for all right-of-way dedications. "xx s.f. are hereby dedicated to the public for right-of-way purposes.

190.2. Add ' Martha L Stein' Martha L Stein 'certificate.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

- 1)revise lot size and calculation within lot coverage table.
- 2)Provide all typical lot layout notes.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 71
Action Date: 08/24/2017
Plat Name: Lincoln Heights partial replat no 1
Developer: jose martinez
Applicant: Replat Specialists
App No/Type: 2017-1265 C2R

Staff Recommendation:
Defer Chapter 42 planning standards

Parks and Recreation: • To be corrected on the general notes on face of plat: This property(s) is located in Park Sector number 1.

To be corrected on the general notes on face of plat: The then-current fee in lieu of dedication shall be applied to this number (3 units) of dwelling units.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 72
Action Date: 08/24/2017
Plat Name: Lyons Redev Fortieth Venture
Developer: South by Northwest, LP
Applicant: Karen Rose Engineering and Surveying
App No/Type: 2017-1439 C2R

Staff Recommendation:
Defer Applicant request

Total Acreage:	0.2296	Total Reserve Acreage:	0.0000
Number of Lots:	4	Number of Multifamily Units:	0
COH Park Sector:	17	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77020	494C	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
063. All appropriate engineering and surveying data shall be shown. (42 & 44)
064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)
187. Appendix C:Lienholders Acknowledgement and Subordination Statement(s) is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)
209. Applicant has requested that this item be deferred for two weeks.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

PWE Utility Analysis: Lot 3 does not front sanitary service. Therefore,
A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.
(Low or high impact process)
Appointments may be scheduled using the Online Queuing Service
Submit application online at houstonpermittingcenter.org

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 73
Action Date: 08/24/2017
Plat Name: Lyons Redev Thirtysixth Venture
Developer: South by Northwest, LP
Applicant: Karen Rose Engineering and Surveying
App No/Type: 2017-1438 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.2431	Total Reserve Acreage:	0.0000
Number of Lots:	4	Number of Multifamily Units:	0
COH Park Sector:	17	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77020	494B	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1) all city liens must be paid prior to recordation

2) FYI only: A tree located in the right-of-way (ROW) is identified on the existing conditions survey. Trees located partially or wholly within the City ROW are protected by Article VI of Ch. 33 of the Houston Code of Ordinances. Refer to Ch. 16 of the Infrastructure Design Manual for tree protection procedures. If removal is required, the procedure as outlined in 33-155 must be abided. No tree in the ROW may be removed without an approved tree removal permit.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

PWE Utility Analysis: Lot 3 does not front COH sanitary sewer. Therefore, A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be scheduled using the Online Queuing Service

Submit application online at houstonpermittingcenter.org



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 74
Action Date: 08/24/2017
Plat Name: Medrano Property
Developer: JC CONTRACTORS, LLC
Applicant: Boundary One, LLC
App No/Type: 2017-1298 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.5580	Total Reserve Acreage:	0.5580
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	9	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77063	490X	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Add Intersection Tie, to nearest ROW, on the same side of plat boundary i.e Westpark Drive or Pagewood Lane.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 75
Action Date: 08/24/2017
Plat Name: Memorial Heights Estates
Developer: Lamar Builders
Applicant: The Interfield Group
App No/Type: 2017-1498 C2R

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	1.5110	Total Reserve Acreage:	0.1630
Number of Lots:	40	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77007	493J	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

134.9 If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointment may be schedule using the online Queuing service.

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED



Agenda Item: 76
Action Date: 08/24/2017
Plat Name: Neuen Estates
Developer: Dajag Investments, LLC
Applicant: Owens Management Systems, LLC
App No/Type: 2017-1374 C2R

Staff Recommendation:
Withdraw

Total Acreage:	0.2335	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	10	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77080	450T	City

Conditions and Requirements for Approval

- 1)show 17' garage B.L as indicated on the markup.
- 2)plat does not meet special lot size square footage

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.
(Low or high impact process)

Appointments may be scheduled using the Online Queuing Service
Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Harris County Flood Control District: Flood Control review - No comments.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 77
Action Date: 08/24/2017
Plat Name: Oxford Landing
Developer: Gotham Development
Applicant: Total Surveyors, Inc.
App No/Type: 2017-1455 C2R

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	0.1435	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77007	493A	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

185. Add Visibility triangle note: The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle. This area shall assure adequate visibility sight lines for vehicular traffic approaching the intersection. The maximum height of the visibility triangle shall be 20 feet as measured vertically from the ground.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

A tree located in the right-of-way (ROW) is identified on the existing conditions survey. Trees located partially or wholly within the City ROW are protected by Article VI of Ch. 33 of the Houston Code of Ordinances. Refer to Ch. 16 of the Infrastructure Design Manual for tree protection procedures. If removal is required, the procedure as outlined in 33-155 must be abided. No tree in the ROW may be removed without an approved tree removal permit.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 78
Action Date: 08/24/2017
Plat Name: Oxford Villas
Developer: Mathews Investments Southwest Inc
Applicant: Owens Management Systems, LLC
App No/Type: 2017-1228 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1689	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77022	453N	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

A tree located in the right-of-way (ROW) is identified on the existing conditions survey. Trees located partially or wholly within the City ROW are protected by Article VI of Ch. 33 of the Houston Code of Ordinances. Refer to Ch. 16 of the Infrastructure Design Manual for tree protection procedures. If removal is required, the procedure as outlined in 33-155 must be abided. No tree in the ROW may be removed without an approved tree removal permit.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 78
Action Date: 08/24/2017
Plat Name: Oxford Villas
Developer: Mathews Investments Southwest Inc
Applicant: Owens Management Systems, LLC
App No/Type: 2017-1228 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Parks and Recreation: • To be corrected on the general notes on face of plat: This property(s) is located in Park Sector number 1.

To be corrected on the general notes on face of plat: The then-current fee in lieu of dedication shall be applied to this number (3 units) of dwelling units.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 79
Action Date: 08/24/2017
Plat Name: Park West at Oak Forest
Developer: CLEMENTE FELIPE
Applicant: RSG Engineering
App No/Type: 2017-1322 C2R

Staff Recommendation:
Defer Additional
information reqd

Total Acreage:	1.3300	Total Reserve Acreage:	0.2296
Number of Lots:	25	Number of Multifamily Units:	0
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77018	452P	City

Conditions and Requirements for Approval

046. Provide Wastewater Collection Note 1). All lots shall have adequate wastewater collection service. (180)

047. Make minor corrections and additions as indicated on the marked file copy.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

079. Add the Lot Size and Coverage Table, Dwelling Unit Density Table and plat notes to the plat. (183)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

228. Relocate shared driveway entrance so a minimum 4 foot radius curb can extend perpendicularly from the property line to the street paving. Refer to PWE design standards.

Paving section along West 34th 1/2 Street is less than 18', as required per 42-145 (b) (1). Provide a Public Works Certificate of Completion at Recordation.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 79
Action Date: 08/24/2017
Plat Name: Park West at Oak Forest
Developer: CLEMENTE FELIPE
Applicant: RSG Engineering
App No/Type: 2017-1322 C2R

Staff Recommendation:
Defer Additional
information reqd

Parks and Recreation: • To be corrected on the general notes on face of plat: This property(s) is located in Park Sector number 1.

To be corrected on the general notes on face of plat: The then-current fee in lieu of dedication shall be applied to this number (9 units) of dwelling units.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.
City Engineer: DETENTION IS REQUIRED AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION.

PWE Traffic: Sufficient on-site parking is provided.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 80
Action Date: 08/24/2017
Plat Name: Pecan Heights
Developer: Padua Realty Company
Applicant: Gruller Surveying
App No/Type: 2017-1390 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.2152	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	453W	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

134.12. Add to general notes on face of plat: This property(s) is located in Park Sector number 12.

190.2. Add 'Martha L. Stein, Chair' as Chair in the Planning Commission certificate.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 80
Action Date: 08/24/2017
Plat Name: Pecan Heights
Developer: Padua Realty Company
Applicant: Gruller Surveying
App No/Type: 2017-1390 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Parks and Recreation: • To be corrected on the general notes on face of plat: This property(s) is located in Park Sector number 12.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 81
Action Date: 08/24/2017
Plat Name: Reserve on Plainfield
Developer: Kimley-Horn, Inc
Applicant: Terra Surveying Company, Inc.
App No/Type: 2017-1398 C2R

Staff Recommendation:
Withdraw

Total Acreage:	5.2790	Total Reserve Acreage:	5.2790
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	9	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77036	529V	City

Conditions and Requirements for Approval

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Applications may be schedule using the online system.

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 82
Action Date: 08/24/2017
Plat Name: Rogers Court
Developer: L & C Development, LLC
Applicant: Owens Management Systems, LLC
App No/Type: 2017-1462 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1157	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77022	453P	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR APPLICATION.
(Low OR HIGH impact process)

Appointments may be schedule using the online Queuing Service.

Submit application online at houstonpermittingcenter.org.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65% ,
ALSO DRAINAGE PLAN IS APPROVED

Harris County Flood Control District: Flood Control review - No comments.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 83
Action Date: 08/24/2017
Plat Name: Sanberg Investments LTD
Developer: Sanberg Investments, LTD
Applicant: Hovis Surveying Company Inc.
App No/Type: 2017-1442 C2R

Staff Recommendation:
 Defer Additional
 information reqd

Total Acreage:	0.6970	Total Reserve Acreage:	0.6970
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77373	292Q	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

Cannot abandon street via plat.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.

City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c)

(<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org. For drainage analysis related questions, please email civildevel@hcpid.org.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 84
Action Date: 08/24/2017
Plat Name: Shepnett Center
Developer: ShepNett Holdings, LLC
Applicant: Windrose
App No/Type: 2017-1284 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.4807	Total Reserve Acreage:	1.4807
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77007	492H	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

146. Identify, dimension and provide square footage for all right-of-way dedications. "xx s.f. are hereby dedicated to the public for right-of-way purposes.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

- 1)provide letter of no objection at the time of recordation for alley abandonment
- 2)coordinate with centerpoint to be sure there are no utilities in the alley that will be abandoned.
- 3) Add dual B.L note

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to WCR application.
Low or high impact process.
Submit application online at houstonpermittingcenter.org
City Engineer: DETENTION IS REQUIRED

Parks and Recreation: This property(s) is located in Park Sector number 14.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 85
Action Date: 08/24/2017
Plat Name: Sundale Plaza
Developer: Ben Souvanna
Applicant: South Texas Surveying Associates, Inc.
App No/Type: 2017-1344 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	2.0000	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77038	371Y	ETJ

Conditions and Requirements for Approval

014. Establish a 20' building setback lines as indicated on the marked file copy.

047. Make minor corrections and additions as indicated on the marked file copy.

126. Add Single Family Residential plat notes: 1) Single family residential shall mean the use of a lot with one building designed for and containing not more than two separate units with facilities for living, sleeping, cooking, and eating therein. A lot upon which is located a free-standing building containing one dwelling unit and a detached secondary dwelling unit of not more than 900 square feet also shall be considered single family residential. A building that contains one dwelling unit on one lot that is connected by a party wall to another building containing one dwelling unit on an adjacent lot shall be single family residential. 2) Each lot shall provide a minimum of two off-street parking spaces per dwelling unit on each lot. In those instances where a secondary unit is provided only one additional space shall be provided.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Identify adjacent property owners.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 85
Action Date: 08/24/2017
Plat Name: Sundale Plaza
Developer: Ben Souvanna
Applicant: South Texas Surveying Associates, Inc.
App No/Type: 2017-1344 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approve.
City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: Flood Control review - No comments.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c) (<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org . For drainage analysis related questions, please email civildevel@hcpid.org .

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 86
Action Date: 08/24/2017
Plat Name: Trails on Wellington Street
Developer: Crencencio Hernandez
Applicant: ICMC GROUP INC
App No/Type: 2017-1355 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.2986	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	2	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77093	413Z	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047.1. Make minor corrections and additions as indicated on scanned image file attached to the application.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Add per plat for the 20' BL along Wellington St.

Correct note 10 and 14.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Parks and Recreation: To be corrected on the general notes on face of plat: The then-current fee in lieu of dedication shall be applied to this number (1 units) of dwelling units.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 87
Action Date: 08/24/2017
Plat Name: Unique Estate
Developer: Alvarado Group, LLC
Applicant: Owens Management Systems, LLC
App No/Type: 2017-1260 C3R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	3.4856	Total Reserve Acreage:	1.0990
Number of Lots:	37	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	N/A
County	Zip	Key Map ©	City / ETJ

Conditions and Requirements for Approval

005. Provide a no objection letter from Solid Waste Management Department or remove solid waste eligibility note from face of the plat prior to the recordation. You may contact the Solid Waste Management Department at 832-393-0450.

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

112. Fire protection hose lay shall be measured beginning from edge of 28 foot paved private street.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: IF THE F.H. ARE PRIVATE, IT NEED 15'X25' W.M.E. FOR PRIVATE FIRE LINE USE. IF THE F.H. AND FIRE LINE ARE PUBLIC, IT NEED 10'X10' F.H.E. AND 20' W.L.E. ALSO NEED W.M.E. DETENTION IS REQUIRED

Solid Waste: The number of lots depicted in the plat as taking access from private streets exceed the 25 lot limit required to qualify for COH garbage collection.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 88
Action Date: 08/24/2017
Plat Name: West 22nd Patio Homes
Developer: Sandcastle Homes, Inc.
Applicant: The Interfield Group
App No/Type: 2017-1472 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.3329	Total Reserve Acreage:	0.0000
Number of Lots:	4	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	452U	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047.1. Make minor corrections and additions as indicated on scanned image file attached to the application.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be schedule using the online service.

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 89
Action Date: 08/24/2017
Plat Name: West 22nd Street Views
Developer: John Michael, LLC
Applicant: Total Surveyors, Inc.
App No/Type: 2017-1457 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.4999	Total Reserve Acreage:	0.0000
Number of Lots:	6	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	452T	City

Conditions and Requirements for Approval

047.1. Make minor corrections and additions as indicated on scanned image file attached to the application.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

188. Appendix D:Notary Public Acknowledgement for All Signatures is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Trees in ROW

A tree located in the right-of-way (ROW) is identified on the existing conditions survey. Trees located partially or wholly within the City ROW are protected by Article VI of Ch. 33 of the Houston Code of Ordinances. Refer to Ch. 16 of the Infrastructure Design Manual for tree protection procedures. If removal is required, the procedure as outlined in 33-155 must be abided. No tree in the ROW may be removed without an approved tree removal permit.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



PLANNING &
DEVELOPMENT
DEPARTMENT

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 89
Action Date: 08/24/2017
Plat Name: West 22nd Street Views
Developer: John Michael, LLC
Applicant: Total Surveyors, Inc.
App No/Type: 2017-1457 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approve.
City Engineer: DETENTION IS PROVIDED

Harris County Flood Control District: Flood Control review - No comments.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 90
Action Date: 08/24/2017
Plat Name: West Bellfort Square
Developer: HAZA FOODS LLC
Applicant: MOMENTUM ENGINEERING
App No/Type: 2017-1331 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.6909	Total Reserve Acreage:	0.6909
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	8	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77071	570C	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

059.1. Acreage in title and on plat must match at recordation.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be scheduled using the Online Queuing Service

Submit application online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

PWE Traffic: No comments.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 91
Action Date: 08/24/2017
Plat Name: Williamsburg Parkway Sec 1 partial replat no 1
Developer: A-S 98 Katy-Grand PG, L.P. a Texas limited partnership
Applicant: EHRA
App No/Type: 2017-1384 C2R

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	4.0581	Total Reserve Acreage:	4.0581
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 63
County	Zip	Key Map ©	City / ETJ
Harris	77449	445X	ETJ

Conditions and Requirements for Approval

007. Provide written approval of plat, a letter of no objection from the waterline utility company, MUD to abandoned the waterline easement prior to recordation.

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

115. Add Owners Certification of Restrictions note to face of replat or amending plat (when plat does not include residential lots): Further, the owners hereby certify that this replat or amending plat does not attempt to alter, amend, or remove any covenants or restrictions; we further certify that no portion of the area covered by the previous plat was limited by deed restrictions to residential use for not more than two (2) residential units per lot.

187. Appendix C:Lienholders Acknowledgement and Subordination Statement(s) is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Provide record information for abandoned water line easement.

Provide record information for M125087 & M125086.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 91
Action Date: 08/24/2017
Plat Name: Williamsburg Parkway Sec 1 partial replat no 1
Developer: A-S 98 Katy-Grand PG, L.P. a Texas limited partnership
Applicant: EHRA
App No/Type: 2017-1384 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: Approved
City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Harris County Flood Control District: Flood Control review - No comments.
Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Need INO letter from waterline utility prior to plat recordation.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 92
Action Date: 08/24/2017
Plat Name: Yalda Real Estate Group LLC
Developer: Yalda Real Estate Group LLC
Applicant: Hovis Surveying Company Inc.
App No/Type: 2017-1460 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	2.5112	Total Reserve Acreage:	2.5112
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Meadowhill Regional MUD
County	Zip	Key Map ©	City / ETJ
Harris	77388	291U	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 92
Action Date: 08/24/2017
Plat Name: Yalda Real Estate Group LLC
Developer: Yalda Real Estate Group LLC
Applicant: Hovis Surveying Company Inc.
App No/Type: 2017-1460 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: approve

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: Flood Control review - No comments.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

L1 should be larger for a 25' X 25' corner cut

Check UVE at corner of Falvel ad FM 2920

L2 should be 28 foot for a 20' x 20' corner cut

Provide documentation of TxDOT driveway permit with plans
check UVE at corner of Falvel ad FM 2920

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 93
Action Date: 08/24/2017
Plat Name: Zermenos Lakeside Home
Developer: Survey 1, Inc
Applicant: Survey 1, Inc.
App No/Type: 2017-1437 C2R

Staff Recommendation:
Withdraw

Total Acreage:	0.3854	Total Reserve Acreage:	0.0000
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77530	498H	ETJ

Conditions and Requirements for Approval

After the plat was reviewed, staff has found there are single family deed restrictions that are separately filed. Per request of the applicant, the application is withdrawn. A public hearing date must be established and a new application (C3N) will be required in order for this project to move forward.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.

City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED
AND MISSING B.L.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 94
Action Date: 08/24/2017
Plat Name: Avondale partial replat no 3
Developer: John J. Toomey Jr. et al.
Applicant: Atkinson Engineers
App No/Type: 2017-1209 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.5225	Total Reserve Acreage:	0.5225
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77006	493T	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 94

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Avondale partial replat no 3

Applicant: Atkinson Engineers



C – Public Hearings

Site Location

Houston Planning Commission

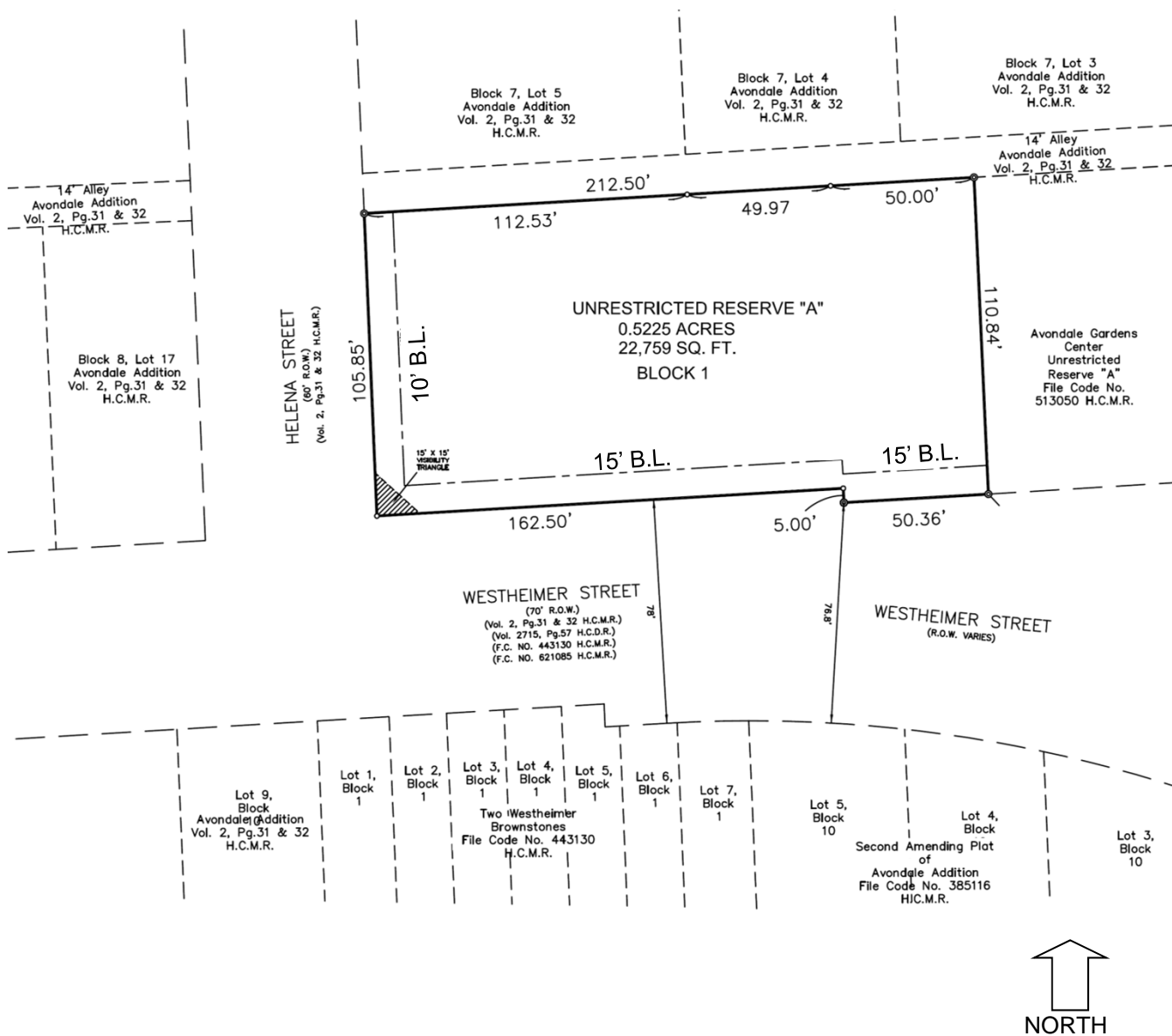
ITEM: 94

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Avondale partial replat no 3

Applicant: Atkinson Engineers



C – Public Hearings

Subdivision

Houston Planning Commission

ITEM: 94

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Avondale partial replat no 3

Applicant: Atkinson Engineers



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 95
Action Date: 08/24/2017
Plat Name: Avondale partial replat no 4
Developer: Urban Genesis
Applicant: Richard Grothues Designs
App No/Type: 2017-1214 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.4656	Total Reserve Acreage:	0.4656
Number of Lots:	0	Number of Multifamily Units:	40
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77006	493T	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Parks and Recreation: 1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Houston Planning Commission

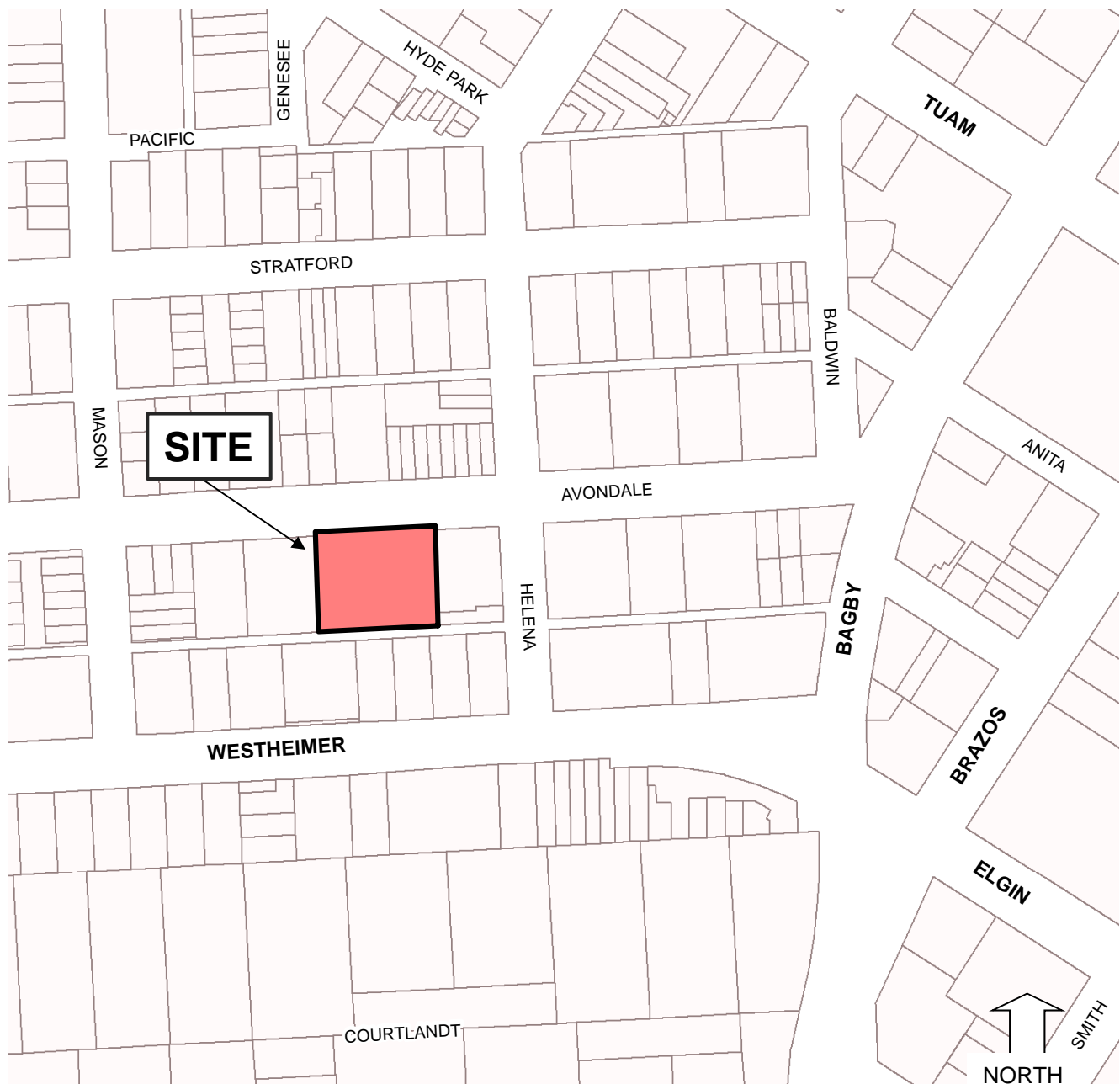
ITEM: 95

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Avondale partial replat no 4

Applicant: Richard Grothues Designs



C – Public Hearings

Site Location

Houston Planning Commission

ITEM: 95

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Avondale partial replat no 4

Applicant: Richard Grothues Designs



C – Public Hearings

Subdivision

Houston Planning Commission

ITEM: 95

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Avondale partial replat no 4

Applicant: Richard Grothues Designs



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 96
Action Date: 08/24/2017
Plat Name: Benders Landing Estates Sec 4 partial replat no 2
Developer: N/A
Applicant: The Interfield Group
App No/Type: 2017-1175 C3N

Staff Recommendation:
Defer Applicant request

Total Acreage:	2.0050	Total Reserve Acreage:	0.0000
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Montgomery	77386	294J	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

059.1. Acreage in title and on plat must match at recordation.

189. Appendix E: Certificate for Engineer or Surveyor is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

200. Recordation dedicatory acknowledgements and certificates must conform to those requirements by Montgomery County.

209. Applicant has requested that this item be deferred for two weeks.

Legal description in title and on plat must match at recordation.

Provide a written approval of the Architectural Control Committee for lots to be consolidated.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



PLANNING &
DEVELOPMENT
DEPARTMENT

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 96

Action Date: 08/24/2017

Plat Name: Benders Landing Estates Sec 4 partial replat no 2

Developer: N/A

Applicant: The Interfield Group

App No/Type: 2017-1175 C3N

Staff Recommendation:

Defer Applicant request

PWE Utility Analysis: Approved

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

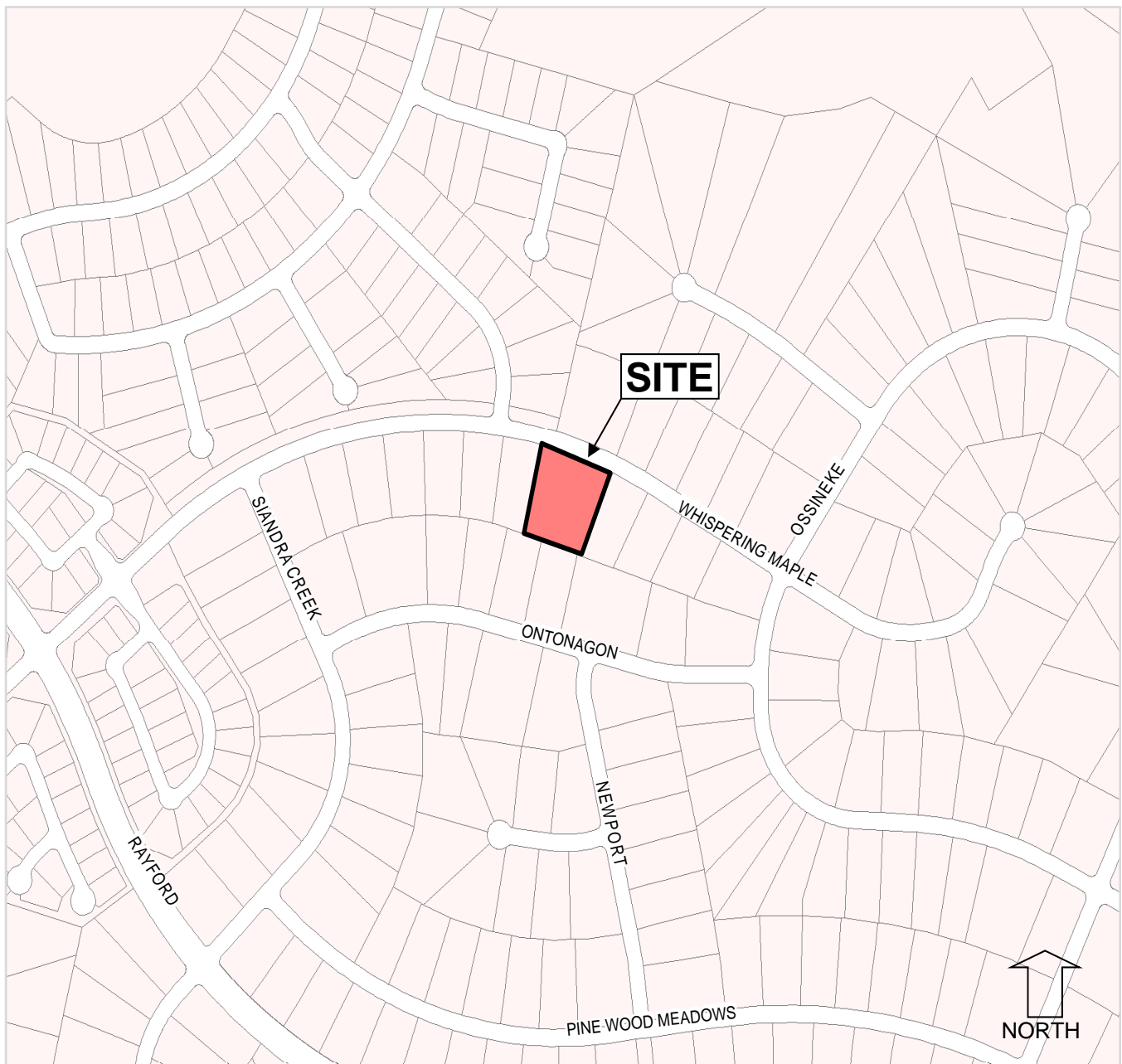
ITEM: 96

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Benders Landing Estates Sec 4 partial replat no 2

Applicant: The Interfield Group



C – Public Hearings

Site Location

Houston Planning Commission

ITEM: 96

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Benders Landing Estates Sec 4 partial replat no 2

Applicant: The Interfield Group



C – Public Hearings

Subdivision

Houston Planning Commission

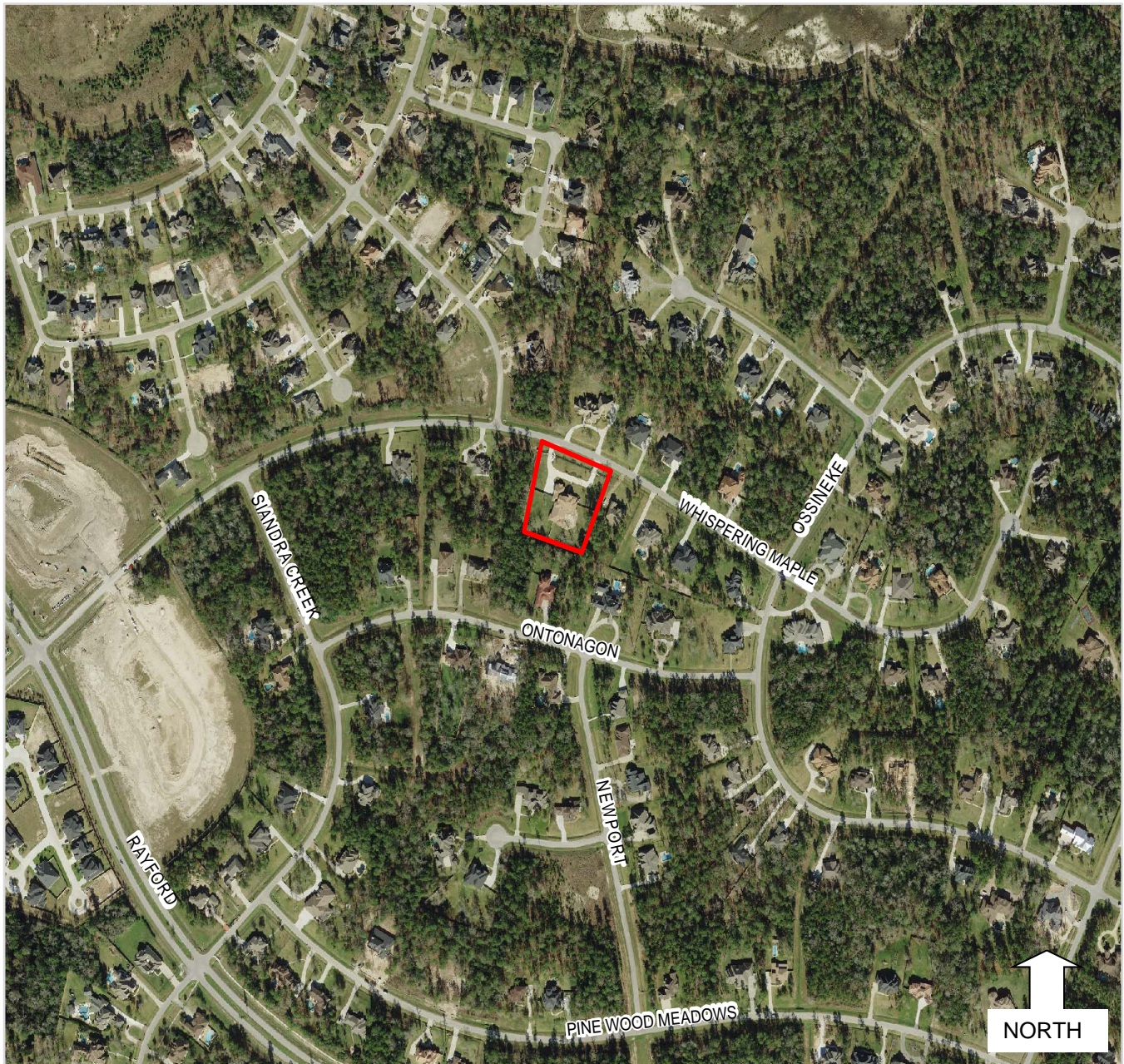
ITEM: 96

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Benders Landing Estates Sec 4 partial replat no 2

Applicant: The Interfield Group



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 97
Action Date: 08/24/2017
Plat Name: Bicycle Bungalows replat no 1
Developer: None
Applicant: Tetra Surveys
App No/Type: 2017-1140 C3N

Staff Recommendation:
Defer for further study and
review

Total Acreage:	0.1515	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77007	493E	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

207.1. Staff requests a two week deferral for further study and review.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 97

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Bicycle Bungalows replat no 1

Applicant: Tetra Surveys



C – Public Hearings with Variance

Site Location

Houston Planning Commission

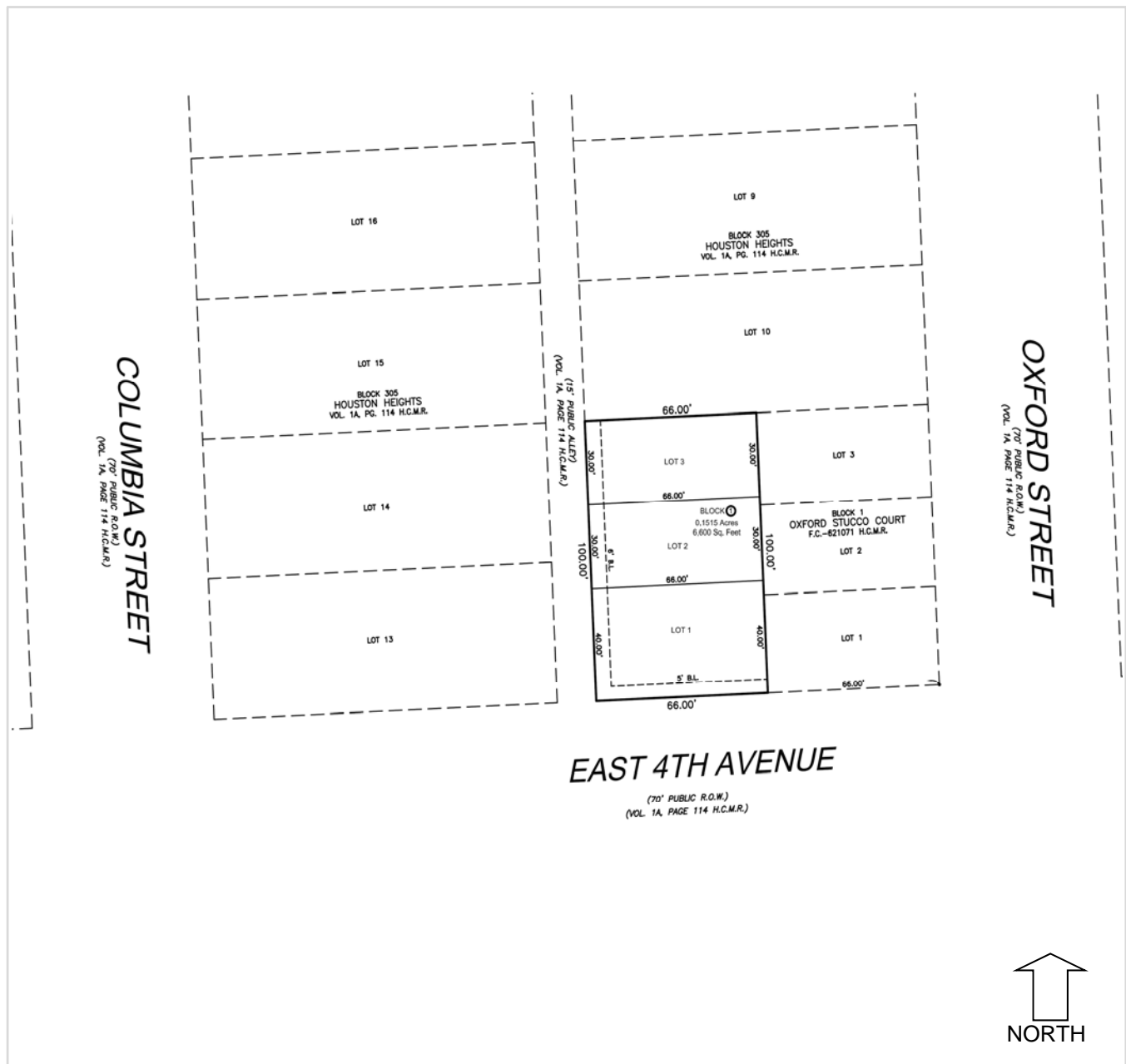
ITEM: 97

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Bicycle Bungalows replat no 1

Applicant: Tetra Surveys



Houston Planning Commission

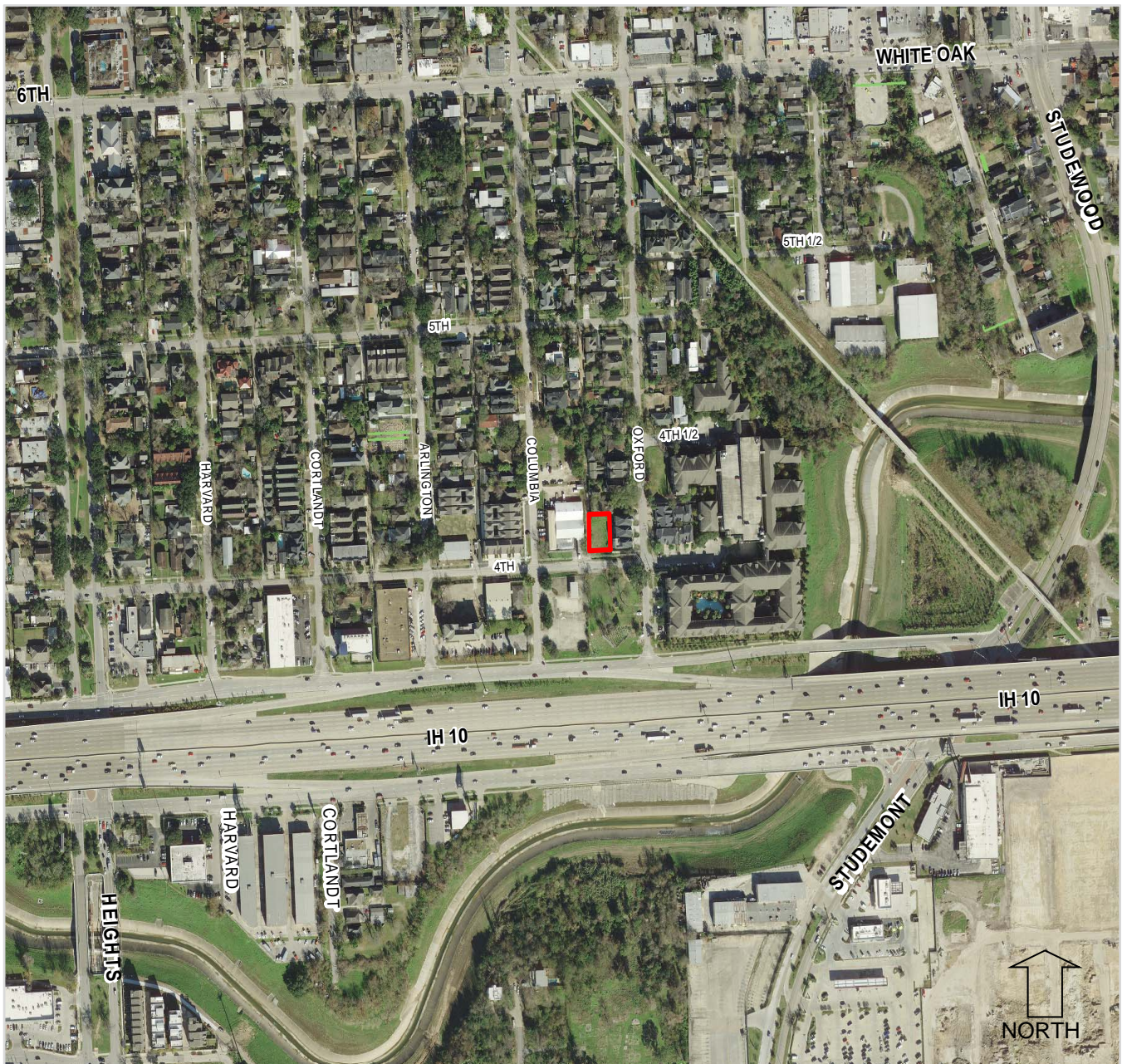
ITEM: 97

Planning and Development Department

Meeting Date: 08/24/2017

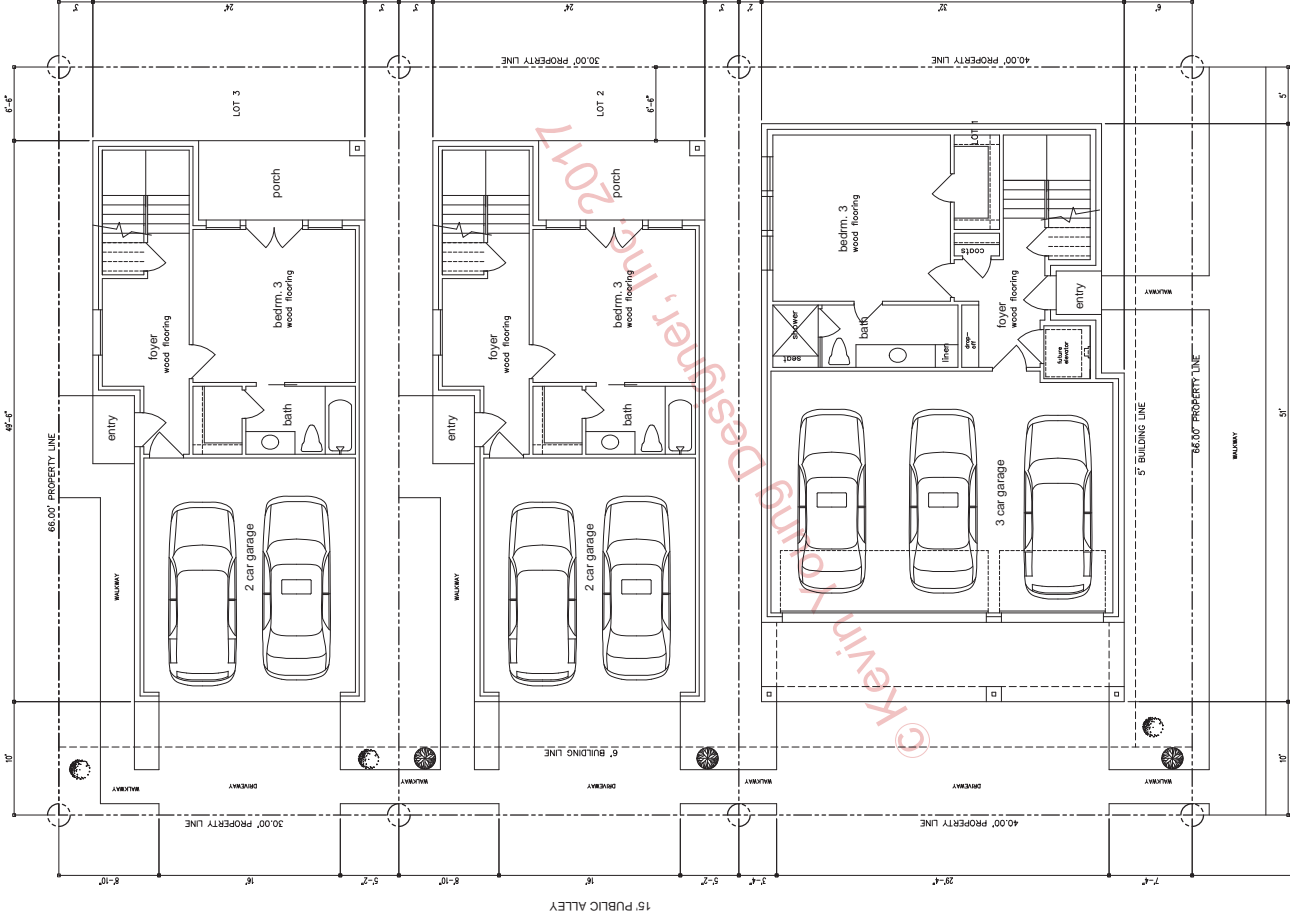
Subdivision Name: Bicycle Bungalows replat no 1

Applicant: Tetra Surveys



C – Public Hearings with Variance

Aerial



LEGAL DESCRIPTION
lots 1,2,3, block 1, of
Bicycle Bungalows subdivision
Replat no. 1

SITE PLAN
Scale: 1/4" = 1'-0"

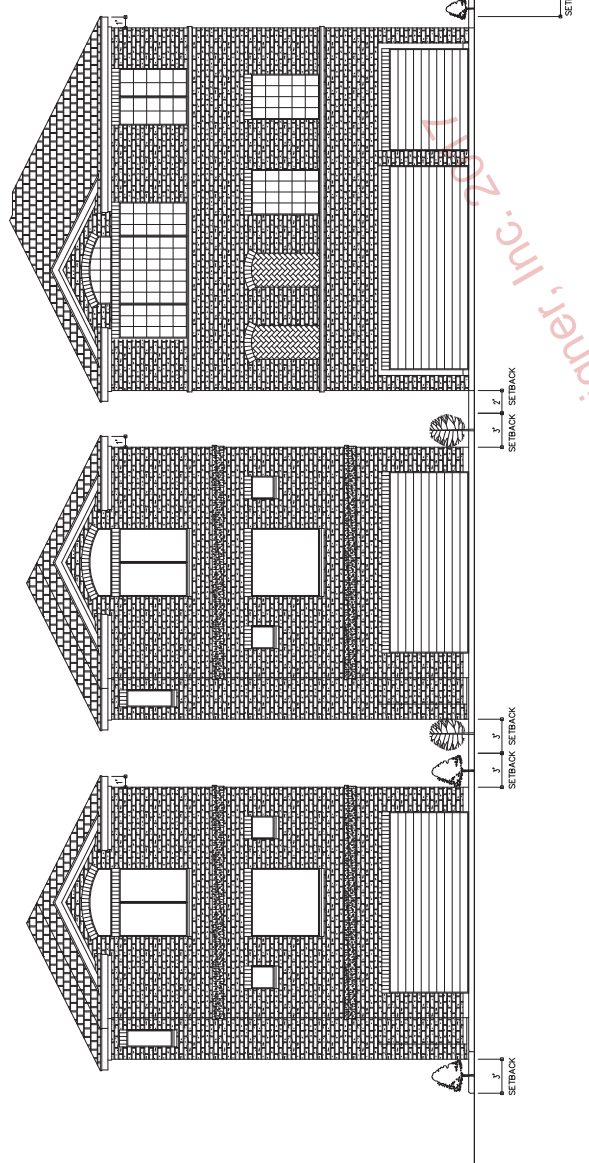
THIS PLAN IS THE PROPERTY OF KEVIN TAYLOR DESIGNER, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR SITE. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY, INCLUDING NEIGHBORS, ARISING FROM THE USE OF THESE PLANS. THE CLIENT ASSUMES ALL LIABILITY FOR ANY SUCH DAMAGE OR INJURY. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE PLANS AND THE PREPARED DOCUMENTS. THE DESIGNER IS NOT RESPONSIBLE FOR ANY OTHER ASPECTS OF THE PROJECT, INCLUDING PERMITS, ZONING, OR OTHER REGULATORY REQUIREMENTS. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGNER'S PROFESSIONAL FEES AND COSTS. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGNER'S PROFESSIONAL FEES AND COSTS. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGNER'S PROFESSIONAL FEES AND COSTS.

DATE: 07/17/17
DESIGNER: KEVIN TAYLOR DESIGNER, INC.
PROJECT: BICYCLE BUNGALOWS SUBDIVISION
SHEET: 1 OF 1

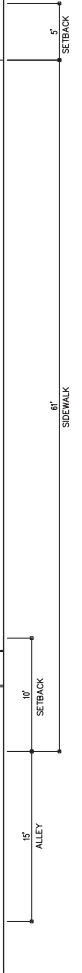
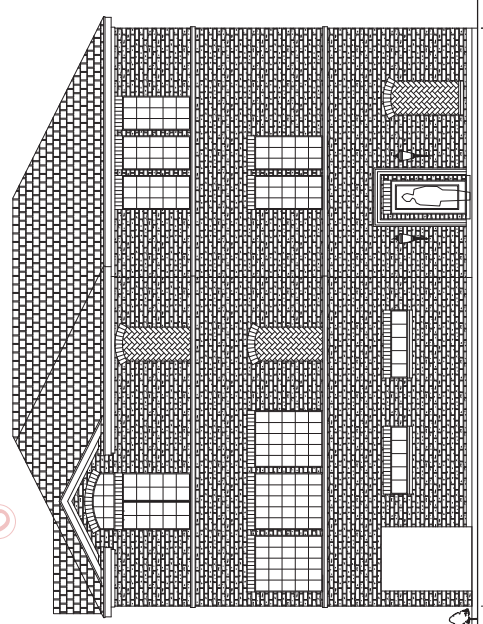
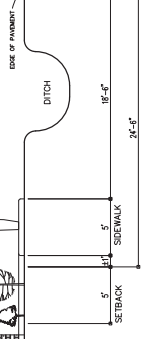
EAST 4TH STREET
(70' R.O.W.)

EDGE OF PAVEMENT

20'0"



GENERATING OF
1/4" = 1'-0"
DATE: 07/17/17



bicycle bungalows replat
replat no. 1
street development section

EXTERIOR ELEVATIONS
scale: 1/4" = 1'-0"

THIS DOCUMENT IS THE PROPERTY OF KEVIN YOUNG DESIGNER, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE ELEVATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR IN ANY OTHER MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY, OR FOR ANY LOSS OF PROFITS OR BUSINESS, ARISING OUT OF THE USE OF THESE ELEVATIONS. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE ELEVATIONS. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE ELEVATIONS. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE ELEVATIONS.

KEVIN YOUNG DESIGNER, INC.

1000 N. 10th St., Suite 100
Tomball, TX 77375
Tel: 281-290-5199
Fax: 281-290-5199

07/17/17



Application Number: 2017-1140

Plat Name: Bicycle Bungalows replat no 1

Applicant: Tetra Surveys

Date Submitted: 06/26/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Seeking a variance for a reduced (5 foot) building line along 4th Street and to allow Lot 2 and Lot 3 to have access and frontage along a Public Alley instead of a Public Street

Chapter 42 Section: 156(d), 188

Chapter 42 Reference:

42-156(d) When the plat contains a typical lot layout and notes that restrict vehicular access to an approved public alley, then no front building setback line shall be required, except for corner lots. 42-188(a) Each lot shall have access to a street or shared driveway that meets the requirements of this chapter and the design manual, subject to the limitations of this section.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This tract sits alongside an alley which does not provide the same development opportunities as are accorded otherwise.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The street layout created by the alley between Oxford Street and Columbia Street is not a hardship created or imposed by the applicant. The original lots on this block run east/west from Oxford Street to the alley. The houses on these lots along Oxford have rear access via the alley. Had this property not been divided previously the current owner could provide each proposed lot with frontage along Oxford with rear access. This would have provided the same format as the other properties facilitate. The proposed plan allots for maximum density while providing for the same east/west facing structures with alley access.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purpose of this chapter will be preserved and maintained as Chapter 42 already recognizes the need for different rules for tracts which connect to an alley. Granting the 5 foot building line request gives over a 30 foot separation between the street separation between the structure and the street. Granting the alley access improves traffic by reducing the number of curb cuts on East 4th Street. The original lots on this block run east/west from Oxford Street to the alley. The houses on these lots along Oxford have rear access via the alley. Had this property not been divided previously the current owner could provide each proposed lot with frontage along Oxford with rear access. This would have provided the same format as the other properties facilitate. The proposed plan allots for maximum density while providing for the same east/west facing structures with alley access.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting of the variance will not be injurious to public health and safety. Granting the 5 foot building line request gives over a 30 foot separation between the street separation between the structure and the street. Granting the alley access improves traffic by reducing the number of curb cuts on East 4th Street. A shared driveway design would increase the number of curb cuts along East 4th Street thus doubling the vehicular traffic by providing automobile access on both the

front and rear sides of the proposed structures. This situation would increase the possibility of negative vehicular and pedestrian interaction.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance.



Application No: 2017-1140

Agenda Item: 97

PC Action Date: 08/24/2017

Plat Name: Bicycle Bungalows replat no 1

Applicant: Tetra Surveys

Staff Recommendation: Defer for further study and review

Chapter 42 Sections: 156(d), 188

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

Seeking a variance for a reduced (5 foot) building line along 4th Street and to allow Lot 2 and Lot 3 to have access and frontage along a Public Alley instead of a Public Street;

Basis of Recommendation:

The site is located along E 4th Street, north of Interstate Highway 10, east of Heights Boulevard and south of White Oak Drive.

The purpose of the replat is to create three (3) single-family residential lots.

The variances requested for this item are:

(1) To allow a reduced 5' building line along E 4th Street, a local public street and

(2) To allow Lots 2 and 3 to have frontage on a 15' public alley instead on a public street.

Review by legal department indicates that this plat does not violate any restrictions on the face of the plat or those filed separately.

Staff's recommendation is to defer the plat for further study and review.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

N/A

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

N/A

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

N/A

(3) The intent and general purposes of this chapter will be preserved and maintained;

N/A

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

N/A

(5) Economic hardship is not the sole justification of the variance.

N/A



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 98
Action Date: 08/24/2017
Plat Name: Binglewood Sec 2 partial replat no 1
Developer: HOMEOWNER
Applicant: Miller Survey Group
App No/Type: 2017-1123 C3N

Staff Recommendation:
Withdraw

Total Acreage:	0.2366	Total Reserve Acreage:	0.0000
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:	10	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77080	450L	City

Conditions and Requirements for Approval

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved
City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%
AND NEED DRAINAGE PLAN

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

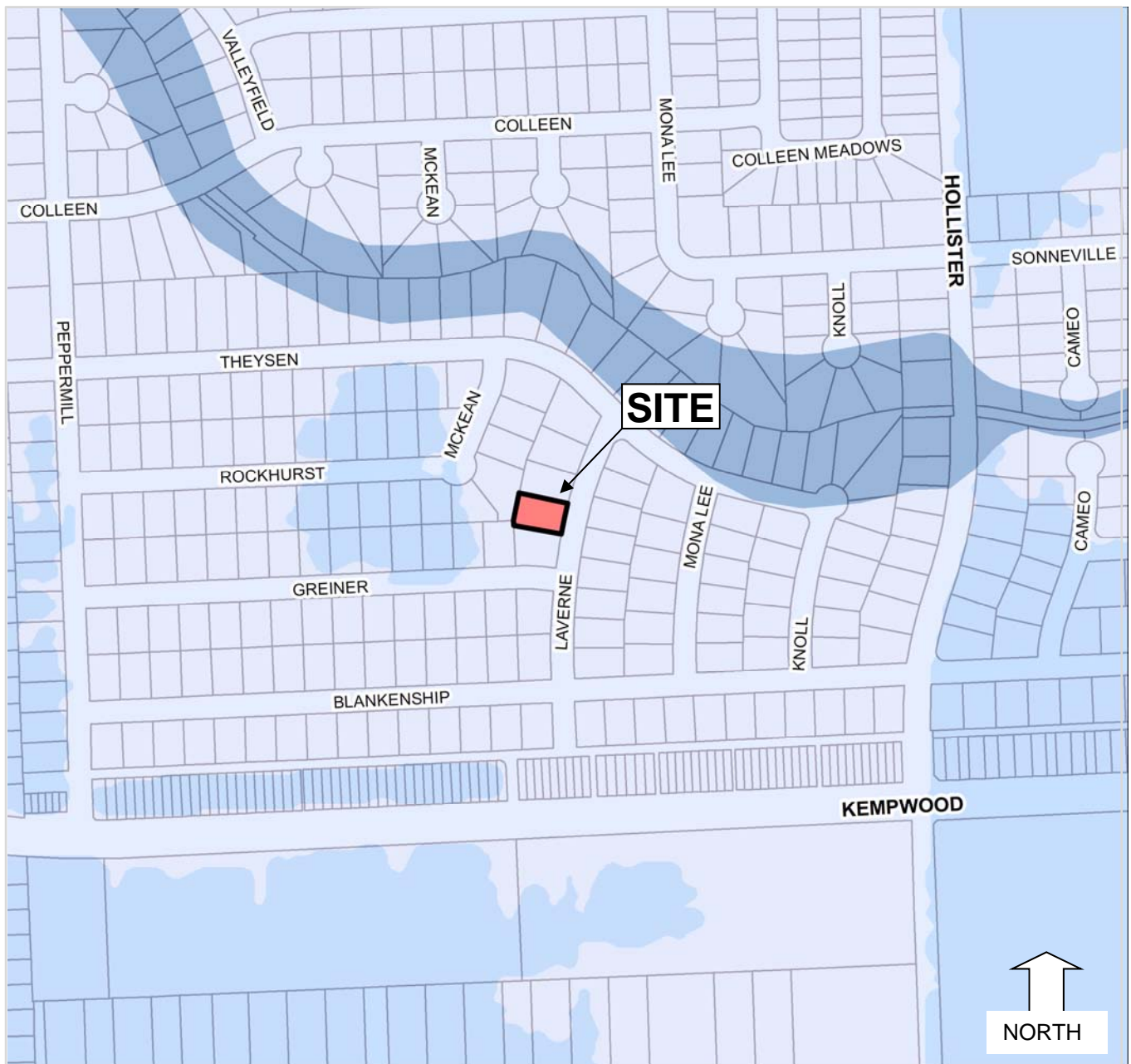
ITEM: 98

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Binglewood Sec 2 partial replat no 1

Applicant: Miller Survey Group



C – Public Hearings With Variance Site Location

Houston Planning Commission

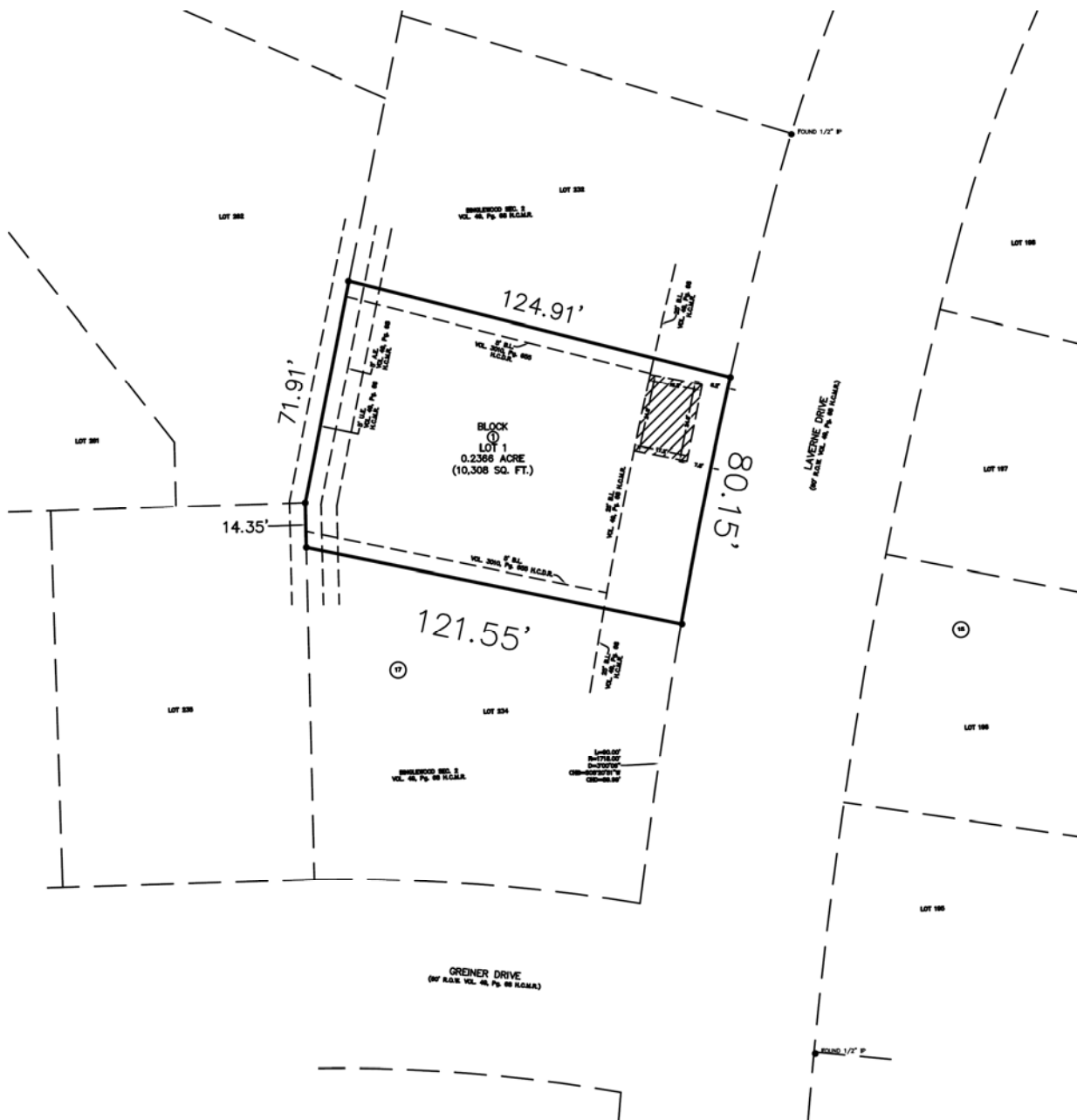
ITEM: 98

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Binglewood Sec 2 partial replat no 1

Applicant: Miller Survey Group



C – Public Hearings With Variance

Subdivision

Houston Planning Commission

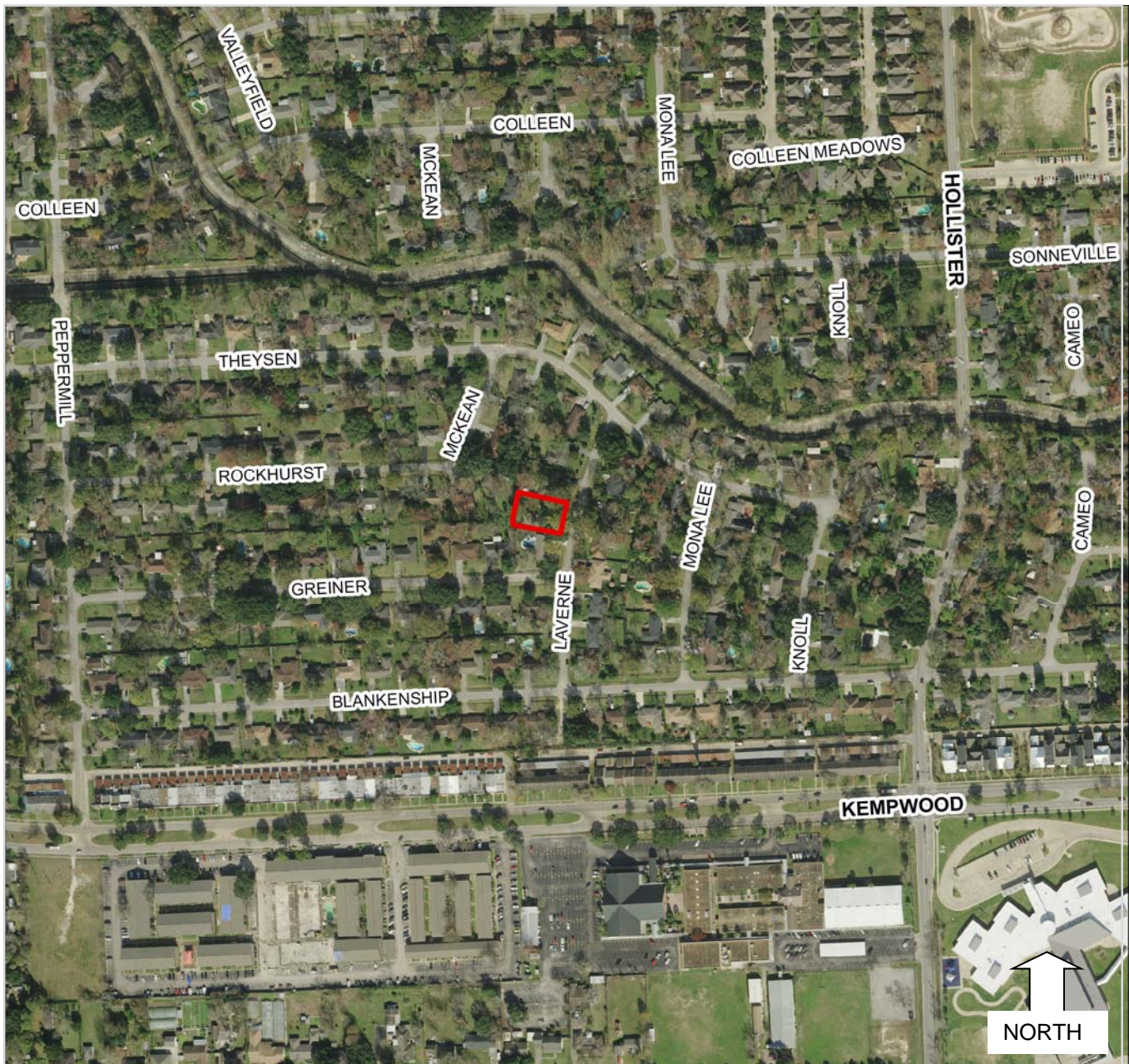
ITEM: 98

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Binglewood Sec 2 partial replat no 1

Applicant: Miller Survey Group



C – Public Hearings With Variance

Aerial



PLANNING & DEVELOPMENT DEPARTMENT

VARIANCE Request Information Form

Application Number: 2017-1123

Plat Name: Binglewood Sec 2 partial replat no 1

Applicant: Miller Survey Group

Date Submitted: 06/26/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Applicant requests a variance to plat a 7' 8" dual building line instead of the required 17' for an existing detached carport.

Chapter 42 Section: 156c

Chapter 42 Reference:

42-156(c) Notwithstanding the other provisions of this section, the building line requirement for a lot restricted to single-family residential use shall be 20 feet for a garage or carport facing the street, except as provided in subsection (b) of section 42-157 of this Code.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The property is located in Binglewood Sec 2 and was platted with a 25-foot building line. The property owner is seeking a variance of the existing building line requirement for the portion of the property within the paved driveway of the single-family residential lot. The lot contains some large trees which have become a nesting area for several pairs of Yellow Crowned Night Herons. These are large birds which are considered a nuisance in urban areas due to the large amount of bird droppings produced. The trees containing the bird nests are located directly over the driveway parking area of the single-family home which led the homeowner to begin construction on a covered carport to alleviate some of the damage and need for daily vehicle washing caused by the extensive amounts of bird excrement. There are many existing covered carports located within the same subdivision - all of which are located between the existing homes and the street right-of-way. The property owner was not aware that a permit was required to begin construction on the covered car port. After the steel frame was constructed, the home owner was approached by a City of Houston inspector who informed the home owner of the need for permit. The home owner immediately stopped construction at that time and is currently seeking this variance so a permit can be obtained before construction resumes. A proposed 7.5 foot building line will allow the home owner to continue construction of the covered carport while still leaving 30.8 feet from the edge of asphalt on Laverne Street to the proposed car port. Since no sidewalk exists on Laverne Street, the pedestrian realm will not be affected.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The home owner was unaware that a permit was required for the construction of the carport. The home owner observed many existing carports within the subdivision which appear to be located within the 25-foot building line. It is not a result of an intentional hardship created or imposed by the applicant.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent of Chapter 42 will be preserved. The variance requested for the proposed development is intended to provide a development comparable to the surrounding existing single family homes, many of which include existing carports. Additionally, the requested variance does not propose to change the use of the property from a single-family residential lot.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The requested building line will allow the home owner to park two vehicles side by side under a covered carport in the same position they have been parking before the construction began on the carport. It still leaves 30.8 feet from the front of the carport to the edge of paving on Laverne Street. The pedestrian realm will not be impacted. Granting the variance will also not affect traffic flow on Laverne Street, nor will it impede emergency vehicles from passing safely.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance. The home owner wishes to create a visually appealing carport to protect their vehicles. The proposed development is comparable to other existing improvements within the subdivision.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 99
Action Date: 08/24/2017
Plat Name: Broadmoor partial replat no 3
Developer: TN ASSOCIATES, INC
Applicant: Advance Surveying, Inc.
App No/Type: 2017-1208 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.2754	Total Reserve Acreage:	0.2640
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	11	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77023	494X	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

Submit a consent to encroach agreement approved by PWE prior to recordation.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

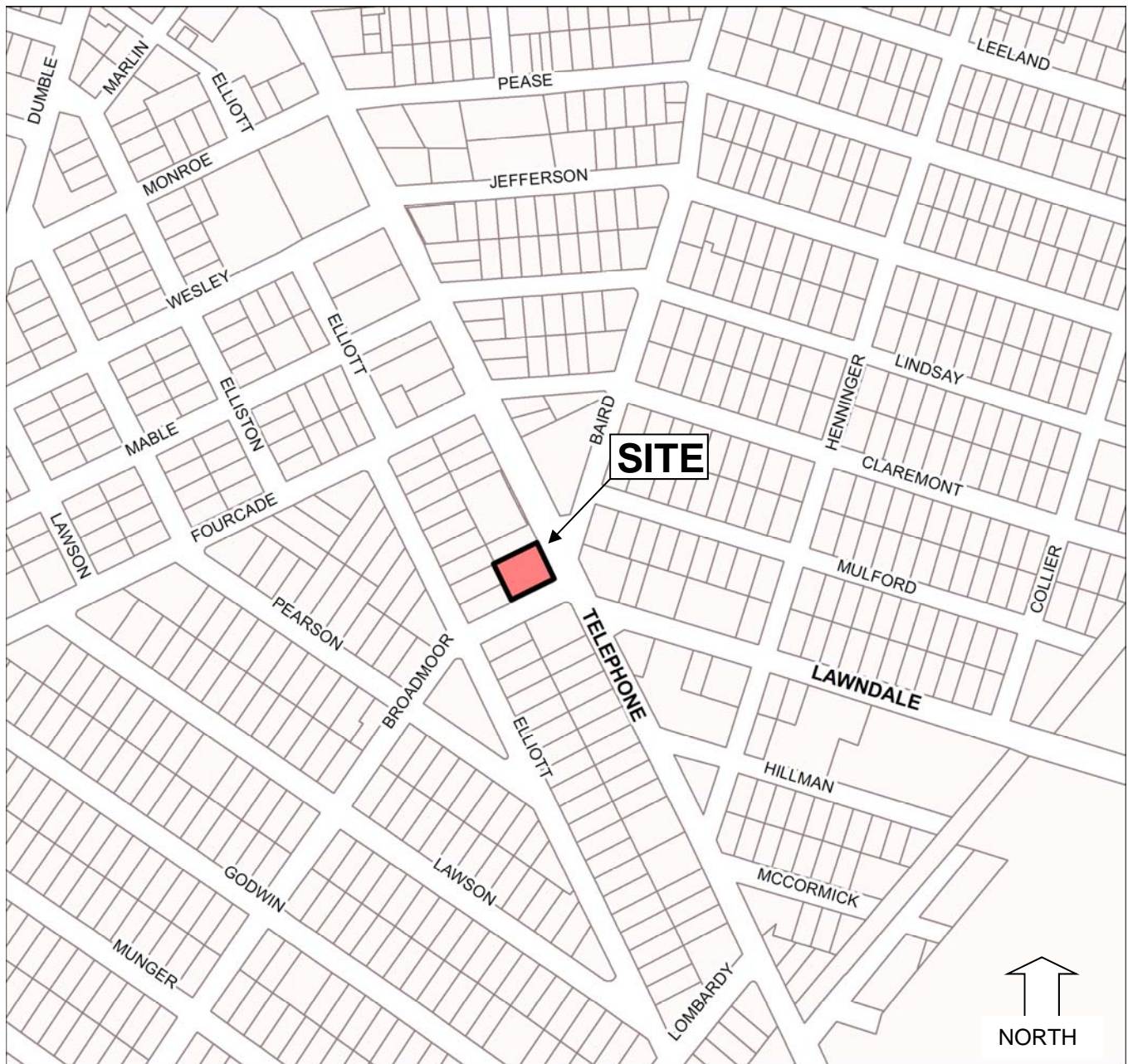
ITEM: 99

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Broadmoor partial replat no 3

Applicant: Advance Surveying, Inc.



C – Public Hearings

Site Location

Houston Planning Commission

ITEM: 99

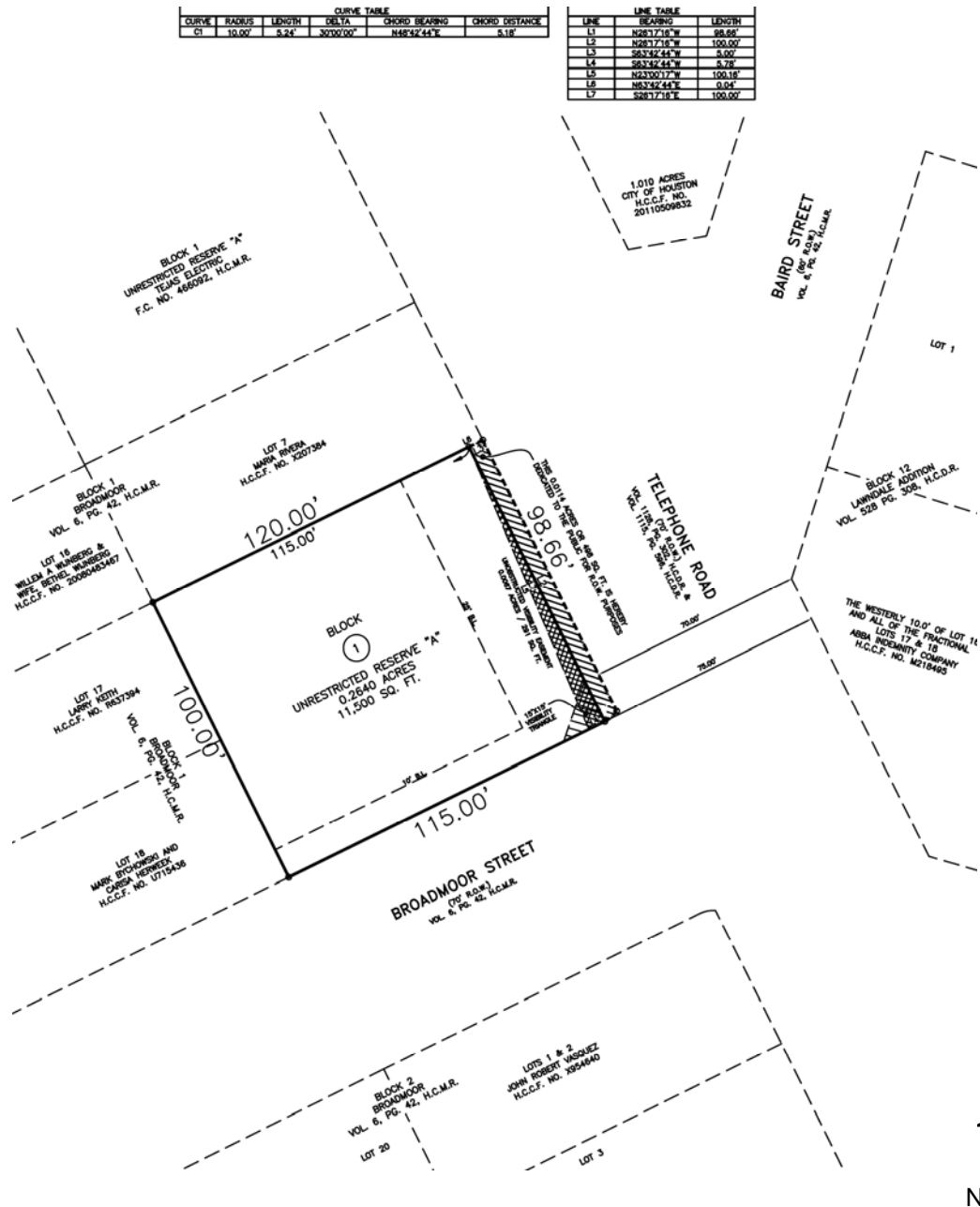
ITEM: 99

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Broadmoor partial replat no 3

Applicant: Advance Surveying, Inc.



C – Public Hearings

Subdivision

Houston Planning Commission

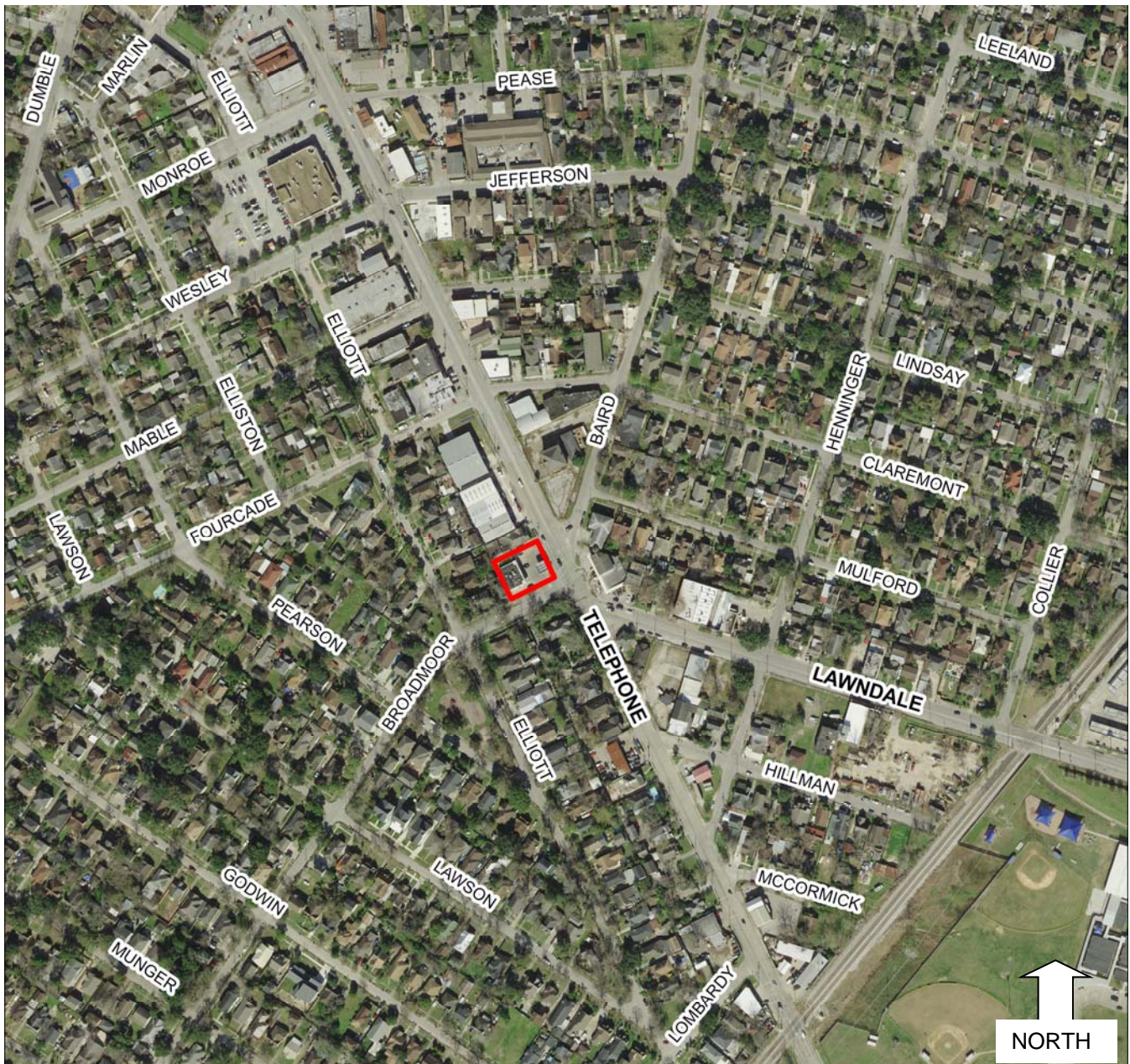
ITEM: 99

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Broadmoor partial replat no 3

Applicant: Advance Surveying, Inc.



C – Public Hearings

Aerial



Agenda Item: 100
Action Date: 08/24/2017
Plat Name: Cottage Grove Lake partial replat no 1
Developer: Fendway Development
Applicant: Windrose
App No/Type: 2017-1066 C3N

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	4.5521	Total Reserve Acreage:	0.0279
Number of Lots:	100	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Combination
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77007	492B	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

Show fire hydrants.

On-street parking requires PWE approval. Provide Copy of Certification of Completion and acceptance of Kansas Street prior to recordation. If the variance is granted the applicant must provide:

- 3" caliber street trees
 - 6' wide sidewalks
 - 8' maximum height wrought iron or semi-opaque fence
- shared driveway lots along the public street must have front door and pedestrian gate facing the ROW.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 100

Action Date: 08/24/2017

Plat Name: Cottage Grove Lake partial replat no 1

Developer: Fendway Development

Applicant: Windrose

App No/Type: 2017-1066 C3N

Staff Recommendation:

Grant the requested variance(s) and Approve the plat subject to the conditions listed

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this project. When applying please attach a copy of the proposed re-plat to the WCR application.

Submit applications online at houstonpermittingcenter.org

Our records indicate that there is an active 1 1/4" water line on-site. Joint Referral Committee action is required for the abandonment of the existing water line.

City Engineer: DETENTION IS REQUIRED

PWE Traffic: There are only six on-site parking spaces shown. If the intension is to provide the remaining required parking along the 28' P.A.E., which would be acceptable, then that needs to be illustrated on the parking plan. Either continue using the car symbols or draw the lines for the parallel parking spaces on the parking plan.

Parks and Recreation: To be corrected on the general notes on face of plat: The then-current fee in lieu of dedication shall be applied to this number (100 units) of dwelling units.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

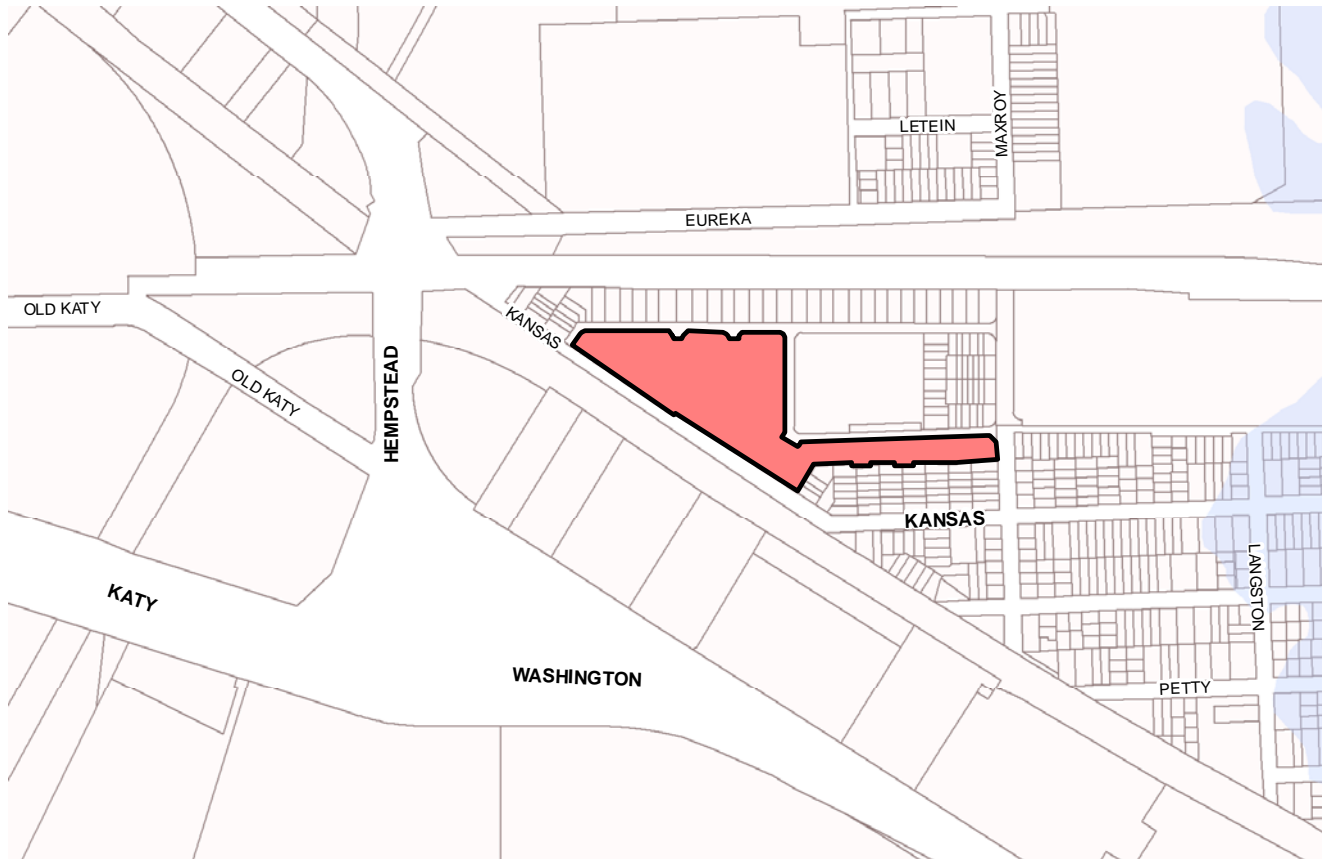
ITEM: 100

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Cottage Grove Lake partial replat no 1 (DEF1)

Applicant: Windrose



C – Public Hearings with Variance

Site Location

Houston Planning Commission ITEM: 100

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Cottage Grove Lake partial replat no 1 (DEF1)

Applicant: Windrose



C – Public Hearings with Variance

Subdivision

Houston Planning Commission

ITEM: 100

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Cottage Grove Lake partial replat no 1 (DEF1)

Applicant: Windrose



C – Public Hearings with Variance

Aerial



PLANNING & DEVELOPMENT DEPARTMENT

VARIANCE Request Information Form

Application Number: 2017-1066

Plat Name: Cottage Grove Lake partial replat no 1

Applicant: Windrose

Date Submitted: 06/12/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

The applicant requests a variance to replat a landscape reserve into residential lots. The applicant is also requesting a variance to provide 8 guest parking spaces instead of the required 16.

Chapter 42 Section: 42-193/186b

Chapter 42 Reference:

Property within a subdivision plat that contains lots restricted to single-family residential or residential use may be replatted to amend a plat restriction only as provided below: c) Property within a subdivision plat that contains lots restricted to single-family residential or residential use may be replatted to amend a plat restriction only as provided below: (1) A plat restriction limiting the use of property to residential or single-family residential use may be amended to permit the use of that property only for landscape, park, recreation, drainage, or open space uses. Sec. 42-186(b) states, "Each subdivision plat providing for a single-family residential use on property located within the city that includes a shared driveway or a type 2 permanent access easement with six or more dwelling units shall provide one additional parking space for every six dwelling units. Dwelling units on a lot that includes a parking space in excess of the parking requirements of subsection (a) of this section shall not be counted in determining the required number of additional parking spaces required by this subsection."

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

NA

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The subject property is 4.5521 acres located on the north side of Kansas Street. The proposed plat is a partial replat of Cottage Grove Lake, which was recorded in 2016. The client has expressed intent to remove the landscape reserves to replace them with more single-family lots that will meet the Chapter 42 requirement for minimum lot size. The reserves in question are not required to meet Chapter 42 requirements and are not prohibited from conversion into single-family lots by privately held deed restrictions. The variance is necessary and justified to preserve the applicant's right to reasonable use of the land. The lots within the proposed configuration have not currently not been sold, and therefore does not pose a risk to the client to adhere to the parking reserves. The applicant also has to secure a variance from the provisions of Section 42-186, which requires 1 additional parking space for every 6 dwelling units if the subdivision utilizes shared driveways. While the entire Cottage Grove Lake development will retain the requisite 37 space, the partial replat currently under consideration only includes 8 spaces. Because the 100 lots within the partial replat area would normally require 16 spaces, the variance would provide a reasonable accommodation to the developer whose original subdivision meets the intent of the City's development regulations.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are a result of a technicality in the ordinance that inappropriately restricts the ability of a property owner to replat landscape reserves, and open space reserves into single-family lots. The proposed development will abide by all other provisions of the City's Code of Ordinances. The justification for the variance to Section 42-186 is the fact that a technicality in the ordinance prevents the developer from counting many of the parking spaces within the original Cottage Grove Lake subdivision that serve the property subject to the partial replat.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The applicant's new subdivision will continue to adhere to 60% lot coverage model, which is the standing model used in the original development. Because the applicant's request is reasonable, compatible with surrounding development, and does not violate any separately filed deed restrictions, the proposed development will meet the intent of the City's Subdivision Regulations.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety, or welfare as it will simply create more single-family residential lots. The development will have no impact on the surrounding development's traffic patterns, access to emergency services, or access to the public right-of-way. Further, the new lots will completely adhere to the health, safety and welfare requirements of Chapter 42.

(5) Economic hardship is not the sole justification of the variance.

The highest and best use for the property is to subdivide the open space reserve area into residential lots. The existing landscape reserve is not required to meet the conditions of Chapter 42 and the current and adjacent property owners no longer wish to utilize and maintain this unnecessary reserve. The single-family lots will be compatible with the immediate area and the City of Houston. Regarding the off-street parking variance, the original plat boundary contains the requisite 37 spaces necessary to support the ultimate 225-lot design. The single-family lots will be compatible with the immediate area, the City of Houston and the original development concept of the Cottage Grove Lake subdivision.



Application No: 2017-1066

Agenda Item: 100

PC Action Date: 08/24/2017

Plat Name: Cottage Grove Lake partial replat no 1

Applicant: Windrose

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 42-193/186b

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

The applicant requests a variance to replat a landscape reserve into residential lots. The applicant is also requesting a variance to provide 8 guest parking spaces instead of the required 16. ;

Basis of Recommendation:

The site is located along Kansas Street north of Washington Avenue and west of TC Jester Boulevard. The purpose of the replat is to create 100 lots along shared driveways and 28' private access easements. The applicant is requesting two variances: One, to replat an approximately 1200 square foot landscape reserve into residential lots. Two, to provide 8 guest parking spaces instead of the required 16. Staff is in support of each request.

The site is located within Cottage Grove Lake, platted last year. The subject tract consists of a replat of a portion of lots within the larger previous plat.

Regarding the first variance, the applicant proposes to replat a landscape reserve into two residential lots by way of a partial replat rather than replatting the entire subdivision; as mandated by Chapter 42. Since none of the lots within the replat area have been sold, forcing the applicant to replat the entire subdivision would be impractical. In addition, the applicant is providing approximately 2 and ½ acres of landscaping and open space within the previous plat's boundary. Regarding the second variance, the applicant is proposing to reconfigure the 7 approved parking spaces and provide 8 guest parking spaces within the replat boundary. Strict interpretation of Chapter 42 would require the applicant to provide an additional 7 spaces based on the number of lots within the replat. Since the applicant is not reducing the number of spaces within the previous plat or replat, the applicant's proposal is in keeping with the intent and general purpose of Chapter 42.

Staff recommends granting each variance and approving the plat per the cpc 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The site is located within Cottage Grove Lake, platted last year. The subject tract consists of a replat of a portion of lots within the larger previous plat. Regarding the first variance, the applicant proposes to replat a landscape reserve into two residential lots by way of a partial replat rather than replatting the entire subdivision; as mandated by Chapter 42. Since none of the lots within the replat area have been sold, forcing the applicant to replat the entire subdivision would be impractical. In addition, the applicant is providing approximately 2 and ½ acres of landscaping and open space within the previous plat's boundary. Regarding the second variance, the applicant is proposing to reconfigure the 7 approved parking spaces and provide 8 guest parking spaces within the replat boundary. Strict interpretation of Chapter 42 would require the applicant to provide an additional 7 spaces based on the number of lots within the replat. Since the applicant is not reducing the number of spaces within the previous plat or replat, the applicant's proposal is in keeping with the intent and general purpose of Chapter 42.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting granting of the variance are the fact that none of the lots have been sold and that there is sufficient guest parking within the larger area of the previous plat. Neither of these factors are the result of a hardship(s) created or imposed by the applicant.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Since no lots have been sold within the replat area, the applicant's proposal to change landscaping into lots is in keeping with the intent of Chapter 42. Since the applicant is not reducing the number of spaces within the previous plat or replat, the applicant's proposal is in keeping with the intent and general purpose of Chapter 42.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Staff finds that allowing the applicant to replat a landscape reserve and to utilize guest parking outside the replat boundary will not affect public health, safety, or welfare.

(5) Economic hardship is not the sole justification of the variance.

Granting each variance is justified by allowing development that is practical and the result of sound public policy.



Agenda Item: 101
Action Date: 08/24/2017
Plat Name: Facundo Plaza
Developer: FACUNDO HOME BUILDER
Applicant: PROSURV
App No/Type: 2017-1280 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.7679	Total Reserve Acreage:	0.7679
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77018	452Q	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

116. Add CenterPoint note to the plat: Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public

123. Add Owners Certification of Restrictions note to face of replat or amending plat (when plat includes residential lots): Further, the owners hereby certify that this amending plat does not attempt to alter, amend, or remove any covenants or restrictions.

186. Appendix B:Execution of Owners Acknowledgement is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

189. Appendix E:Certificate for Engineer or Surveyor is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

190.2. Add 'Martha L. Stein, Chair' as Chair in the Planning Commission certificate.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 101
Action Date: 08/24/2017
Plat Name: Facundo Plaza
Developer: FACUNDO HOME BUILDER
Applicant: PROSURV
App No/Type: 2017-1280 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

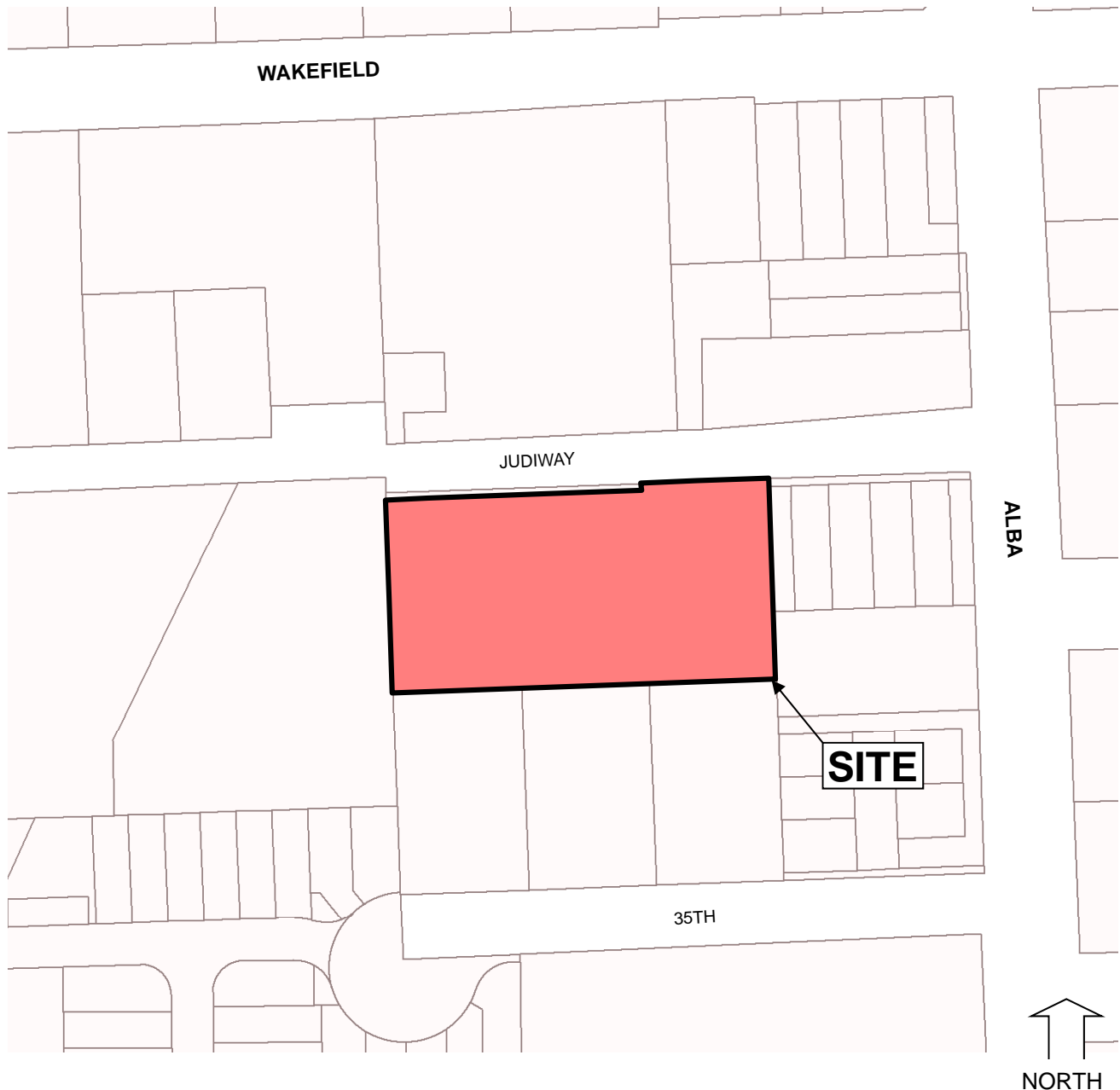
ITEM: 101

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Facundo Plaza

Applicant: PROSURV



C – Public Hearings

Site Location

Houston Planning Commission

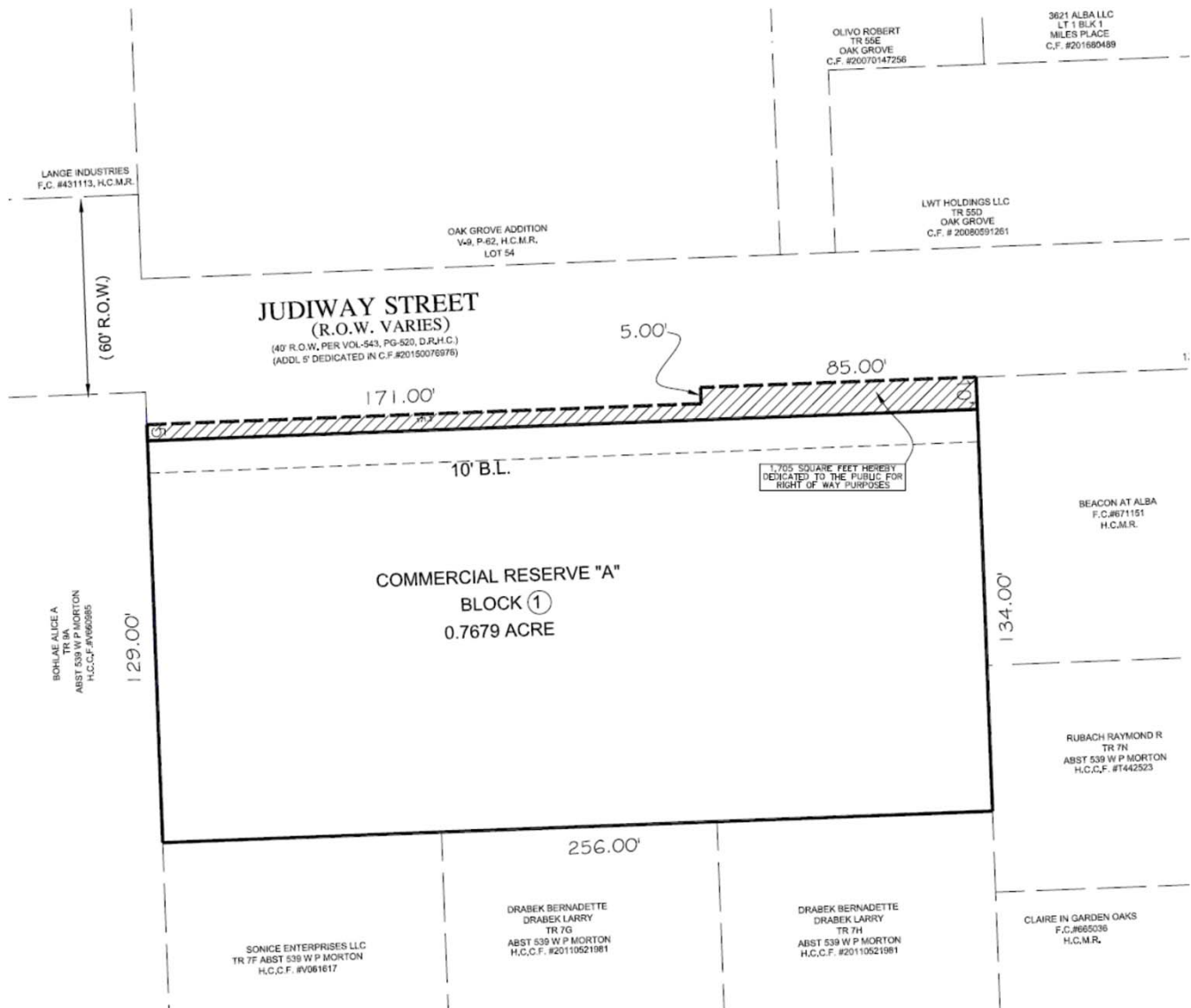
ITEM: 101

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Facundo Plaza

Applicant: PROSURV



C – Public Hearings

Subdivision

Houston Planning Commission

ITEM: 101

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Facundo Plaza

Applicant: PROSURV



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 102

Action Date: 08/24/2017

Plat Name: Houston Acreage Estates partial replat no 1

Developer: ABCAD DESIGN AND CONSTRUCTION

Applicant: Advance Surveying, Inc.

App No/Type: 2017-1217 C3N

Staff Recommendation:

Defer Applicant request

Total Acreage:	0.4028	Total Reserve Acreage:	0.4028
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	7	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77087	535N	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

057. Plat must show all street rights-of-way, shared driveways, alleys, easements, property lines and building lines within the plat boundary. (41)

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 102

Action Date: 08/24/2017

Plat Name: Houston Acreage Estates partial replat no 1

Developer: ABCAD DESIGN AND CONSTRUCTION

Applicant: Advance Surveying, Inc.

App No/Type: 2017-1217 C3N

Staff Recommendation:

Defer Applicant request

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application. Submit applications online at houstonpermittingcenter.org

PWE Traffic: No comments.

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 7.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 102

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Houston Acreage Estates partial replat no 1

Applicant: Advance Surveying, Inc.



C – Public Hearings

Site Location

Subdivision

Houston Planning Commission

ITEM: 102

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Houston Acreage Estates partial replat no 1

Applicant: Advance Surveying, Inc.



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 103
Action Date: 08/24/2017
Plat Name: Longwoods partial replat no 2
Developer: JAMES CALTAGIRONE
Applicant: Tri-Tech Surveying Co., LP/Tri-Tech Engineering, LP
App No/Type: 2017-1234 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.7182	Total Reserve Acreage:	0.0000
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:	9	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77024	491F	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

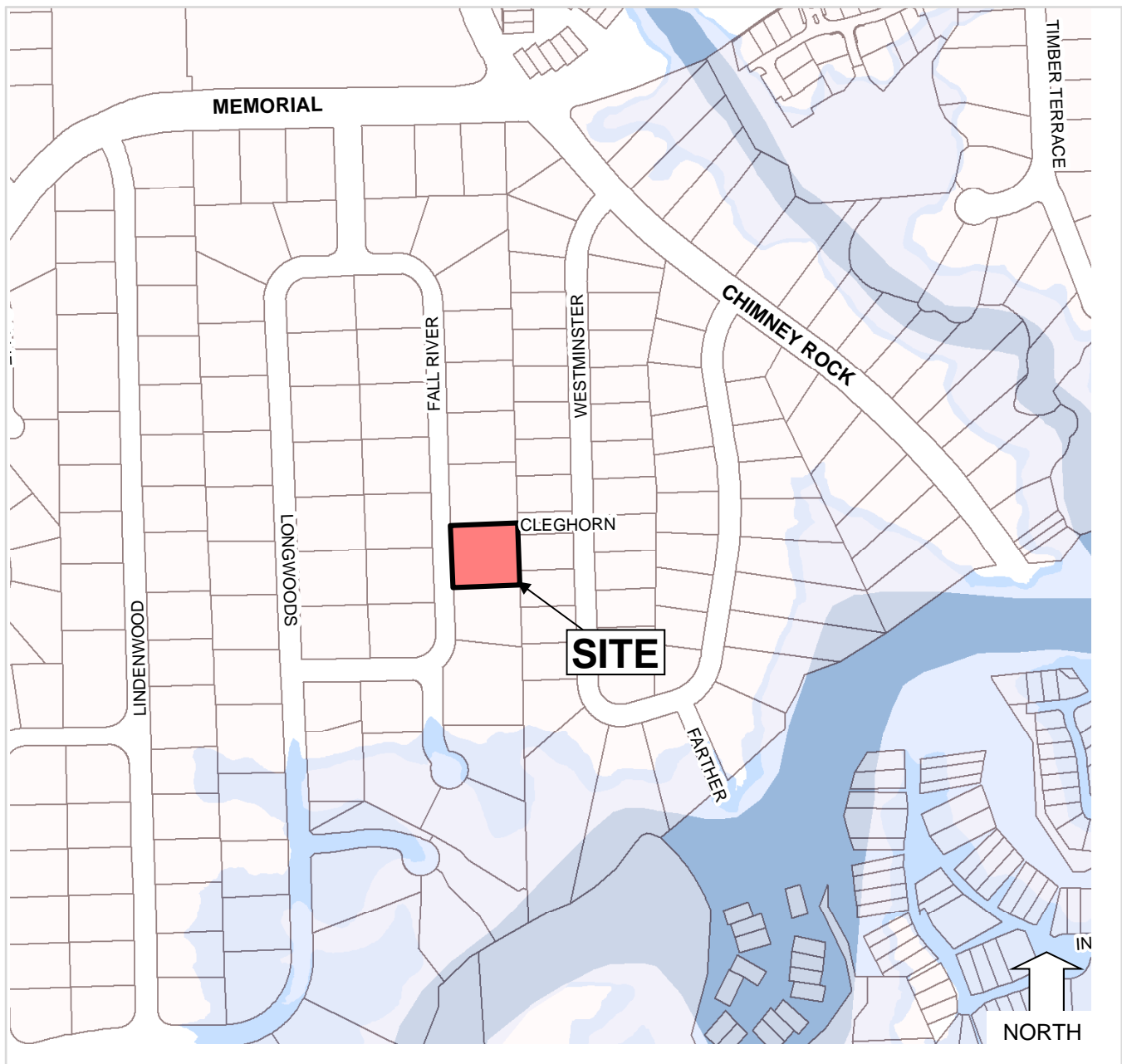
ITEM: 103

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Longwoods partial replat no 2

Applicant: Tri-Tech Surveying Co., LP/Tri-Tech Engineering, LP



C – Public Hearings

Site Location

Houston Planning Commission

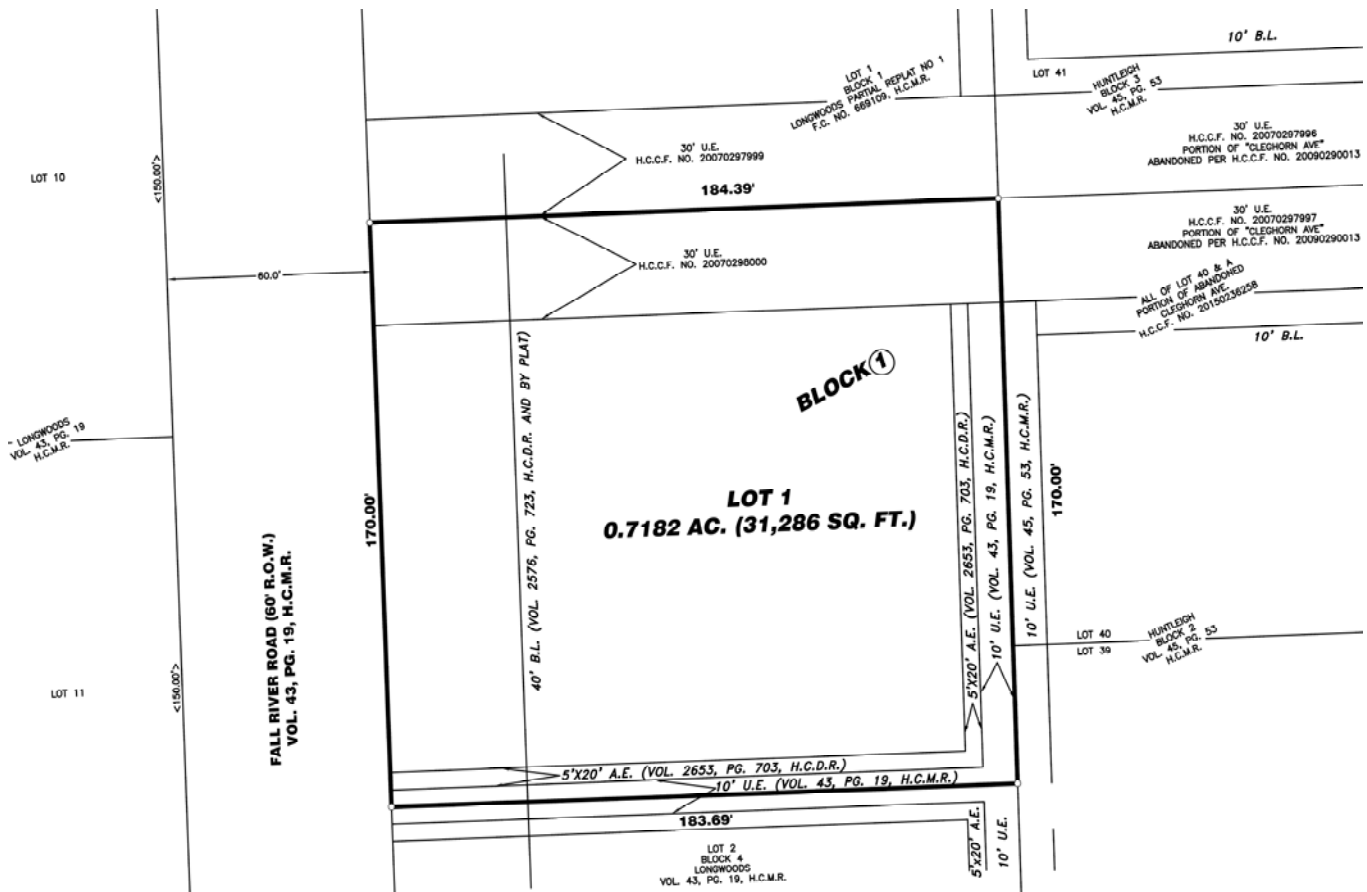
ITEM: 103

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Longwoods partial replat no 2

Applicant: Tri-Tech Surveying Co., LP/Tri-Tech Engineering, LP



C – Public Hearings

Subdivision

Houston Planning Commission

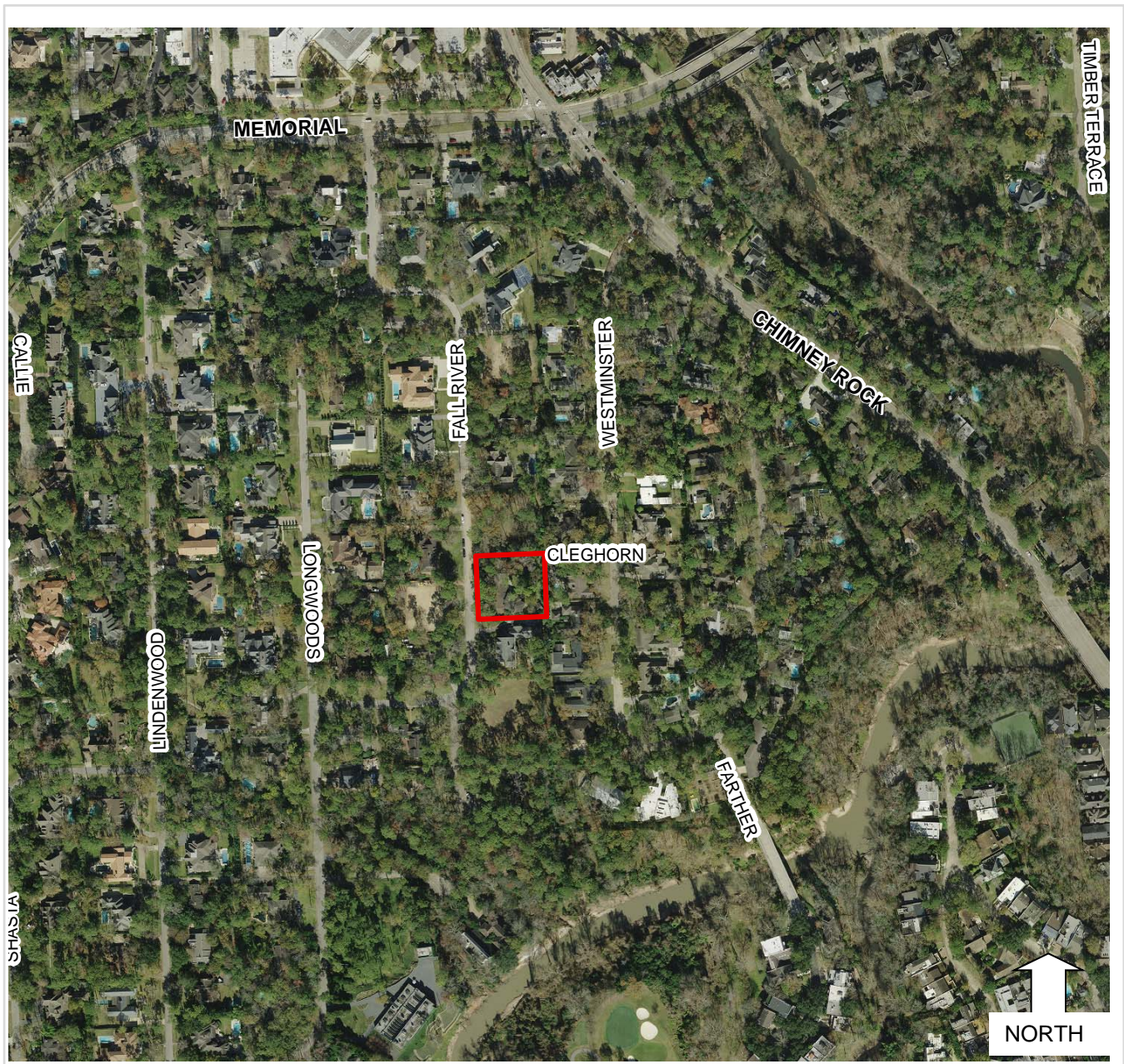
ITEM: 103

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Longwoods partial replat no 2

Applicant: Tri-Tech Surveying Co., LP/Tri-Tech Engineering, LP



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 104
Action Date: 08/24/2017
Plat Name: Neuen Manor partial replat no 7
Developer: PulteGroup
Applicant: RVi Planning + Landscape Architecture
App No/Type: 2017-1252 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	4.3897	Total Reserve Acreage:	0.5950
Number of Lots:	63	Number of Multifamily Units:	0
COH Park Sector:	10	Street Type (Category):	Type 2 PAE
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77080	450Q	City

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)
020. The building lines established along non-major thoroughfares for non-single-family residential properties shall have a 10-foot building line unless otherwise noted. (156)
047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
063. All appropriate engineering and surveying data shall be shown. (42 & 44)
064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)
153. Intersection spacing is not permitted. (126-129) Revise drawing for compliance.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 104
Action Date: 08/24/2017
Plat Name: Neuen Manor partial replat no 7
Developer: PulteGroup
Applicant: RVi Planning + Landscape Architecture
App No/Type: 2017-1252 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

Harris County Flood Control District: Flood Control review - Include Key Map information on the Vicinity Map.
Addressing: Please add all street names to Plat Tracker.
PWE Traffic: Sufficient on-site parking is provided.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

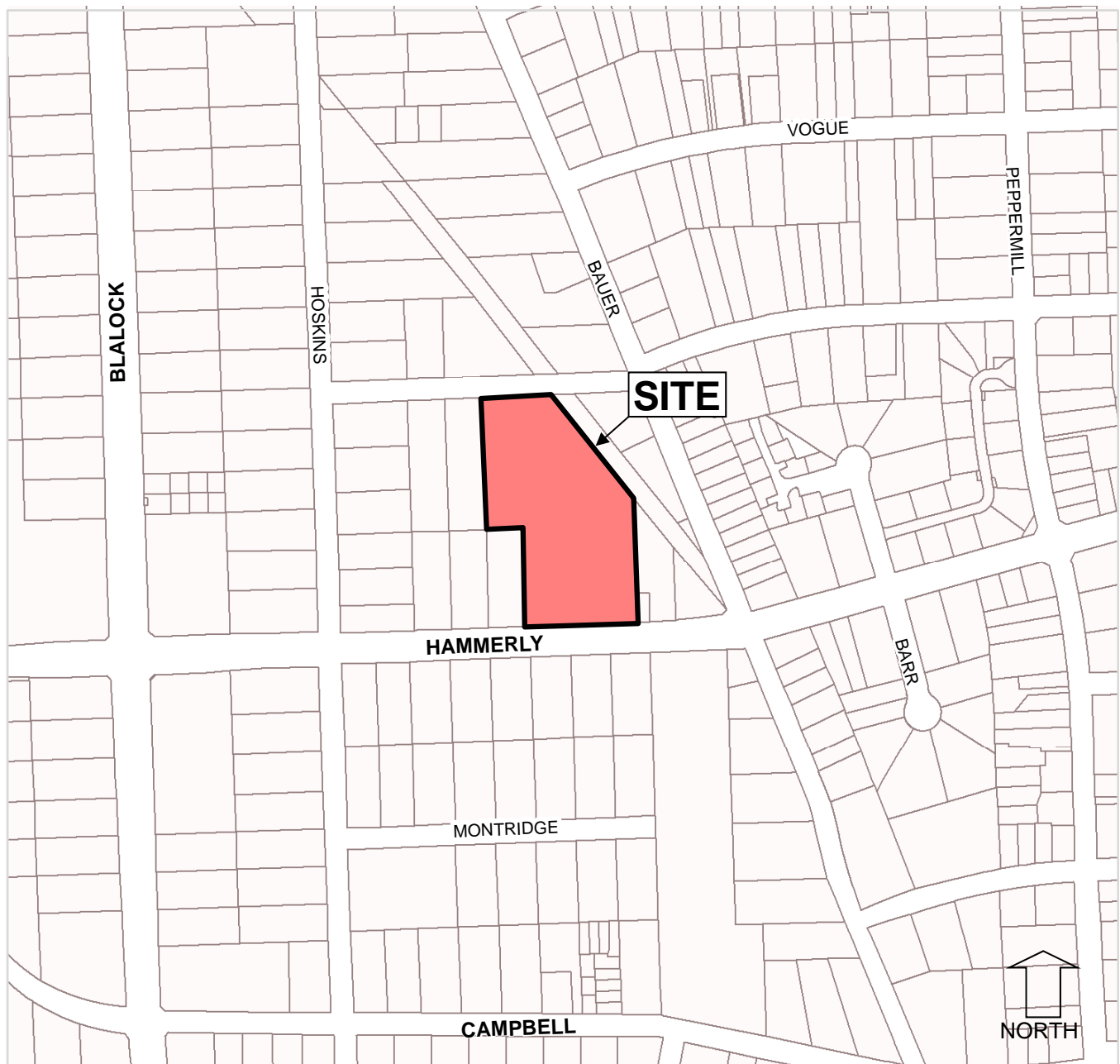
ITEM: 104

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Neuen Manor partial replat no 7

Applicant: RVi Planning + Landscape Architecture



C – Public Hearings

Site Location

Houston Planning Commission

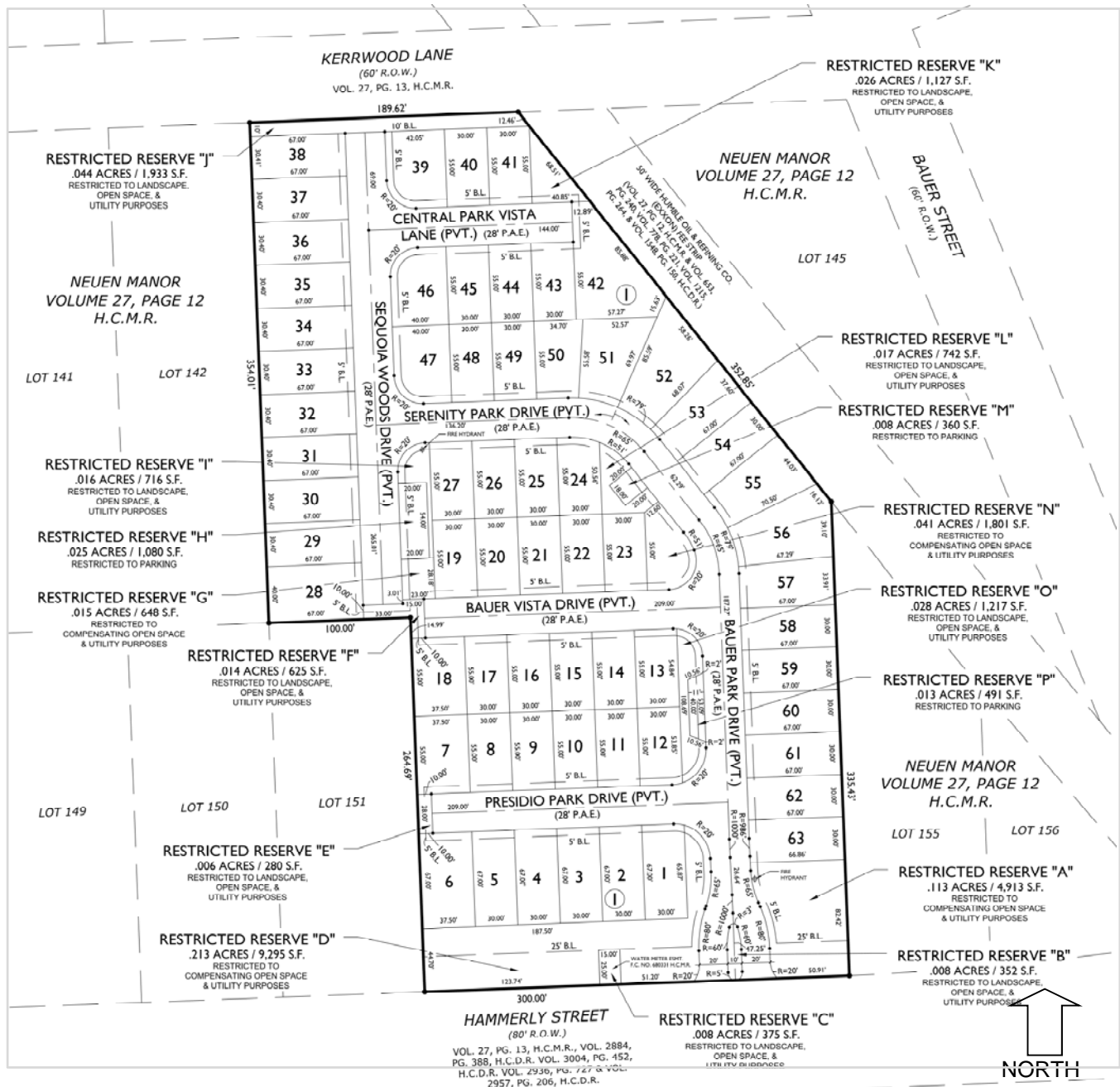
ITEM: 104

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Neuen Manor partial replat no 7

Applicant: RVi Planning + Landscape Architecture



C – Public Hearings

Subdivision

Houston Planning Commission

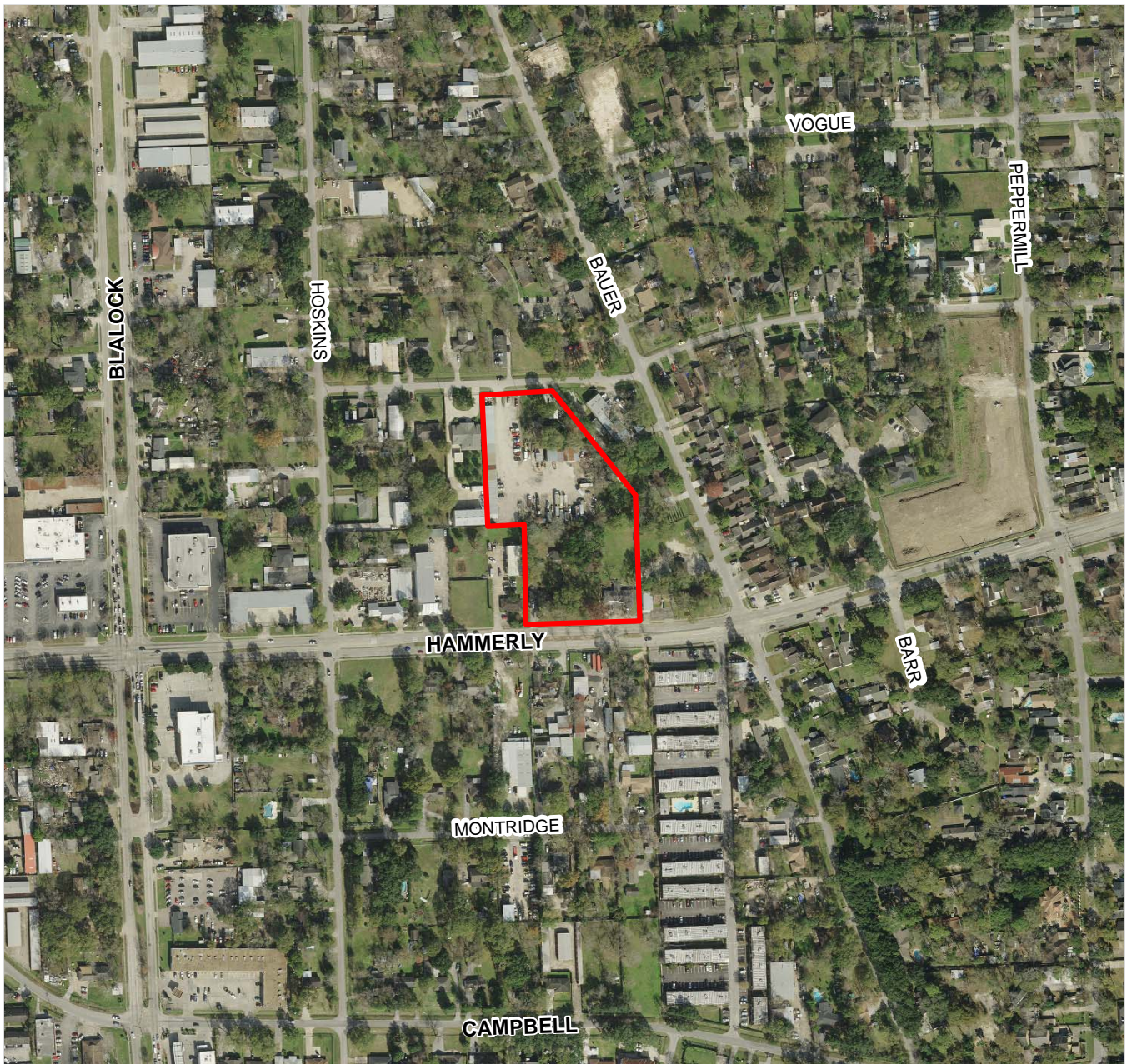
ITEM: 104

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Neuen Manor partial replat no 7

Applicant: RVi Planning + Landscape Architecture



C – Public Hearings

Aerial



Agenda Item: 105
Action Date: 08/24/2017
Plat Name: Newport Sec 4 partial replat no 4
Developer: Dunhill Builders, LLC
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2017-1224 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	6.4400	Total Reserve Acreage:	0.0000
Number of Lots:	11	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Newport MUD
County	Zip	Key Map ©	City / ETJ
Harris	77532	419A	ETJ

Conditions and Requirements for Approval

012.2.1 Dead-end utility easements are not permitted.

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

1. Add wastewater note: All lots shall have adequate wastewater collection service.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved

Harris County Flood Control District: Flood Control review - No comments.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

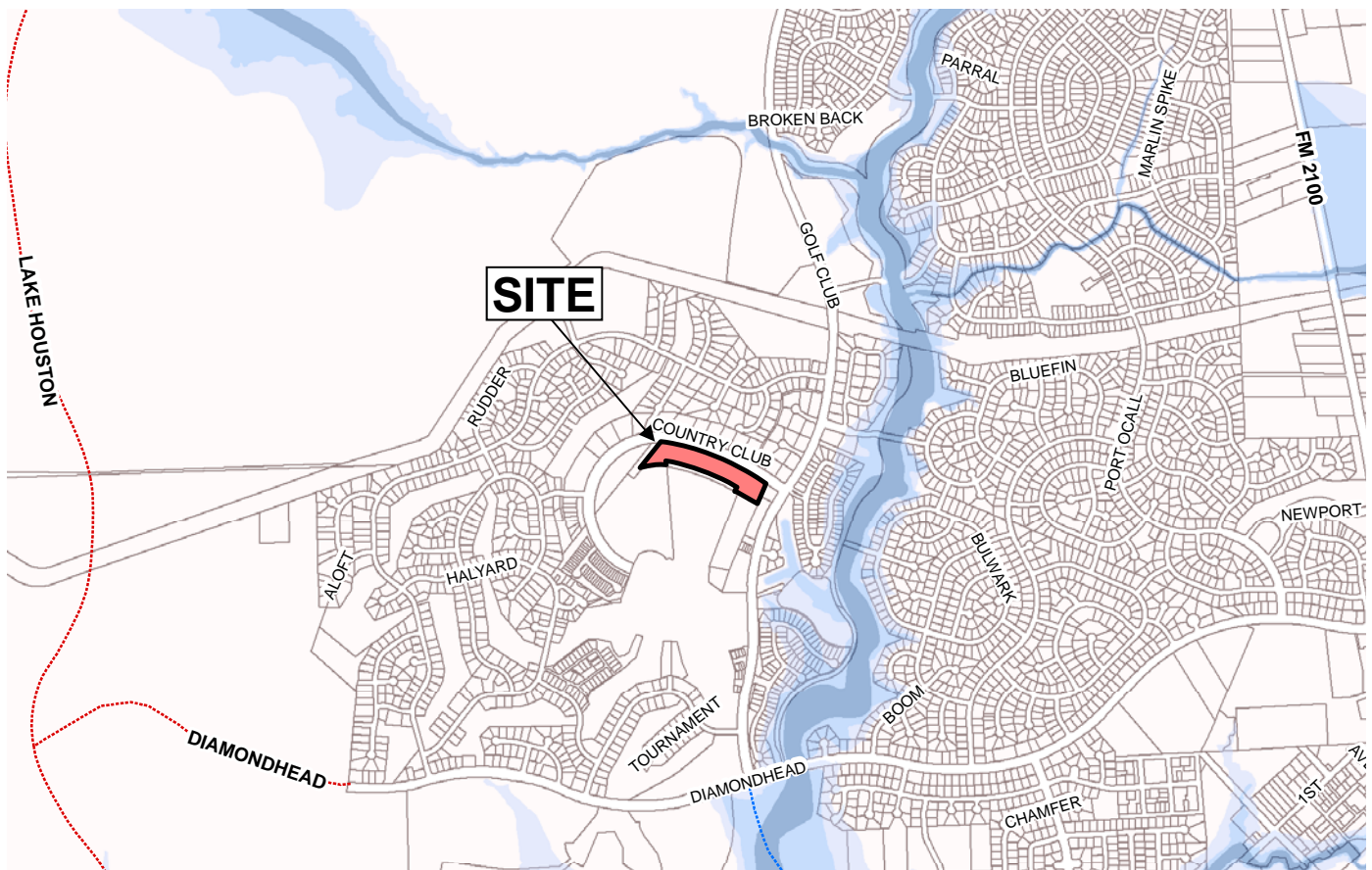
ITEM: 105

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Newport Sec 4 partial replat no 4

Applicant: LJA Engineering, Inc.- (West Houston Office)



C – Public Hearings

Site Location

Houston Planning Commission

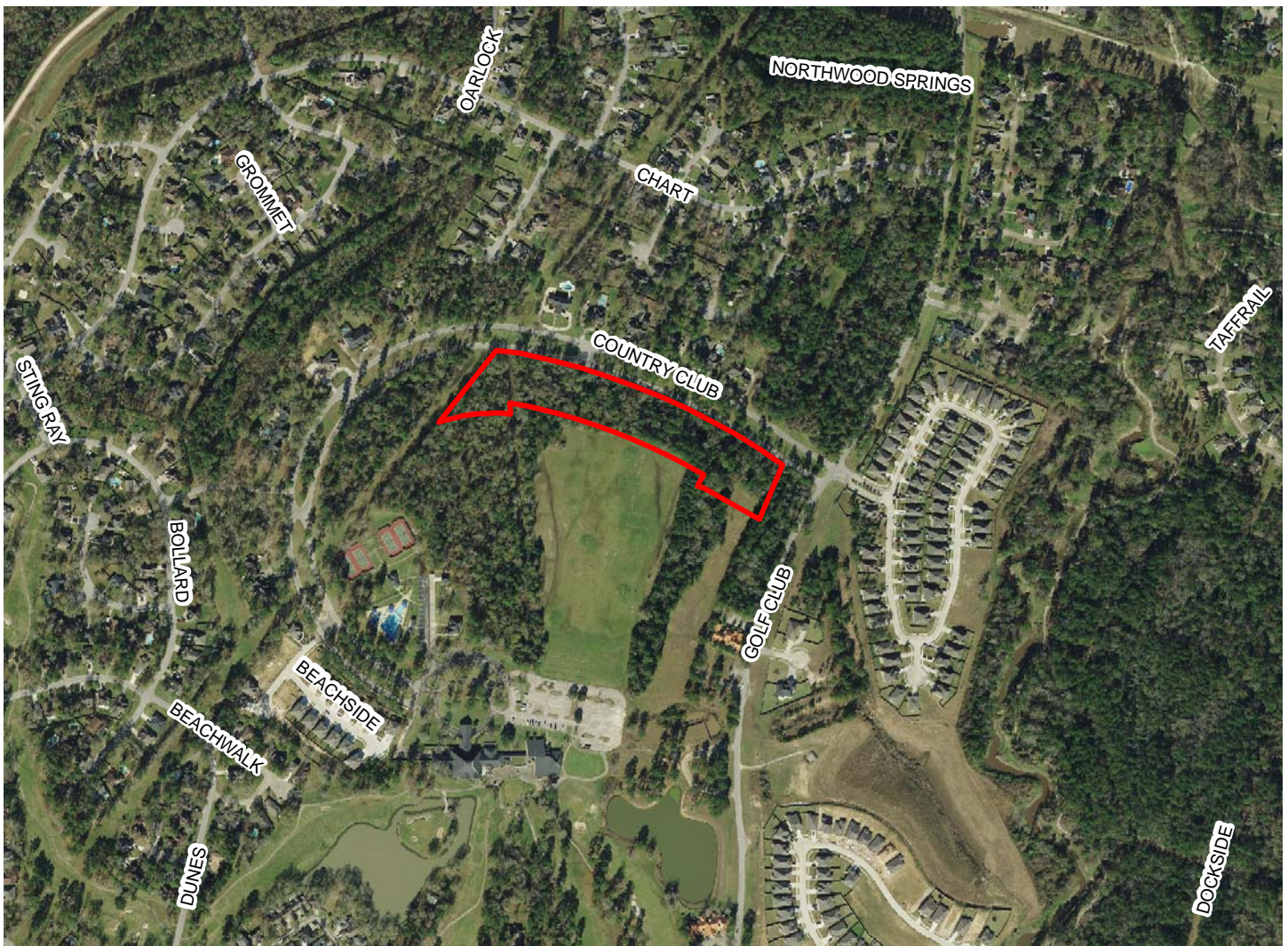
ITEM: 105

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Newport Sec 4 partial replat no 4

Applicant: LJA Engineering, Inc.- (West Houston Office)



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 106

Action Date: 08/24/2017

Plat Name: Raintree Village Sec 1 partial replat no 2

Developer: Champions Real Estate Group

Applicant: Surv-Tex surveying Inc.

App No/Type: 2017-0998 C3N

Staff Recommendation:

Withdraw

Total Acreage:	0.0868	Total Reserve Acreage:	0.0092
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Proposed Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	West Harris County MUD 7
County	Zip	Key Map ©	City / ETJ
Harris	77449	446S	ETJ

Conditions and Requirements for Approval

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Harris County Flood Control District: Flood Control review - No comments.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 106

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Raintree Village Sec 1 partial replat no 2 (DEF1)

Applicant: Surv-Tex surveying Inc.



C – Public Hearings

Site Location

Houston Planning Commission

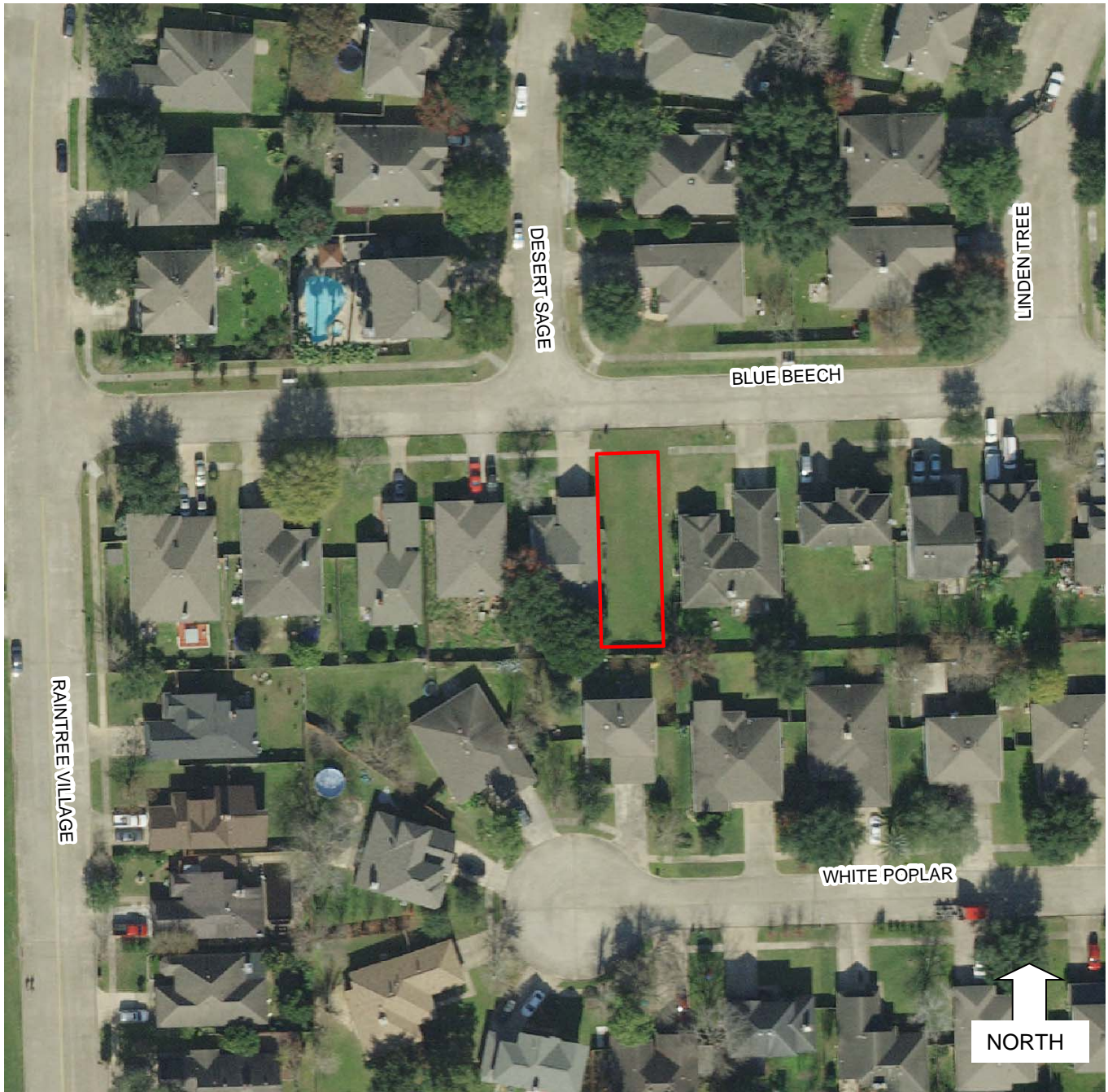
ITEM: 106

Planning and Development Department

Meeting Date: 08/10/2017

Subdivision Name: Raintree Village Sec 1 partial replat no 2 (DEF1)

Applicant: Surv-Tex surveying Inc.



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 107
Action Date: 08/24/2017
Plat Name: Spring Forest Sec 2 partial replat no 2
Developer: Grand Oaks Partners LLC
Applicant: Town and Country Surveyors
App No/Type: 2017-1220 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	2.1800	Total Reserve Acreage:	2.0800
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Montgomery	77386	252Z	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

- 1) Make row dedication as shown on the markup
- 2) reserve acreage will slightly decrease after row dedication

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 107

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Spring Forest Sec 2 partial replat no 2

Applicant: Town and Country Surveyors



C – Public Hearings

Site Location

Houston Planning Commission

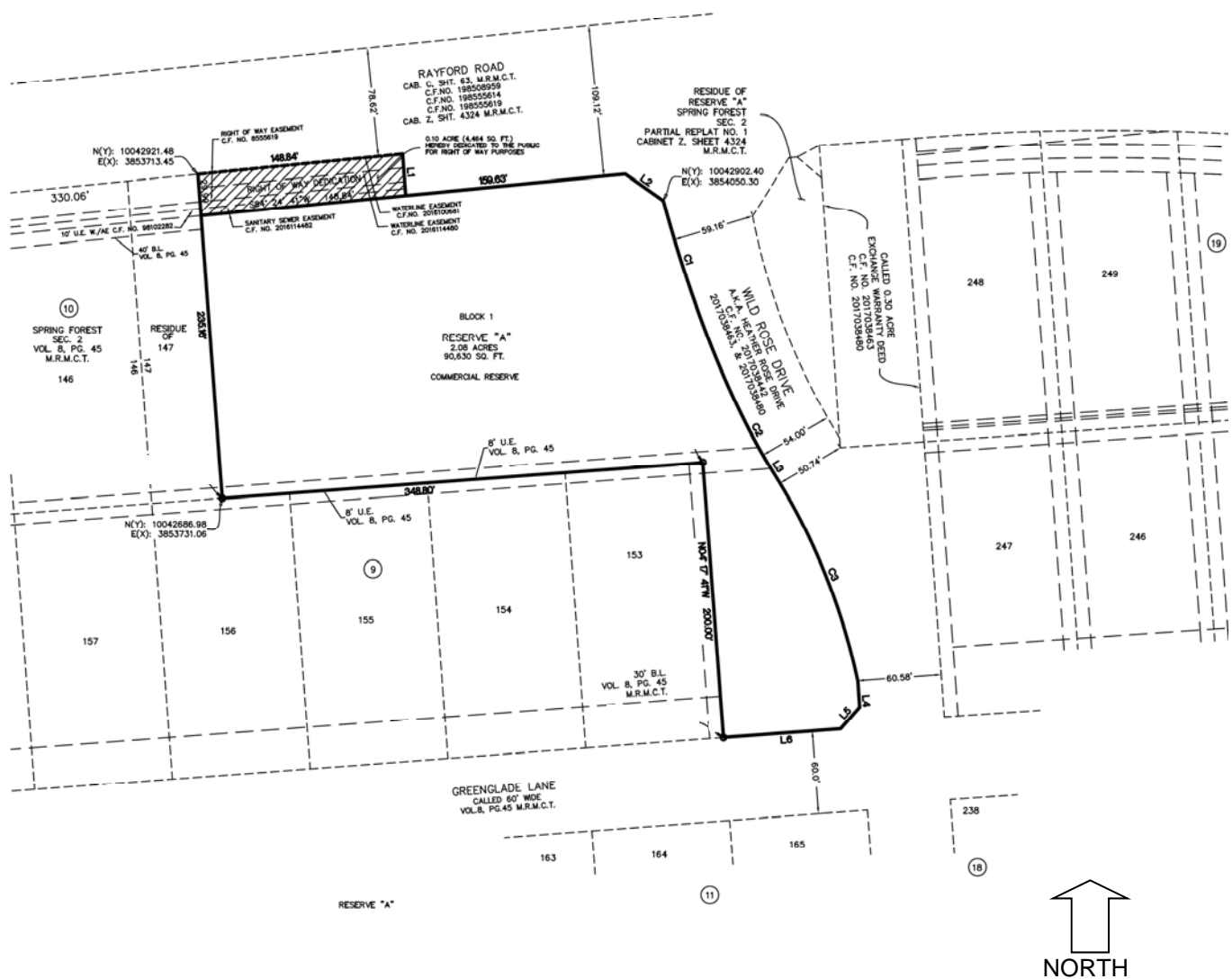
ITEM: 107

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Spring Forest Sec 2 partial replat no 2

Applicant: Town and Country Surveyors



C – Public Hearings

Subdivision

Houston Planning Commission

ITEM: 107

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Spring Forest Sec 2 partial replat no 2

Applicant: Town and Country Surveyors



C – Public Hearings

Aerial



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 108
Action Date: 08/24/2017
Plat Name: Spring Forest Sec 2 partial replat no 3
Developer: Grand Oaks Partners LLC
Applicant: Town and Country Surveyors
App No/Type: 2017-1219 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	2.8100	Total Reserve Acreage:	2.8100
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Montgomery	77386	252Z	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

- 1) Provide ROW dedication to Wild Rose Drive
- 2) reserve acreage will slightly decrease after row dedication

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 108

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Spring Forest Sec 2 partial replat no 3

Applicant: Town and Country Surveyors



C – Public Hearings

Site Location

Houston Planning Commission

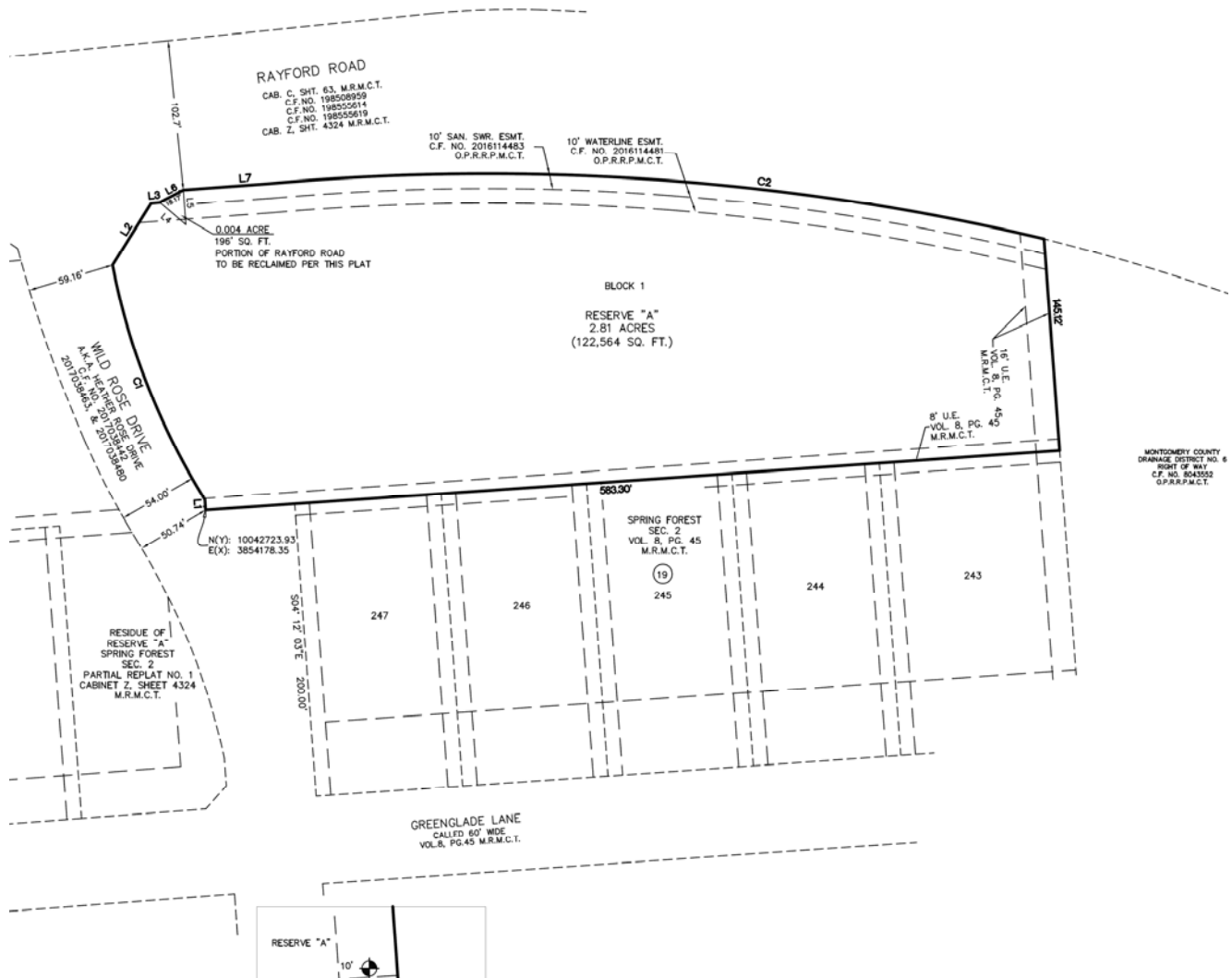
ITEM: 108

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Spring Forest Sec 2 partial replat no 3

Applicant: Town and Country Surveyors



C – Public Hearings

Subdivision

Houston Planning Commission

ITEM: 108

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Spring Forest Sec 2 partial replat no 3

Applicant: Town and Country Surveyors



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 109
Action Date: 08/24/2017
Plat Name: Aldine Land Holding Inc
Developer: Aldine Land Holding, Inc.
Applicant: Hovis Surveying Company Inc.
App No/Type: 2017-1501 C2R

Staff Recommendation:
Defer Additional
information reqd

Total Acreage:	2.4574	Total Reserve Acreage:	2.1467
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77039	373Z	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

Provide correct record in formation for Aldine Westfield.
Provide complete site plan and street cross sections.

Provide correct record in formation for Aldine Westfield. (Per plat it is only 50' and not 60'). If that is true, then 25' needs to be dedicated.
Provide complete site plan and street cross sections.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

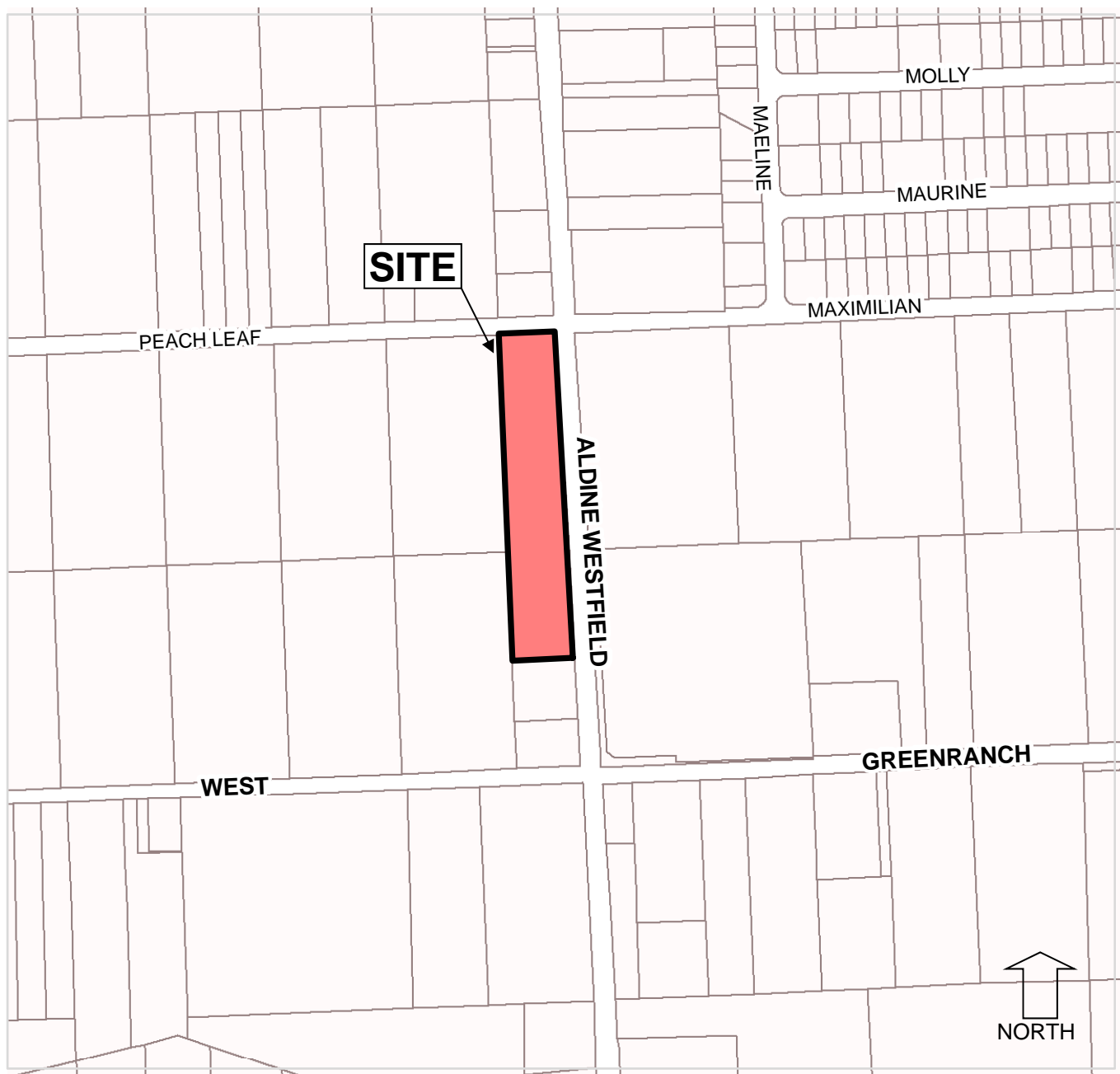
ITEM:109

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Aldine Land Holding Inc

Applicant: Hovis Surveying Company Inc.



D –Variances

Site Location

Houston Planning Commission

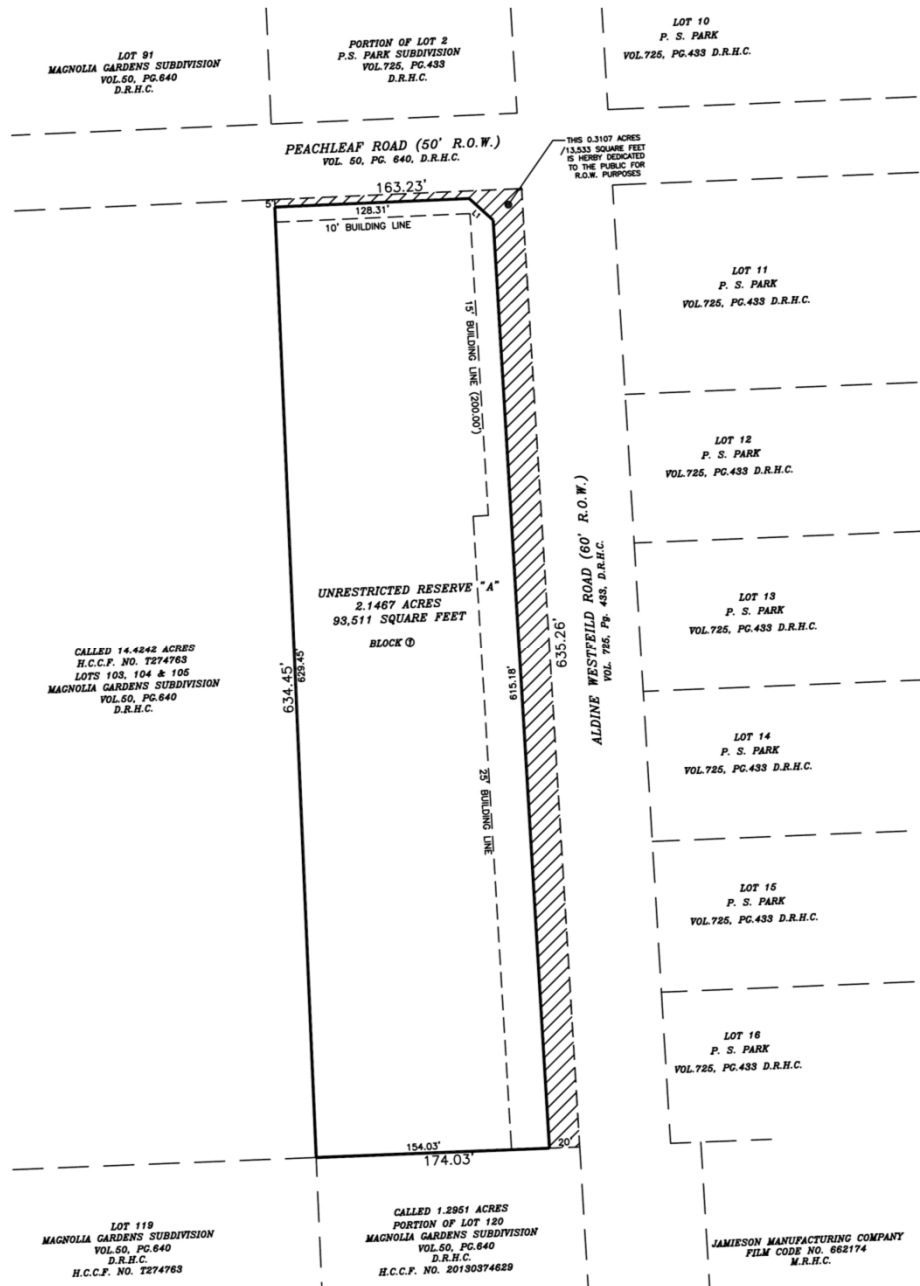
ITEM:109

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Aldine Land Holding Inc

Applicant: Hovis Surveying Company Inc.



D - Variances

Subdivision

Houston Planning Commission

ITEM:109

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Aldine Land Holding Inc

Applicant: Hovis Surveying Company Inc.

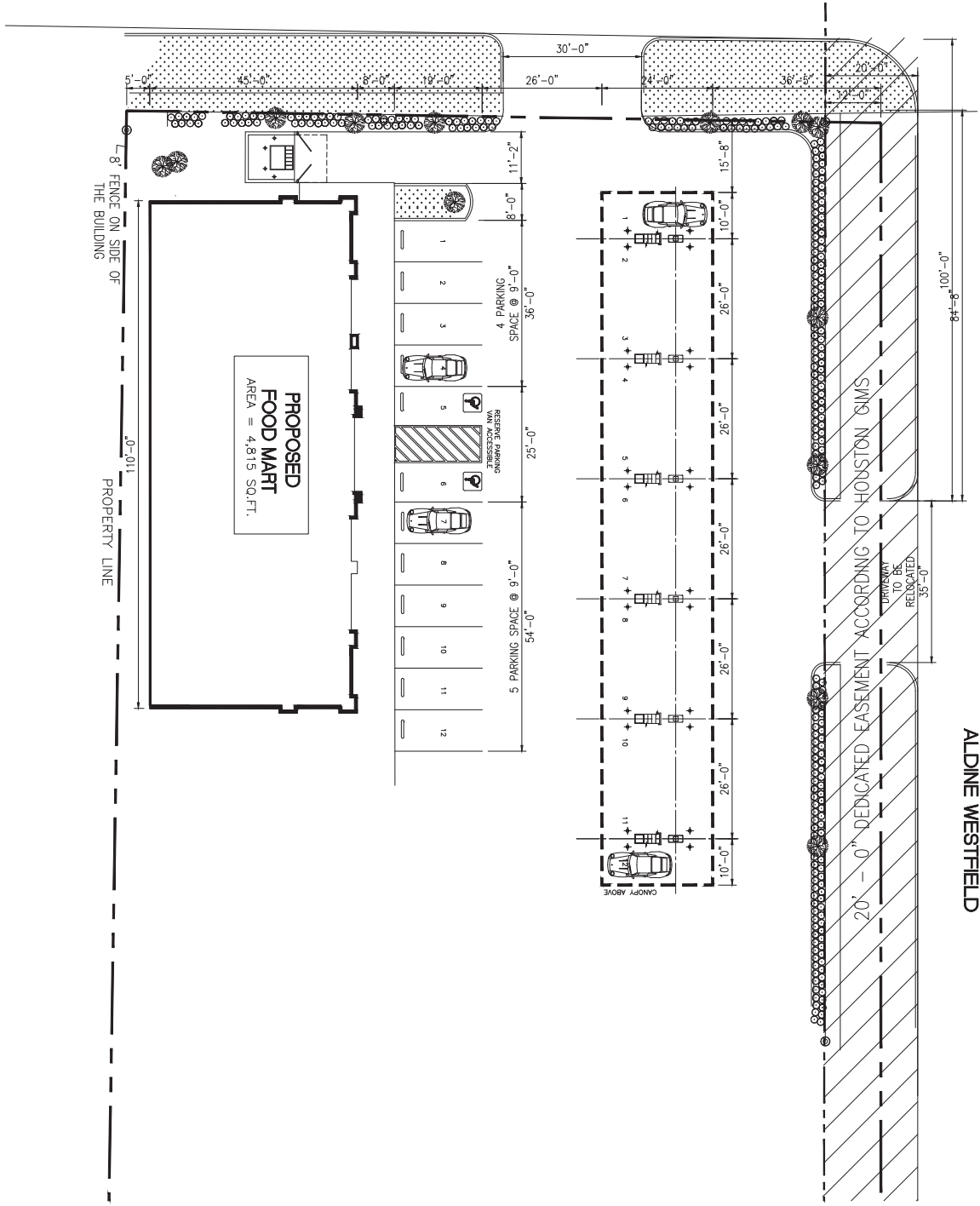


D –Variances

Aerial

PEACHLEAF

ALDINE WESTFIELD





Application Number: 2017-1501

Plat Name: Aldine Land Holding Inc

Applicant: Hovis Surveying Company Inc.

Date Submitted: 08/14/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow for a 15 foot Building Line along Aldine Westfield for the proposed canopy South of Peachleaf Road for 200 feet instead of the required 25 foot Building Line

Chapter 42 Section: 150

Chapter 42 Reference:

Minimum Building Line Requirement along a Major Thoroughfare shall be 25 feet

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

This 2.4574 acre development is located at the intersection of Peachleaf Road, a 50 foot right-of-way and Aldine Westfield Road, a 60 major thoroughfare to be widened. This development requires a 20 foot widening along Aldine Westfield Road and a 5 foot widening along Peachleaf Road in order to comply with Chapter 42 requirements. There is also a 25 foot building line required along the major thoroughfare Aldine Westfield Road. We are requesting to all for a 15 foot building line along Aldine Westfield Road for the first 200 feet South of Peachleaf Road. This property is to be development as a gas station. Due to the widening requirement along Aldine Westfield Road, the tract depth is only 143 feet from the new right-of-way line to the West property line. The buildable area with a 25 foot building line is 118.5 feet. We are requesting a 15 foot building line the proposed canopy only. The main structure will adhere to the required Chapter 42 Building Lines. This request is so that we can allow for the required distances from the gas pumps to the building and the required travel lanes. The remainder of the property will adhere to the required 25 foot building line.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant because there would be room for the development of the proposed gas station without the required widening of Aldine Westfield. Lot 3 and 4 of P.S. Park were originally platted in 1929. These lots have been in this configuration since then. The required 20 foot of right-of-way dedication and 25 foot building deprive the developer of being able to fully utilize the tract. This requested variance is for the proposed canopy only and the 25 foot building line will be adhered to for all other development.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter will be preserved and maintained because this variance request is for the proposed gas pump canopy only and all of structures will adhere to the required 25 foot building line. The request for a 15 foot building line for the canopy allows for the practical development of this property.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare because we are requesting a 15 foot building line for the canopy only and all other buildings will adhere to the required 25 foot building line. There will not be an occupied building in the requested 15 foot building line.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance because this development is proposing to generally adhere to the requirements of Chapter 42. The variance we are requesting is to allow for the canopy for the gas pumps of the proposed gas station to be development at the intersection of Peachleaf Road and Aldine Westfield Road to be 15 feet from the proposed right-of-way instead of the required 25 feet. This request allows for the developer to ensure that the minimum safety requirements for the gas station can be met and the property can be fully developed. All proposed buildings will adhere to the required 25 foot building line.



Application No: 2017-1501

Agenda Item: 109

PC Action Date: 08/24/2017

Plat Name: Aldine Land Holding Inc

Applicant: Hovis Surveying Company Inc.

Staff Recommendation: [Defer Additional information reqd](#)

Chapter 42 Sections: 150

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To allow for a 15 foot Building Line along Aldine Westfield for the proposed canopy South of Peachleaf Road for 200 feet instead of the required 25 foot Building Line;

Basis of Recommendation:

Subject site is located in Harris County along and west of Aldine Westfield Rd and north of West Rd. The applicant is requesting a variance to allow 15'BL along Aldine Westfield instead of the required 25' for a proposed canopy. Staff's recommendation is to defer the plat for additional information required.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

[N/A](#)

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

[N/A](#)

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

[N/A](#)

(3) The intent and general purposes of this chapter will be preserved and maintained;

[N/A](#)

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

[N/A](#)

(5) Economic hardship is not the sole justification of the variance.

[N/A](#)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 110
Action Date: 08/24/2017
Plat Name: Bauer Landing Sec 5
Developer: LGI Homes - Texas, LLC
Applicant: Pape-Dawson Engineers
App No/Type: 2017-1408 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	119.6850	Total Reserve Acreage:	85.4950
Number of Lots:	182	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77447	285L	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)
043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.
047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
053. Change street name(s) as indicated on the file copy to avoid duplication.
058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)
063. All appropriate engineering and surveying data shall be shown. (42 & 44)
064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 110
Action Date: 08/24/2017
Plat Name: Bauer Landing Sec 5
Developer: LGI Homes - Texas, LLC
Applicant: Pape-Dawson Engineers
App No/Type: 2017-1408 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Harris County Flood Control District: Flood Control review - This plat will require a Plat Release letter before going for recordation.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Addressing: new name for Baumgarten, as it is a sound-alike with Baumgartner.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Coordinate with HCFCD to determine if any additional easements are required to be dedicated by plat
Intersection of Nickel Bauer Road and Timberland Field Drive should be redesigned to create cul-de-sac or space for roundabout . Collector street ending at local street at 90 degree is not allowed.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

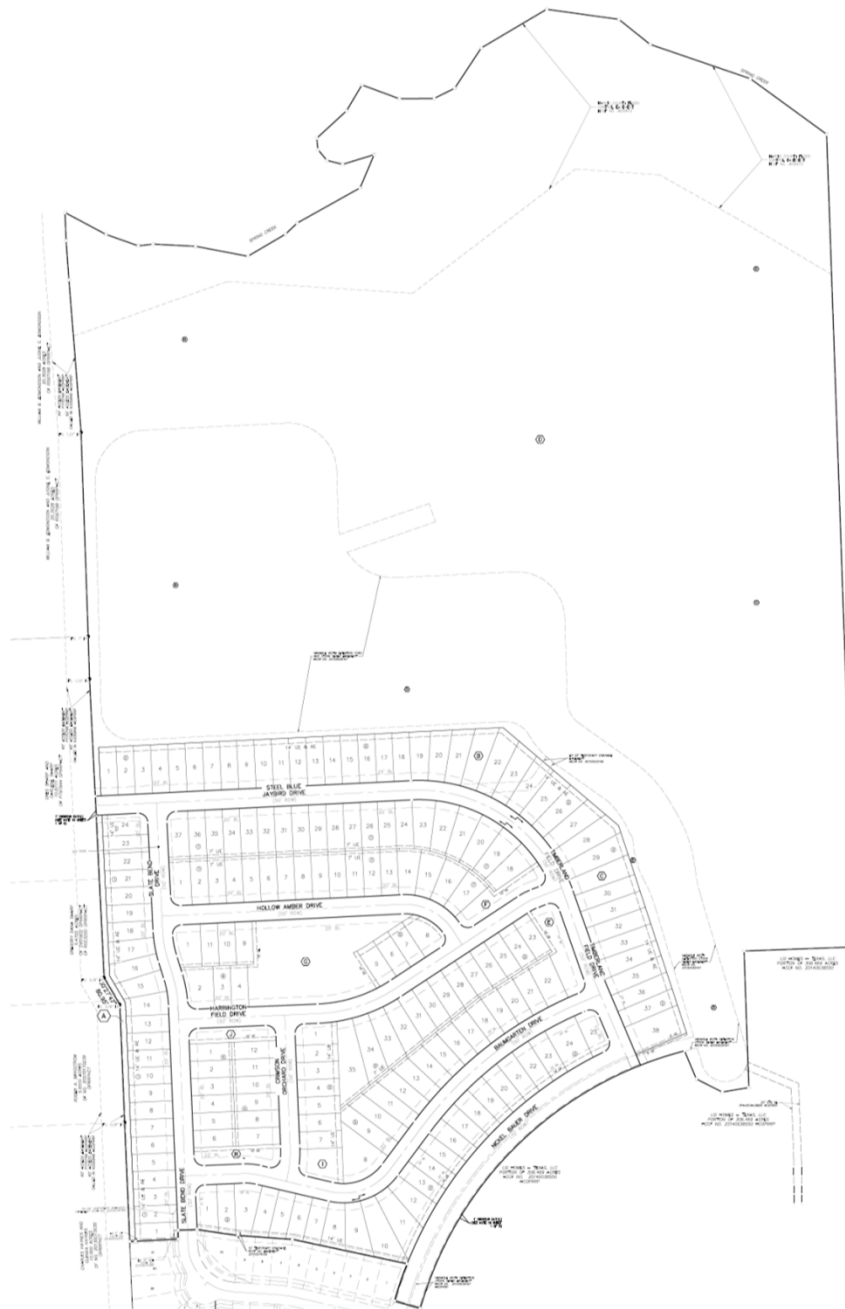
ITEM:110

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Bauer Landing Sec 5 (DEF 1)

Applicant: Pape-Dawson Engineers



D –Variances

Subdivision



Agenda Item: 111
Action Date: 08/24/2017
Plat Name: Bauer Sunlight Drive Street Dedication Sec 1 and Reserve
Developer: LGI Homes
Applicant: Pape-Dawson Engineers
App No/Type: 2017-1500 C3P

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	3.8410	Total Reserve Acreage:	0.1280
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77447	285Q	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
056. Sections of a subdivision shall be identified numerically and sequentially.
063. All appropriate engineering and surveying data shall be shown. (42 & 44)
- Remove reserve B and show 1' reserve all along the eastern plat boundary.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved
Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
UVE may need to be checked at Kennons Way and Bauer Sunlight Drive
County has no objections to variance.
TxDOT permit may be needed for plan approval
Clearly show limits of reserve B.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

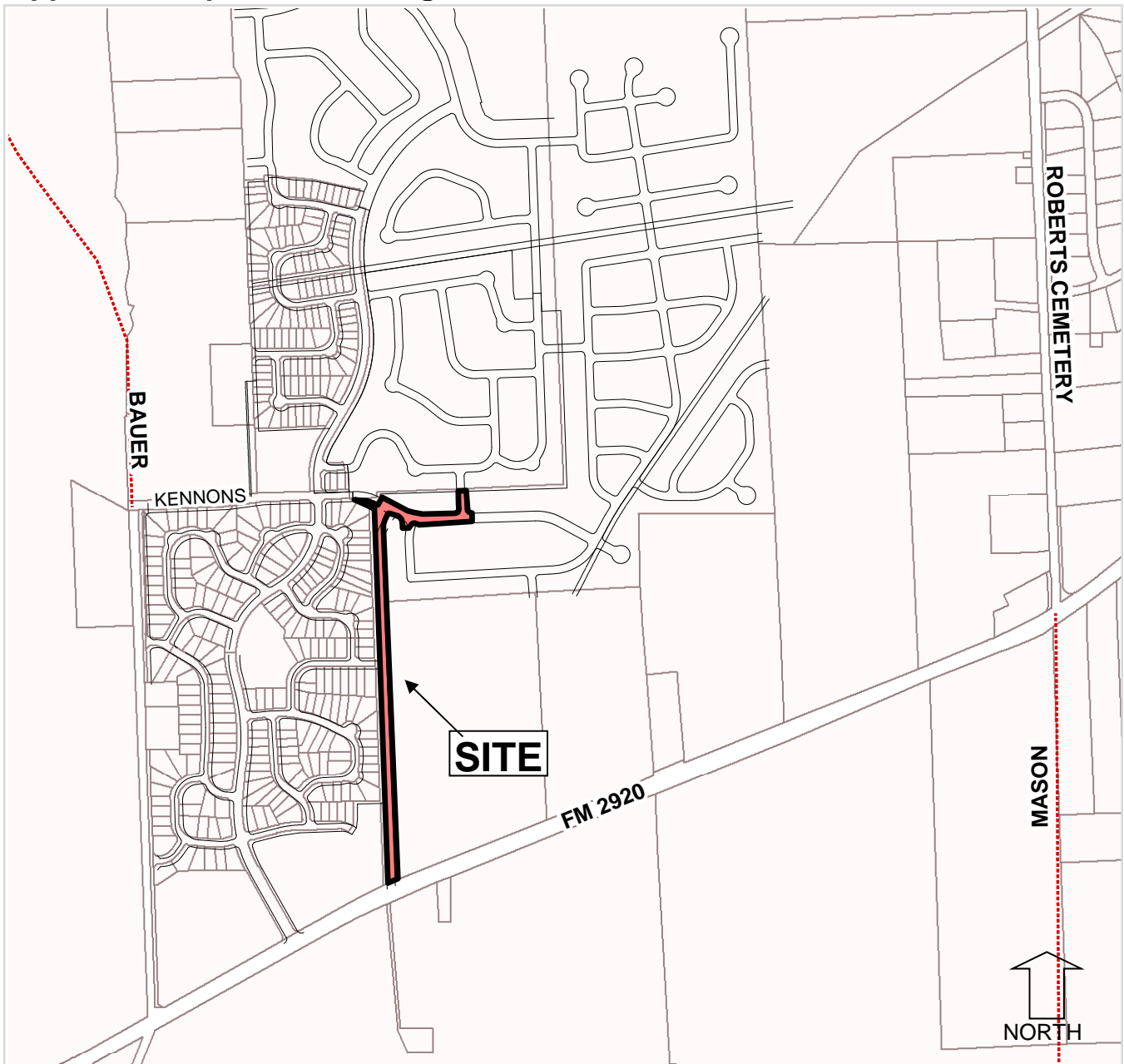
ITEM: 111

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Bauer Sunlight Drive Street Dedication Sec 1 and Reserve

Applicant: Pape-Dawson Engineers



D –Variances

Site Location

Houston Planning Commission

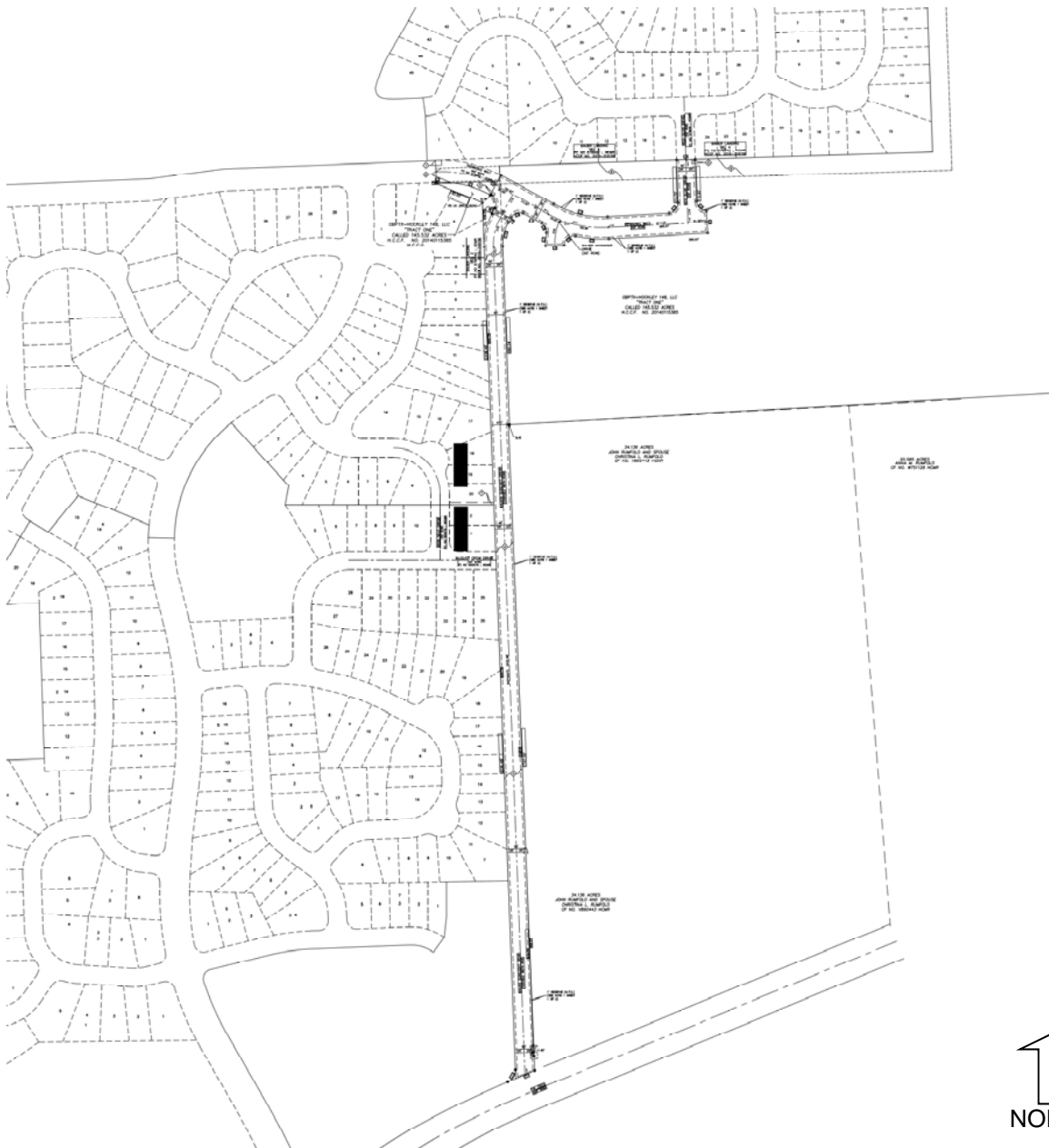
ITEM: 111

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Bauer Sunlight Drive Street Dedication Sec 1 and Reserve

Applicant: Pape-Dawson Engineers



D –Variances

Subdivision

Houston Planning Commission

ITEM: 111

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Bauer Sunlight Drive Street Dedication Sec 1 and Reserve

Applicant: Pape-Dawson Engineers



D –Variances

Aerial



JOB NO. 40071-60
 DATE JULY 2017
 DESIGNER BAS
 CHECKED DRAWNBAS
 SHEET 1 of 1

BAUER LANDING VARIANCE EXHIBIT CITY OF HOUSTON ETJ (HARRIS COUNTY), TEXAS ROW DEDICATION

PAPE-DAWSON ENGINEERS
 HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
 10333 RICHMOND AVE, STE 900 | HOUSTON, TX 77042 | 713-428-2400
 TEXAS FIRM REGISTRATION 14770 | TEPUS FIRM REGISTRATION 110103974

SHEET
2 of 2

CHECKED DRAWN BAS

DESIGNER BAS

DATE AUG 2017

JOB NO. 40071

BAUER LANDING

CITY OF HOUSTON ETJ (HARRIS COUNTY), TEXAS

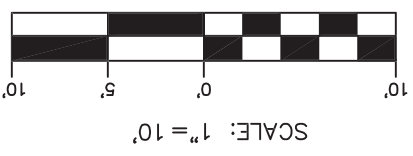
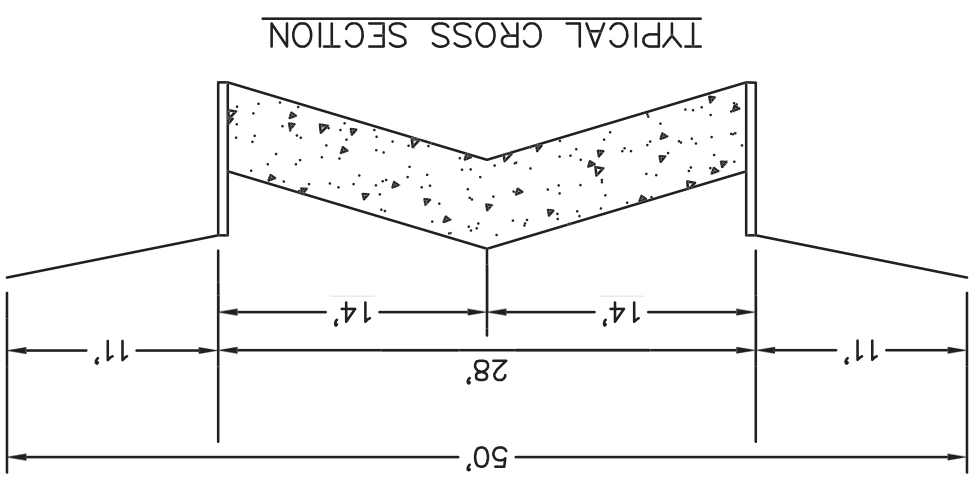
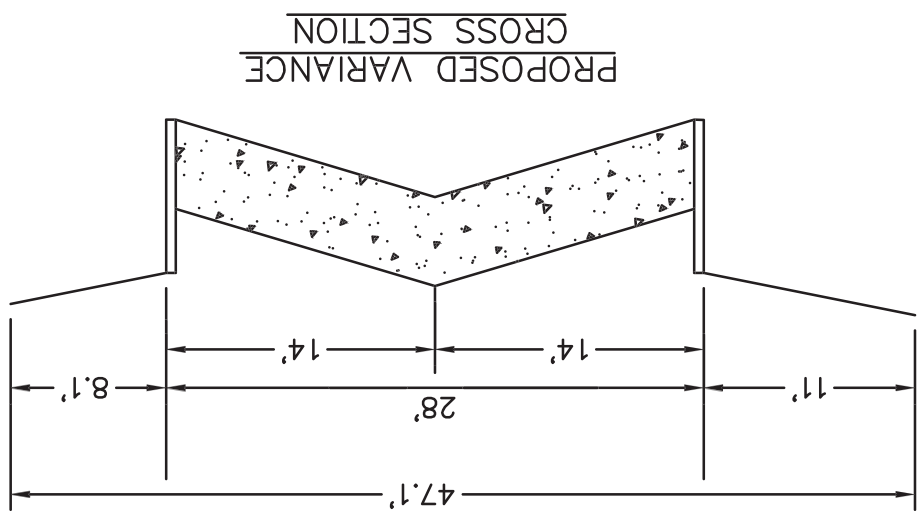
PAVEMENT CROSS SECTION EXHIBIT

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS

10333 RICHMOND AVE, STE 900 | HOUSTON, TX 77042 | 713.428.2400

TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #1019374

Pape-Dawson
ENGINEERS





Application Number: 2017-1500

Plat Name: Bauer Sunlight Drive Street Dedication Sec 1 and Reserve

Applicant: Pape-Dawson Engineers

Date Submitted: 08/14/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To not dedicate the entire right-of-way width (50 feet) along a +/- 1142-foot sliver within this street dedication and reserve plat.

Chapter 42 Section: 122

Chapter 42 Reference:

Chapter 42, Section 122, right-of-way widths. Local streets (1) 50 feet, if adjacent to exclusively single family residential lots:

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The community of Bauer Landing currently consists of four sections with just over 500 lots and is situated in the northwest edge of Harris county. The community adjoins FM 2920 and Bauer Road and is located between Tomball and Waller. One of the communities' main focal points is its 3.5-acre park equipped with playground equipment and Mount Bauer – a 30-foot tall hill. The variance we are humbly seeking is to not adhere to the 50-foot right-of-way requirement along a segment of road within this street dedication and reserve plat. The sliver at its widest is approximately 2.9 feet wide and tapering down to zero feet. It is approximately 1,142 feet long. The average width for the proposed section of road is 48.5 feet. For statistical purposes, the width is 3% out of compliance with Chapter 42.122. See "Bauer ROW Exhibit". The main reason we are requesting support of this variance is to address a safety concern. Currently there is only one point-of-access to the northern residents. A pinch point at the intersection of Nickel Bauer Drive and Kennons Way is a potential safety concern. Should an accident or other infraction happen causing this intersection to close it could potentially create a safety concern by impeding the residents, north of this intersection, to come and go freely. By granting this variance this street dedication would alleviate this safety concern entirely. The proposed configuration of the streets within the proposed plat would also provide two points of access to the northern residents. This would put the subdivision in compliance with Chapter 42-189. Chapter 42-189 states that a subdivision must have two points of access when serving 150 or more lots. Currently the lots platted exceed said amount. Additional sections are currently being proposed so two points of access are critical for future development. Bauer Landing Section 6 proposes 81 lots has already been granted preliminary approval with the condition of providing two points of access. Bauer Landing Sec 5 proposes 182 lots and an additional 1.6-acre park. It is currently on this agenda for preliminary approval. The granting of this variance would allow the northern residents a second point of access, address the safety concern, and allow the future development of this community. The unique physical characteristic, in not meeting the full right-of-way width, was not something that could have easily been caught at the beginning of the development. Bauer Landing, Section 1, was recorded and in place before the land to the east was put under contract and included within an updated general plan. In addition, the developer had a good degree of certainty that the property had adequate width to provide the second point of access. Please refer to HCCE No. N289153, which states the land being conveyed was a private lane being 55 feet, more or less. "See N289153" Upon surveying the land, it was found that this was significantly less than the called 55 feet and why we are seeking the Commission's approval to grant this variance. As for practicality of design, the road will look and act no differently than what is currently built within the community. It will be a 28 foot wide curbed concrete road. Please refer to the "Pavement Cross Section Exhibit". It depicts the standard concrete width and the proposed cross section. Note the only difference is instead of 11 feet on the east side it would be reduced to 8 feet. The property to the east is 34 acres and has not been platted. If the property is platted in the future this property would have rights to take access to the roads being proposed. In addition, the City and County would be within their rights to obtain the remaining

width. There is a degree of certainty that this street would one day have its full intended width. Had the adjoining property been already platted acquisition of the remaining right-of-way would have been more difficult for the City/County in the future. Contact attempts with the adjoining landowner have been made but are fairly recent. The applicant has called the place of business, left a note at the place of business, and sent an email through the business website (www.theshowboatdrivein.com). At this time, the applicant has not been in contact with this landowner. It is our intent to make sure some form of communication with the adjoining landowner prior to recording this plat. If said adjoining landowner is willing to participate to dedicate this portion of right-of-way, it is our intention to simply resubmit the street dedication plat adding them as an owner to the plat. It is our humble request that the Commission grant the variance. By doing so the Commission would solve a potential safety concern and put the community and future development in compliance with 42-189 (2 points of access) In addition, the right-of-way in question has a good degree of certainty that full width could be obtained in the future and the full pavement width will be constructed at this time.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the requested variance are directly related to a unique physical characteristic of the land conveyed. 55 feet of indicated width established in HCCF No. N289153, gave the developer some degree of certainty of adequate width, but upon further investigation only 47.5 feet existed. The land within HCCF No. N289153, was added to the GP after Bauer Landing Section 1, had already been recorded. Bauer Landing Section 1, is located directly west of right-of-way where the variance is being requested, so the developer could not make changes to alleviate the need for the requested variance.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The proposed street dedication plat allows greater mobility throughout the community. It allows two points of access to the norther portion of the community and addresses 42-189, two points of access. The right-of-way width being dedicated meets 95% of the 50 feet required with the potential of meeting full width in the future. The proposed pavement will be built and constructed in the same fashion as a typical street.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare because the pavement will be built the same as the other streets within the community, 28 feet wide. This street dedication plat adds mobility and grants the residence, in the northern sections, a second point of ingress and egress; therefore, making a safer community.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole concern. Safety and mobility is the priority for this variance.



Application No: 2017-1500

Agenda Item: 111

PC Action Date: 08/24/2017

Plat Name: Bauer Sunlight Drive Street Dedication Sec 1 and Reserve

Applicant: Pape-Dawson Engineers

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 122

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To not dedicate the entire right-of-way width for a residential street (50 feet) along a +/- 400-foot segment within this street dedication and reserve plat.;

Basis of Recommendation:

Subject site is located north of FM 2920 and east of Bauer Rd. The applicant is requesting a variance to allow a public street ROW to be less than 50'.

Staff is in support of the variance.

Bauer Landing GP is approx. 450 acres development and is bounded by Spring Creek to the north, major thoroughfare Bauer Rd to the east and FM 2920 to the south. The applicant is proposing a second point of access to this development via a local street Bauer Sunlight Drive along the eastern property boundary. This street is proposed to have 50' ROW but for a stretch of 1142' the width is only 47'. Bauer Landing Sec 1 west of this street is already platted and recorded with access from Bauer Rd. and the properties have been sold. The applicant claims that attempts were made to acquire additional land from the adjacent property owner without any success.

The applicant is proposing 28' paving width for the street and if the variance is granted, the paving width of the street will not be compromised. As and when the adjacent property will be platted, additional ROW can be acquired.

Granting of the variance will preserve the intent of the ordinance and promote public safety as it is a much needed street providing second point of access for the development.

Therefore, staff's recommendation is to grant the requested variance and approve the plat subject to CPC 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict application of the ordinance will make this project infeasible as the property to the west has already been improved as lots. Additional ROW can be acquired when the adjacent property is platted.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are due to the existing conditions.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent of the ordinance will be met as the paving width is not being compromised and additional ROW can be acquired when the adjacent property is platted.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will promote public safety as it is a much needed street for addressing second point of access for the development.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification. It is due to the existing conditions of Sec 1 being platted, recorded and developed.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 112
Action Date: 08/24/2017
Plat Name: Blue Ridge Hillcroft K8 School
Developer: ATHLOS ACADEMIES
Applicant: Civil-Surv Land Surveying, L.C.
App No/Type: 2017-1172 C2

Staff Recommendation:
Defer Additional
information reqd

Total Acreage:	24.3370	Total Reserve Acreage:	24.3370
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	8	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77085	571N	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

206. Staff recommendation is disapproval for the following reasons.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information.

Remove replat paragraph in the dedicatory language.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 112
Action Date: 08/24/2017
Plat Name: Blue Ridge Hillcroft K8 School
Developer: ATHLOS ACADEMIES
Applicant: Civil-Surv Land Surveying, L.C.
App No/Type: 2017-1172 C2

Staff Recommendation:
Defer Additional
information reqd

Parks and Recreation: 1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this project. When applying please attach a copy of the proposed re-plat to the WCR application.

Submit applications online at houstonpermittingcenter.org

Our records indicate that there is an active 8" public sanitary sewer line within a sixteen foot wide utility easement located across the north side of the subject site. An easement must be maintained over the existing sewer or for the abandonment/relocation of the sewer contact the Joint Referral Committee.

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: Flood Control review - Include Key Map information on the Vicinity Map.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

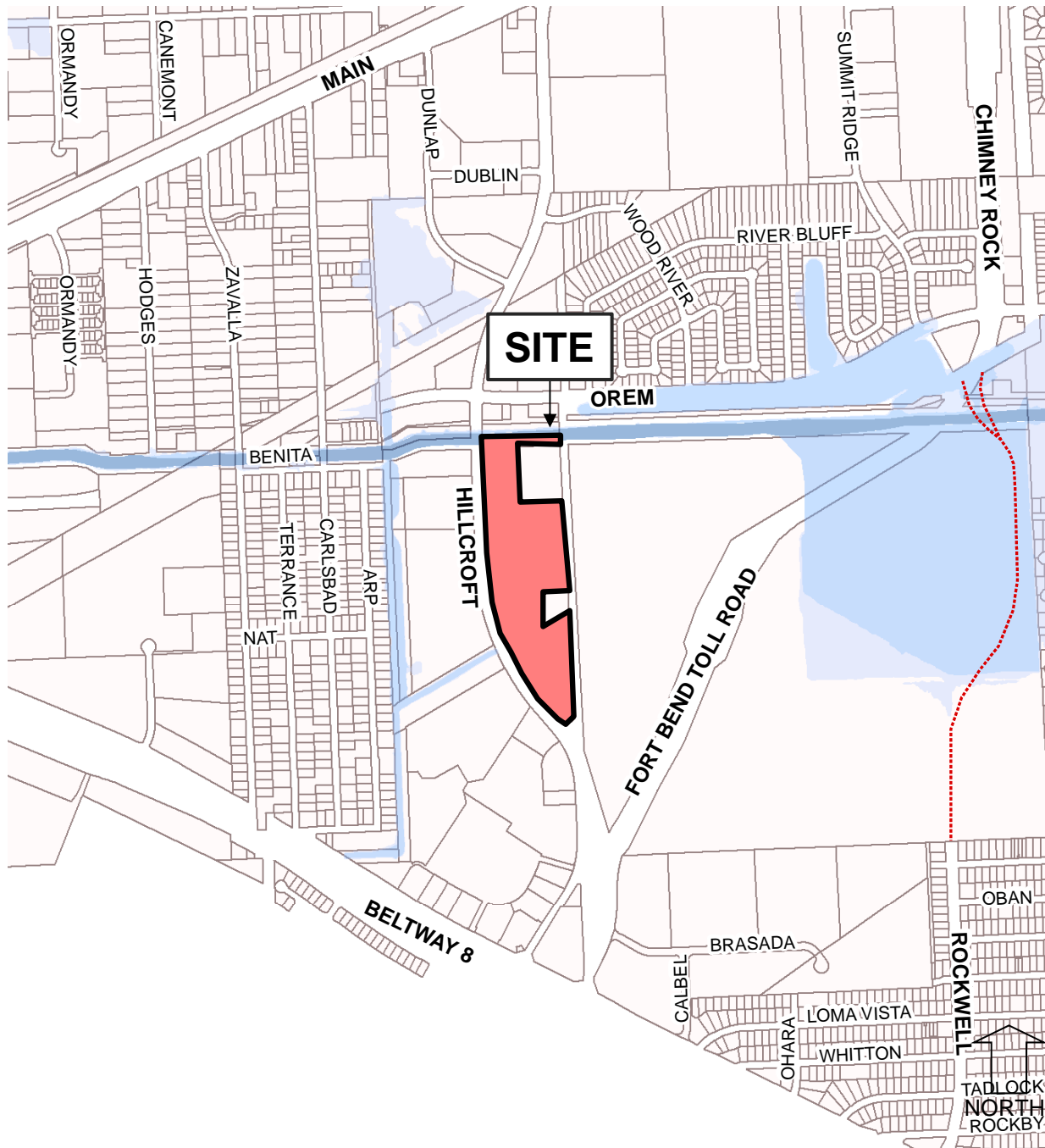
ITEM: 112

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Blue Ridge Hillcroft K8 School

Applicant: Civil-Surv Land Surveying, L.C.



D – Variances

Site Location

Subdivision

Houston Planning Commission

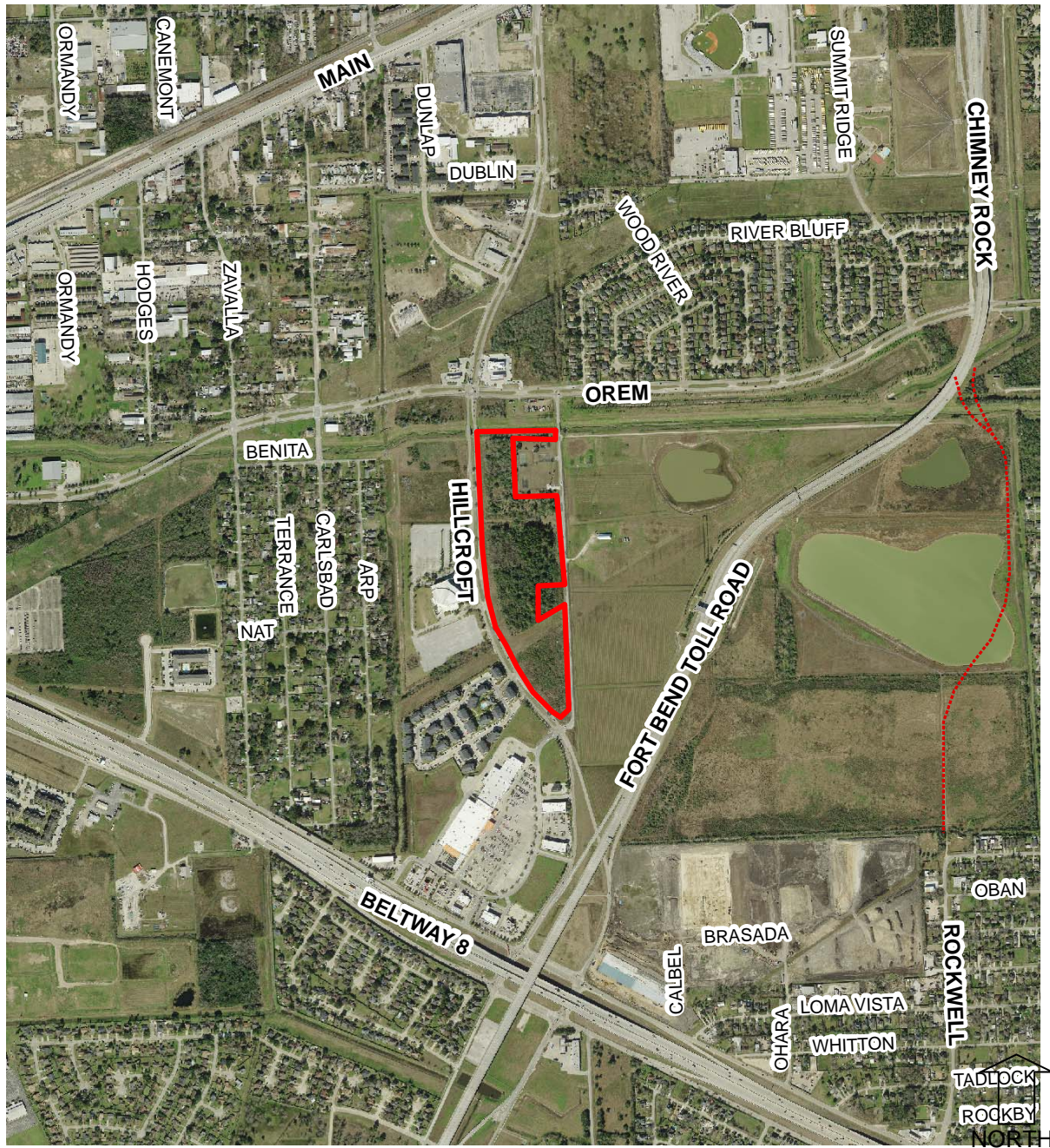
ITEM:112

Planning and Development Department

Meeting Date: 08/24/2017

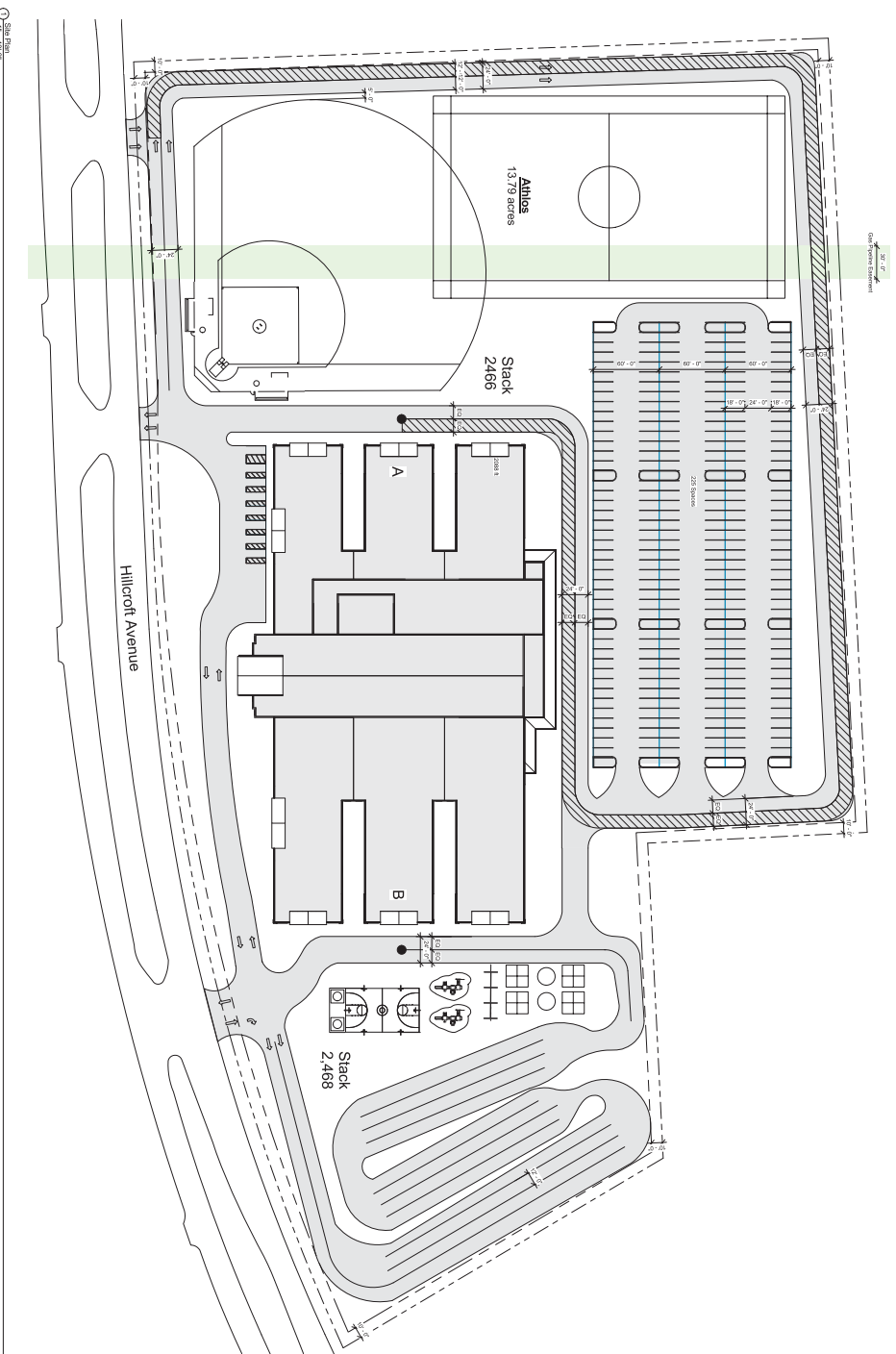
Subdivision Name: Blue Ridge Hillcroft K8 School

Applicant: Civil-Surv Land Surveying, L.C.



D – Variances

Aerial



Site Plan
1" = 40'0"

Site Legend	
Stacking Length	Side A: 2,466' - STACKING Side B: 2,468' - STACKING Total: 4,934' - Stacking
Parking Count	246 CARS
Site Size	13.79 ACRES
●	WITH BY-PASS LANE DROP - OFF/PICK - UP
▨	STACKING LANE



Houston - Hillcroft

CONSTRUCTION • ARCHITECTURE
PARKWAY

1000 Oak Creek Lane, Suite 200
Houston, Texas 77057-2211
713.221.1439



6/20/17
Architectural Site Plan



Application Number: 2017-1172
Plat Name: Blue Ridge Hillcroft K8 School
Applicant: Civil-Surv Land Surveying, L.C.
Date Submitted: 07/14/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To exceed 2600' intersection spacing along a major thoroughfare by allowing creation of an Unrestricted Reserve without dedicating an east to west street through the tract.

Chapter 42 Section: 127

Chapter 42 Reference:

42-127 Intersections of major thoroughfares

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land;
OR

NA

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Chapter 42-127 requires that a major thoroughfare shall intersect with a public local street, collector street or another major thoroughfare at least every 2,600 feet. The proposed plat in this case lies along Hillcroft Avenue between West Orem Drive and Blue Ridge Road, 100' and 60' public Rights-of-Way, respectively. The actual intersection length blockface to blockface along the centerline is approximately 2,960 feet, just passing the required distance. Our Restricted Reserve is situated approximately 964 feet south of West Orem Drive, and 808 feet north of Blue Ridge Road, with a total frontage of 1,190.7 feet. To the west of the site is a platted, restricted reserve for a functioning, occupied church, platted as Fountain of Praise in F.C. No. 483110 of the H.C.M.R. This church approximately shares our frontage on the opposite side of Hillcroft Avenue, and was not made to dedicate a public Right-of-Way. To our north is Sims Bayou, a 200' wide H.C.F.C.D. easement, and also to our north is a platted Unrestricted Reserve with no through street. To our south is a series of pipelines totaling 103.5 feet in width, and then the remaining acreage tapers to a point as Hillcroft intersects with Blue Ridge. To our immediate east, is an undeveloped, 300 acre tract owned in fee by the Harris County Flood Control District and seemingly used for drainage and water storage, with various depressions and detention areas. A street ever coming through this area and connecting to our plat would seem prohibitively difficult as it would most likely need to be elevated by structure or fill. Bisecting this H.C.F.C.D. tract is the Fort Bend Tollway, through this stretch being elevated with no exiting on or off ramps. A street across our site would essentially have nothing to tie into on the east or west side. Finally, this site is proposed to be a school, and running a public street through the middle of a school on a limited site such as this makes for difficulty both in design and implementation. If the road is built, then you have also essentially introduced a safety hazard where there was none before.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The hardship is imposed by the odd physical surroundings of the property, making its available usefulness as a corridor for a public street very limited, if possible at all.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purpose of this chapter will be maintained because any possible street dedication will not actually be able to serve anyone but a limited number of the public that would want to cross the site just to see what is on the other side. Due to the tapering of the property, a street would actually make traveling the route from intersection to intersection longer than it would be if no street is dedicated. Connections are not available to the east or west of the site. The physical characteristics of the site and its surroundings make the ordinance moot in this case.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will be a benefit for public health, safety or welfare in that a school ground will not be introduced to a public right-of way that the kids would have to cross on a regular basis to get from one side of the campus to another.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not a factor for justification of this variance, especially as it concerns the applicant. Putting in a public street may actually be cheaper than the planned development due to lowered private maintenance fees. However, it would make little sense for the City to want to pay to maintain what would amount to a driveway for the development.



Application No: 2017-1172

Agenda Item: 112

PC Action Date: 08/24/2017

Plat Name: Blue Ridge Hillcroft K8 School

Applicant: Civil-Surv Land Surveying, L.C.

Staff Recommendation: [Defer Additional information reqd](#)

Chapter 42 Sections: 127

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To exceed 2600' intersection spacing along a major thoroughfare by allowing creation of an Unrestricted Reserve without dedicating an east to west street through the tract. ;

Basis of Recommendation:

Subject site is located along and east of Hilcroft and south of Orem. The applicant is requesting a variance to not provide an east-west street through the site.

Staff's recommendation is to defer for additional information required.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

[N/A](#)

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

[N/A](#)

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

[N/A](#)

(3) The intent and general purposes of this chapter will be preserved and maintained;

[N/A](#)

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

[N/A](#)

(5) Economic hardship is not the sole justification of the variance.

[N/A](#)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 113

Action Date: 08/24/2017

Plat Name: CG7600LP GP

Developer: CG7600LP

Applicant: Marsh Darcy Partners, Inc.

App No/Type: 2017-1424 GP

Staff Recommendation:

Defer Additional
information reqd

Total Acreage:	129.9600	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	7	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77061	574H	City

Conditions and Requirements for Approval

046. General Plan approval is for street patterns as shown on the plat only. (24)

046.1. Approval of the General Plan shall remain in effect for four years from the date of the Commission approval. Renewal of the GP shall occur when a section meeting the requirements of 42-24 (f) is recorded.

047. Make minor corrections and additions as indicated on the marked file copy.

050. Revise plat boundary to include all of the property under common ownership.

A02. Be advised that the land within this subdivision plat is located within Controlled Compatible Land Use Area Tier 2. This property may be subject to regulations restricting the use of the land. General information may be obtained by visiting www.Fly2Houston.com. For more details call 281-233-1366 or email Airport.Landuse.Regulations@houstontx.gov

Revise the plat name and change the date on notification sign to Sep 14th 2017. Send staff revised pictures of the sign.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this project. When applying please attach a copy of the proposed re-plat to the WCR application.

Submit applications online at houstonpermittingcenter.org

Our records indicate that there is an existing active 3" waterline and meter on-site. For easement requirements over the existing waterline and meter please contact the Office of City Engineers or for the abandonment/relocation of the waterline and meter contact the Joint Referral Committee.

City Engineer: DETENTION IS REQUIRED

Houston Planning Commission

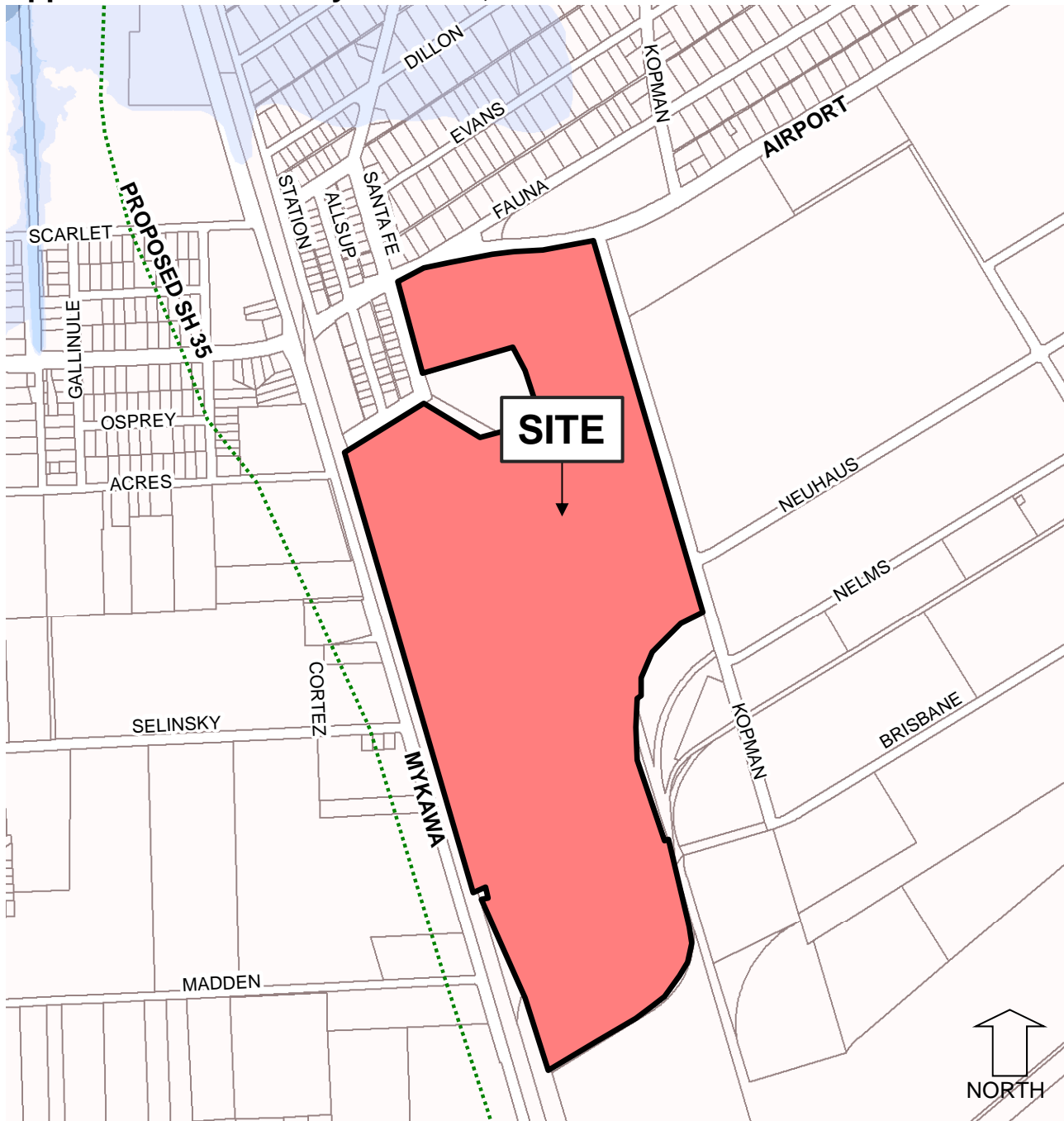
ITEM: 113

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: CG7600LP GP

Applicant: Marsh Darcy Partners, Inc.



D – Variances

Site Location

Houston Planning Commission

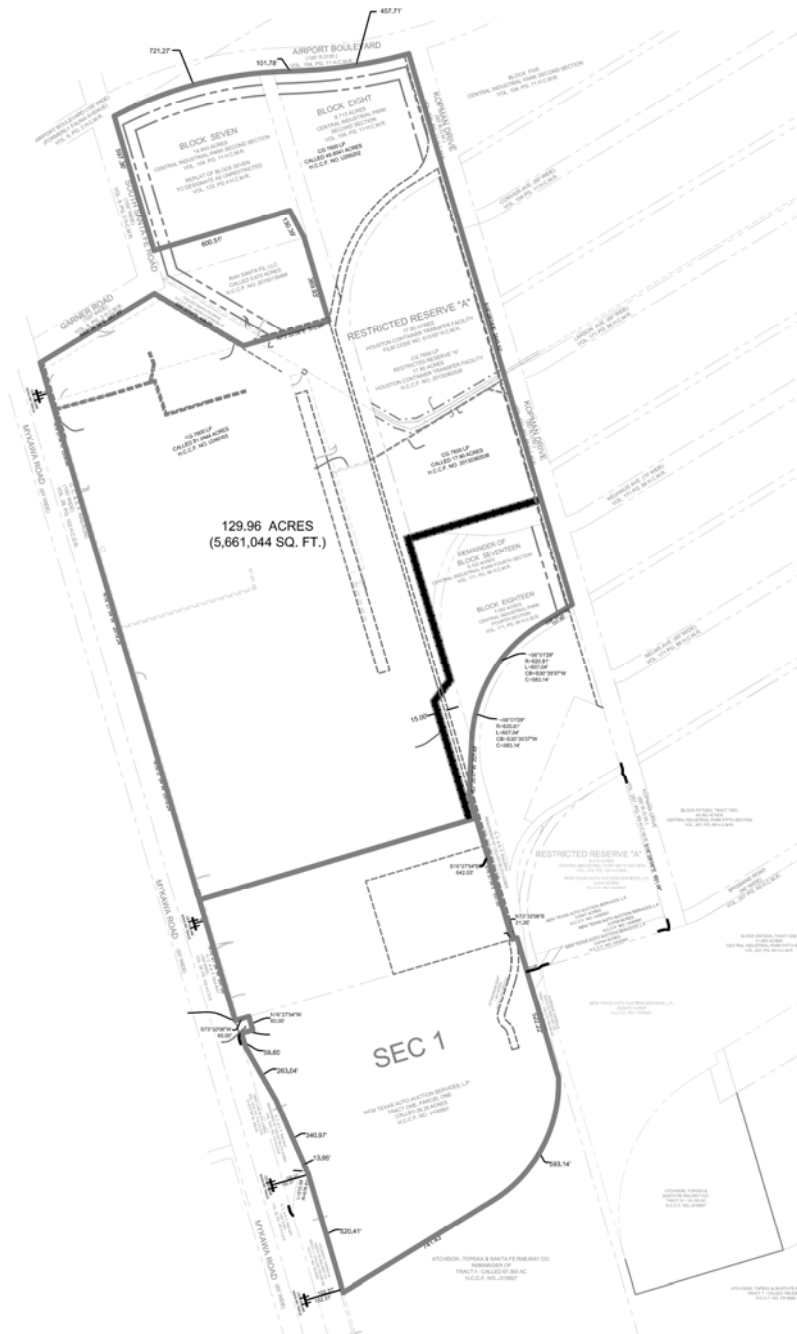
ITEM: 113

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: CG7600LP GP

Applicant: Marsh Darcy Partners, Inc.



D – Variances

Subdivision

Houston Planning Commission

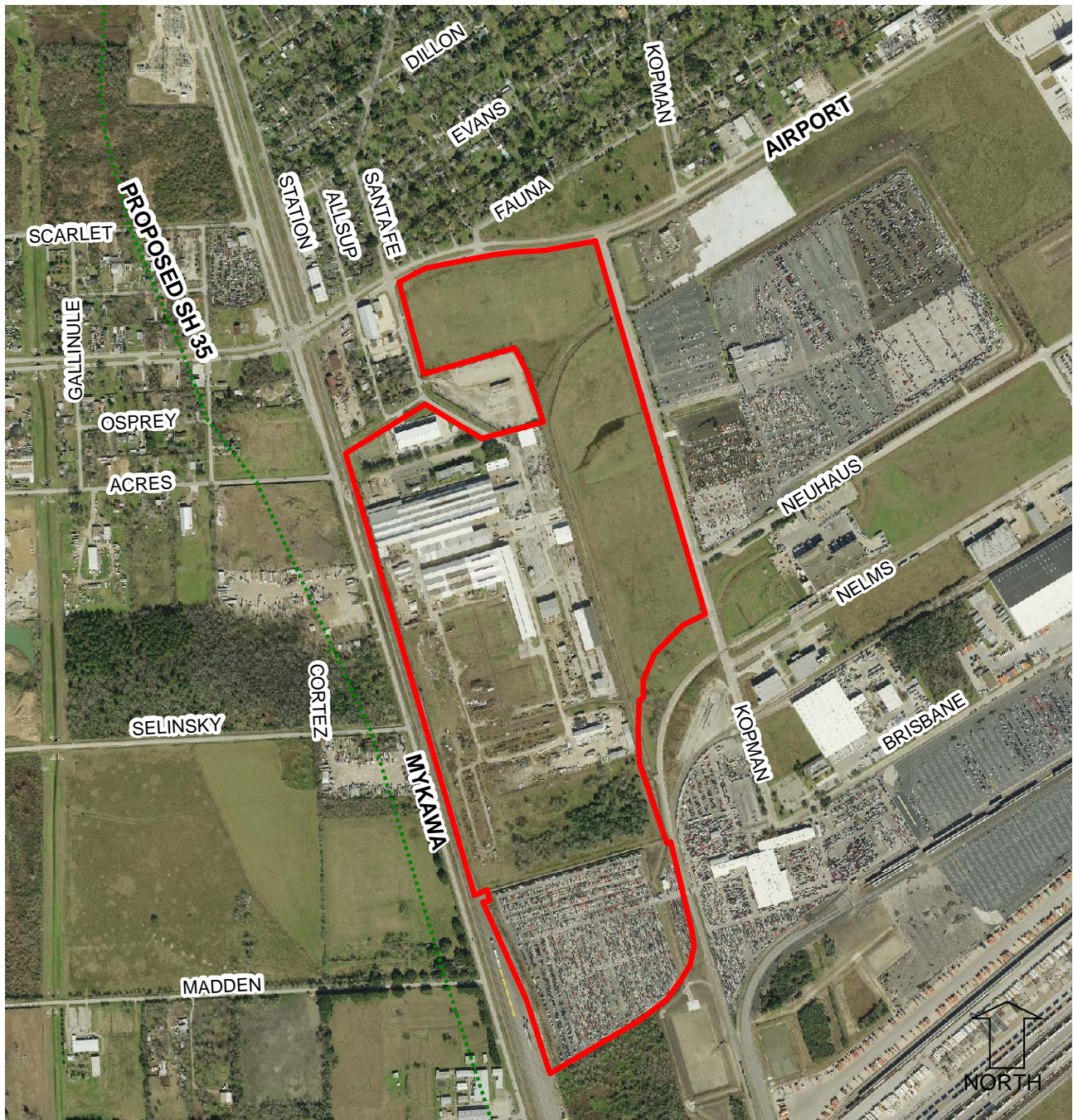
ITEM: 113

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: CG7600LP GP

Applicant: Marsh Darcy Partners, Inc.



D – Variances

Aerial



PLANNING & DEVELOPMENT DEPARTMENT

VARIANCE Request Information Form

Application Number: 2017-1424

Plat Name: CG7600LP GP

Applicant: Marsh Darcy Partners, Inc.

Date Submitted: 08/11/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To exceed internal intersection spacing within the subject tract by not dedicating north-south or east-west streets through the tract every 1400'.

Chapter 42 Section: 42-128

Chapter 42 Reference:

Section 42-128 (a) (1): "Each class III plat and each general plan that shows local streets shall provide for internal circulation by meeting either of the following requirements: (1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1400 feet;"

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This approximately 129.96 acre single ownership is located on the western side of a major thoroughfare quadrant bound by Mykawa Road on the west, East Orem Drive on the south, Telephone Road on the east, and Airport Boulevard on the north. With the exception of an approximately 42 acre residential subdivision on the far east side of the quadrant, most of the entire area within these 4 major thoroughfares is heavy or light industrial in use. A major regional container/rail transfer facility and a major automobile/rail transfer facility exist along the entire south boundary extending from Mykawa Road to Telephone Road. The existing block length between these two major thoroughfares is approximately 6,560 feet. A major railroad line extends along the west boundary line with public crossings only at two major thoroughfares, one on the north at Airport Boulevard and an overpass on the south at East Orem Drive. The existing block length between these two major thoroughfare crossings is approximately 7,300 feet. Much of the area has been platted as commercial or industrial uses and most of the remaining un-platted area is within the subject property. The subject property has several large, industrial uses that have existed for many years: RTI Fabrications (a heavy steel fabricator) and BHR Garver, Inc. with facilities valued in the tens of millions of dollars (See Aerial Photo). Most of the property within the subject property is utilized by these major industries. Manheim owns and operates the existing automobile/rail transfer facility immediately to the south of the subject property. Manheim wishes to expand their operations and has approached CG 7600 LP to purchase the far southern unused 15 acres to extend their existing facility. The platting of the proposed 15 acre purchase from CG7600LP has precipitated the need for an approved general plan. Existing railroad facilities are complete barriers on both the west and south side of the quadrant. Existing public roadways within the quadrant access both the north (Airport Boulevard) and east (Telephone Road) sides. The requested block length variance within the CG7600LP general plan is approximately 4,129 feet in a north/south direction and 2,100 feet in an east/west direction. Extension of public streets in the east/west direction is further complicated by the existence of a rail spur servicing the auto transfer facility and has required a railroad crossing of the spur to provide physical access to land-locked parcels. Additionally, site security for this major industrial facility would be further complicated by dead-end public streets bisecting the plant site. Traffic generation for this facility is mainly truck oriented (or rail) and the existing public street system is more than adequate to serve the existing use. Any additional public streets that would meet the letter of the requirement would not be continuous due to the existing barriers in place and would severely disrupt the existing operation of the facility. Also, any additional public streets would require additional railroad spur crossings which would render the spur facilities in-operable. The addition of public streets within the subject property would render the existing facility in-operable due to the disruption associated with the public street breaks. The existence of current physical characteristics, i.e. a major railroad transfer and storage facility, preclude any viable public street additions that would

provide un-necessary access. The requirement of additional public streets through this existing facility would create an impractical development that is contrary to sound public policy.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The railroad facility along Mykawa was in place long before the existing production facility was constructed. The hardship was created and extended by the railroad long ago. However, it makes no sense to require the railroad to provide additional crossings to Mykawa or to Orem that would disrupt these rail operations.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Maximum street block length requirements are generally necessary for uses that generate a higher level of traffic trips. This existing industrial facility does not generate a significant number of traffic trips and any additional public streets are un-warranted. The general purpose and intent for maximum street block length spacing in non-industrial uses will not be affected by this variance.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Not granting the variance would be injurious to the public health, safety, and welfare. The requirement for un-necessary, dead-end streets would only further burden the City with additional un-necessary street maintenance. The dead-end system would facilitate criminal activity and rubbish dumping that would be injurious to the public safety and public health. Lastly, the requirement of un-needed public streets through a thriving industrial business would hamper the extent of production, reducing the value of the facility and resulting in reduced tax revenues for the City which would be injurious to the public welfare.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not an issue here. The issue is the viability of an existing industrial facility that has provided significant benefit to the community through job creation and product sales resulting in significant value to the facility. There would be a significant economic hardship if the variance were not granted but economics is not the sole justification. The variance is justified by the existing unusual physical conditions and a un-needed additional street requirement.



Application No: 2017-1424

Agenda Item: 113

PC Action Date: 08/24/2017

Plat Name: CG7600LP GP

Applicant: Marsh Darcy Partners, Inc.

Staff Recommendation: [Defer Additional information reqd](#)

Chapter 42 Sections: **42-128**

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To exceed internal intersection spacing within the subject tract by not dedicating north-south or east-west streets through the tract every 1400';

Basis of Recommendation:

Subject site is located in the City south of Airport Rd and east of Mykawa. The applicant is requesting a variance to not provide a north-south street or an east-west street through the site.

Staff's recommendation is to defer the plat for additional information required.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

[N/A](#)

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

[N/A](#)

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

[N/A](#)

(3) The intent and general purposes of this chapter will be preserved and maintained;

[N/A](#)

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

[N/A](#)

(5) Economic hardship is not the sole justification of the variance.

[N/A](#)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 114

Action Date: 08/24/2017

Plat Name: CG7600LP Sec 1

Developer: Cox Enterprises Inc.

Applicant: Marsh Darcy Partners, Inc.

App No/Type: 2017-1197 C2

Staff Recommendation:

Defer Additional
information reqd

Total Acreage:	43.3600	Total Reserve Acreage:	43.3600
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	7	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77061	574M	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

A02. Be advised that the land within this subdivision plat is located within Controlled Compatible Land Use Area Tier 2. This property may be subject to regulations restricting the use of the land. General information may be obtained by visiting www.Fly2Houston.com. For more details call 281-233-1366 or email Airport.Landuse.Regulations@houstontx.gov
Provide draft copy of the access easement.

Revise the plat name and change the date on notification sign to Sep 14th 2017. Send staff revised pictures of the sign.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 114

Action Date: 08/24/2017

Plat Name: CG7600LP Sec 1

Developer: Cox Enterprises Inc.

Applicant: Marsh Darcy Partners, Inc.

App No/Type: 2017-1197 C2

Staff Recommendation:

Defer Additional
information reqd

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

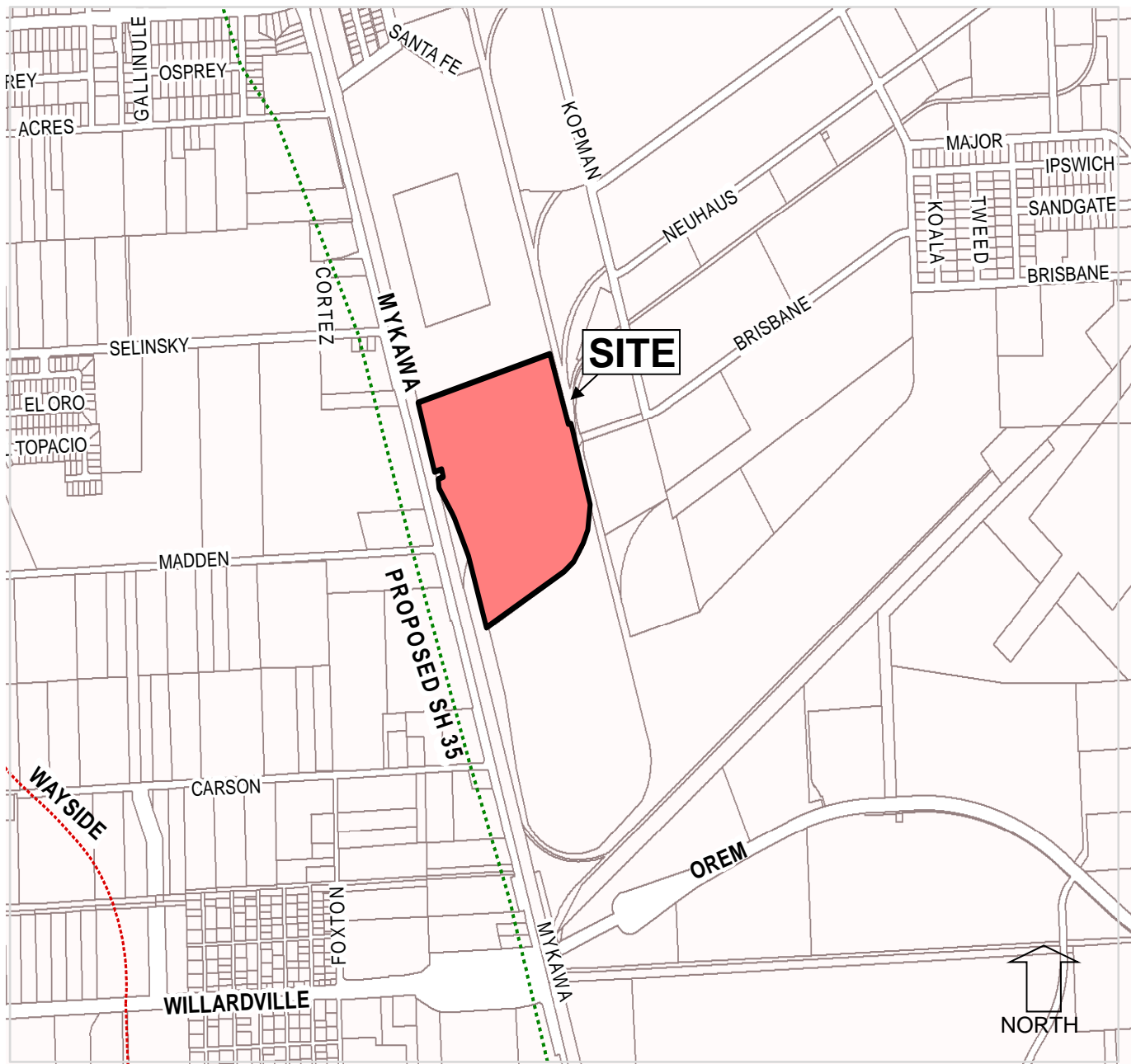
ITEM:114

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: CG7600LP Sec 1

Applicant: Marsh Darcy Partners, Inc.



D –Variances

Site Location

Houston Planning Commission

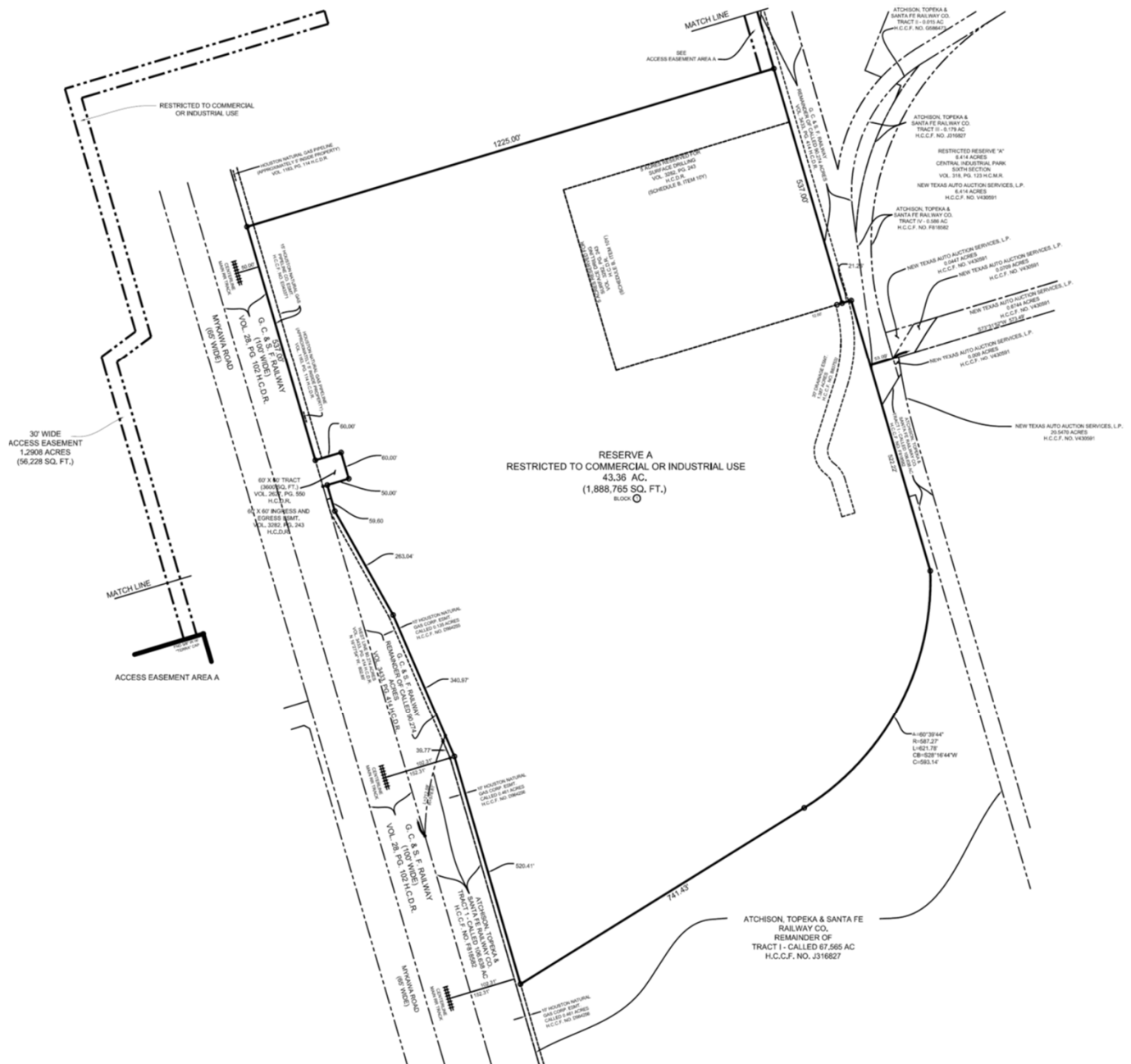
ITEM: 114

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: CG7600LP Sec 1

Applicant: Marsh Darcy Partners, Inc.



D – Variances

Subdivision

Houston Planning Commission

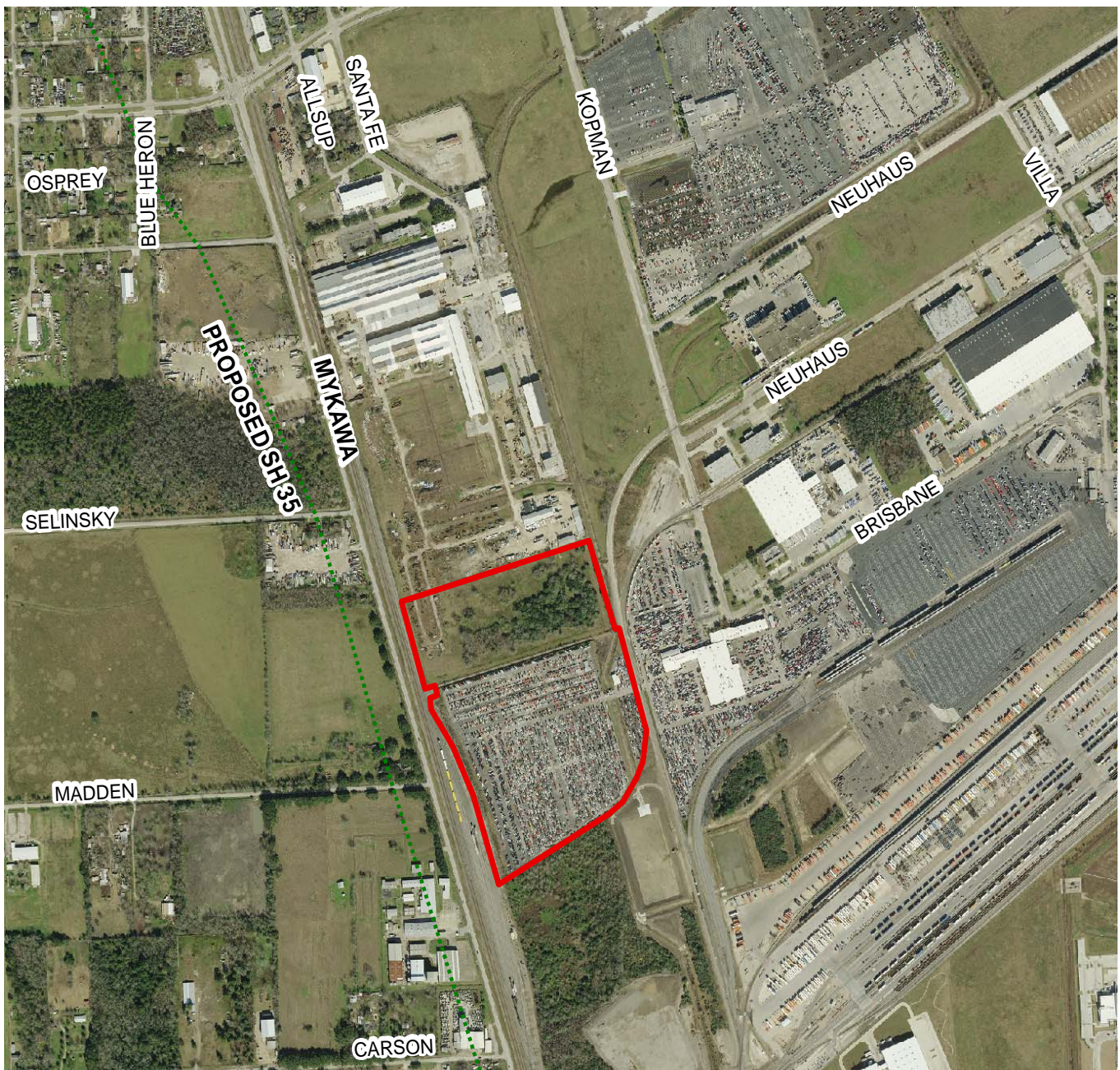
ITEM:114

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: CG7600LP Sec 1

Applicant: Marsh Darcy Partners, Inc.



D –Variances

Aerial



Application Number: 2017-1197

Plat Name: CG7600LP Sec 1

Applicant: Marsh Darcy Partners, Inc.

Date Submitted: 07/14/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

The applicant seeks a variance to create an unrestricted reserve taking access from an easement rather than the required 60' of frontage along a public right-of-way.

Chapter 42 Section: 42.190c

Chapter 42 Reference:

Each reserve shall meet the following requirements for minimum size, the type and width of street or shared driveway on which it may be located, and the minimum frontage, as applicable to the type of reserve: Restricted Reserve – All other (minimum size – 5,000 Sq. Ft.; type of street or shared driveway – public street; Minimum street or shared driveway width – 60 feet; Minimum street or shared driveway frontage – 60 feet).

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

NA

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

As this property is legally land-locked and has no direct physical access to a public street, there is no alternative available that would allow compliance with this regulation. The existing railroad is not willing to grant a public street crossing to allow direct frontage on a public street and there are no other public streets that can be extended to the proposed restricted reserve. Strict compliance with this requirement will prevent the legal development of this proposed restricted reserve. This plat will restrict the use of this property to commercial and industrial uses. The property owner desires to extend its numerous auto parking facilities to this tract as the only anticipated use. An additional public street is not necessary and the requirement would create an impractical development and one that would be contrary to sound public policy.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

This legal land-lock has resulted from many steps over time by other developers who have recorded plats that have resulted in the current physical and legal condition. The applicant has not been responsible for this result, it has just happened and now the applicant desires to correct the condition in the only way possible – obtain an access easement for legal access and maintain the existing railroad crossing for physical access through their existing development. Additionally, there are no public streets to provide a connection, which is the result of previous platting approvals and the unique characteristics of this site.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent of Chapter 42 is to provide a means for development of property within the City of Houston. This intent is preserved if the variances are granted. A viable, alternative means of access will be available via the proposed access easement. This easement will be indicated either on the recorded plat directly or by separate instrument dedication to be recorded simultaneously with the plat. The restriction against allowing residential use on the property will further the general purposes of limited access reserves. With the alternative access, a public street is not required and the general intent of Chapter 42 can still be preserved and the property can be developed.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The proposed use for the property is commercial or industrial. Residential use is prohibited. Physical access is available via an existing railroad crossing. An alternative physical access point is provided by the proposed access easement. No residential structures are proposed on the property. By granting the variance, the public health, safety, and welfare will be protected. Traffic generation is not sufficient from the proposed use and the internal traffic flow will not be injurious to the public health, safety, or welfare.

(5) Economic hardship is not the sole justification of the variance.

This property is land-locked. The applicant will obtain the proposed access easement to an existing public street (Kopman Drive). This is a physical access issue, not economic. The cost of the property and the cost of development are not associated with the physical reality of a lack of current legal access or the potential to connect to outside public streets.



Application No: 2017-1197

Agenda Item: 114

PC Action Date: 08/24/2017

Plat Name: CG7600LP Sec 1

Applicant: Marsh Darcy Partners, Inc.

Staff Recommendation: [Defer Additional information reqd](#)

Chapter 42 Sections: **42.190c**

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

The applicant seeks a variance to create an unrestricted reserve taking access from an easement rather than the required 60' of frontage along a public right-of-way. ;

Basis of Recommendation:

Subject site is located in the City, south of Airport Rd and east of Mykawa. The applicant is requesting a variance for an unrestricted reserve to not have public street frontage and take access from an access easement instead of public street. Staff's recommendation is to defer the plat for additional information required.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

[N/A](#)

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

[N/A](#)

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

[N/A](#)

(3) The intent and general purposes of this chapter will be preserved and maintained;

[N/A](#)

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

[N/A](#)

(5) Economic hardship is not the sole justification of the variance.

[N/A](#)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 115

Action Date: 08/24/2017

Plat Name: Clarkson Court

Developer: Clarkson LP

Applicant: Vernon G. Henry & Associates, Inc.

App No/Type: 2017-1207 C3P

Staff Recommendation:

Withdraw

Total Acreage:	0.6449	Total Reserve Acreage:	0.0074
Number of Lots:	13	Number of Multifamily Units:	0
COH Park Sector:	10	Street Type (Category):	Type 2 PAE
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77055	451Z	City

Conditions and Requirements for Approval

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: 28' PAE CAN'T OVERLAP THE EXISTING 20' COH SSE

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this project. When applying please attach a copy of the proposed re-plat to the WCR application.

Low Impact Process or High Impact Process.

Submit applications online at houstonpermittingcenter.org

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

Existing easements not shown

Addressing: Need 2 unique street names.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 115

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Clarkson Court (DEF 2)

Applicant: Vernon G. Henry & Associates, Inc.



D – Variances

Site Location

Subdivision

Houston Planning Commission

ITEM: 115

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Clarkson Court (DEF 2)

Applicant: Vernon G. Henry & Associates, Inc.



D – Variances

Aerial



Application Number: 2017-1207

Plat Name: Clarkson Court

Applicant: Vernon G. Henry & Associates, Inc.

Date Submitted: 07/14/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a 28' p.a.e. to take access from an access easement rather than a public street

Chapter 42 Section: 42-188

Chapter 42 Reference:

Each lot shall have access to a street or shared driveway that meets the requirements of this chapter and the design manual

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

n/a

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This property is surrounded by subdivisions which were platted without making any provision for a public street to extend to this property. Its sole access is from a 23' wide access easement in a reserve in the adjacent residential subdivision. This reserve is only 23' in width. That width would be sufficient for a shared driveway; however, a shared driveway cannot be used because this distance from the public street to the units in the isolated tract is greater than 200'. The proposed single family townhomes on this tract are similar in character to the homes planned or under construction on the adjacent subdivision. The only portion of the p.a.e. that will be less than 28' in width is the 63' closest to the public street.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

This property was isolated with only an easement for access when the adjacent tract was sold and platted All lots in both subdivisions will have adequate access and circulation.

(3) The intent and general purposes of this chapter will be preserved and maintained;

All lots will have adequate access.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Public safety will be maintained because the citation system will vary only slightly from the standard.

(5) Economic hardship is not the sole justification of the variance.

The existing physical conditions are the justification for the variance.



Application No: 2017-1207

Agenda Item: 115

PC Action Date: 08/24/2017

Plat Name: Clarkson Court

Applicant: Vernon G. Henry & Associates, Inc.

Staff Recommendation: Withdraw

Chapter 42 Sections: 42-188

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To allow a 28' p.a.e. to take access from an access easement rather than a public street;

Basis of Recommendation:

Item 100 is Clarkson Court.

The site is located West of Post Oak and South of Westview

The applicant is requesting a variance to allow a proposed 28' private street to take access from an access easement, as shown in yellow, rather than a public street.

Staff is not support of the request.

However, the application has requested that this application be withdrawn.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

N/A

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

N/A

(3) The intent and general purposes of this chapter will be preserved and maintained;

N/A

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

N/A

(5) Economic hardship is not the sole justification of the variance.

N/A



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 116
Action Date: 08/24/2017
Plat Name: Cypress Telge Park
Developer: TNRG Development
Applicant: Gruller Surveying
App No/Type: 2017-1267 C2

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	12.0967	Total Reserve Acreage:	12.0967
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77429	327M	ETJ

Conditions and Requirements for Approval

015. The building lines established along a major thoroughfare are required to be 25 ft. unless otherwise noted. (152)
043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.
047. Make minor corrections and additions as indicated on the marked file copy.
051. Tie plat boundary to the nearest intersection of public street rights-of-way.
- 060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.
068. Provide a vicinity map that locates the subdivision site within the boundaries of an existing major thoroughfare grid.
- 190.2. Add 'Mark A. Kilkenny, Chair' as Chair in the Planning Commission certificate.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 116
Action Date: 08/24/2017
Plat Name: Cypress Telge Park
Developer: TNRG Development
Applicant: Gruller Surveying
App No/Type: 2017-1267 C2

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

PWE Utility Analysis: Approved

City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c) (<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org . For drainage analysis related questions, please email civildevel@hcpid.org .

Limited scope TIA will be required to determine driveway locations and left turn lane requirements, dimension and developer construction requirements. Include visibility analysis (re: southbound Telge curve) for the driveway located closest to the north boundary

Left turn lane construction as part of County CIP project will require a developer contribution agreement

Dedicate an additional 8-31 feet of ROW per county CIP project. ROW dedication width and site plan approval required by Telge CIP project manager Tina Liu

Add building line which should be 25 feet.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

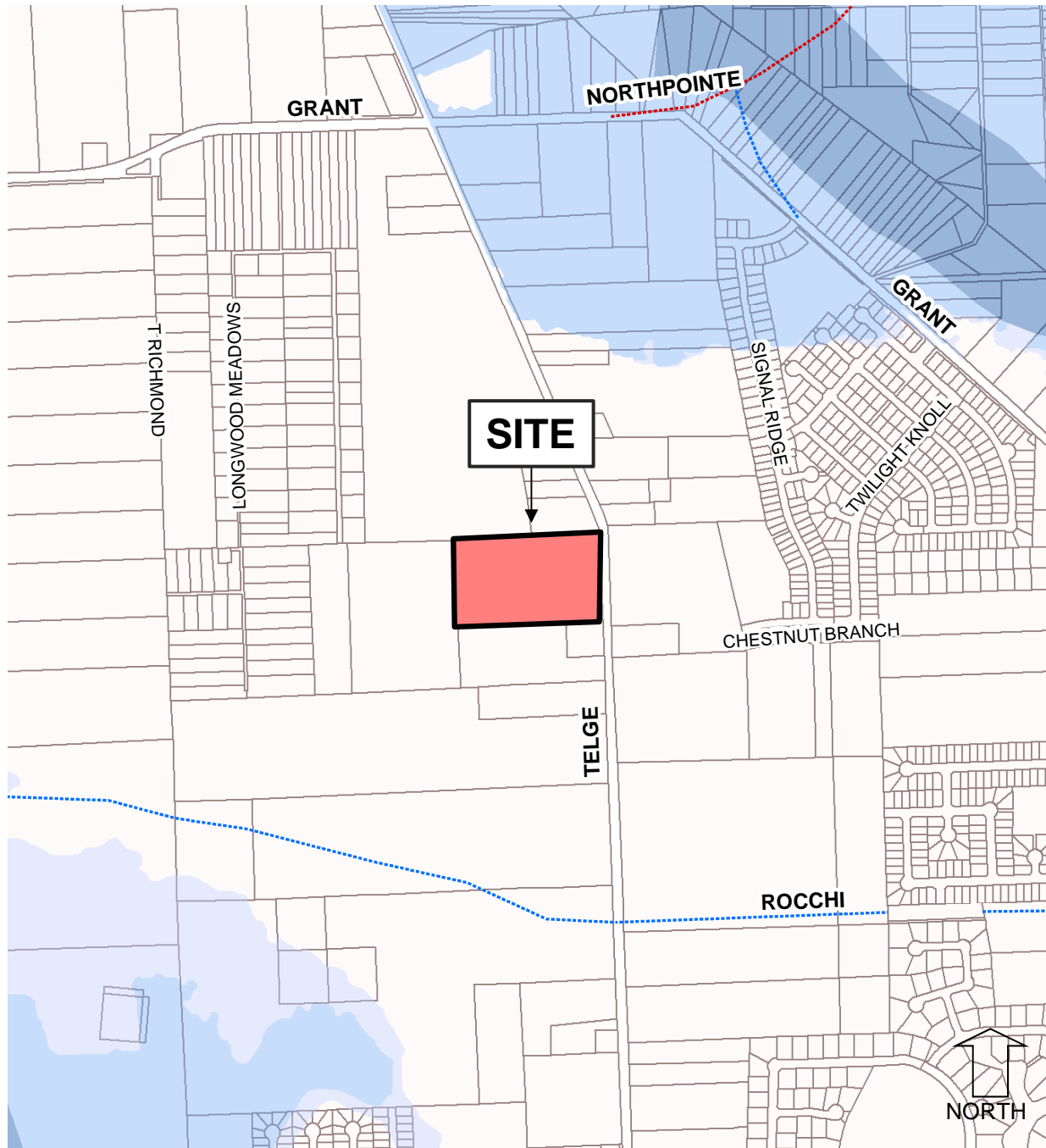
Houston Planning Commission ITEM: 116

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Cypress Telge Park (DEF1)

Applicant: Gruller Surveying



D – Variances

Site Location

Subdivision

Houston Planning Commission

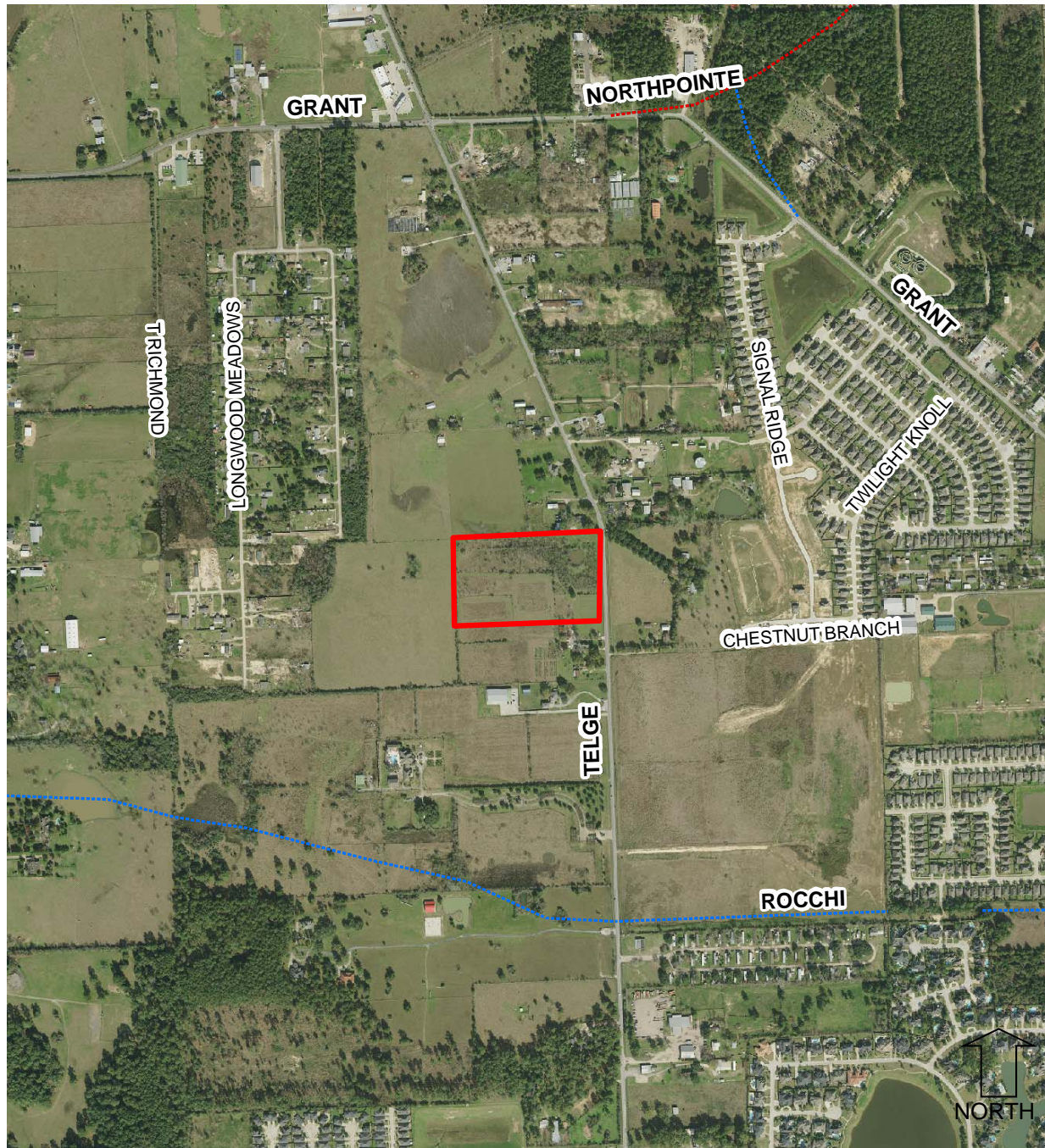
ITEM: 116

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Cypress Telge Park (DEF 2)

Applicant: Gruller Surveying



D – Variances

Aerial



Application Number: 2017-1267

Plat Name: Cypress Telge Park

Applicant: Gruller Surveying

Date Submitted: 07/17/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

The applicant requests a variance to exceed the 2600' intersection spacing requirement along Telge Road by not creating an east to west street through the tract. The applicant also requests a variance to exceed the 1400' intersection spacing requirement for local streets by not creating a north to south street through the tract.

Chapter 42 Section: 42-127/128

Chapter 42 Reference:

42-127: A major thoroughfare shall intersect with a public local street, a collector street, or another major thoroughfare at least every 2600 feet. 42-128(1) Each local street shall intersect with a street that meets the requirements of subsection B at least every 1400 feet.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

NA

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict application of this chapter would leave the parcel split into two pieces; leaving the land useless after 60' of R.O.W. and the 10' B.L. that is to be dedicated as well. dedication of a R.O.W. east/west would not be feasible as it would not hit a dedicated R.O.W. until almost a mile. and that R.O.W. is a dead end to a cemetery with residential use only.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

No hardship will be created, all tracts of land have access, therefore would not require additional access, dedication a R.O.W. west would ultimately lead into existing residential houses the site has sufficient access via Telge Road. Granting the variance will leave the site undevelopable for the proposed commercial development

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent of this chapter is to insure access over block lengths, this will be preserved due to the fact that if R.O.W. is dedicated, east/west it would lead into a residential subdivision which has a private access easement. The site has adequate access via Telge Road and there are many private drives north and south on Telge Road that provide adequate access to the adjoining sites.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting the variance will not be injurious as it will keep it the same configuration as it has been since at least 1944.

(5) Economic hardship is not the sole justification of the variance.

No, the sole justification of this variance is to keep the land in a configuration that is developable.



Application No: 2017-1267

Agenda Item: 116

PC Action Date: 08/24/2017

Plat Name: Cypress Telge Park

Applicant: Gruller Surveying

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 42-127/128

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

The applicant requests a variance to exceed the 2600' intersection spacing requirement along Telge Road by not creating an east to west street through the tract. The applicant also requests a variance to exceed the 1400' intersection spacing requirement for local streets by not creating a north to south street through the tract.;

Basis of Recommendation:

The site is located in Harris County, south of Grant Road, west of Telge Road and north of future Rocchi Road.

The applicant is requesting a variance to not provide any north/south and east/west public streets through the subject site.

Staff is in support of the request.

The distance between Grant Road and future Rocchi Road is about 5400' and the distance between Fritsche Cemetery Road and Telge Road is about 4200'.

Due to the existing physical characteristics of the surrounding area, it would be impractical to dedicate a north/south and east/west street through the subject site. Further west, Planning Commission had previously granted multiple variances for several tracts to not provide any north/south and east/west streets. These conditions were not created by the applicant.

The required east/west cannot be extended further west due to an existing unrecorded subdivision with a private street system. Requiring a north-south street will not significantly improve the traffic circulation in the overall area as this street will be too close to a major thoroughfare, Telge Road, to the east.

Overall, the traffic circulation will be supported by a grid consisting of Grant Road, Telge Road, Fritsche Cemetery Road and future Rocchi Street.

Harris County Engineering Office has no objections to the variances.

Staff's recommendation is to grant the requested variances and approve the plat subject to the CPC 101 form.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Requiring a north/south and east/west public streets through the subject tract would create impractical development due to existing physical characteristics of surrounding areas. Further west, Planning Commission previously granted multiple variances for several tracts to not provide any north/south or east/west streets. The required east/west street cannot be extended further west due to an existing unrecorded subdivision with a private street system. A north/south street will not

significantly improve the traffic circulation in the overall area as it would be too close to a major thoroughfare, Telge Road, to the east.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The existing conditions were not created by the applicant. There is an existing unrecorded subdivision with private street system to the west. Planning Commission previously granted multiple variances for several tracts to not provide any north/south or east/west streets.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The traffic circulation will be addressed by a grid consisting of Grant Road, Telge Road, Fritsche Cemetery Road and future Rocchi Road.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variances will not be injurious to public health and safety. The traffic circulation will be addressed by a grid consisting of Grant Road, Telge Road, Fritsche Cemetery Road and future Rocchi Road.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variances. The existing physical characteristics are the justifications for granting the requested variances.



Agenda Item: 117
Action Date: 08/24/2017
Plat Name: EaDo Lofts
Developer: Eado Lofts, LLC
Applicant: Total Surveyors, Inc.
App No/Type: 2017-1468 C2R

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	1.3744	Total Reserve Acreage:	1.3366
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	11	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77003	493V	City

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Address the public access easement along Coyle St as indicated on the marked filed copy.

Legal description on the title block must match city planning letter at the time of recordation.

Provide 6' unobstructed sidewalk, lighting and benches as indicated on the submitted site plan.

Provide 3" caliper street trees pursuant to Chapter 33 spaces and species requirements.

The Planning Commission granted a variance to not provide rights-of-way dedication to Napoleon Street and Tharp Street subject to specific conditions on 08/24/2017. The variance approval was contingent on the site plan and supporting drawings submitted with the plat application. Any modifications to the site plan would make the variance approval invalid and the plat must meet all applicable building lines per the ordinance.

Coordinate with Public Works and Engineering Department regarding the paving width requirement along the adjacent public streets.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 117

Action Date: 08/24/2017

Plat Name: EaDo Lofts

Developer: Eado Lofts, LLC

Applicant: Total Surveyors, Inc.

App No/Type: 2017-1468 C2R

Staff Recommendation:

Grant the requested variance(s) and Approve the plat subject to the conditions listed

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.
(Low or high impact process)

Appointments may be schedule using the online service.

Submit application online at houstonpermittingcenter.org

This development will be required to go through the city of Houston JRC.

City Engineer: DETENTION IS REQUIRED

Parks and Recreation: This property(s) is located in Park Sector number 11.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission ITEM: 117

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: EaDo Lofts

Applicant: Total Surveyors, Inc.



D –Variances

Site Location

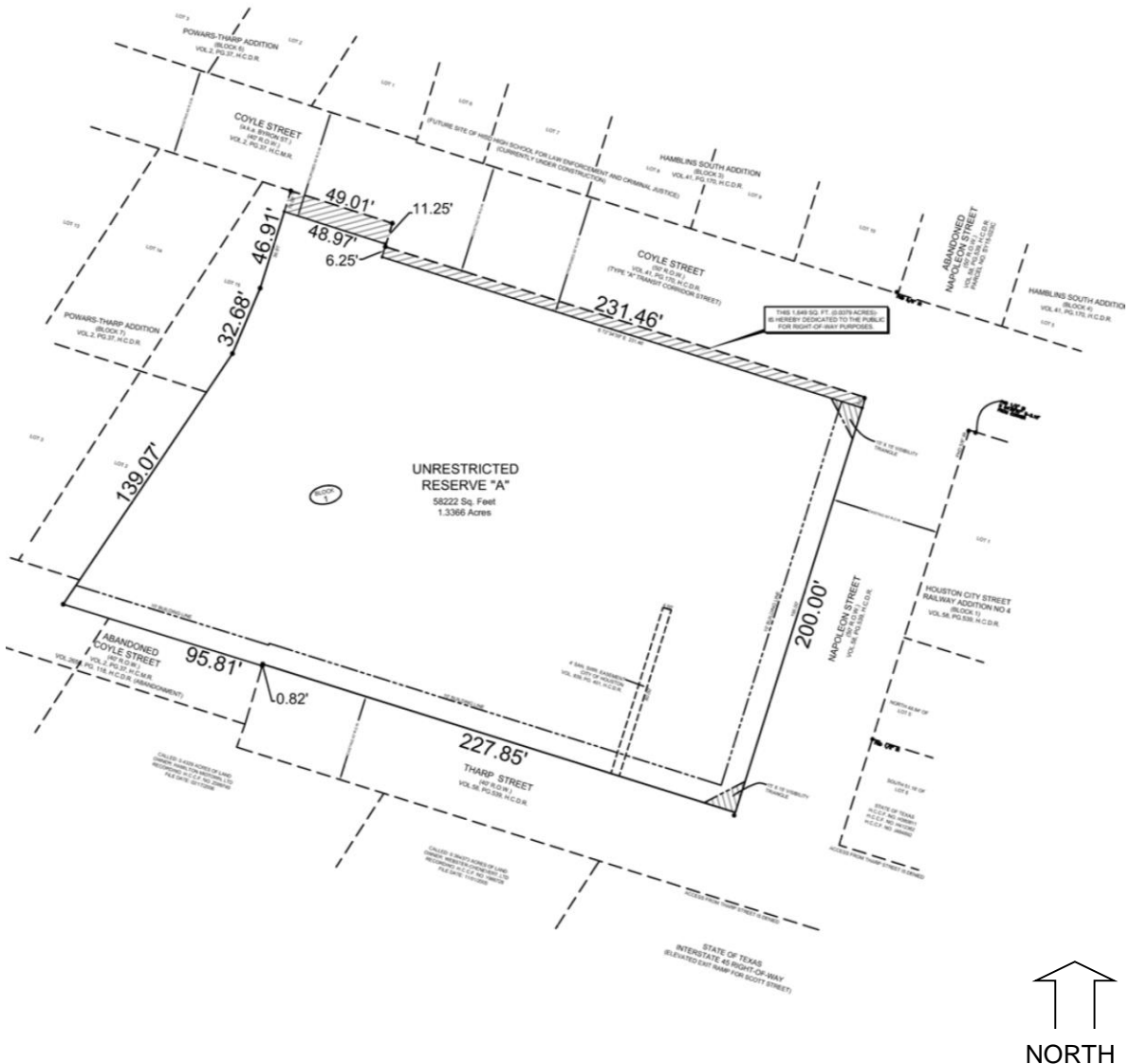
Houston Planning Commission ITEM: 117

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: EaDo Lofts

Applicant: CSF Consulting LP



D – Variances

Subdivision

Houston Planning Commission ITEM: 117

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: EaDo Lofts

Applicant: Total Surveyors, Inc.



D –Variances

Aerial



Application Number: 2017-1468

Plat Name: EaDo Lofts

Applicant: Total Surveyors, Inc.

Date Submitted: 08/14/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To not require the dedication of 5' of right-of-way along Napoleon Street or 10' of right-of-way along Tharp Street.

Chapter 42 Section: 42-121

Chapter 42 Reference:

42-121 (b) When an existing public street with a right-of-way width that does not meet the requirements of section 42-122 of this Code is adjacent to and forms a boundary of a subdivision plat or development plat, the owner of the property within the proposed subdivision or development shall dedicate sufficient additional right-of-way within the proposed subdivision or development adjacent to the existing right-of-way to provide one-half of the total right-of-way width necessary to meet the requirements of section 42-122 of this Code. In the case of a subdivision plat, the dedication shall be made by plat. In the case of a development plat, the dedication shall be made by separate instrument. The commission shall waive the requirement to dedicate right-of-way upon finding that the applicant has made a satisfactory showing that the proposed subdivision or development will not contribute to a significant increase in traffic on the street.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

This proposed site is located at the southwest corner of the intersection of Coyle Street, a Type "A" Transit Corridor Street, with Napoleon Street, one block west of Scott Street, a Transit Corridor. The site is currently developed with a 2-story commercial brick building, built in 1981, along with concrete parking. The future site to be known as, EaDo Lofts is proposed as a newly constructed 80-unit affordable apartment community for families in the East Downtown area of Houston, Texas. This complex will be comprised of a four-story, elevator served building containing an amenity center and approximately 80 units. The ground floor will contain the amenity center, pool, and parking, with 3 stories of apartment units stacked above. EaDo Lofts has been approved for an award of 2017 Housing Tax Credits by the Texas Department of Housing and Community Affairs (TDHCA). One hundred percent of the units will serve families that make 60% of the area median income or less and the rents will be set at affordable levels as required under the Housing Tax Credit program. Each apartment unit will include nine-foot ceilings, a full energy star appliance package, washer/dryer hookups and all living rooms and bedrooms will have ceiling fans. All units will have balconies. The buildings will be designed to maximize energy efficiency. The design will feature 100% masonry exterior (brick, cultured stone, stucco and/or hardi), architectural roofing, smoke detectors, and wiring for phone, cable and data service (CAT5e). All parking will be covered on the ground floor, behind security gates for the safety of the residents. The amenity center will include several community areas, such as: . an ample sized community room for gatherings, resident meetings, and special social events; . a computer lab/business center with internet access; . an equipped fitness room; . a community laundry room; . offices for staff; and . maintenance office/workroom/storage. A swimming pool will be included for use by residents. Additionally, social services (such as credit counseling, homebuyer education, financial planning and notary services) will be provided onsite at no cost to the residents. The EaDo Lofts does intend to opt into and design according to the performance standards for a Transit Corridor Development. The accessibility to the transit corridor is a huge benefit to the residents of this development. Great improvements will be made not only to the 15' Pedestrian Realm, but also to the other surrounding rights-of-way. Enhanced landscaping, 6' concrete sidewalks, lighting and other amenities will be an added benefit to the proposed apartments, as well as, the public, as this area begins to transition with the new development in the area. As a potential hardship to the design of a site plan for this project, there is a dedicated public right-of-way on 3 sides of this site. On the northside is Coyle Street, a portion of which is 40' wide and the majority is 50' wide. Coyle Street is a type "A" street and we do intend to dedicate additional right-of-way to create the required 60' right-of-way. On the south side of the site is Tharp Street, a dedicated 40' public right-of-way. Tharp Street is approximately 230' long and in 1953 the right-of-way for Tharp Street from its dead-end west to Sampson Street, was abandoned by the City of Houston. And lastly on the east side of the project is Napoleon Street a dedicated 50' wide public right-of-way. The proposed use for this site is Unrestricted, which does require the street rights-of-way around this site to be a minimum of 60' in width. The Houston Independent School District is in the process of constructing the High

School for Law Enforcement and Criminal Justice on a tract of land on the north side of Coyle Street. During the development of this tract in 2015, the Joint Referral Committee for the City of Houston approved the abandonment of Napoleon Street, north of Coyle Street. After the abandonment, the remaining segment of Napoleon Street is only 200 feet in length, between Coyle Street and Tharp Street. Tharp Street is a dead-end street and based on the existing fencing and lack of development provides no vehicular traffic to Napoleon Street. Napoleon Street only provides vehicular access to 3 other tracts of land, through itself and Tharp Street, not including ours. All the other tracts of land that Napoleon provides access, have primary vehicular access provided by other streets. There is one business on the south side of Tharp Street (Enterprise Rent-A-Car) which has an asphalt driveway to Tharp Street, but it has been fenced off with no gate. On the south end of Napoleon Street and east end of Tharp Street, is the elevated circular exit for Scott Street from Interstate 45, which would not allow the street to extend any further south or east. The potential for extending Napoleon or Tharp Street does not exist. The Napoleon and Tharp Street rights-of-way were dedicated to the public, by subdivision plat, in 1908, as a 50' wide right-of-way and 40' wide right-of-way. Over the years, Napoleon Street and most streets in the immediate area have been developed primarily as commercial properties, along all block faces. The current paving width in Napoleon Street is 17.2' wide, which is consistent to the other pavement sections in the area. The current paving width for Tharp Street is only 14.1' wide. The asphalt paving for Tharp Street is in bad condition. This development will not take any vehicular access from Tharp Street and will not increase traffic flow at all. Napoleon Street and Tharp Street currently do not have a sidewalk, but through the proposed development of this site, pedestrian and landscaping improvements will be made to all surrounding rights-of-way. When built, all of the surrounding rights-of-ways will have a minimum of a 6' wide concrete sidewalk. Napoleon Street has functioned for at least 36 years as a 50' wide right-of-way, serving a commercial site without the need for widening. This development will honor all ordinance building lines, as well as the visibility triangles at each intersection, so as not to obstruct visibility or create any public safety issues for the adjacent area. By granting the variance and allowing the proposed tract of land to maintain the existing boundary lines on the east and south sides, the site plan is able to consolidate all of the surface parking in a way that allows the entire frontage along Coyle Street to be dedicated to the project's Amenity Center and Pedestrian Realm that will enhance the City's vision for a Type "A" Transit Corridor Street.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances are based on the existing conditions on and surrounding this tract. This includes the abandonment of the Napoleon Street through the HISD property, as well as, the Interstate 45 exit ramp on the south side. All of these factors existed prior to beginning the EaDo Lofts development.

(3) The intent and general purposes of this chapter will be preserved and maintained;

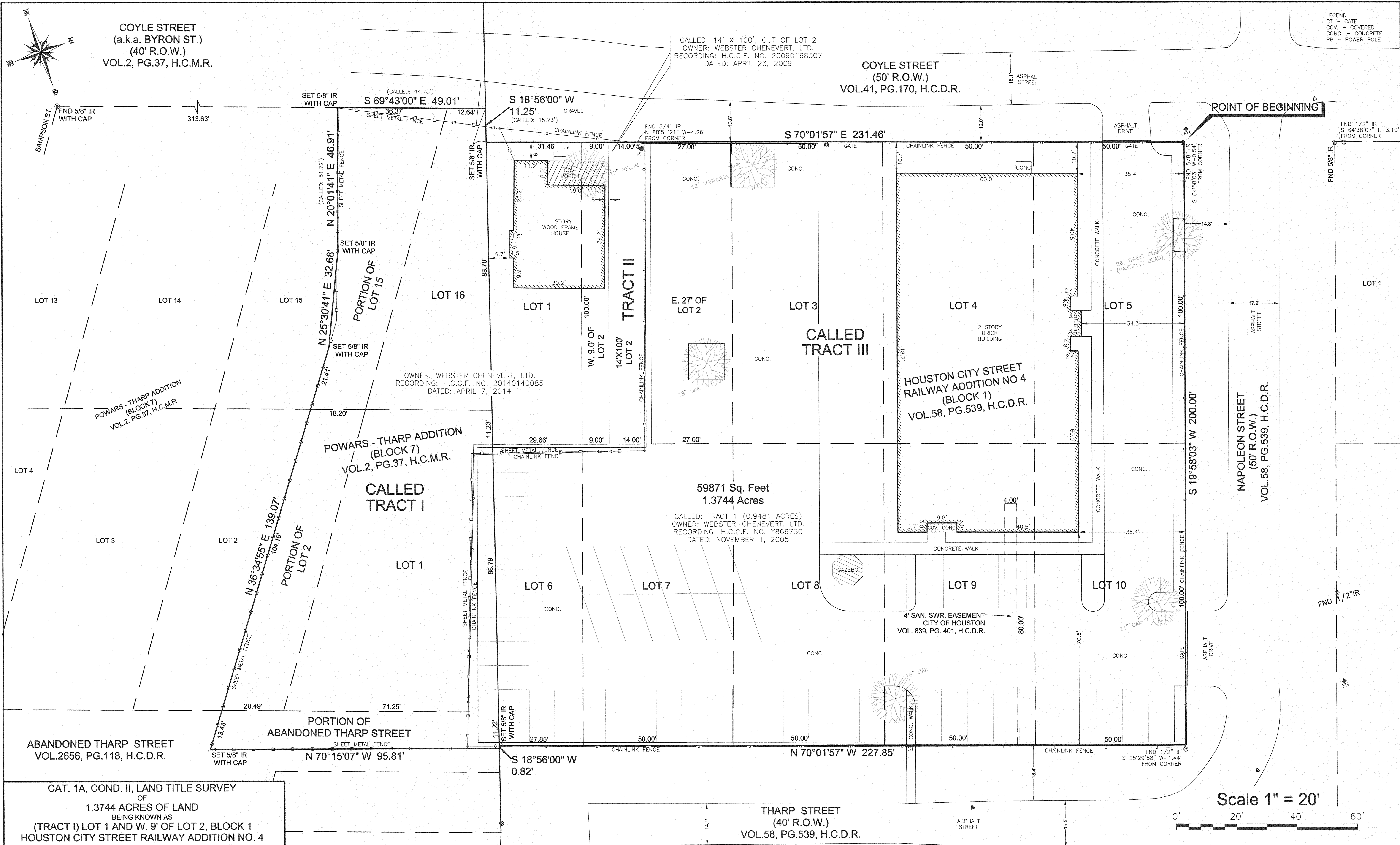
The intent and general purposes of Chapter 42 will be preserved and maintained. There is minimal traffic along Napoleon Street, which does not create the necessity for widening Napoleon or Tharp Street. Both streets are essentially dead-end streets which are not the primary means of vehicular access for any of the adjoining properties. By granting the variance request, there would be no visibility or public safety issues created for the adjacent area, which is part of the intent and general purpose of Chapter 42. The granting of the variance will allow this site to be developed in a manner to promote the City's intent for development along a Transit Corridor.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of this variance will maintain the existing traffic patterns and help improve the current pedestrian flow surrounding this project and to Scott Street. Also, the health and welfare of the future tenants, employees and general public will be greatly improved by creating a much improved pedestrian realm for all of the surrounding streets. By granting this variance, it will maintain the public health, safety and welfare, in the neighborhood.

(5) Economic hardship is not the sole justification of the variance.

The existing conditions, structures, development patterns and street patterns on and surrounding the property are the justification of the variance. Economic Hardship is not the sole justification of the variance.



CAT. 1A, COND. II, LAND TITLE SURVEY
OF
1.3744 ACRES OF LAND
BEING KNOWN AS
(TRACT I) LOT 1 AND W. 9' OF LOT 2, BLOCK 1
HOUSTON CITY STREET RAILWAY ADDITION NO. 4
AS RECORDED UNDER VOLUME 58, PAGE 539 OF THE
DEED RECORDS OF HARRIS COUNTY, TEXAS
LOTS 1, 16 AND PORTIONS OF LOTS 2 & 15, BLOCK 7
POWARS - THARP ADDITION
AS RECORDED UNDER VOLUME 2, PAGE 37 OF THE
MAP RECORDS OF HARRIS COUNTY, TEXAS
PORTION OF ABANDONED THARP STREET
AS RECORDED IN H.C.C.F. No.(s) G792835 AND 20110115679.
AND
(TRACT II) 14' X 100' OUT OF LOT 2, BLOCK 1
HOUSTON CITY STREET RAILWAY ADDITION NO. 4
AS RECORDED UNDER VOLUME 58, PAGE 539 OF THE
DEED RECORDS OF HARRIS COUNTY, TEXAS
AND
(TRACT III) LOTS 3-10 AND E. 27' OF LOT 2, BLOCK 1
HOUSTON CITY STREET RAILWAY ADDITION NO. 4
AS RECORDED UNDER VOLUME 58, PAGE 539 OF THE
DEED RECORDS OF HARRIS COUNTY, TEXAS
AND BEING FURTHER SITUATED WITHIN THE
H. THURWACHTER SURVEY, A-75
HARRIS COUNTY, TEXAS

GENERAL NOTES:

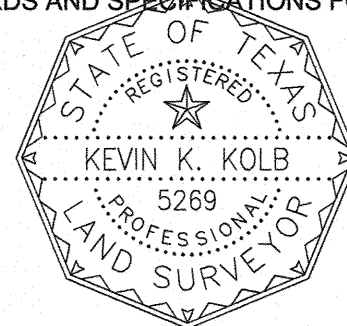
1. ALL BEARINGS ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM.
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORDED EASEMENTS AND ANY OTHER DOCUMENT THAT MIGHT AFFECT THE QUALITY OF TITLE TO THE TRACT SHOWN HEREON WAS ABSTRACTED BY FIRST AMERICAN TITLE INSURANCE COMPANY G.F. No. NCS-828809-HOU1, EFFECTIVE DATE: DEC. 30, 2016.
3. THIS SURVEY DOES NOT PROVIDE ANY DETERMINATION CONCERNING WETLANDS, FAULT LINES, TOXIC WASTE OR ANY OTHER ENVIRONMENTAL ISSUES. SUCH MATTERS SHOULD BE DIRECTED BY THE CLIENT OR PROSPECTIVE PURCHASER TO AN EXPERT CONSULTANT.
4. THE SQUARE FOOTAGE TOTALS AS SHOWN HEREON ARE BASED ON A MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THIS SURVEY. IT DOES NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.
5. THIS SURVEY DOES NOT ADDRESS ARCHITECTURAL PROTRUSIONS SUCH AS EAVES, OVERHANGS, WINDOW LEDGES, ETC. IN RELATION TO EASEMENTS AND/OR BUILDING LINES.
6. THIS PROPERTY IS SUBJECT TO ANY BUILDING LINES, ZONING AND PLATTING LAWS AND ORDINANCES NOW IN FORCE IN THE CITY OF HOUSTON, COUNTY OF HARRIS, TEXAS.
7. SUBJECT TO RESTRICTIVE COVENANTS AS SET OUT IN VOL.839, PG.401, H.C.D.R.
8. SUBJECT PROPERTY LIES WITHIN THE AREA DESIGNATED AND ZONED BY THE CITY OF HOUSTON AS THE "HOBBY AIRPORT SITE" AND IS SUBJECT TO THE RESTRICTIONS AND REGULATIONS IMPOSED BY ORDINANCE NO. 70-346 AS SET OUT IN VOL.7940, PG.233, H.C.D.R.
9. INCLUSION WITHIN EAST DOWNTOWN MANAGEMENT DISTRICT.

CERTIFICATION:

I, KEVIN K. KOLB, DO HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE UNDER MY SUPERVISION ON THE GROUND, IN ACCORDANCE WITH THE INFORMATION PROVIDED ME AND CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME OF THIS SURVEY. THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN HEREON. I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY 1A, CONDITION II SURVEY.

WITNESS MY HAND AND SEAL THIS THE 3RD DAY OF FEBRUARY, 2017.
REVISED: 2-9-17, CERTIFICATION

KEVIN K. KOLB, R.P.L.S.
TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5269



FLOOD ZONE NOTES:

I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48201C0880 M, DATED JANUARY 6th 2017 AND HAVE DETERMINED THAT THE TRACT HEREBY SURVEYED LIES WHOLLY WITHIN ZONE "X" OR AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

NOTICE: STATEMENTS IS BASED ON SCALING THE LOCATION OF SAID SURVEY ON THE ABOVE REFERENCED MAP. THIS INFORMATION IS TO BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY, AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOOD CONDITIONS.

PURCHASER: MARK-DANA CORPORATION

PROPERTY ADDRESS: COYLE ST. @ NAPOLEON ST. HOUSTON, TX

TSE
TOTAL SURVEYORS, INC.
4301 CENTER STREET, DEER PARK, TEXAS
PHONE: 281.479.8719 FAX: 281.930.8110
TBPLS FIRM REG. # 10075300

DATE: FEB. 2, 2017

DRAWN BY: D.MOON
CHECKED BY: KEV

SCALE
1" = 20'
JOB NO.
17-034

SHEET 1 OF 1



EADO LOFTS

Mucasey & Associates, Architects
August 23, 2017

Apartments:

Parking Required:

Parking Provided:

EADO LOFTS - Ground Floor

A Multi-Family Community
Mucasey & Associates, Architects

August 23, 2017

PROJECT SUMMARY:

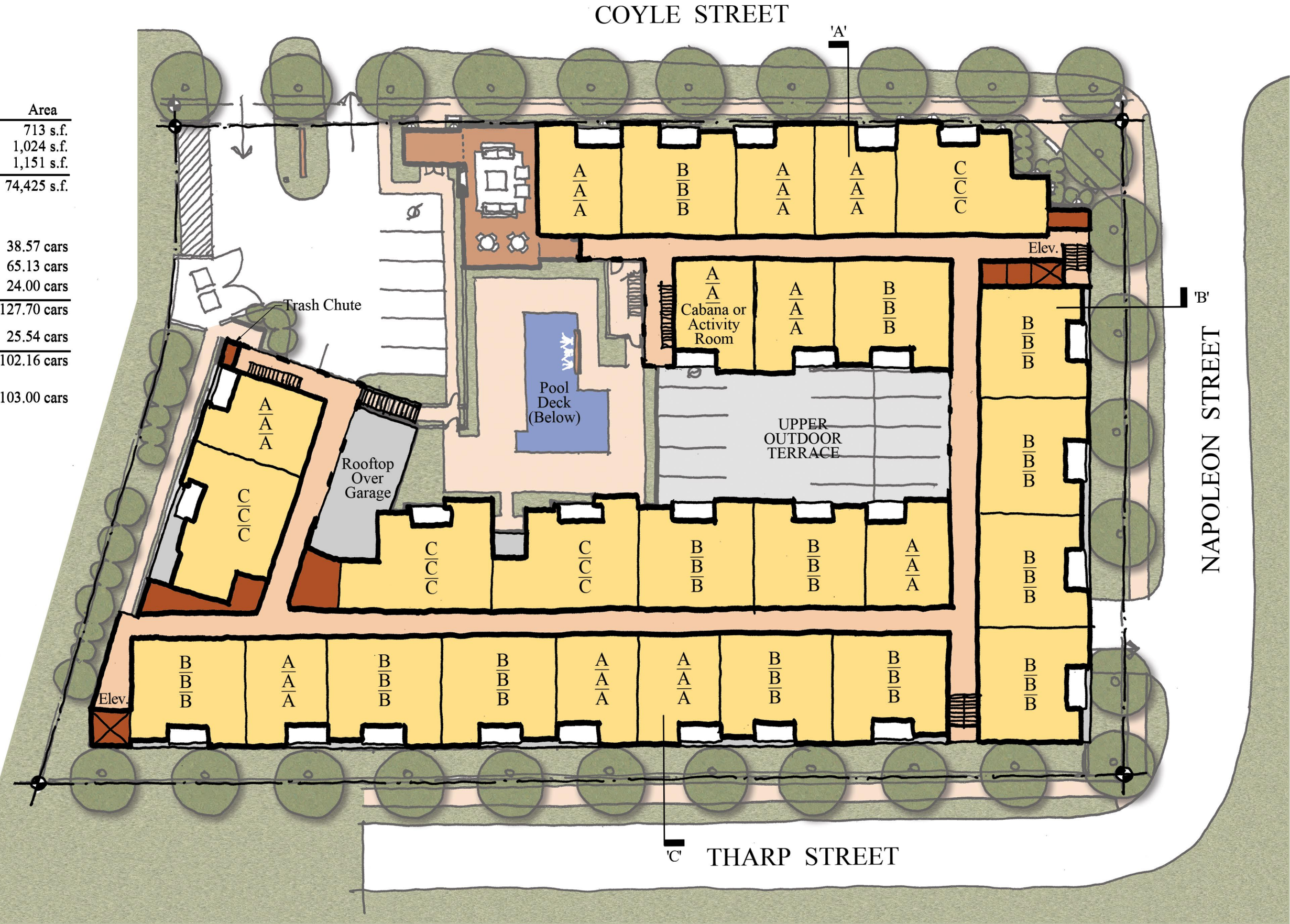
Apartments:

Type	Description	Qty.	Area
A	One Bedroom, 1 Bath	29	713 s.f.
B	Two Bedroom, 2 Bath	39	1,024 s.f.
C	Three Bedroom, 2 Bath	12	1,151 s.f.
Total Units		80 Units	74,425 s.f.

Parking Required:

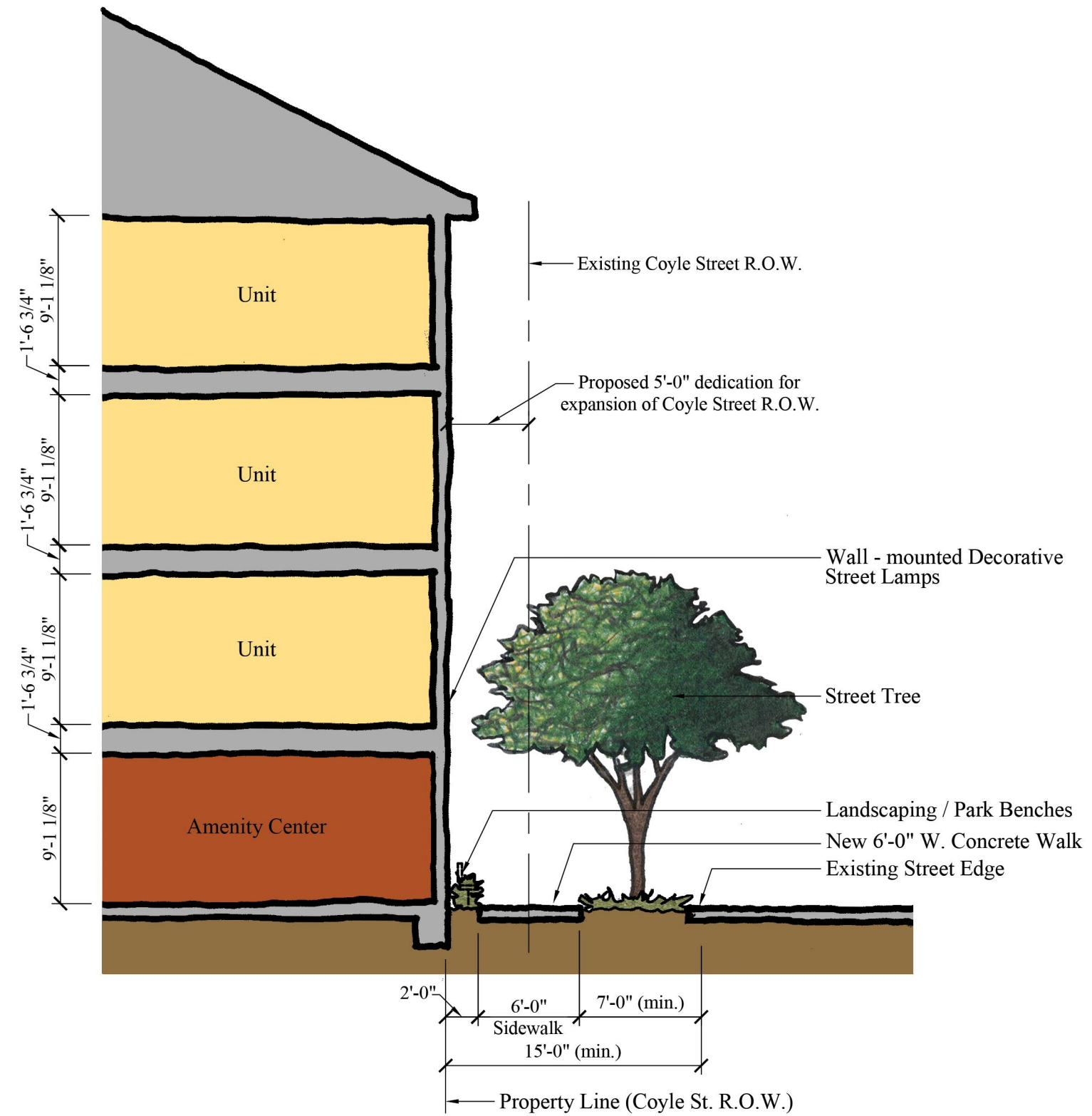
29 One Bedroom @ 1.33 cars =	38.57 cars
39 Two Bedroom @ 1.67 cars =	65.13 cars
12 Three Bedroom @ 2.00 cars =	24.00 cars
Total Required Parking	127.70 cars
20% Reduction For Transit Corridor	25.54 cars
Total Revised Required Parking	102.16 cars

Parking Provided:



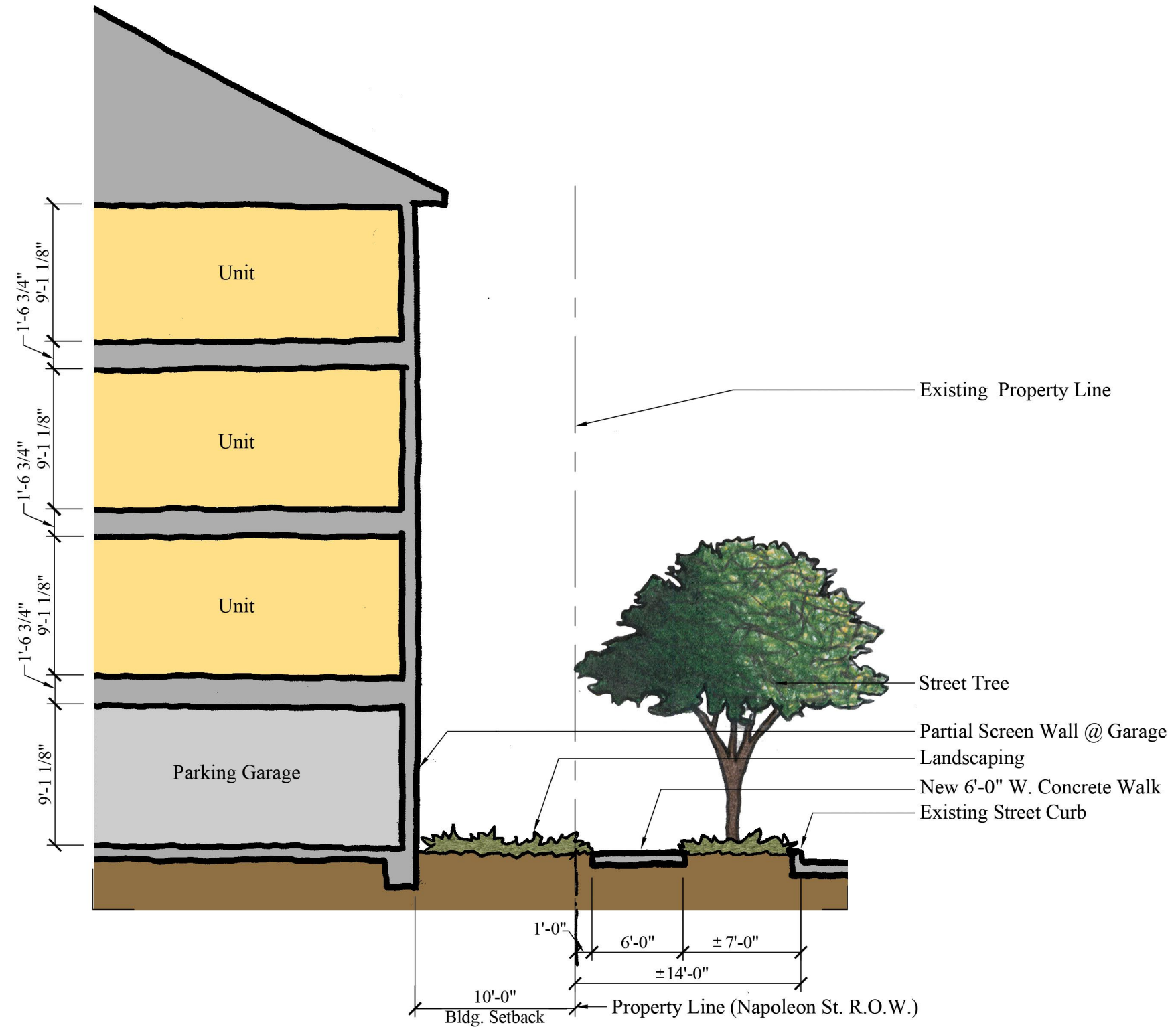
EADO LOFTS - Upper Level

A Multi-Family Community
Mucasey & Associates, Architects
August 23, 2017



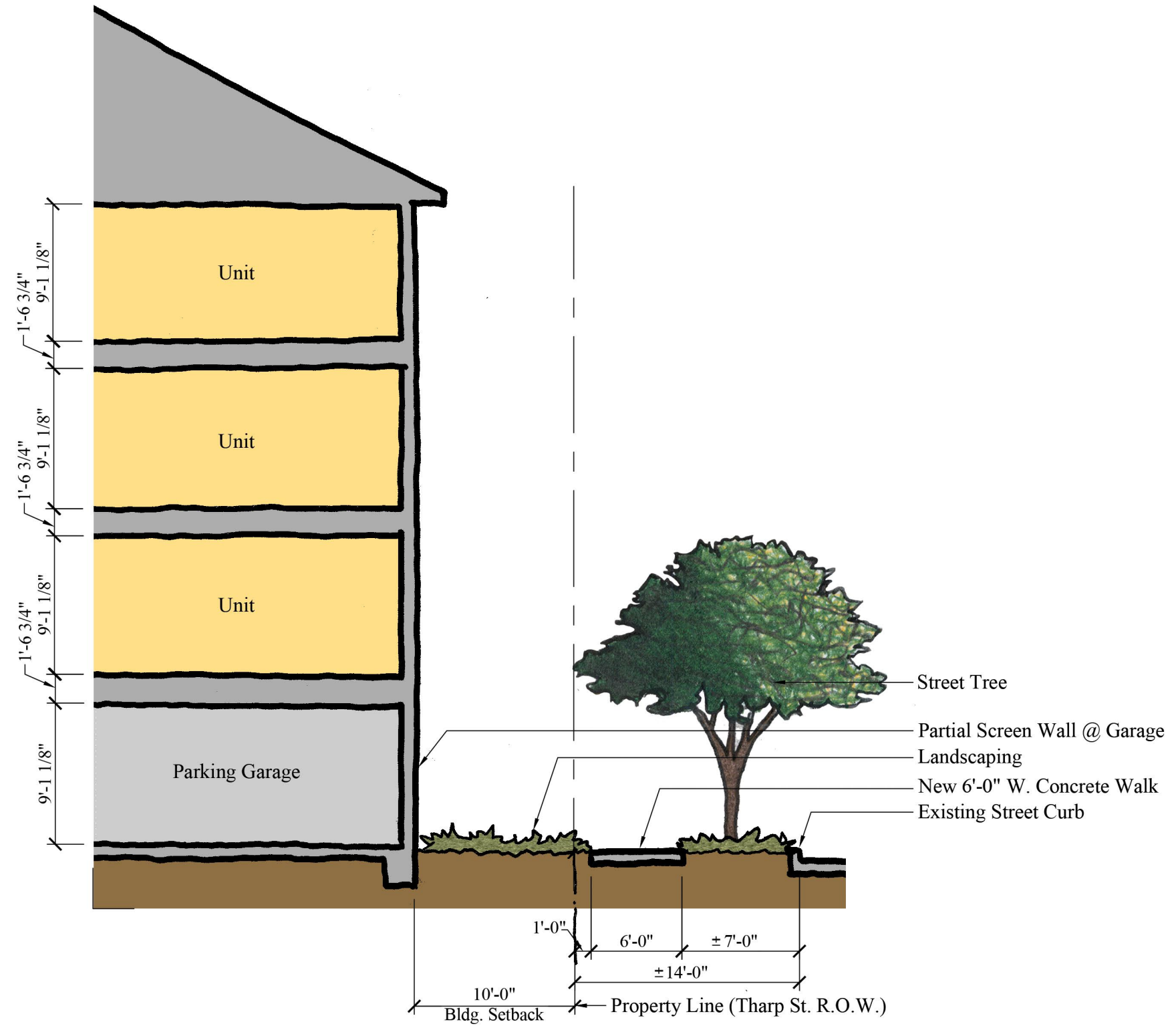
EADO LOFTS - Section 'A': Coyle Street

A Multi-Family Community
 Mucasey & Associates, Architects
 August 22, 2017



EADO LOFTS - Section 'B': Napoleon Street

A Multi-Family Community
 Mucasey & Associates, Architects
 August 23, 2017



EADO LOFTS - Section 'C': Tharp Street

A Multi-Family Community
 Mucasey & Associates, Architects
 August 22, 2017



Application No: 2017-1468

Agenda Item: 117

PC Action Date: 08/24/2017

Plat Name: EaDo Lofts

Applicant: Total Surveyors, Inc.

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 42-121

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To not require the dedication of 5' of right-of-way along Napoleon Street or 10' of right-of-way along Tharp Street.;

Basis of Recommendation:

The site is located north of IH-45, east of Sampson Street and west of Scott Street. The applicant is requesting a variance to not provide a 5' right-of-way dedication along Napoleon Street nor provide a 10' right-of-way dedication along Tharp Street. Staff supports both of the requested variances.

The subject site is located adjacent to Transit Corridor Scott Street. There is an existing commercial building on the site. The applicant proposes to demolish the existing building and construct a 4-story multifamily residential complex on the site. The ground floor will contain an amenity center, a swimming pool and a parking garage, with 3 stories apartment units on the top. The proposed development will provide 80 affordable apartment units funded by Texas Department of Housing and Community Affairs. The proposed development will take access from Coyle Street and Napoleon Street. The applicant tries to provide a pedestrian friendly development for the adjacent neighborhood by opting into Transit Corridor performance standards along Type A street Coyle Street and providing pedestrian amenities along the adjacent public streets. Staff supports the requested variances for the following reasons:

1. Napoleon Street is a 50' wide right-of-way and Tharp Street is a 40' wide right-of-way. Tharp Street is currently about 230' long dead-end street. The section of Tharp Street to the west was abandoned by City of Houston in 1953. Including the subject tract, there are only 3 parcels having frontage along Tharp, however, none of them take access from this dead-end street. Strict application of the ordinance to widen Tharp Street right-of-way will create an impractical development.
2. IH-45 exit ramp to Scott Street is immediately adjacent o Napoleon Street and Tharp Street. With the existing ramp, Napoleon Street and Tharp Street act like a dead end street. The vacant property along the eastern boundary of Napoleon also fronts Coyle Street. Since Napoleon Street is a 50' wide right-of-way with limited traffic demand at this location, granting the requested variances to not provide 5'right-of-way dedication will not be contrary to sound public policy.
3. The applicant has agreed to provide a 6' wide unobstructed side walk along the adjacent public streets, with 3" caliper street trees, benches and lighting to provide a pedestrian friendly environment for the adjacent neighborhood.

Public Works and Engineering Department poses no objection to the requested variances. Considering the nature of the development and the existing conditions adjacent to the site, staff recommends granting the requested variances and approving the plat subject to CPC 101 Form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Napoleon Street is a 50' wide right-of-way and Tharp Street is a 40' wide right-of-way. Tharp Street is currently about 230' long dead-end street. The section of Tharp Street to the west was abandoned by City of Houston in 1953. Including the subject tract, there are only 3 parcels having frontage along Tharp, however, none of them take access from this dead-end street. Strict application of the ordinance to widen Tharp Street right-of-way will create an impractical development. Also, IH-45 exit ramp to Scott Street is immediately adjacent to Napoleon Street and Tharp Street. With the existing ramp, Napoleon Street and Tharp Street act like a dead end street. The vacant property along the eastern boundary of Napoleon also fronts Coyle Street. Since Napoleon Street is a 50' wide right-of-way with limited traffic demand at this location, granting the requested variance to not provide 5' right-of-way dedication will not be contrary to sound public policy.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The main justification for granting the requested variance is based on the nature of the development and the existing conditions adjacent to the site.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Considering the nature of the development and the existing conditions adjacent to the site, granting the requested variance will preserve and maintain the intent of the ordinance.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The applicant has agreed to provide a 6' wide unobstructed side walk along the adjacent public streets, with 3" caliper street trees, benches and lighting to provide a pedestrian friendly environment for the adjacent neighborhood.

(5) Economic hardship is not the sole justification of the variance.

The main justification for granting the requested variance is based on the nature of the development and the existing conditions adjacent to the site.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 118

Action Date: 08/24/2017

Plat Name: Elon

Developer: Laurelhouse Studio

Applicant: Tri-Tech Surveying Co., LP/Tri-Tech Engineering, LP

App No/Type: 2017-1233 C2R

Staff Recommendation:

Withdraw

Total Acreage:	0.1568	Total Reserve Acreage:	0.1568
Number of Lots:	0	Number of Multifamily Units:	7
COH Park Sector:	13	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77005	532D	City

Conditions and Requirements for Approval

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Parks and Recreation: • To be added to the general notes on the face of the plat: No building permit or other permit, except permits for construction of public improvements, will be issued by the City of Houston, Texas, for construction within the subdivision until such time as the funds required under provisions of Section 42-253 of the Code of Ordinances of the City of Houston, Texas, has been submitted and accepted by the City.

• To be corrected on the general notes on face of plat: This property(s) is located in Park Sector number 13.

To be corrected on the general notes on face of plat: The then-current fee in lieu of dedication shall be applied to this number (4 units) of dwelling units.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM:118

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Elon (DEF 1)

Applicant: Tri-Tech Surveying Co., LP/Tri-Tech Engineering, LP



D –Variances

Site Location

Houston Planning Commission

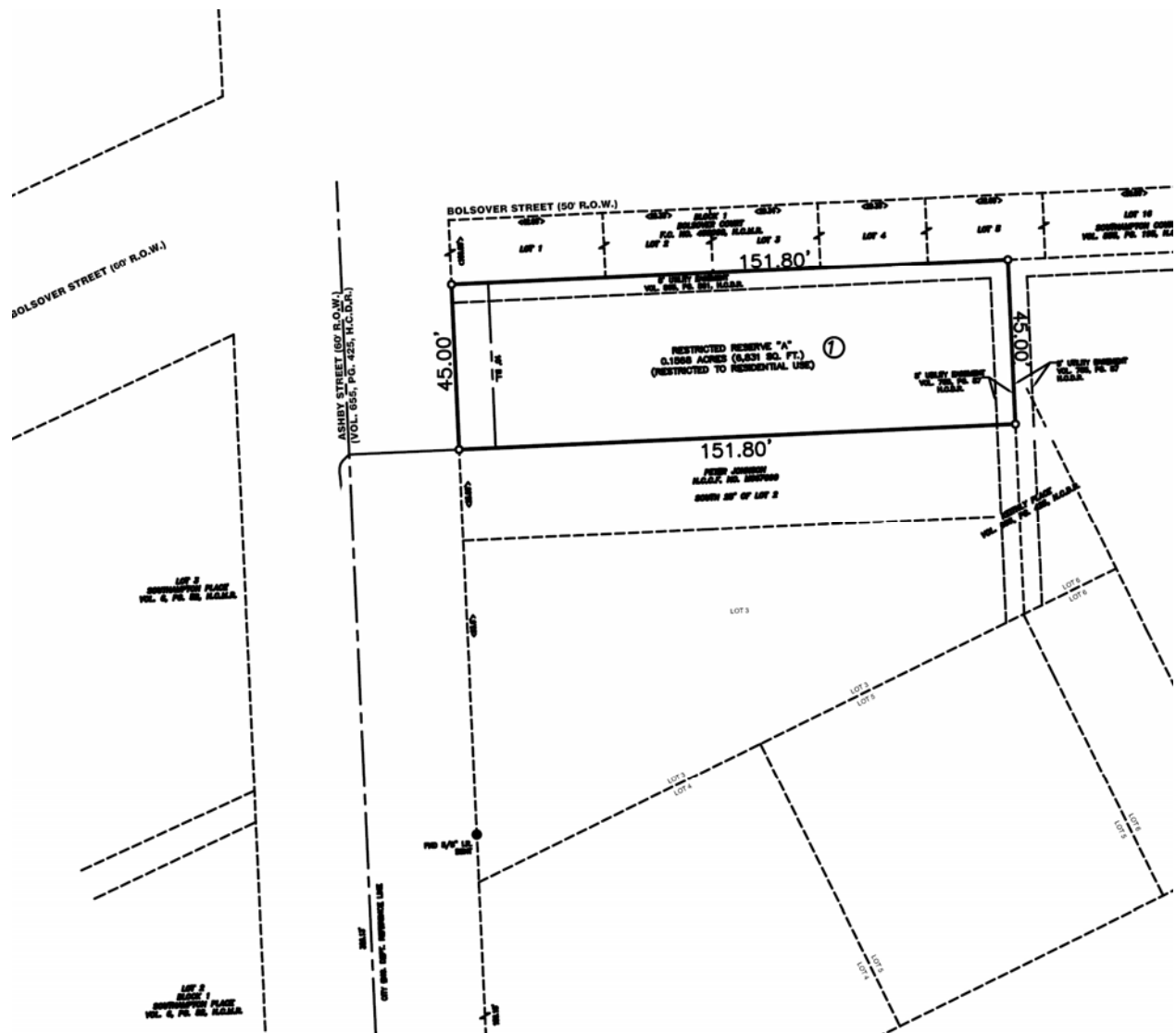
ITEM:118

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Elon (DEF 1)

Applicant: Tri-Tech Surveying Co., LP/Tri-Tech Engineering, LP



D –Variances

Subdivision

Houston Planning Commission

ITEM:118

Planning and Development Department

Meeting Date: 08/24/2017

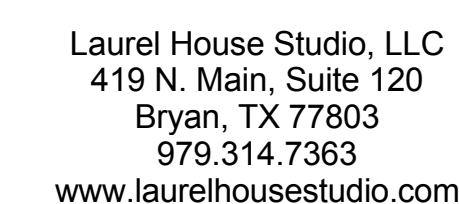
Subdivision Name: Elon (DEF 1)

Applicant: Tri-Tech Surveying Co., LP/Tri-Tech Engineering, LP



D –Variances

Aerial

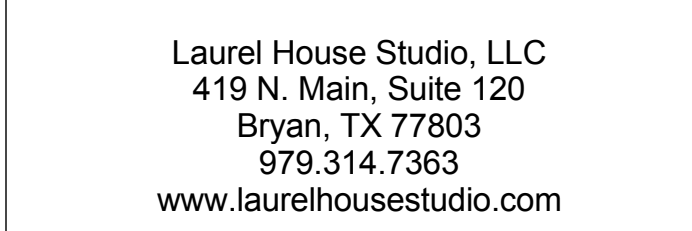
[illegible]

Project number	16-R-060
Date	08/08/201
Drawn by	RO
Checked by	RO

Scale	
-------	--

NOTE: ARTIST'S CONCEPTUAL
RENDERING TO SHOW DESIGN INTENT.
ACTUAL ELEVATION MAY VARY ONCE
PERMIT & CONSTRUCTION DRAWINGS
COMPLETED





DEVELOPER//
ERIC BAHORICH
5501 ASHBY STREET
HOUSTON, TX 77005
PHONE: 970-397-3614
EMAIL: ERIC.BAHORICH@GMAIL.COM

SURVEYOR//
GLOBAL SURVEYORS, INC.
10401 WESTOFFICE DRIVE
HOUSTON TX 77042
REG NO. 10115912
PHONE: 713-667-0800

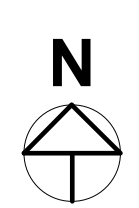
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THE ASHBY HOUSE

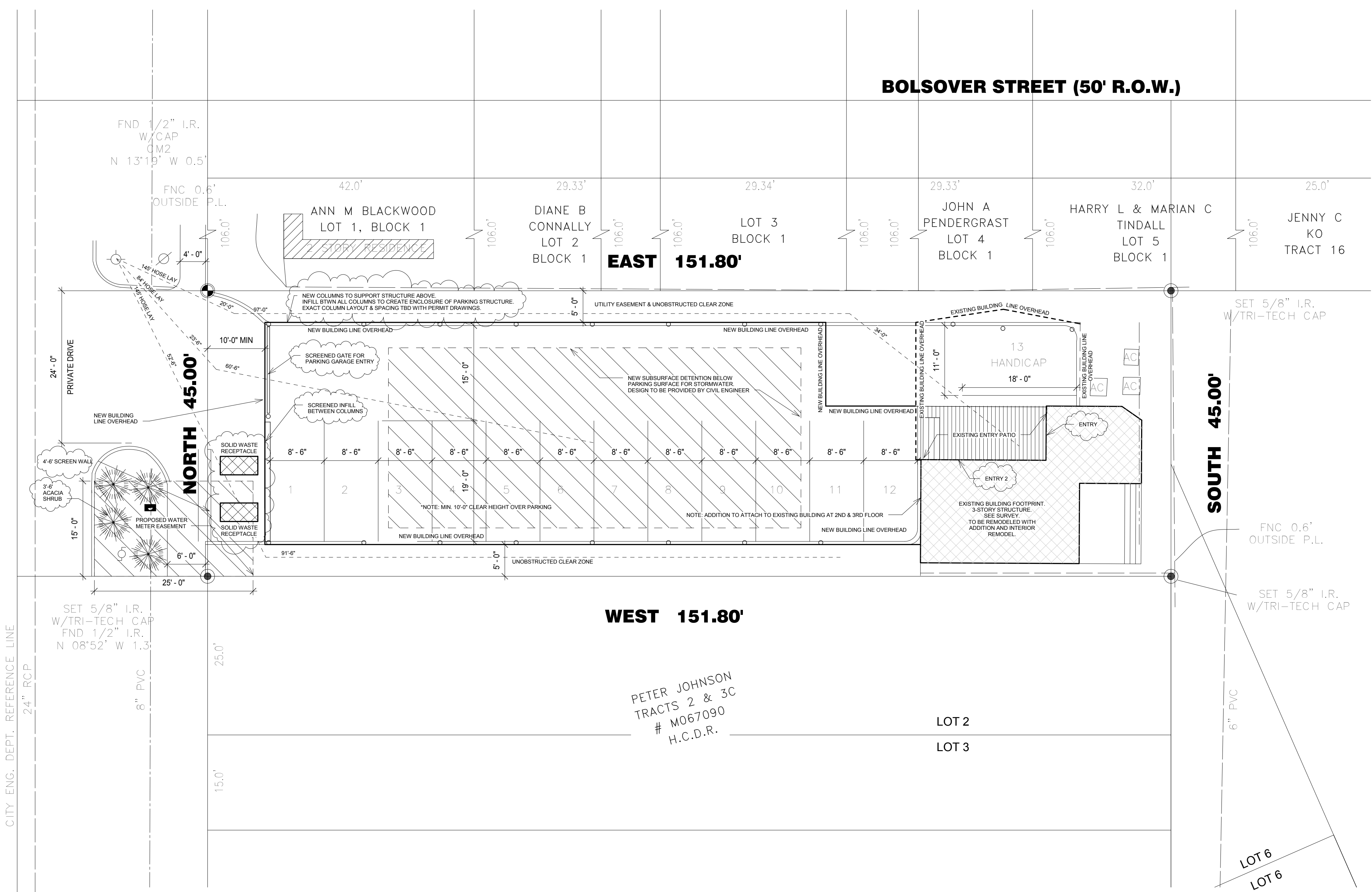
5501 ASHBY ST.



Site Plan

Project number	16-R-060
Date	08/08/2016
Drawn by	R00000000
Checked by	R00000000
A002	
Scale	1" = 10'-0"



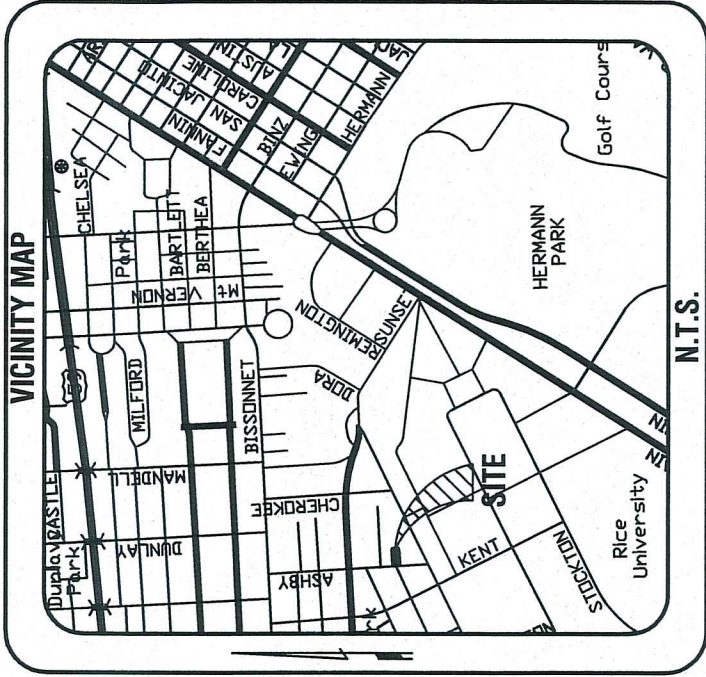
ASHBY STREET (60' R.O.W.)



-  BOLLARD
-  CLEAN OUT
-  FIRE HYDRANT
-  GUY ANCHOR
-  GRATE INLET
-  LIGHT STANDARD
-  MANHOLE
-  POWER POLE
-  SANITARY MANHOLE
-  SIGN
-  STORM MANHOLE
-  WATER METER
-  WATER VALVE
-  TELEPHONE MANHOLE
-  ELECTRIC BOX
-  UTILITIES

NOTE:

1. HEIGHT NOT TO EXCEED FOUR FLOORS, INCLUSIVE OF GROUND-FLOOR PARKING.
2. MAXIMUM NUMBER OF PARKING SPOTS FEASIBLE FOR SITE ARE SHOWN: 1 HANDICAP, 12 STANDARD
3. FENCING/INFILL TO BE USED SHALL BE SEMI-OPAQUE, SIDEWALK TO BE WIDENED TO 6 FEET, IMPROVED SITE LANDSCAPING AND LIGHTING



This survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A Condition II Survey.



LISA M. DOBROWSKI
Registered Professional Land Surveyor
Texas Registration Number: 6544

THIS SURVEY IS NULL AND VOID WITHOUT THE ORIGINAL EMBOSSED SEAL AND SIGNATURE OF SURVEYOR.
THIS SURVEY IS VALID FOR THIS TRANSACTION ONLY.
© 2017, GLOBAL SURVEYORS, INC.

PROPERTY INFORMATION

LOT _____ SEE LEGAL DESCRIPTION

BLOCK _____

SUBDIVISION KEITHLY PLACE

RECORDING VOL. 655 PG. 425

DEED RECORDS HARRIS COUNTY,

BORROWER _____

TITLE COMPANY _____

INTEGRITY TITLE

JOB NO. 1725191A

F. EFFECTIVE DATE: MAY 01, 2017

SURVEYED FOR: LAURELHOUSE STUDIO

BOUNDARY & TOPOGRAPHIC SURVEY

5501 ASHBY STREET

HOUSTON, HARRIS COUNTY, TEXAS 77005



Global Surveyors, Inc.
An affiliate of Tri-Tech Surveying Company, L.P.

An affiliate of Tri-Tech Surveying Company, L.P.

WWW.SURVEYINGCOMPANY.COM
10401 Westoffice Drive Phone: (713) 667-0800
Houston, Texas 77042 Fax: (713) 667-5848
FIRM Registration No. 10115912



Application Number: 2017-1233

Plat Name: Elon

Applicant: Tri-Tech Surveying Co., LP/Tri-Tech Engineering, LP

Date Submitted: 07/16/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Sec. 42-190 states that reserves restricted to "all other" must have 60 feet of street frontage. This subdivision proposes a reserve restricted to residential use with 45 feet of street frontage. This tract has had this configuration (45 feet of frontage) since 1989. Current plans propose to enhance the character of the site by demolishing the front structure, due to structural issues, and to expand the rear structure. There are currently three units on site with a proposal to build up to seven units with ground floor parking. The new structure will not exceed four stories in height, inclusive of the ground floor parking. The site will be developed with improved lighting, semi-opaque fencing, a new six-foot wide sidewalk, and landscaping improvements designed to enhance the appearance of the site as well as improve public health and safety.

Chapter 42 Section: 190

Chapter 42 Reference:

Sec. 42-190. - Tracts for non-single-family use—Reserves.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This tract currently has 45 feet of frontage and has had less than 60 feet of frontage since 1931. There is no feasible way to acquire additional frontage in this area.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

This tract is currently comprised of a portion of two lots. In 1931 the south 20 feet of Lot 1 and the adjoining north 30 feet of Lot 2 (50 feet total) were conveyed by deed (Volume 864, Page 348). In 1989, the south five feet of the north 30 feet of Lot 2 was conveyed by deed (HCCF No. M067090) leaving this tract with its current 45 feet of frontage. Deed restrictions permit the current and proposed use and in order to obtain a building permit for the proposed changes to the structures (demolishing the front building and expanding the rear building), the permitting center requires a replat to change from lots to a reserve.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent of Chapter 42 is to promote the health, safety, morals, and general welfare of the city and the safe, orderly, and healthful development of the city. This proposed development will provide additional parking spaces and will provide a wider entrance and driveway. This will significantly improve access, safety, and the general aesthetics of the site and the neighborhood.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The tract has been in its current configuration for several decades and has been used for multi-family use for as long. Widening the entrance and providing additional parking spaces will ensure that public health, safety, and welfare are being improved with this subdivision and proposed development.

(5) Economic hardship is not the sole justification of the variance.

Improvements to the site require that a replat be performed and the variance is required due to current development regulations. Acquiring additional frontage is not feasible in this area.



Application No: 2017-1233

Agenda Item: 118

PC Action Date: 08/24/2017

Plat Name: Elon

Applicant: Tri-Tech Surveying Co., LP/Tri-Tech Engineering, LP

Staff Recommendation: Withdraw

Chapter 42 Sections: 190

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

Sec. 42-190 states that reserves restricted to "all other" must have 60 feet of street frontage. This subdivision proposes a reserve restricted to residential use with 45 feet of street frontage. This tract has had this configuration (45 feet of frontage) since 1989. Current plans propose to enhance the character of the site by demolishing the front structure, due to structural issues, and to expand the rear structure. There are currently three units on site with a proposal to build up to seven units with ground floor parking. The new structure will not exceed four stories in height, inclusive of the ground floor parking. The site will be developed with improved lighting, semi-opaque fencing, a new six-foot wide sidewalk, and landscaping improvements designed to enhance the appearance of the site as well as improve public health and safety.

;

Basis of Recommendation:

This application has been withdrawn by the applicant.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

.

(3) The intent and general purposes of this chapter will be preserved and maintained;

.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

.

(5) Economic hardship is not the sole justification of the variance.

.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 119
Action Date: 08/24/2017
Plat Name: Fairgrounds Addition partial replat no 1
Developer: 220 Hyde Park LLC
Applicant: Century Engineering, Inc
App No/Type: 2017-1316 C2R

Staff Recommendation:
Defer Chapter 42 planning standards

Total Acreage:	0.1109	Total Reserve Acreage:	0.1051
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77006	493N	City

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

047. Make minor corrections and additions as indicated on the marked file copy.

049.2. Subdivision plat must include State Plane Coordinates in NAD 83; and NAVD 1988 with 2001 adjustment.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

088. Minimum reserve size shall be 5000 square feet having 60' frontage along at least one public street with a right-of-way not less than 60 feet. (192)

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

Revise the subdivision name to meet subdivision plat naming standards.

Please submit a revised variance request form to clarify the proposed development and the details of proposed pedestrian improvement.

Please submit a landscaping plan and a revised site plan to clarify the proposed pedestrian improvement.

Please submit a revised existing condition survey.

Please provide pictures for notification signs with d Planning Commission meeting date.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 119
Action Date: 08/24/2017
Plat Name: Fairgrounds Addition partial replat no 1
Developer: 220 Hyde Park LLC
Applicant: Century Engineering, Inc
App No/Type: 2017-1316 C2R

Staff Recommendation:
Defer Chapter 42 planning standards

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%
AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

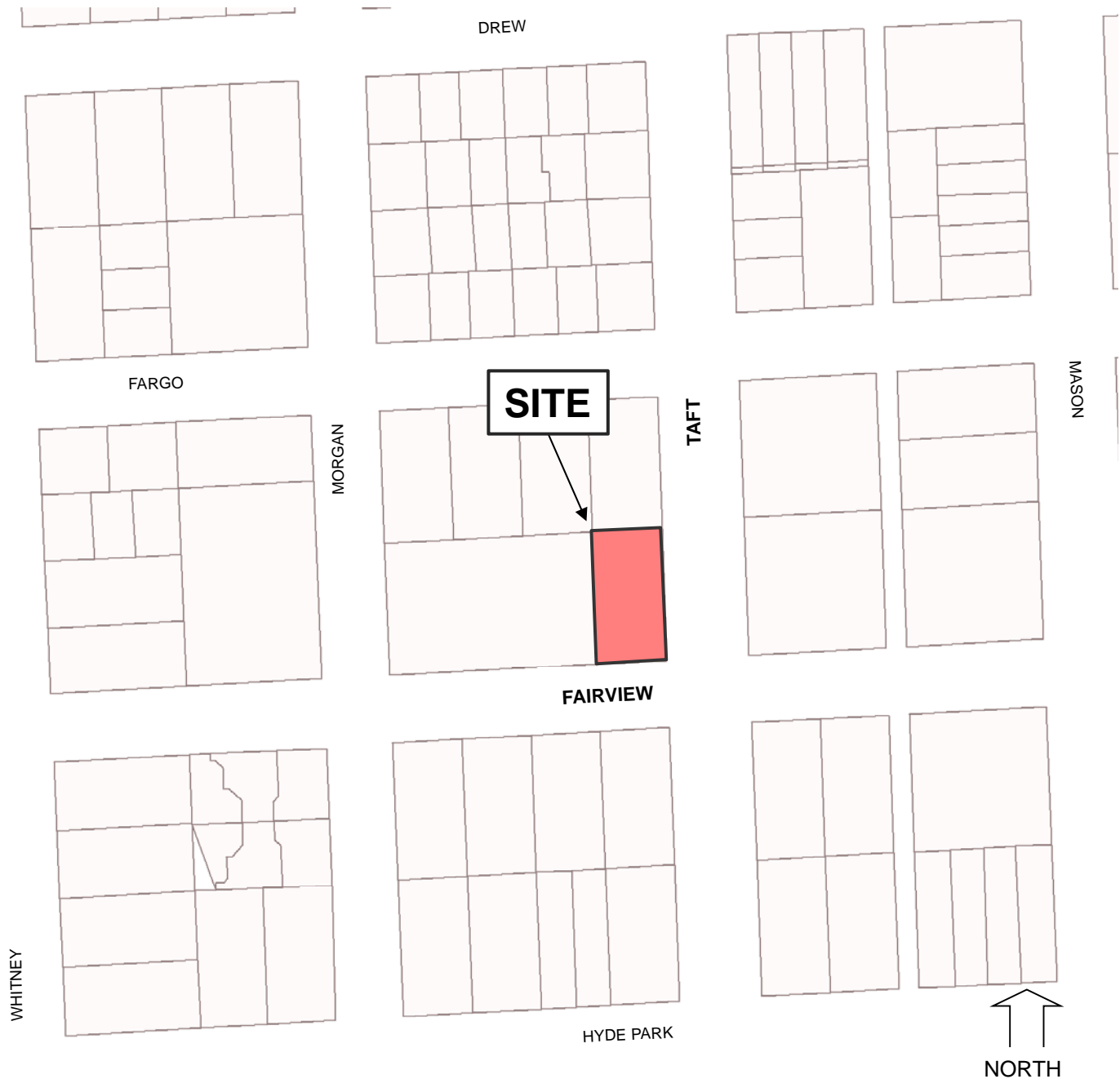
ITEM: 119

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Fairgrounds Addition partial replat no 1

Applicant: Century Engineering, Inc



D – Variances

Site Location

Houston Planning Commission

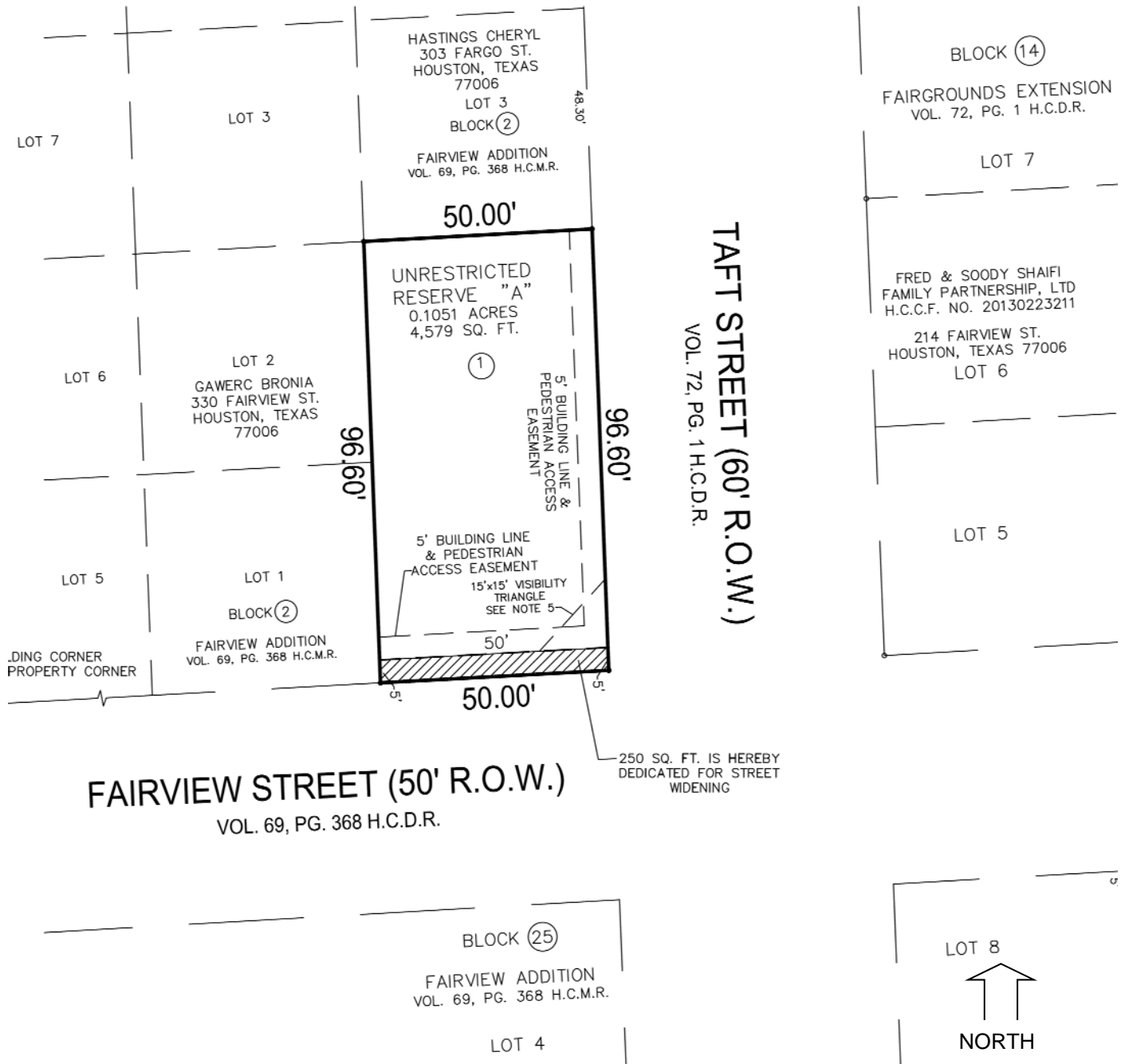
ITEM: 119

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Fairgrounds Addition partial replat no 1

Applicant: Century Engineering, Inc



D – Variances

Subdivision

Houston Planning Commission

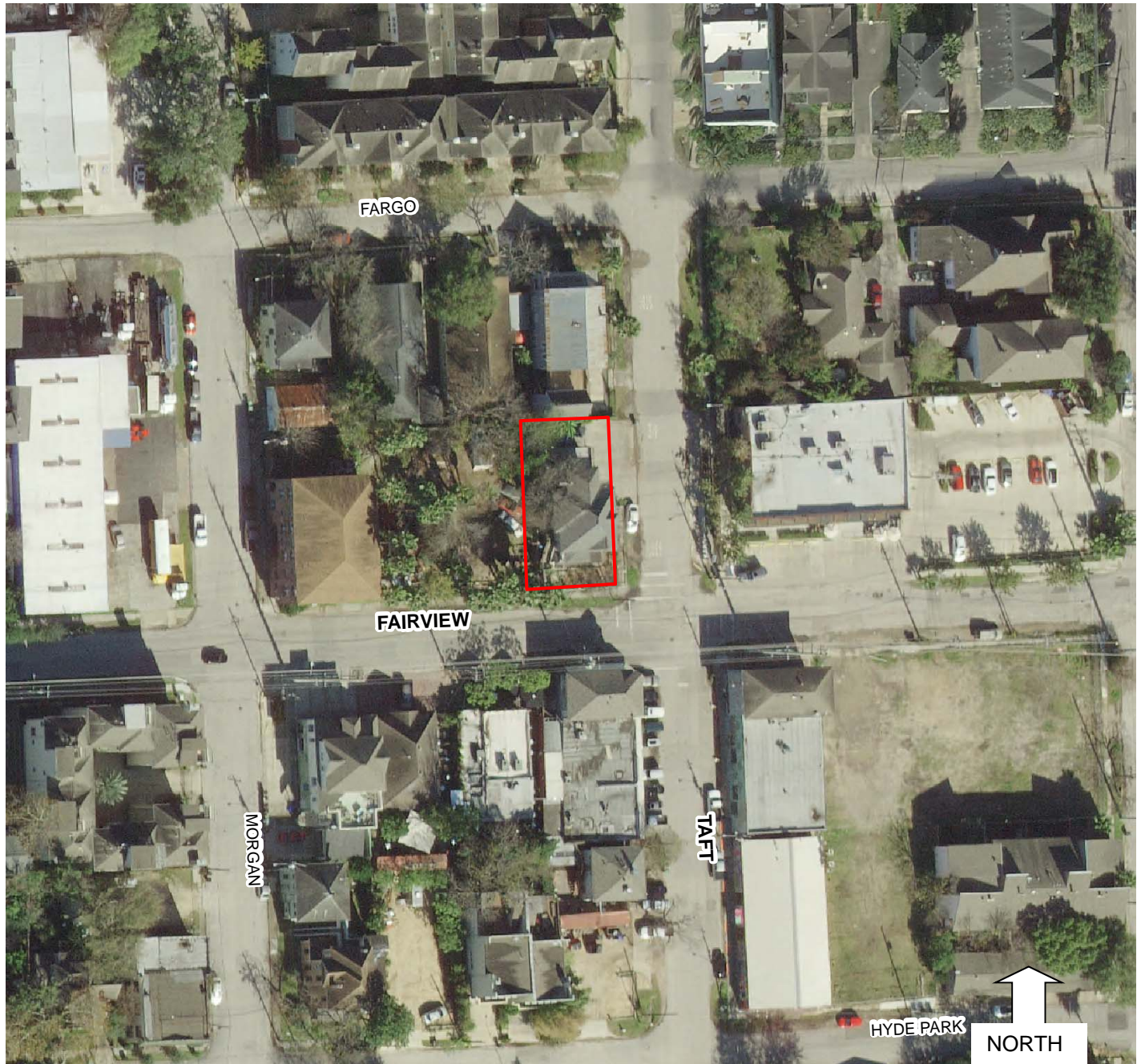
ITEM:119

Planning and Development Department

Meeting Date: 08/24/2017

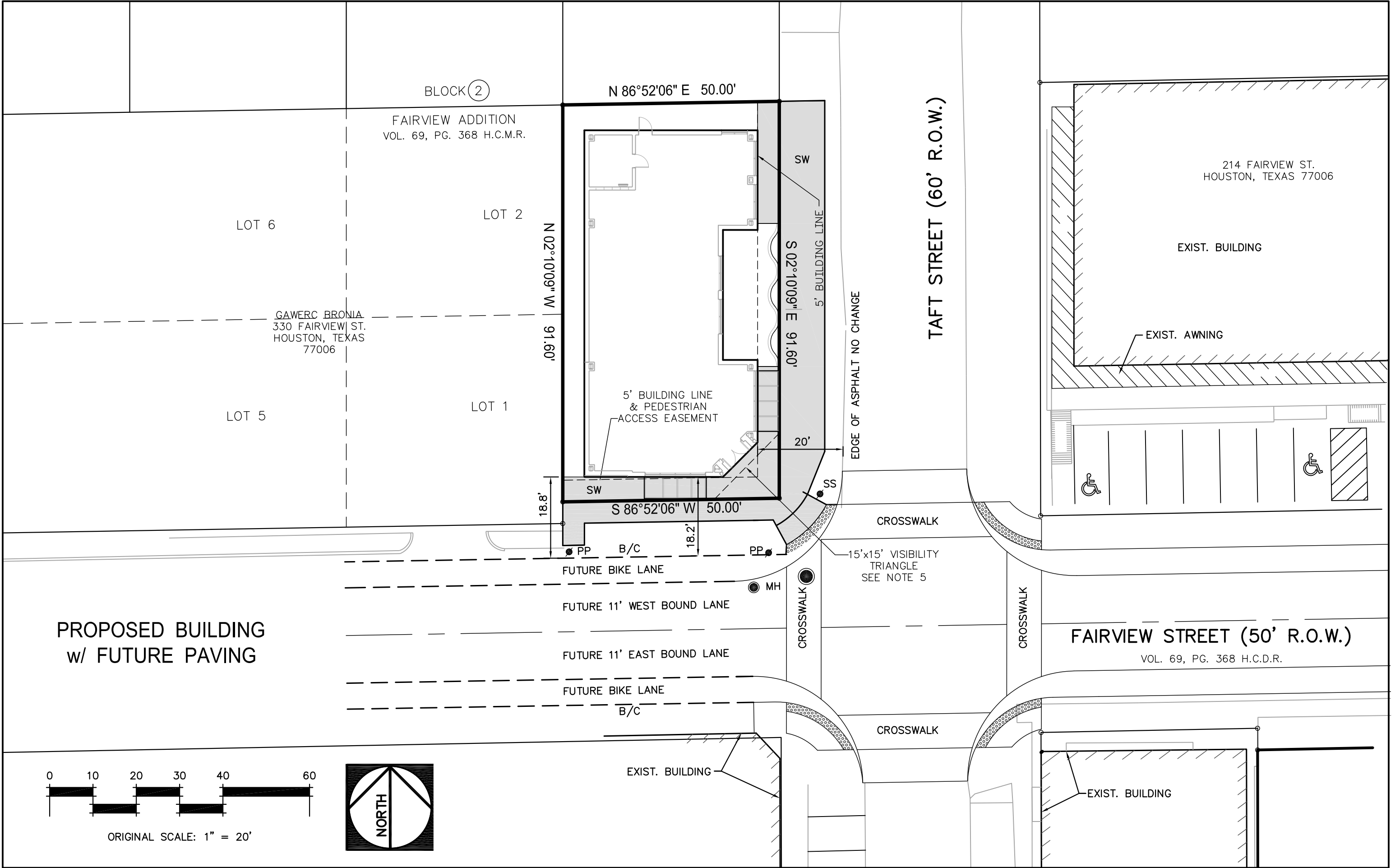
Subdivision Name: Fairgrounds Addition partial replat no 1

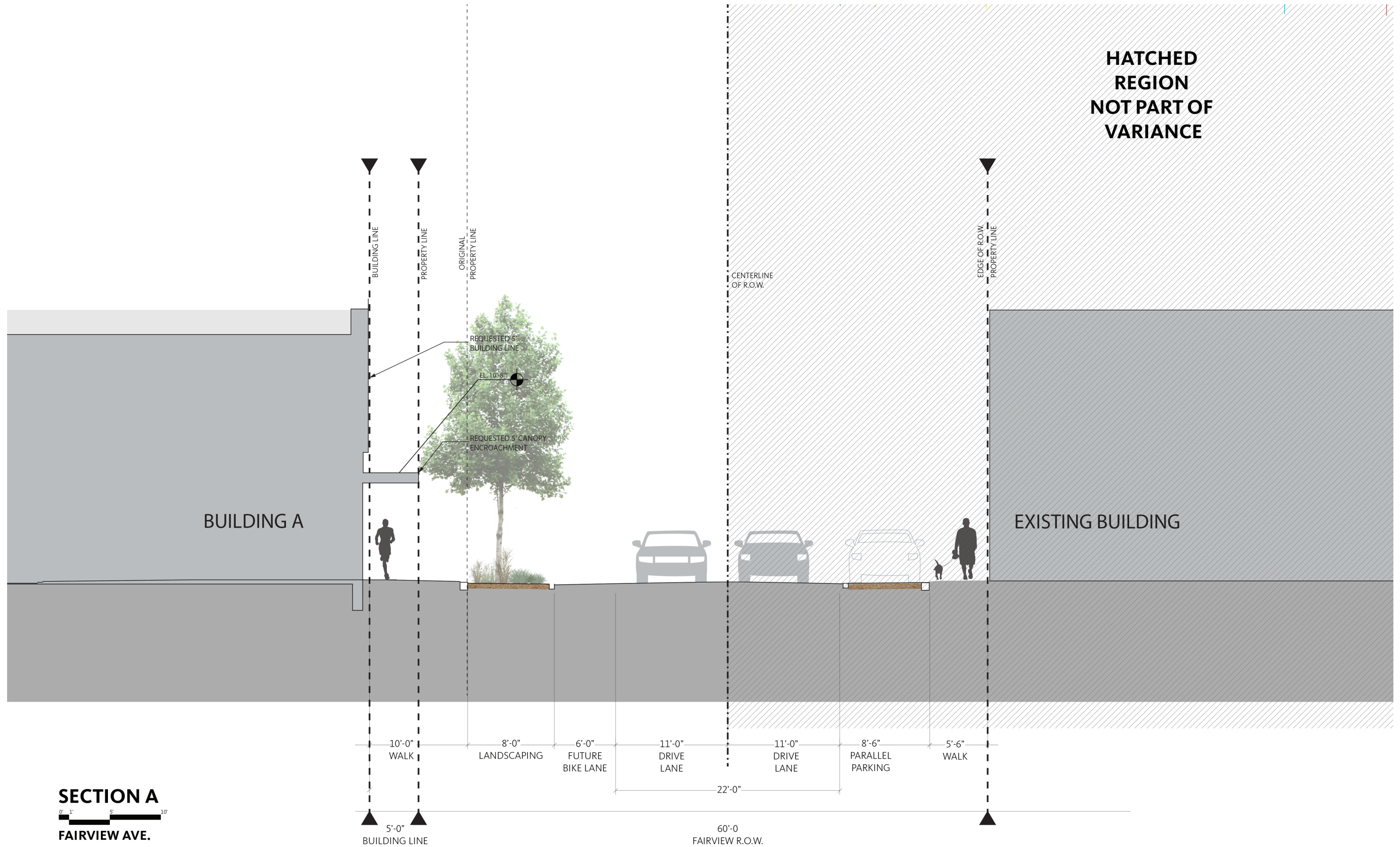
Applicant: Century Engineering, Inc

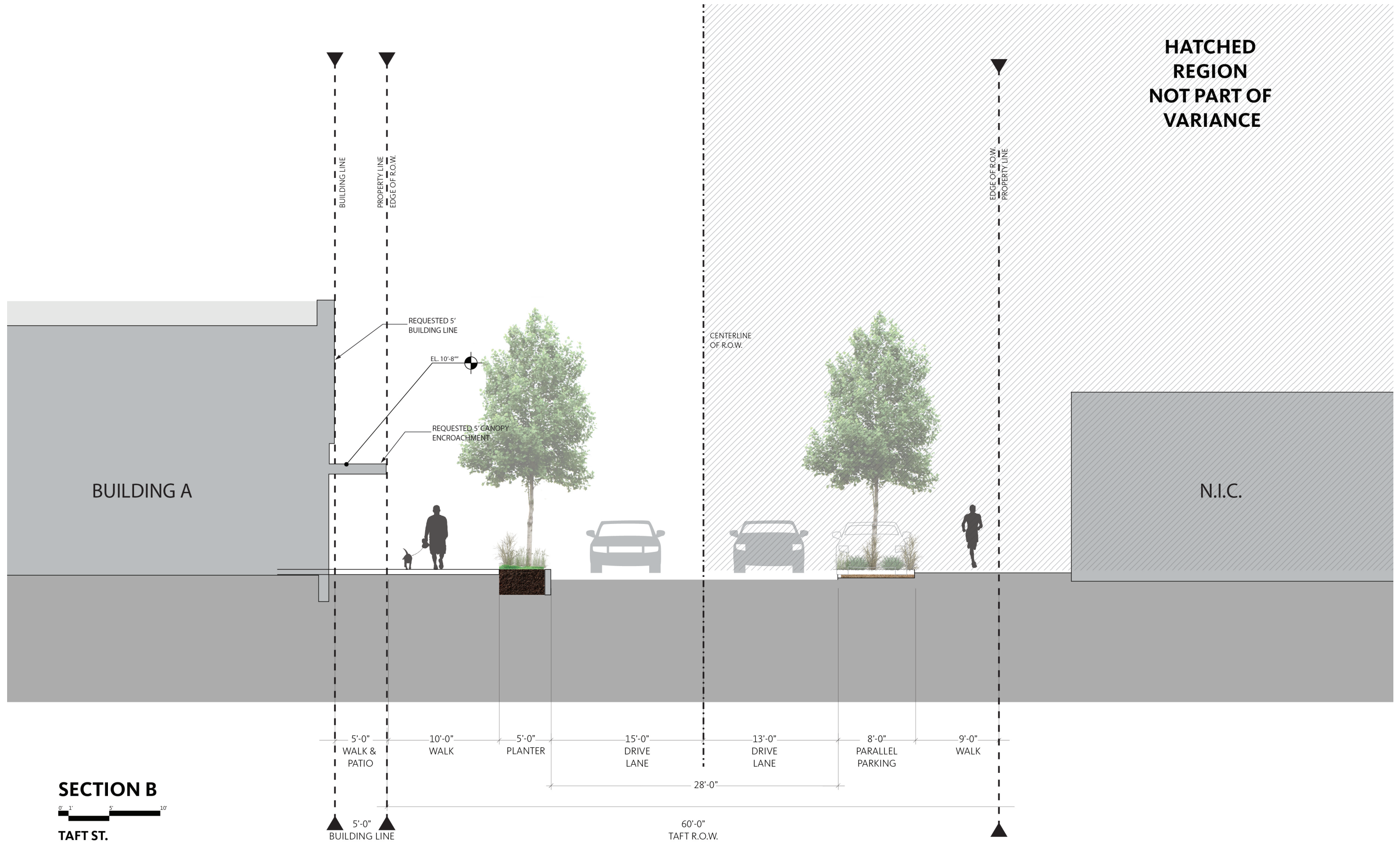


D – Variances

Aerial









Application Number: 2017-1316

Plat Name: Fairgrounds Addition partial replat no 1

Applicant: Century Engineering, Inc

Date Submitted: 07/28/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

i. To allow a 5' BL on Fairview St. ii. To allow a 5' BL on Taft St. iii. To allow canopies to encroach 5 feet into 5' BL on Fairview St iv. To allow canopies to encroach 5 feet into 5' BL on Taft St. v. To allow an Unrestricted Reserve with less than 5,000 square feet.

Chapter 42 Section: 155(a) and 190(c)

Chapter 42 Reference:

The building line requirement for a tract used or to be used for other than single-family residential purposes adjacent to a street that is a collector street or local street that is not an alley shall be 10' feet unless otherwise required or authorized by this chapter. Each reserve shall meet the following requirements for minimum size, the type and width of street or shared driveway on which it may be located, and the minimum frontage, as applicable to the type of reserve:
Unrestricted reserve, 5,000 sq. ft.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This stretch of Fairview is a unique area with a small scale, intimate urban experience. Our development will endeavor to keep that character by creating pedestrian and bike friendly amenities within a more urban context. The reduced setbacks will give the district a less suburban feel. It is our intention to use the City of Houston's Complete Streets design standards in creating this pedestrian realm. Compliance with the building setbacks in this area is contrary to sound public policy.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances of this variance are to create a development more sensitive to the context of a unique area of Houston. The variance requested will help create a more pedestrian scaled district.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter will be preserved and maintained in that the variance being sought is not extensive and will still provide a more walkable city by providing pedestrian amenities in accordance with other sections of the ordinance. Reference the attached photos of existing conditions vs. proposed project showing the amenities provided. Note that on both Mason Street and Genesee Street, our proposed setback reduction is still greater than the location of the existing or adjacent buildings.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Allowing this variance will improve the public health, safety and welfare of the users and residents of the area by providing sidewalks, landscaping and separation of the pedestrian from vehicles that does not currently exist. Reference the attached photos of existing conditions vs. proposed project.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of this of the variance, in fact, the proposed development cost will likely exceed the cost of providing the minimum requirements of the City. It is the intention of the developer to improve the neighborhood and provide amenities in such a way that more value is provided for the inhabitants living in the area.



Application No: 2017-1316

Agenda Item: 119

PC Action Date: 08/24/2017

Plat Name: Fairgrounds Addition partial replat no 1

Applicant: Century Engineering, Inc

Staff Recommendation: Defer Chapter 42 planning standards

Chapter 42 Sections: 155(a) and 190(c)

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

i. To allow a 5' BL on Fairview St. ii. To allow a 5' BL on Taft St. iii. To allow canopies to encroach 5 feet into 5' BL on Fairview St iv. To allow canopies to encroach 5 feet into 5' BL on Taft St. v. To allow an Unrestricted Reserve with less than 5,000 square feet. ;

Basis of Recommendation:

The site is located north of Fairview Street, east of Morgan Street and west of Taft Street. The applicant is requesting 3 variances: 1. to allow the proposed building to have 5' building line, instead of the required 10' building line along Fairview Street and Taft Street; 2. to allow the proposed canopies to have 0' building line, instead of the required 10' building line along Fairview Street and Taft Street; 3. to allow the proposed unrestricted reserve less than 5000 square feet. Staff recommends deferring this application for three weeks to allow the applicant time to submit revised information by noon next Wednesday.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

(3) The intent and general purposes of this chapter will be preserved and maintained;

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

(5) Economic hardship is not the sole justification of the variance.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 120
Action Date: 08/24/2017
Plat Name: Hardy Road Industrial Park
Developer: S.E.T. INDUSTRIES, L.C.
Applicant: The Pinnell Group, LLC
App No/Type: 2017-1352 C2R

Staff Recommendation:
Defer Per Harris County's
Request

Total Acreage:	32.1320	Total Reserve Acreage:	32.1320
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77060	413B	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

161. Provide for widening of thoroughfare. See Major Thoroughfare and Freeway Plan. (122) (W Hardy Street)

Harris County Engineering Office has requested that this item be deferred for further study and review.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 120
Action Date: 08/24/2017
Plat Name: Hardy Road Industrial Park
Developer: S.E.T. INDUSTRIES, L.C.
Applicant: The Pinnell Group, LLC
App No/Type: 2017-1352 C2R

Staff Recommendation:
Defer Per Harris County's
Request

PWE Utility Analysis: Approved - To request the availability of COH water or sanitary sewer for this project you must apply for water/ wastewater capacity reservation. When applying please attach a copy of the proposed re-plat with the WCR application.
Submit application online at houstonpermittingcenter.org

City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Harris County Flood Control District: No HCFCF comments

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c) (<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org . For drainage analysis related questions, please email civildevel@hcpid.org .

County has no objections to variances

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

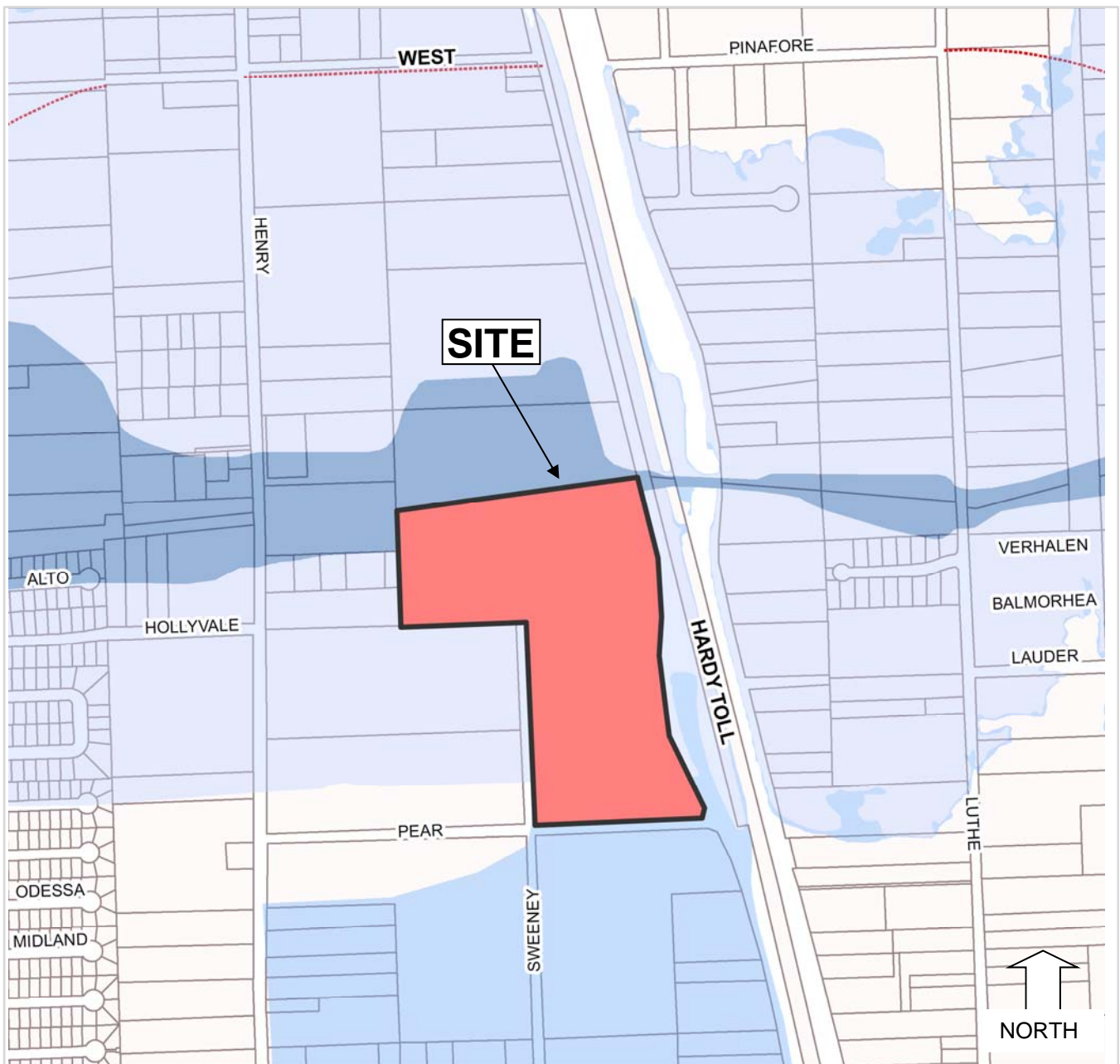
ITEM: 120

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Hardy Road Industrial Park

Applicant: The Pinnell Group, LLC



D –Variances

Site Location

Houston Planning Commission

ITEM: 120

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Hardy Road Industrial Park

Applicant: The Pinnell Group, LLC



D - Variances

Subdivision

Houston Planning Commission

ITEM: 120

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Hardy Road Industrial Park

Applicant: The Pinnell Group, LLC



D –Variances

Aerial

GENERAL NOTES:

1. LOT EASEMENT GRANTED TO HOUSTON LIGHTING & POWER COMPANY RECORDED UNDER C.F. NO. 142889, OF THE H.C.O.P.R.P.
2. 15' x 30' EASEMENT GRANTED TO HOUSTON LIGHTING & POWER COMPANY RECORDED UNDER C.F. NO. 142889, OF THE H.C.O.P.R.P.
3. 20' EASEMENT GRANTED TO HOUSTON LIGHTING & POWER COMPANY RECORDED UNDER C.F. NO. 142889, OF THE H.C.O.P.R.P.
4. 15' EASEMENT GRANTED TO HOUSTON LIGHTING & POWER COMPANY WITH A 10' ADJACENT EASEMENT ON BOTH SIDES RECORDED UNDER C.F. NO. 142889, OF THE H.C.O.P.R.P.
5. 20' EASEMENT GRANTED TO HOUSTON LIGHTING & POWER COMPANY WITH A 10' ADJACENT EASEMENT ON BOTH SIDES RECORDED UNDER C.F. NO. 142889, OF THE H.C.O.P.R.P.
6. 15' x 30' EASEMENT GRANTED TO HOUSTON LIGHTING & POWER COMPANY RECORDED UNDER C.F. NO. 142889, OF THE H.C.O.P.R.P.
7. ALL BEARINGS AND COORDINATES SHOWN HEREON BASED ON THE 2011 NAD 83 DATUM. DISTANCES AND SURFACE AREA ARE COMPUTED TO 0.00 BY MULTPLYING THE FOLLOWING CORRECTION SCALE FACTOR: 0.999967002.
8. ADDRESS: 1307 WEST HARDY STREET, HOUSTON, TEXAS 77060

LEGEND:

P.P. - POWER POLE
F.H. - FIRE HYDRANT
W.V. - WATER VALVE
M.V. - METER VALVE
C.V. - CATCH BASIN
R.C.W. - RIGHT-OF-WAY
H.C.O.P.R.P. - HOUSTON COUNTY DEED RECORDS
H.C.O.P.R.P. - HOUSTON COUNTY DEED RECORDS
H.C.O.P.R.P. - HOUSTON COUNTY DEED RECORDS

SYMBOL LEGEND

○ - MANHOLE
● - POWER POLE
◇ - FIRE HYDRANT (RUSH VALVE)
■ - WATER VALVE
■ - GATE VALVE
■ - WATER WELL
--- - OVERHEAD ELECTRIC

LINE	BEARING	DIST.
L1	S 87°52'04" W	796.37
L2	S 14°09'30" E	383.74
L3	S 04°23'42" E	148.84
L4	S 00°54'07" W	116.03
L5	S 00°57'50" W	25.08
L6	S 03°49'30" W	161.32
L7	S 07°41'17" E	391.52
L8	S 25°53'52" E	379.72
L9	S 18°10'30" E	46.32

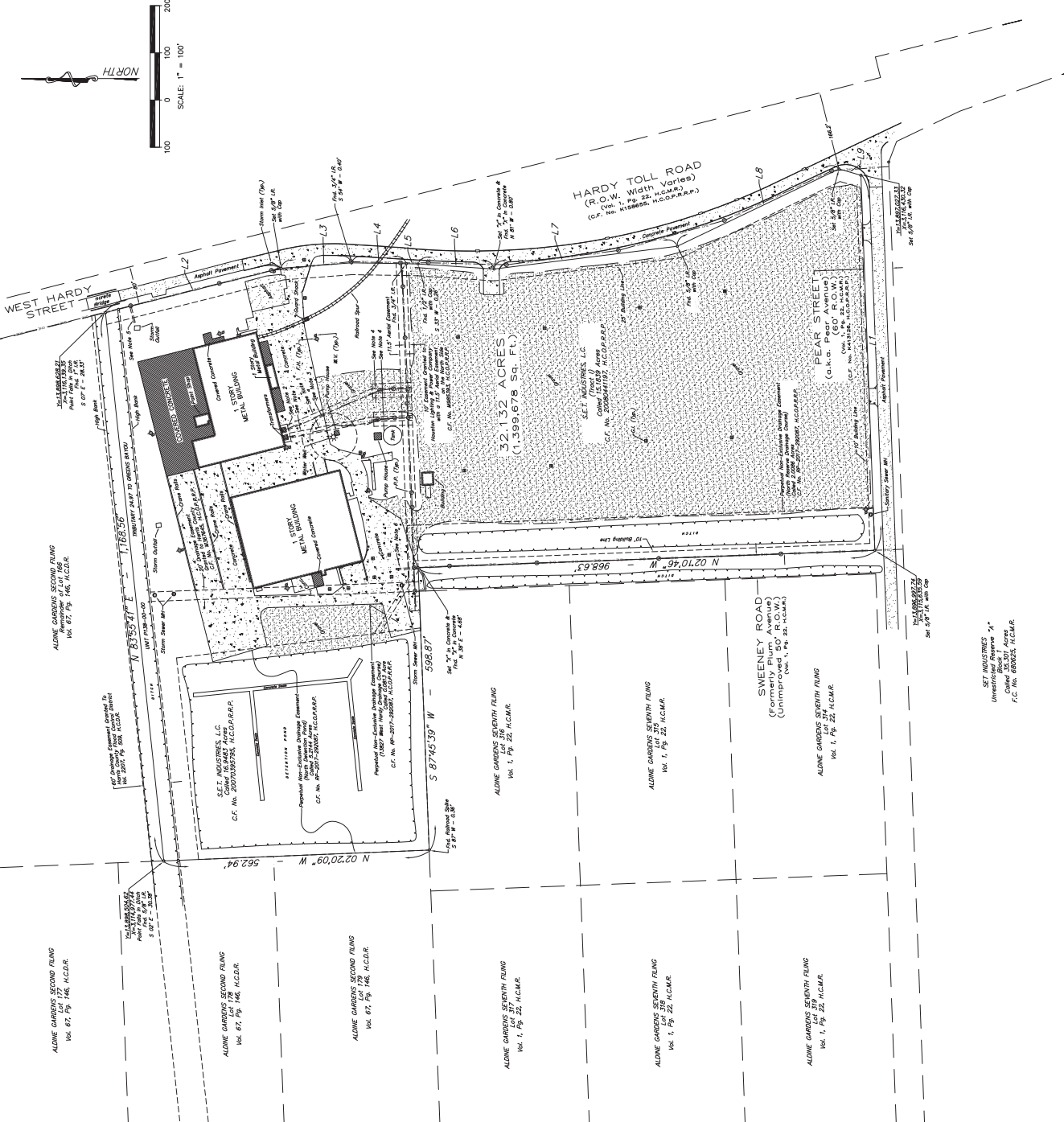
I HEREBY CERTIFY THIS PLAN TO BE A TRUE REPRESENTATION OF A FIELD SURVEY PERFORMED UNDER MY SUPERVISION.

Daniel N. Pinnell
68-14-2017
DANIEL N. PINNELL
REGISTERED PROFESSIONAL LAND SURVEYOR
HOUSTON, TEXAS 77060
WWW.PINNELLGROUP.COM
P.L.S. REGISTRATION NO. 100000

THE PINNELL GROUP
PROFESSIONAL LAND SURVEYORS
AND ENGINEERS
3000 WEST 17TH STREET
SUITE 200
HOUSTON, TEXAS 77058
P.L.S. REGISTRATION NO. 100000



SCALE: 1" = 100'
DATE: 08-11-2017
F.B. NO. LEICA
DRAWN BY: JMH
CHECKED BY: DNP
JOB NO.: 09-173





Application Number: 2017-1352

Plat Name: Hardy Road Industrial Park

Applicant: The Pinnell Group, LLC

Date Submitted: 07/28/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

We are seeking a variance to not dedicate additional right-of-way along the east side of Sweeney Road and not provide a cut-back at the northeast intersection of Sweeney Road and Pear Street.

Chapter 42 Section: 121

Chapter 42 Reference:

42-121(b) When an existing public street with a right-of-way width that does not meet the requirements of section 42-122 of this Code is adjacent to and forms a boundary of a subdivision plat or development plat, the owner of the property within the proposed subdivision or development shall dedicate sufficient additional right-of-way within the proposed subdivision or development adjacent to the existing right-of-way to provide one-half of the total right-of way width necessary to meet the requirements of section 42-122 of this Code.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

ALDINE GARDENS SECOND FILING and ALDINE GARDENS SEVENTH FILING are both subdivisions created and filed in the late 1800's and early 1900's, and primarily used for agricultural purposes. For the most part, the Lots were platted into 5 acres each and the majority of the Roads are 50 feet wide. Throughout the years, most of the Lots and Roads in these subdivisions remained unimproved, until recent years when commercial developers purchased multiple Lots and began constructing large commercial buildings on individual Lots or across multiple Lots. The new owners of the 6 Lots contained in this application wish to replat the Lots into a single unrestricted Reserve and remove the original platted Lot lines so they can have the freedom to construct commercial buildings anywhere throughout the 32 acres. In doing so, Section 42-121 of Chapter 42 states that all roads fronting on a Reserve must be at least 60 feet wide. Sweeney Road, which is along the lower west line of the 32 acres, is only 50 feet wide, but it is also unimproved. Dedicating an extra 5' strip along the east side of Sweeney Road will not benefit the public, because no street exists on this portion of Sweeney Road. Access to the 32 acres is currently provided by West Hardy Street, located on the east side of the proposed replat, and by Pear Street, located on the south side of the proposed replat. Sweeney Road is not providing any access to the property, due to it being unimproved. Harris County has already shown an interest in disclaiming Sweeney Road, as in the case on that portion of Sweeney Road located on the south side of Pear Street. Harris County disclaimed that portion of Sweeney Road in 2014. Reference Harris County Clerk's File No. 20140207138. Adding a cut-back at the intersection will not benefit the City, County, public or current landowner, because traffic cannot enter Sweeney Road.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Sweeney Road was platted as 50 feet wide in 1900, long before Chapter 42 imposed the minimum width requirements and before the new owners created a commercial development. The circumstances supporting the granting of the variance are logical, due to the road being unimproved and Harris County previously disclaiming a portion of Sweeney Road.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Due to Sweeney Road being undeveloped with no connection to the north or south, the approval of this variance will not alter the intent of this Chapter. If Sweeney Road was improved and providing access to properties, and if Harris County did not show an interest in disclaiming it, then a 5' dedication for future widening and a cut-back corner for visibility would make sense. This is a situation where Section 42-135 should not apply.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Currently, there is nothing injurious to the public health, safety and welfare along this portion of Sweeney Road and by granting the requested variance, there will continue to be nothing injurious to the public health, safety and welfare.

(5) Economic hardship is not the sole justification of the variance.

This request is not based on economic reasons. It is a matter of a logistical solution not to widen an undeveloped Sweeney Road.



Application Number: 2017-1352

Plat Name: Hardy Road Industrial Park

Applicant: The Pinnell Group, LLC

Date Submitted: 07/28/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

We are seeking a variance to not extend Sweeney Road through the subject property and to not terminate it with a cul-de-sac.

Chapter 42 Section: 134

Chapter 42 Reference:

42-134(a) A public street that terminates at the boundary of a plat previously approved by the commission without means of a vehicular turnaround shall be extended into the adjacent property at the time the adjacent property is platted.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

ALDINE GARDENS SECOND FILING and ALDINE GARDENS SEVENTH FILING are both subdivisions created and filed in the late 1800's and early 1900's, and primarily used for agricultural purposes. For the most part, the Lots were platted into 5 acres each and the majority of the Roads are 50 feet wide. Throughout the years, most of the Lots and Roads in these subdivisions remained unimproved, until recent years when commercial developers purchased multiple Lots and began constructing large commercial buildings on individual Lots or across multiple Lots. The new owners of the 6 Lots contained in this application wish to replat the Lots into a single unrestricted Reserve and remove the original platted Lot lines so they can have the freedom to construct commercial buildings anywhere throughout the 32 acres. In doing so, Section 42-134 of Chapter 42 states that a public street that terminates at the boundary of a plat previously approved by the commission without means of vehicular turnaround shall be extended into the adjacent property at the time the adjacent property is platted. Sweeney Road, which is along the lower west line of the 32 acres is currently unimproved. Extending the street into the 32 acres will not benefit the public, nor improve traffic circulation, because no street exists on this portion of Sweeney Road. Moreover, there is an existing building on the 32 acres, located due north of Sweeney Road, that would impact the extended route of Sweeney Road. Also, there is a Harris County Flood Control Ditch that extended Sweeney Road would have to cross, where a bridge would have to be constructed, which would be cost prohibitive for a short extension of a local street. Access to the 32 acres is currently provided by West Hardy Street, located on the east side of the proposed replat, and by Pear Street, located on the south side of the proposed replat. Sweeney Road is not providing any access to the property, due to it being unimproved. Harris County has already shown an interest in disclaiming Sweeney Road, as in the case on that portion of Sweeney Road located on the south side of Pear Street. Harris County disclaimed that portion of Sweeney Road in 2014. Reference Harris County Clerk's File No. 20140207138.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are logical and make economic sense. If the subject property was a residential development and this portion of Sweeney Road was improved, then the extension of the street would benefit the property and possibly improve traffic circulation. However, this is a commercial development and the need to extend undeveloped Sweeney Road is nonexistent.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Due to Sweeney Road being undeveloped with no connection to the north or south and the impact it would have on existing improvements, the approval of this variance will not alter the intent of this Chapter. If Sweeney Road was improved and providing access to surrounding properties, and if Harris County did not show an interest in disclaiming it, then its extension would make sense. This is a situation where Section 42-134 should not apply.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Currently, there is nothing injurious to the public health, safety and welfare at the end of Sweeney Road and by granting the requested variance, there will continue to be nothing injurious to the public health, safety and welfare.

(5) Economic hardship is not the sole justification of the variance.

This request is not based on economic reasons. It is a matter of a logistical solution not to extend an undeveloped Sweeney Road.



Application No: 2017-1352

Agenda Item: 120

PC Action Date: 08/24/2017

Plat Name: Hardy Road Industrial Park

Applicant: The Pinnell Group, LLC

Staff Recommendation: Defer Per Harris County's Request

Chapter 42 Sections: 121; 134

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

We are seeking a variance to not dedicate additional right-of-way along the east side of Sweeney Road and not provide a cut-back at the northeast intersection of Sweeney Road and Pear Street.;

We are seeking a variance to not extend Sweeney Road through the subject property and to not terminate it with a cul-de-sac. ;

Basis of Recommendation:

The site is located in Harris County, east of W Hardy Road and south of West Road.

The applicant is requesting two variances:

1. To not extend or terminate Sweeney Road with a cul-de-sac and
2. To not provide a cutback dedication at the intersection of Sweeney Road and Pear Street.

Staff's recommendation is to defer the plat per Harris County's request.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

N/A

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

N/A

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

N/A

(3) The intent and general purposes of this chapter will be preserved and maintained;

N/A

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

N/A

(5) Economic hardship is not the sole justification of the variance.

N/A



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 121
Action Date: 08/24/2017
Plat Name: Harris County WCID No 110 Waste Water Treatment Plant no 1
Developer: HCWCID No. 110
Applicant: Hovis Surveying Company Inc.
App No/Type: 2017-1415 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	6.0170	Total Reserve Acreage:	6.0170
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Harris County WCID 110
County	Zip	Key Map ©	City / ETJ
Harris	77388	332F	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
063. All appropriate engineering and surveying data shall be shown. (42 & 44)
064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: Flood Control review - Label channel K123-00-00 (see uploaded PDF).
Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Coordinate with HCFCD to determine if any additional drainage easements are required.
County has no objections to the variance.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 121

Action Date: 08/24/2017

Plat Name: Harris County WCID No 110 Waste Water Treatment Plant no 1

Developer: HCWCID No. 110

Applicant: Hovis Surveying Company Inc.

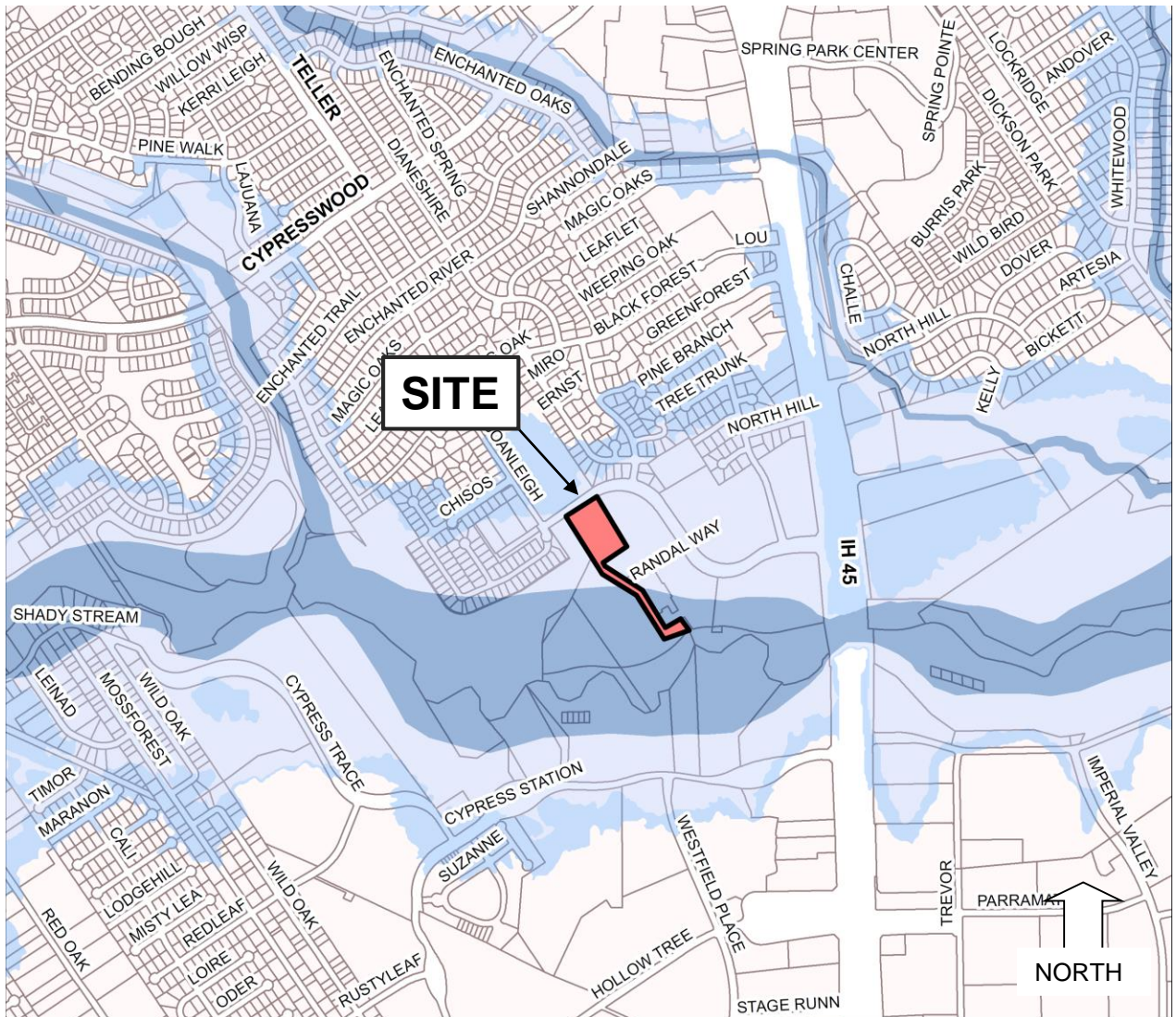
App No/Type: 2017-1415 C2

Staff Recommendation:

Approve the plat subject to
the conditions listed

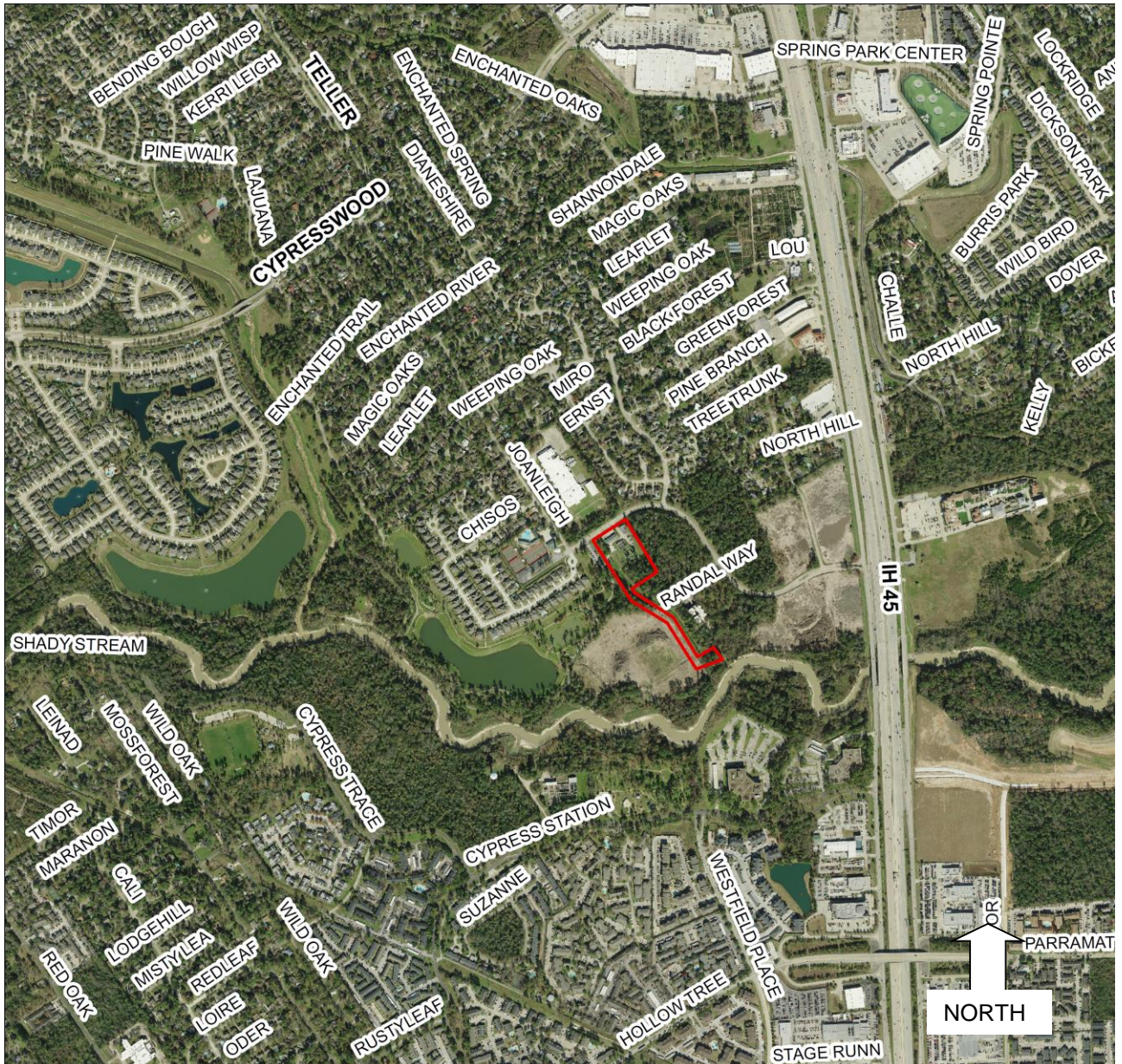
Subdivision Name: Harris County WCID No 110 Waste Water Treatment Plant no 1 (DEF 1)

Applicant: HCWCID No. 110



Subdivision Name: Harris County WCID No 110 Waste Water Treatment Plant no 1 (DEF 1)

Applicant: HCWCID No. 110





Application Number: 2017-1415

Plat Name: Harris County WCID No 110 Waste Water Treatment Plant no 1

Applicant: Hovis Surveying Company Inc.

Date Submitted: 07/31/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To not extend or terminate with a cul-de-sac Randal Way.

Chapter 42 Section: 135

Chapter 42 Reference:

Street Extension (a) a public street that terminates at the boundary of a plat previously approved by the commission without means of a vehicular turnaround shall be extended into the adjacent property.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The end of existing Randal Way is below the base flood elevation which means the street is already inundated. There is no way to extend the existing paving without creating additional flooding issues. The tract to the west of the HCFCD easement is in the 100year flood area and will be developed as a detention pond and the tract already has access by the existing 80' access easement recorded under HCCF No H752918. The tract to the west also has access to Cypress Oaks Drive as shown on map of Cypress Forest Lakes Sec. 1 recorded under Film Code 600134 MRHC.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances of supporting the granting of the variance are not the result of a hardship created or imposed by the applicant because the tracts were in this configuration and have been developed prior to the platting of this tract. The extension of Randal Way through this development would just terminate at the Western boundary line with no connection to the west and not increasing circulation in this area since it will have no further connection to the West. It will also have to cross an 80ft HCFCD Easement.

(3) The intent and general purposes of this chapter will be preserved and maintained;

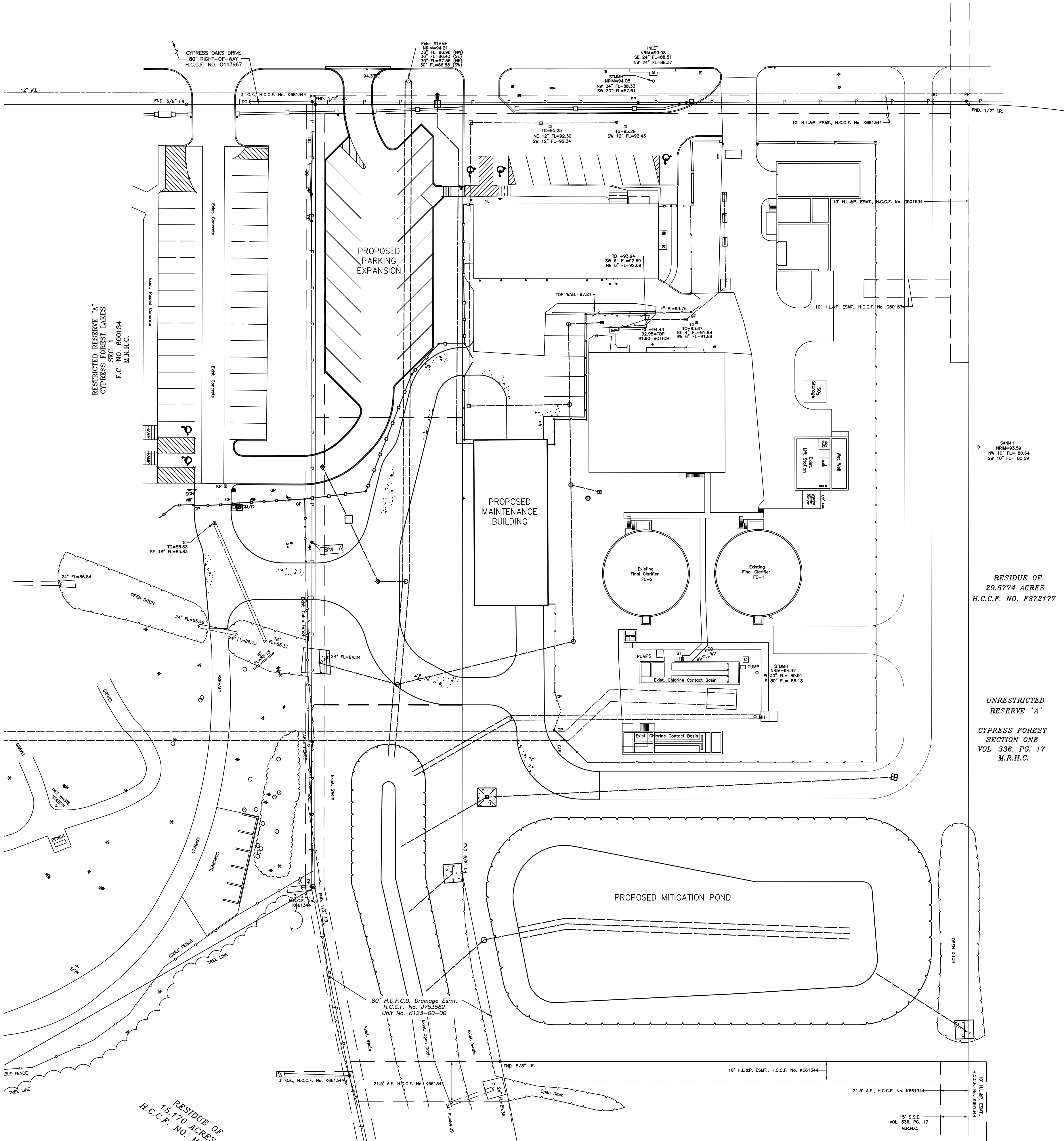
The intent and general purposes of this chapter will be preserved and maintained because there is adequate circulation in this area provided by the current street grid. This development will not take access to Randal Way and will place the required screening fence at the end of Randal Way. It is clearly evident that the existing street does not extend any further to the West. The extension of Randal Way with no connection to the West does not create circulation. In addition, this development will not be creating a significant impact on the circulation in this area. It will not be a facility that is open to the general public.


(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare because the current street pattern provides adequate circulation in this area at this time. The Harris County WCID no 110 WWTP is a secure facility and the extension of Randal Way or creating a cul-de-sac will not improve the circulation and will make the flooding in the area worse.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance because this Waste Water Treatment Plant will be a secure facility and not creating a significant impact on the overall circulation of this area. There is not a connection for an East-West Street to the West of the HCFCD 80' easement. The current major thoroughfares that surround this development provide for overall circulation within this area.



SHEET	DESCRIPTION	DATE
<p>This document is released for purpose of interim review under the authority of JAMES R. CARTWRIGHT P.E. No. 84598 on August 10, 2017. It is not to be used for construction/bidding purposes.</p>		
<p>HARRIS COUNTY W.C. & I.D. No. 110</p>		
<p>WASTEWATER MAINTENANCE BUILDING PAVING & GRADING</p>		
<p>DRAINAGE PLAN</p>		
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;">  <p>LANGFORD ENGINEERING INC. <i>Consulting Engineers</i></p> </div> <div style="text-align: right;"> <p>1080 W. Sam Houston Pkwy N. Ste 200 Houston, Texas 77043-5014 Ph. 713-461-3530 Fax 713-932-7505</p> <p><i>TBPE Form #449</i></p> </div> </div>		
DESIGN : S.M.C.	JOB NO. : 078-363	CONT. NO. : 1
DRAWN : S.H.C.	DATE : AUGUST 2017	
CHECKED : J.K.D.	SCALE : 1"=30'	
APPROVED : J.R.C.	SHEET NO. 8	OF 15



Application No: 2017-1415

Agenda Item: 121

PC Action Date: 08/24/2017

Plat Name: Harris County WCID No 110 Waste Water Treatment Plant no 1

Applicant: Hovis Surveying Company Inc.

Staff Recommendation: Approve the plat subject to the conditions listed

Chapter 42 Sections: 135

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To not extend or terminate with a cul-de-sac Randal Way. ;

Basis of Recommendation:

The site is located in Harris County on Cypress Oaks Drive, south of Cypreswood Drive and West of I-45. The applicant is requesting a variance to not extend nor terminate with a cul-de-sac Randal Way.

The applicant has agreed to dedicate the 60' of ROW through the subject site, therefore the application shall be approved as a C3P consent item. A final application will be required prior to recordation.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

n/a

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

n/a

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

n/a

(3) The intent and general purposes of this chapter will be preserved and maintained;

n/a

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

n/a

(5) Economic hardship is not the sole justification of the variance.

n/a



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 122
Action Date: 08/24/2017
Plat Name: Holocaust Museum Houston
Developer: Holocaust Museum Houston
Applicant: Weisser Engineering Company
App No/Type: 2017-1133 C2R

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	3.3200	Total Reserve Acreage:	3.3100
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	13	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77004	533A	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Add

1. min 3" caliber trees on Prospect Street
2. min 6' unobstructed sidewalks on Prospect/Austin/Caroline Street
3. The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle. This area shall assure adequate visibility sight lines for vehicular traffic approaching the intersection. The maximum height of the visibility triangle shall be 20 feet as measured vertically from the ground.
4. The Planning Commission granted a variance to allow ("2'9" building line for a water Tank and 7'4" BL for an electrical switchboard along Prospect a 4'4" BL for a transformer and a 6'4" BL for a generator along Austin Street ") subject to specific conditions on 08/24/2017. The variance approval was contingent on the site plan and supporting drawings submitted with the plat application. Any modifications to the site plan would make the variance approval invalid and the plat must meet all applicable building lines per the ordinance.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 122
Action Date: 08/24/2017
Plat Name: Holocaust Museum Houston
Developer: Holocaust Museum Houston
Applicant: Weisser Engineering Company
App No/Type: 2017-1133 C2R

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 13.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 122

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Holocaust Museum Houston (DEF 2)

Applicant: Weisser Engineering Company



D – Variances

Site Location

Subdivision

Houston Planning Commission

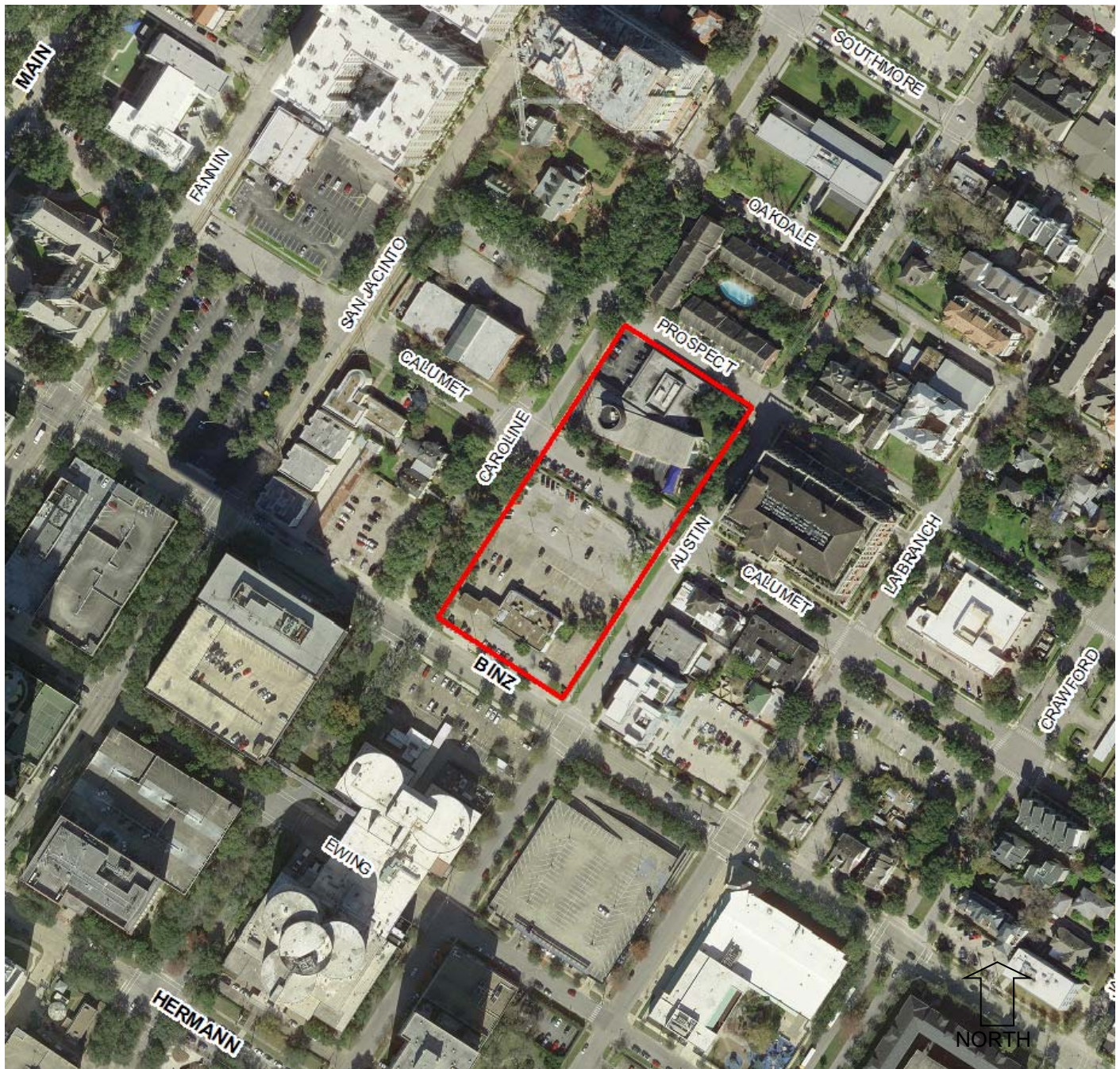
ITEM: 122

Planning and Development Department

Meeting Date: 08/24/2017

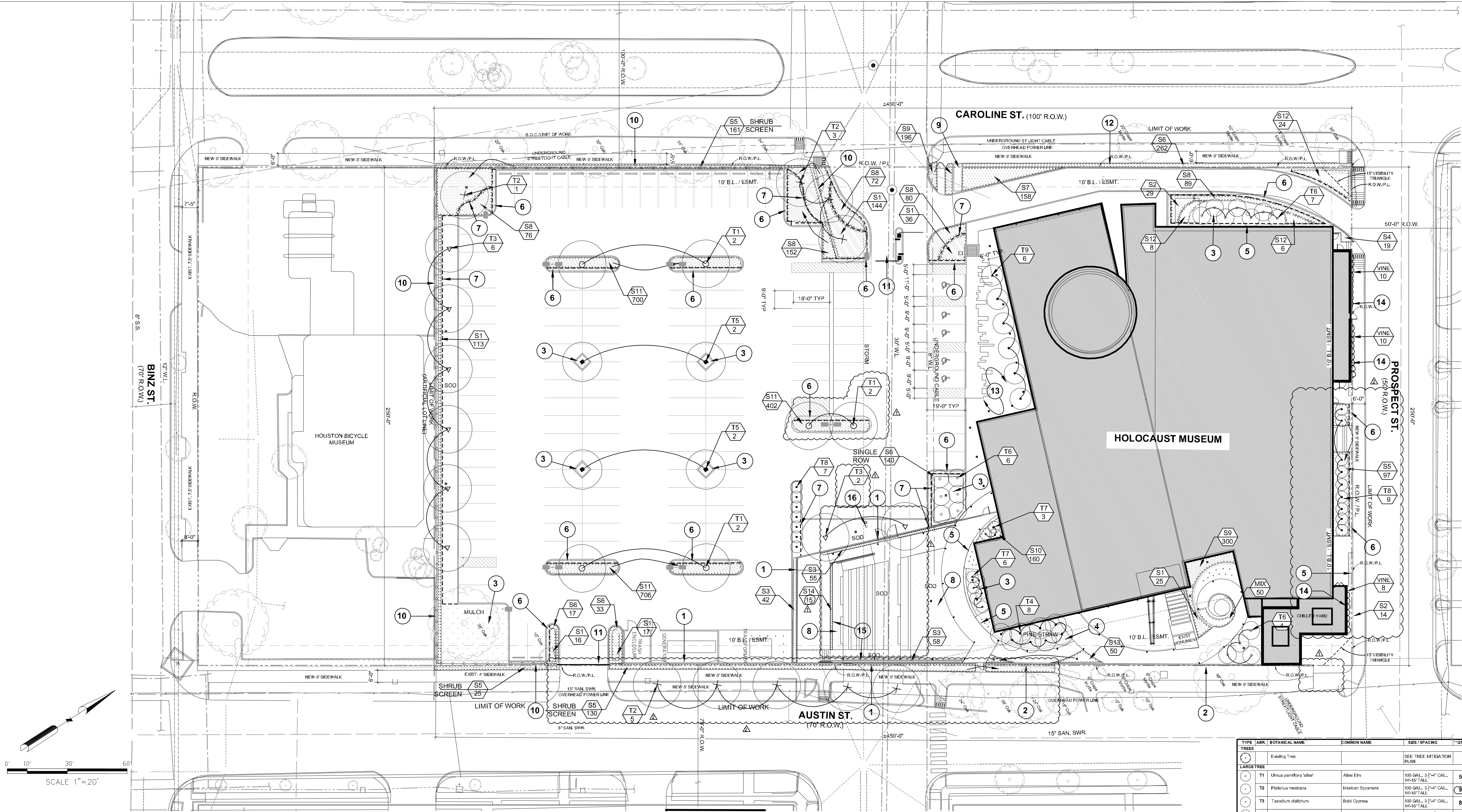
Subdivision Name: Holocaust Museum Houston (DEF 2)

Applicant: Weisser Engineering Company



D – Variances

Aerial



- A. CONTRACTOR TO LAYOUT ALL PLANTING BED LIMITS AND LOCATIONS OF ALL PROPOSED TREES IN THE FIELD FOR APPROVAL OF LANDSCAPE ARCHITECT.
- B. TREES SHALL BE PLANTED NO CLOSER THAN 5'-0" (AS MEASURED FROM CENTER OF TRUNK) FROM ANY WALKWAY, FENCE, BUILDING, OR OTHER HARDSCAPE ITEM.
- C. CONTRACTOR SHALL FINE GRADE ALL LANDSCAPE AREAS.
- D. CONTRACTOR TO PROVIDE MINIMUM 1" OF APPROVED TOPSOIL COMPOST WORKED INTO EXISTING SOLID FOR ALL AREAS TO RECEIVE HYDROMULCHING AND TILL INTO THE FIRST EXISTING 4" OF SOIL. SEE SPECIFICATIONS.
- E. WHERE INDICATED ON THE DRAWINGS AS TURF, THIS SHALL MEAN FULL COVERAGE HYDROMULCHING PER SPECIFICATIONS. WHERE INDICATED ON THE DRAWINGS AS SOD, THIS SHALL MEAN SOLID SOD COVERAGE PER SPECIFICATIONS.
- F. SEE PLANTING DETAIL SHEET L000 FOR PLANTING DETAILS.

NOTE:
CONTRACTOR IS RESPONSIBLE FOR REPAIRING LANDSCAPE AREAS WITH SOLID SOD DUE TO CONSTRUCTION TRAFFIC.

TREE MITIGATION: See Existing Tree Inventory List & Planting Schedule

Total Tree Caliper Inch To be Demolished 276"
Total Tree Caliper Inch To be Mitigated (R.O.W./Setback) 22"
Total Tree Caliper Inch To be Provided New:
7 (28") Street Trees + 18 (72") Parking Lot Trees 100"

1. TREE AND SHRUB PLANTING REQUIREMENTS

A. STREET TREES: SEC. 33-126(a)

LENGTH OF PROPERTY LINE IN LINEAL FEET AS MEASURED ALONG EACH STREET SEPARATELY.

STREET NAME	LINEAL FEET	TREE PLANTING REQUIREMENT	EQUIVALENT CREDITS*	STREET TREES	NOTES
PROSPECT STREET	250 / 30	9	0	9	Due to limited space between back of curb and building face (6'-16"). (9) Small trees required.
AUSTIN STREET	450 / 30	15	12	5	(7) Existing trees are preserved. (3) 4" cal. trees are planted.
CAROLINE STREET	460 / 30	16	12	4	(8) Existing trees are preserved. (4) 4" cal. trees are planted.
TOTAL		40	24	18	

B. PARKING LOT TREES: SEC. 33-127(b)

50% OF PARKING LOT TREES MUST BE LARGE TREES (EACH PARKING SPACE MUST BE WITHIN 120' OF A TREE)

TREE PLANTING REQUIREMENTS FOR PARKING LOTS

TOTAL NUMBER OF PROPOSED PARKING SPACES	# OF SPACES	TREE PLANTING REQUIREMENT	EQUIVALENT CREDITS*	LARGE TREES	SMALL TREES	TOTAL TREES PLANTED
ON-SITE PARKING LOT	137	14	2	14	4	18
TOTAL						18

C. SHRUBS: SEC. 33-127(b)

(75% OF THE SHRUBS MUST BE PLANTED ALONG THE PERIMETER OF THE PARKING LOT. SHRUBS ARE REQUIRED FOR NEW OR EXPANDED PORTION OF THE PARKING LOTS)

SHRUBS PLANTING REQUIREMENTS FOR PARKING LOTS

STREET TREE PLANTING REQUIREMENT	REQUIREMENT	TOTAL SHRUB REQUIREMENT	TOTAL SHRUB PLANTING	NOTES
PROSPECT STREET	9 X 10	90	97	(97) shrubs are planted in addition to the views planted on the face of new concrete wall.
AUSTIN STREET	15 X 10	150	155	
CAROLINE STREET	16 X 10	160	161	
TOTAL		400	413	

D. LANDSCAPE BUFFER: SEC. 33-126(1) WOOD, CONCRETE, MASONRY OPAQUE SCREENING FENCE, MIN. 6'

SEC. 33-128 (2) EVERGREEN SCREENING, (A) 6" HIGH WOOD, CONCRETE MASONRY OPAQUE SCREENING FENCE, OR 15" WIDE EVERGREEN PLANTING STRIP ALONG THE TOTAL LENGTH OF PROPERTY LINE ADJACENT TO EXISTING SINGLE FAMILY RESIDENTIAL OR LIMIT OF EXISTING SINGLE FAMILY RESIDENTIAL (SITE PLAN MUST SHOW LAND USE ON ALL SIDES OF THE PROPERTY)

SCREENING:

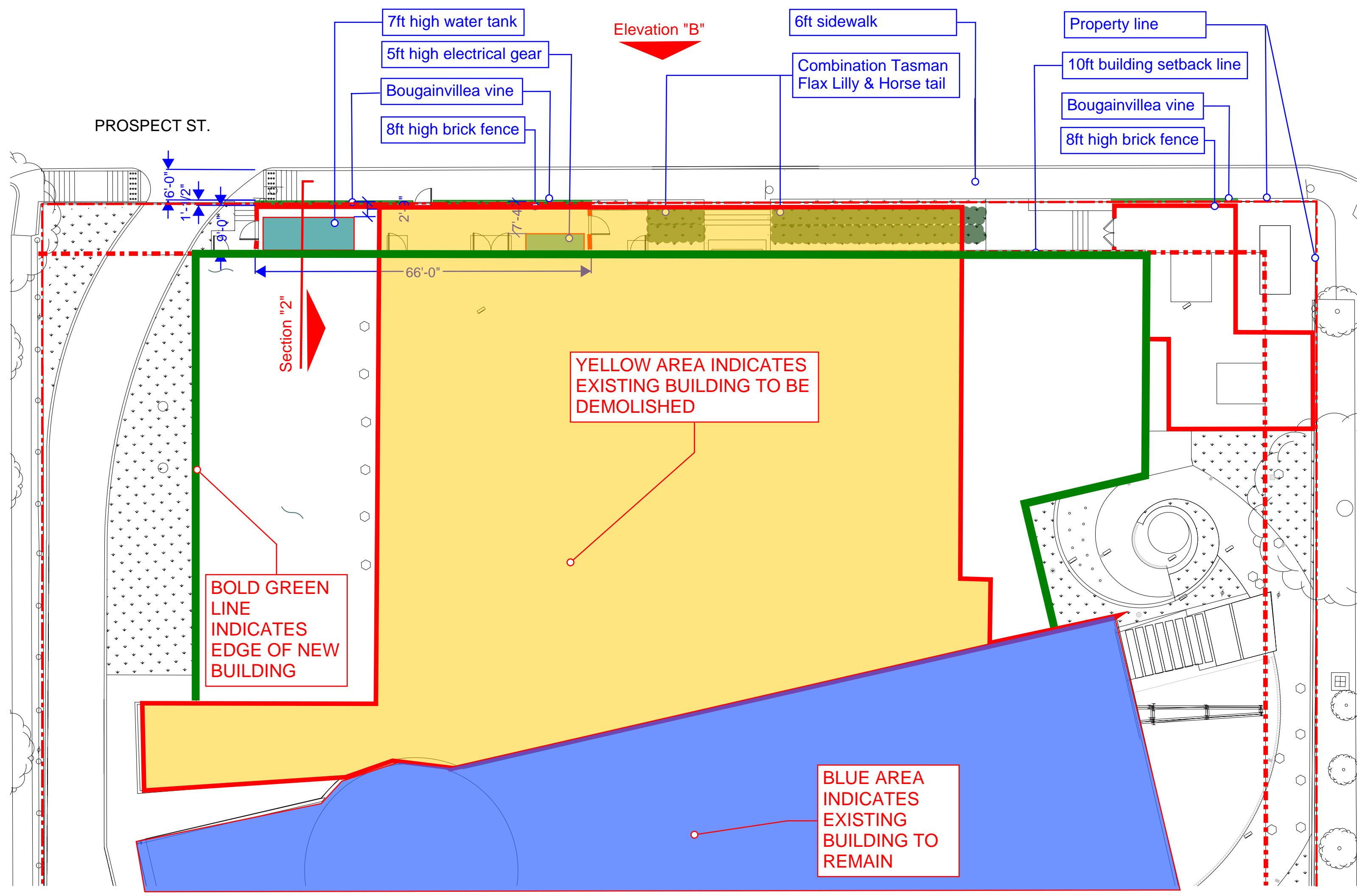
ADJACENT PROPERTY TYPES
N: PROSPECT ST. (50' R.O.W.)
S: COMMERCIAL (HOUSTON BICYCLE MUSEUM)
E: AUSTIN ST. (70' R.O.W. WITH 8' H CONCRETE WALL ALONG R.O.W.)
W: CAROLINE STREET (100' R.O.W.)

- NEW 8'-0" HIGH CONCRETE WALL. SEE ARCHITECTURE DRAWINGS.
- EXISTING 8'-0" HIGH CONCRETE WALL TO REMAIN.
- 4" THICK HARDWOOD BARK MULCH. SEE SPECIFICATIONS.
- 4" PINE STRAW. SEE SPECIFICATIONS.
- GRAVEL BAND @ BUILDING. SEE DETAIL #5, SHEET L402.
- GRANITE GRAVEL @ PLANTING BED. SEE DETAIL #8, SHEET L401.
- METAL EDGING. SEE DETAIL #5, SHEET L700.
- SOLID SOD WITH STABILIZED EROSION BACKING.
- EXISTING MONUMENT TO REMAIN.
- NEW 6'-0" HIGH METAL FENCE. SEE DETAIL #6, SHEET L402.
- 6'-0" HIGH ORNAMENTAL METAL SLIDE GATE TO MATCH THE FENCE AS SHOWN ON DETAIL #6, SHEET L402 AND SEE ARCHITECTURAL DRAWINGS AND SPECS FOR OPERATOR (SYSTEMS AND MECHANISM).
- EXISTING BOLLARDS TO REMAIN.
- GRANITE GRAVEL. SEE LAYOUT PLANS.
- STAINLESS STEEL ROPE SYSTEM FOR VINE. SEE DETAIL #5, SHEET L404.
- 18" DEEP ROOT BARRIER AROUND PLANTER CONTINUOUS: SAN JACINTO ENVIRONMENTAL SUPPLIES - DEEP ROOT-ROOT BARRIER.
- FLAG POLE. SEE ARCHITECTURAL DRAWINGS.

CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT 48 HOURS PRIOR TO HERBICIDE APPLICATION OR OTHER CHEMICAL TREATMENTS TO COORDINATE VERIFICATION OF APPLICATION.

TYPE	ABR.	BOTANICAL NAME	COMMON NAME	SIZE / SPACING	QTY.
TREES					
		Existing Tree		SEE TREE MITIGATION PLAN	
LARGE TREE					
	T1	Ulmus parviflora 'laevis'	Allee Elm	100 GAL., 3'-4" CAL., 14-16' TALL	5
	T2	Platanus mexicana	Mexican Sycamore	100 GAL., 3'-4" CAL., 14-16' TALL	3
	T3	Taxodium distichum	Bald Cypress	100 GAL., 3'-4" CAL., 14-16' TALL	8
	T4	Pinus taeda	Loblolly Pine	100 GAL., 3'-3" CAL., 14-16' TALL	8
SMALL TREE					
	T5	Cercis canadensis var. 'Forestia'	Texas Redbud	45 GAL., 1'-1" CAL., 8-9' TALL	17
	T6	Viburnum acerifolium	Chaste Tree	45 GAL., 1'-2" CAL., 8-9' TALL	4
	T7	Phyllostachys nigra	Black Bamboo	30 GAL. CONT., 8-10' TALL	9
	T8	Rex x attenuata 'Savannah'	Savannah Holly	65 GAL., 1'-2" CAL., 8-9' TALL	16
	T9	Cupressus sempervirens	Italian Cypress	65 GAL., 10' TALL	1
SHRUBS & GROUND COVER					
	S1	Diospyros	Butterfly Hibiscus	3 GAL. @ 24" O.C.	351
	S2	Rosa x 'Nearly Wild'	Nearly Wild Rose	3 GAL. @ 24" O.C.	43
	S3	Equisetum arvense	Horsetail	1 GAL. @ 15" O.C.	155
	S4	Dianella tasmanica 'Variegata'	Tasmanian Flax Lily	1 GAL. @ 18" O.C.	8
	S5	Eucalyptus parviflora 'Microphylla'	Dwarf Eucalyptus	3 GAL. @ 30" O.C.	413
	S6	Liriodendron 'gigantea'	Giant Liriodendron	1 GAL. @ 18" O.C.	452
	S7	Trachelospermum asiaticum	Asian Jasmine	1 GAL. @ 18" O.C.	158
	S8	Lantana montevidensis	Purple Lantana	1 GAL. @ 18" O.C.	469
	S9	Oenothera lanceolata 'Nigrescens'	Black Mondo Grass	4" POT @ 9" O.C.	496
	S10	Oenothera lanceolata 'Nigrescens'	Dwarf Mondo Grass	4" POT @ 9" O.C.	160
	S11	Sporobolus vaginatus 'Trailing Yucca'	Wedelia	4" POT @ 9" O.C.	1808
	S12	Rosa x 'Knockout'	Knockout Rose	3 GAL. @ 30" O.C.	38
	S13	Asplenium adnigrum 'Fossil'	Fossil Fern	1 GAL. @ 18" O.C.	50
	S14	Ficus Purpurea	Creeping Fig	1 GAL. @ 30" O.C.	15
BUTTERFLY ANNUAL & PERENNIAL MIX					
	MX	Asclepias tuberosa	Butter Weed	1 GAL. @ 18" O.C.	10
		Asclepias syriaca	Common Milkweed	1 GAL. @ 18" O.C.	10
		Asclepias tuberosa	Milkweed	1 GAL. @ 18" O.C.	10
		Solidago nemoralis	Witching Grass	1 GAL. @ 18" O.C.	10
		Phlox subulata 'Coral Eye'	Moss Phlox	1 GAL. @ 18" O.C.	10
VINE / GRASS					
	V	Bougainvillea Monarch	Purple Queen Bougainvillea	1 GALLON @ 30" O.C.	28
	SOD	Cynodon Dactylon	Common Bermuda	SOLID SOD	
	SOD	Cynodon Dactylon 'Celebration'	Celebration Bermuda	SOLID SOD AT AMPHITHEATER	
	MULCH	Hardwood Bark Mulch		SEE SPECS	
	MULCH	Pine Straw		SEE SPECS	

NOTES: QUANTITIES SHOWN ON LEGEND ARE FOR CONTRACTOR REFERENCE ONLY. CONTRACTOR TO VERIFY QUANTITIES IN THE PLANTING PLANS.



PROSPECT ST.

Elevation "B"

6ft sidewalk

Property line

10ft building setback line

Bougainvillea vine

8ft high brick fence

Combination Tasman
Flax Lilly & Horse tail

7ft high water tank

5ft high electrical gear

Bougainvillea vine

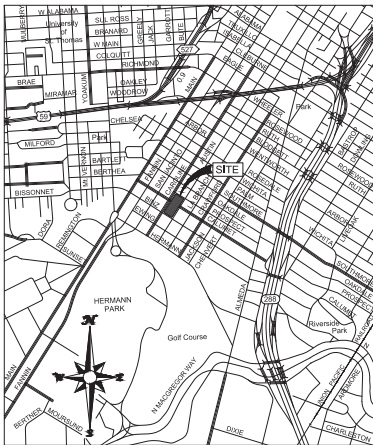
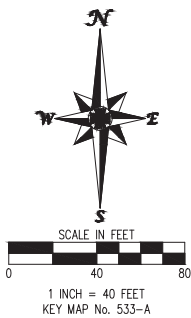
8ft high brick fence

Section "2"

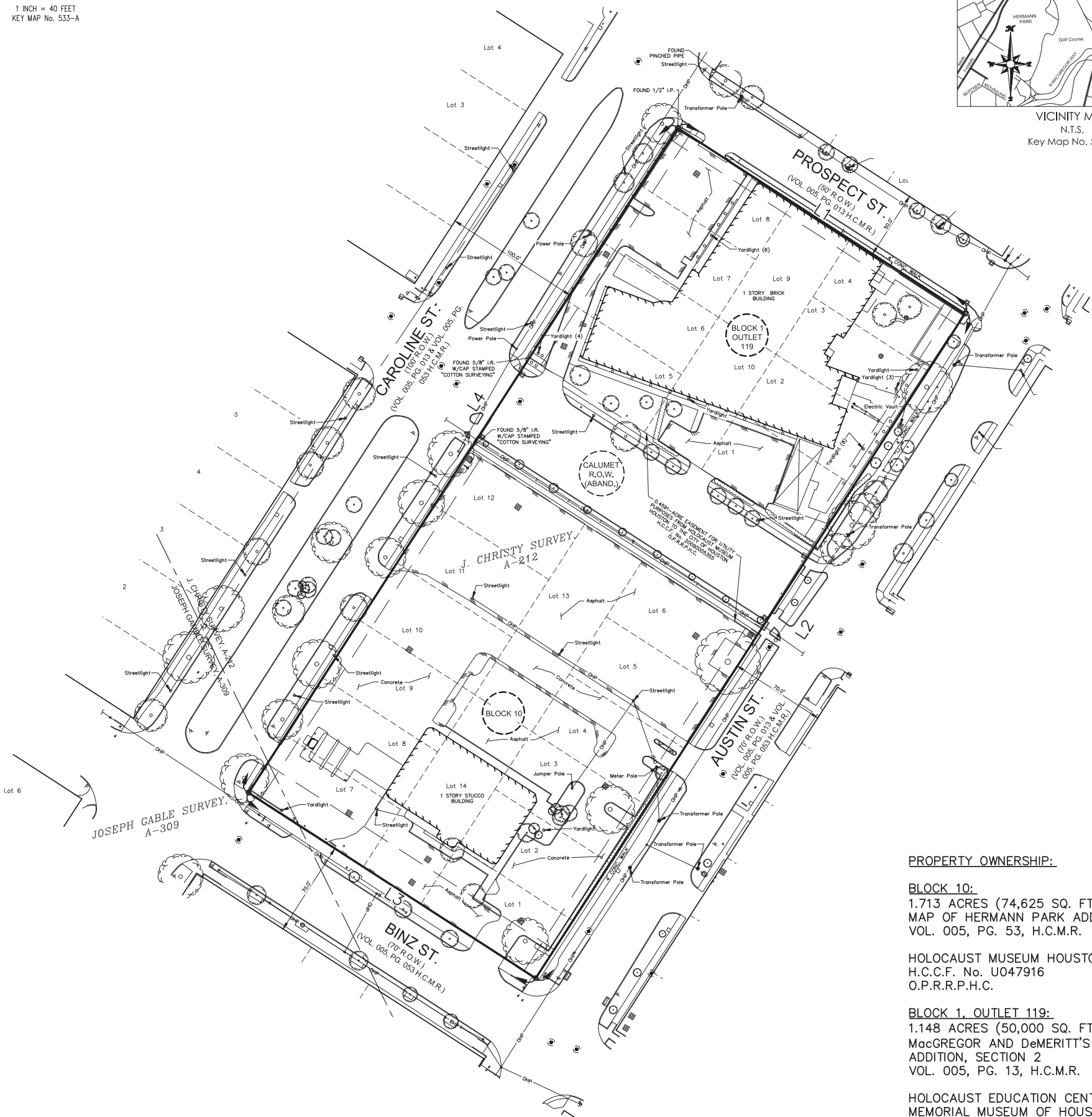
YELLOW AREA INDICATES
EXISTING BUILDING TO BE
DEMOLISHED

BOLD GREEN
LINE
INDICATES
EDGE OF NEW
BUILDING

BLUE AREA
INDICATES
EXISTING
BUILDING TO
REMAIN



VICINITY MAP
N.T.S.
Key Map No. 533-A



PROPERTY OWNERSHIP:

BLOCK 10:
1.713 ACRES (74,625 SQ. FT.)
MAP OF HERMANN PARK ADDITION
VOL. 005, PG. 53, H.C.M.R.

HOLOCAUST MUSEUM HOUSTON
H.C.C.F. No. U047916
O.P.R.R.P.H.C.

BLOCK 1, OUTLET 119:
1.148 ACRES (50,000 SQ. FT.)
MacGREGOR AND DeMERITT'S SOUTHMORE
ADDITION, SECTION 2
VOL. 005, PG. 13, H.C.M.R.

HOLOCAUST EDUCATION CENTER AND
MEMORIAL MUSEUM OF HOUSTON
H.C.C.F. NO. N771630 & N771631
F.C. No'S. 105-50-1396 & 105-50-1398
O.P.R.R.P.H.C.

CALUMET R.O.W.:
0.4591 ACRE (20,000 SQ. FT.)
HOLOCAUST MUSEUM HOUSTON
CITY OF HOUSTON ORDINANCE No. 2008-1224
H.C.C.F. No. RP-2017-148747
O.P.R.R.P.H.C.

I, WALTER P. SASS, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HEREBY CERTIFY THAT THE ABOVE PLAT CORRECTLY REPRESENTS A SURVEY MADE ON THE GROUND UNDER MY SUPERVISION ON NOVEMBER 09, 2016. THIS PROFESSIONAL SERVICE SUBSTANTIALLY CONFORMS TO THE CURRENT TEXAS SOCIETY OF PROFESSIONAL LAND SURVEY STANDARDS AND SPECIFICATIONS FOR A CATEGORY 1B, CONDITION II SURVEY.



WALTER P. SASS
REGISTERED PROFESSIONAL
LAND SURVEYOR
STATE OF TEXAS, No. 4410

SYMBOLS

- AIR CONDITIONER
- AERIAL MARKER
- "B" INLET
- "C" INLET
- "C1" INLET
- "C2" INLET
- "C20" INLET
- CABLE PEDESTAL
- CIRCLE GRATE INLET
- "D" INLET
- "E" INLET
- ELECTRIC JUNCTION BOX
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- UNDERGROUND TRANSFORMER
- FIRE HYDRANT
- GAS METER
- GUY ANCHOR
- LIGHT STANDARD
- MAILBOX
- MANHOLE
- METER POLE
- PIPELINE VENT
- PIPELINE MARKER
- POWER POLE
- SAMPLE WELL
- SHRUB
- SIGN
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- TEMPORARY BENCHMARK
- TONE MARK
- TRAFFIC CONTROL BOX
- TRAFFIC SIGNAL POLE
- TRANSFORMER POLE
- VALVE
- WATER METER

ABBREVIATIONS

- P.N.C. — FENCE
- P.N.D. — FOUND
- H.C.C.F. — HARRIS COUNTY CLERK'S FILE
- H.C.M.R. — HARRIS COUNTY MAP RECORDS
- I.P. — IRON PIPE
- I.R. — IRON ROD
- N.F.I.F. — NOT FOUND IN FIELD
- No. — NUMBER
- O.P.R.R.P.H.C. — OFFICIAL PUBLIC RECORDS OF REAL PROPERTY, HARRIS COUNTY, TEXAS
- P.T.P. — PINCHED TOP PIPE
- P.V.C. — POLYVINYL CHLORIDE PIPE
- R.C.P. — REINFORCED CONCRETE PIPE
- R.O.W. — RIGHT-OF-WAY
- SQ. FT. — SQUARE FOOT/FEET
- S.W.B.T. — SOUTHWESTERN BELL TELEPHONE
- TYP. — TYPICAL
- VOL., PG. — VOLUME, PAGE
- C.M. — CONTROL MONUMENT
- H.C.D.R. — HARRIS COUNTY DEED RECORDS

NOTE:
SUBJECT PROPERTY IS LOCATED WITHIN THE CITY OF HOUSTON OR WITHIN ITS EXTRATERRITORIAL JURISDICTION (WITHIN 5 MILES OF THE CITY LIMITS, BUT OUTSIDE OF ANOTHER MUNICIPALITY). IT IS SUBJECT TO THE TERMS, CONDITIONS, AND PROVISIONS OF CITY OF HOUSTON ORD. No. 85-1878, PERTAINING TO, AMONG OTHER THINGS, THE PLATTING AND RE-PLATTING OF REAL PROPERTY AND TO THE ESTABLISHMENT OF BUILDING LINES. A CERTIFIED COPY OF SAID ORDINANCE WAS FILED FOR RECORD ON AUGUST 01, 1991, UNDER HARRIS COUNTY CLERK'S FILE No. N253886, AND AMENDED BY THE CITY OF HOUSTON UNDER ORD. No. 99-262.

BASIS OF BEARINGS:
TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE No. 4204 (NAD 83) (2001 Adj.) THE COORDINATES SHOWN HEREON GRID COORDINATES AND MAY BE MULTIPLYING BY THE SCALE FACTOR OF 1.00012753. ALL DISTANCES ARE SURFACE.

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, FIRM MAP No. 48201C0660L, WHICH BEARS AN EFFECTIVE DATE OF JUNE 18, 2007, AND DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LINE TABLE

Line #	Length	Direction
L1	250.00'	S57° 08' 01"E
L2	578.50'	S32° 51' 59"W
L3	250.00'	N57° 08' 01"W
L4	578.50'	N32° 51' 59"E

WEISSER Engineering Co.

19500 Park Row, Suite 100
Houston, Texas 77084
(281) 579-7300
www.weissereng.com
T&P.E.R. # 68 T&P.L.S. # 00518-00

EXISTING CONDITIONS SURVEY
OF THE HOLOCAUST MUSEUM AND
EDUCATION CENTER PROPERTY, BEING
3.320 ACRES (144,625 SQ. FT.), SITUATED
IN THE J. CHRISTY SURVEY, A-212 AND
THE JOSEPH GAMBLE SURVEY, A-309,
HARRIS COUNTY, TEXAS

© Copyright 2016 Weisser Engineering Company, Inc.

DRAWN BY: D.G. CALCULATED BY: J.H. SCALE: 1" = 40'
F.B. No.: 3292 CHECKED BY: J.M. SHEET 01 OF 01
CREW CHIEF: E.W. DATE: 11/20/2016 JOB No.: EH827

- CLIENT
- HOLOCAUST MUSEUM HOUSTON
- 20 YEARS OF HOPE
- HOLOCAUST MUSEUM
HOUSTON
- 5401 Caroline Street
Houston, TX 77004
- T Phone
F Fax
- ARCHITECT
- PGAL**

CONSULTANT

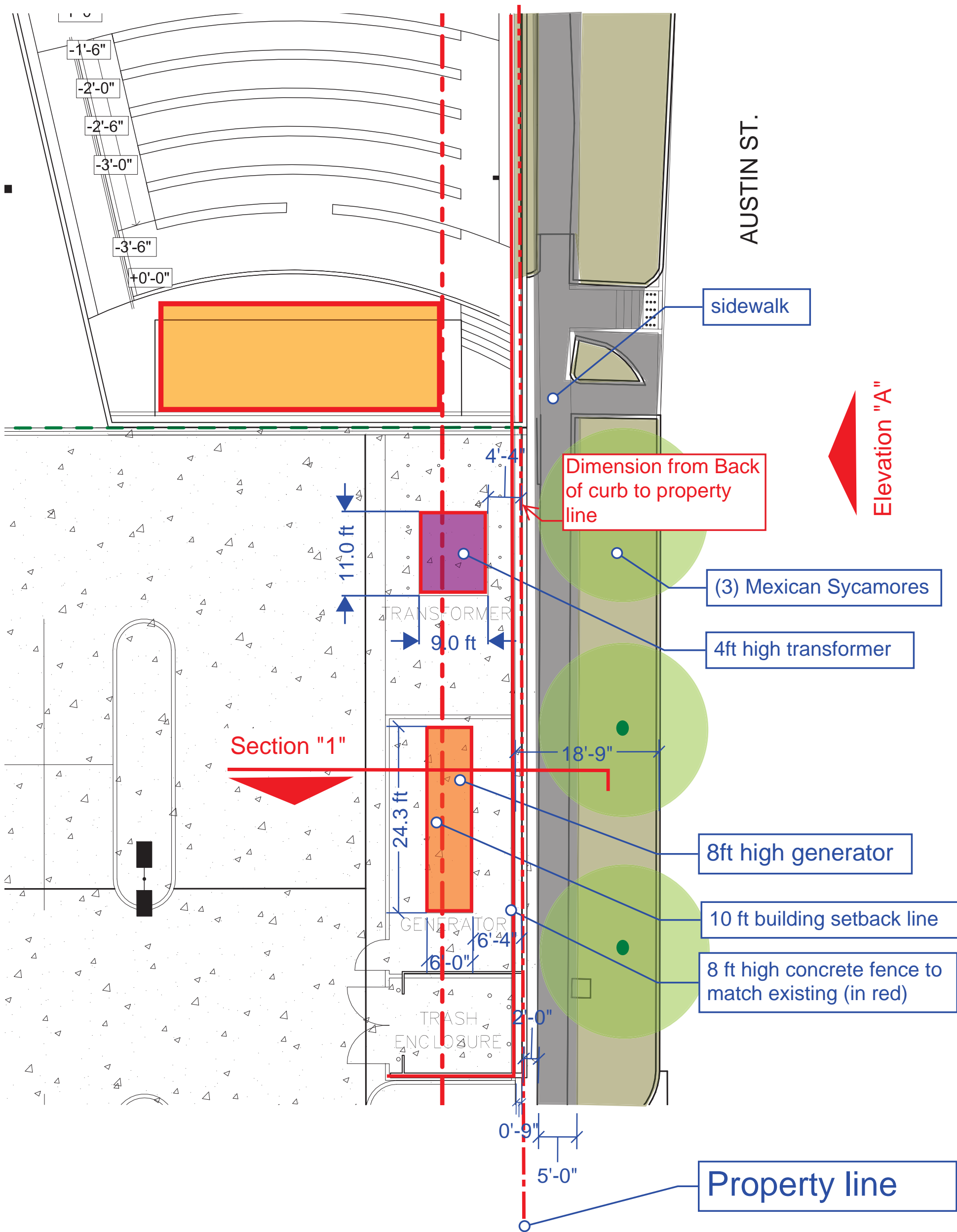
DOCUMENT STAGE
50% CD 06/26/2017

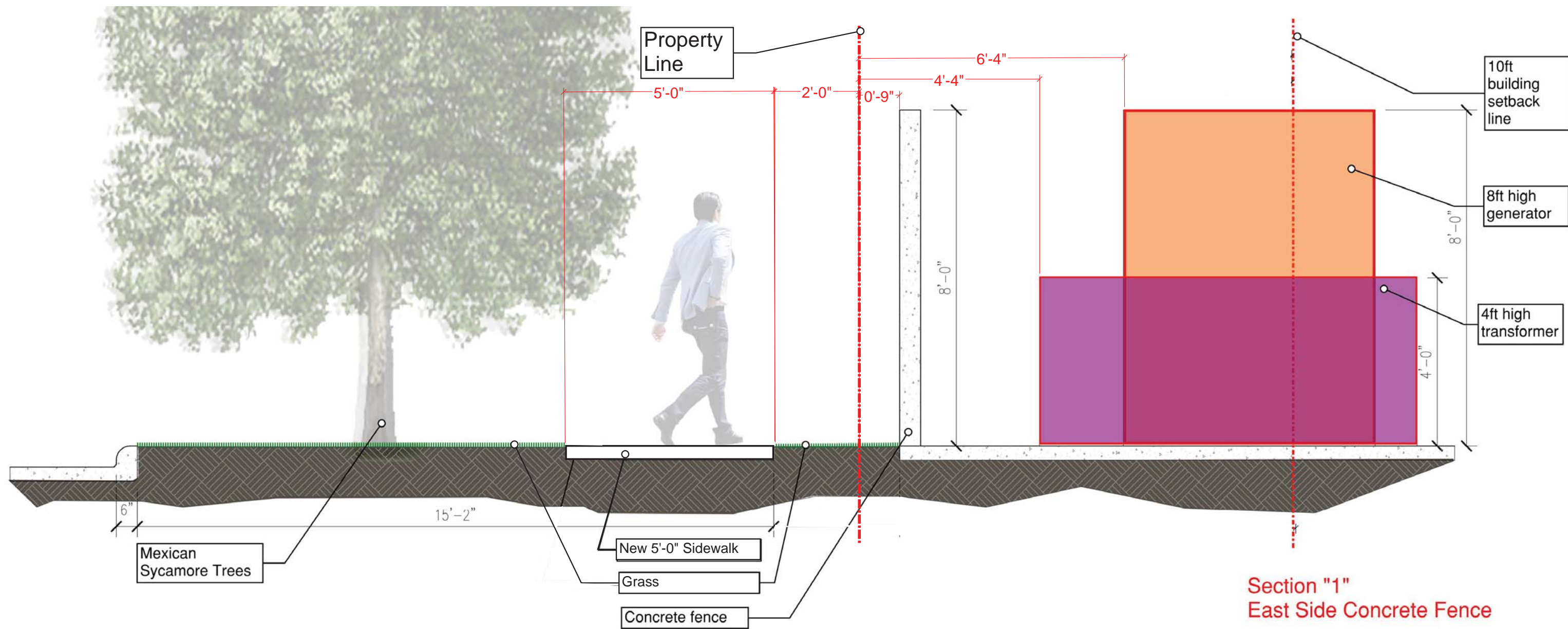
KEY PLAN

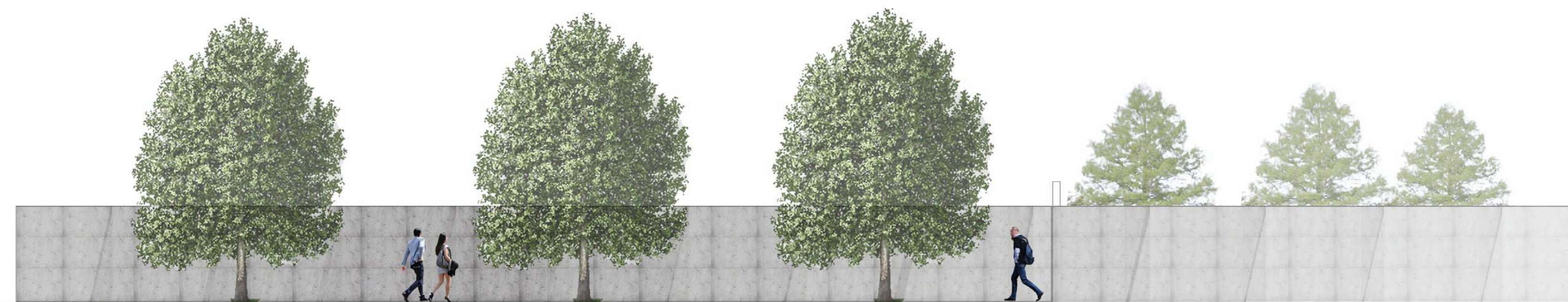
SHEET NUMBER

PLAN NORTH

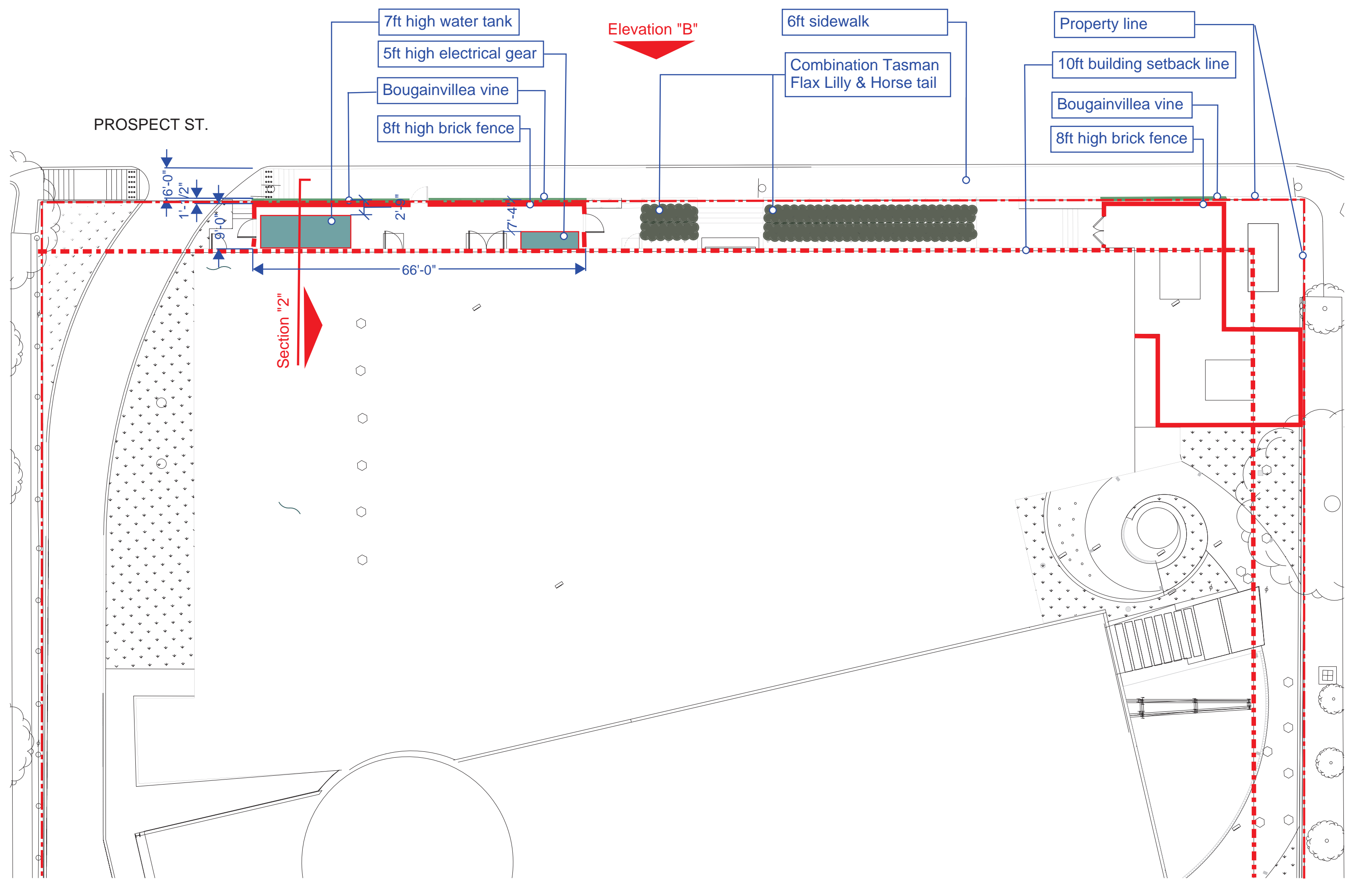


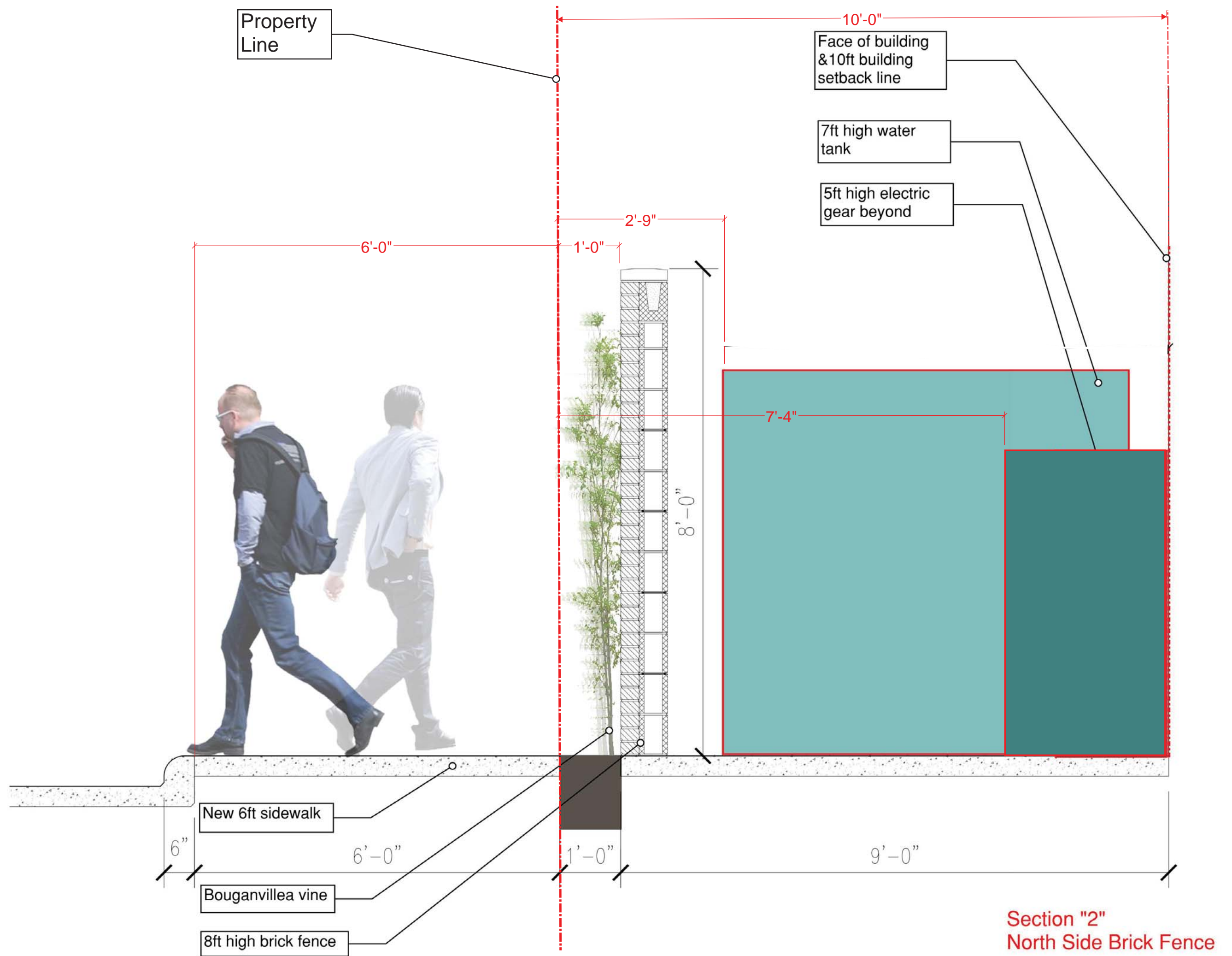






Elevation "A"
EAST SITE ELEVATION
1/4" = 1'-0"







Elevation "B"
NORTH SITE ELEVATION
1/4" = 1'-0"



Application Number: 2017-1133

Plat Name: Holocaust Museum Houston

Applicant: Weisser Engineering Company

Date Submitted: 06/26/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Variance being sought to reduce the building line from ten (10') feet to four-foot four-inches (4'4") for eleven (11') feet long at the transformer in Section 1 (per site plan), and for six-foot four inches (6'4") for twenty-four and three tenths feet (24.3') long at the generator also in Section 1 (per site plan) along Austin Street – a local street. Also, a variance is being sought to reduce the building line from ten (10') to two-foot nine-inches (2'9") for eighteen (18') feet long at the water tank in Section 2 (per site plan), and seven-foot four-inches (7'4") for thirteen (13') feet long at the electrical switch gear in Section 2 (per site plan) along Prospect Street – a local street.

Chapter 42 Section: 155

Chapter 42 Reference:

42-155 - Collector and local streets - Uses other than single-family residential. (a) The building line requirement for a tract used or to be used for other than single-family residential purposes adjacent to a street that is a collector street or local street that is not an alley shall be ten feet unless otherwise required or authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The Houston Holocaust Museum was constructed in the mid 1990's. The properties were platted in the early 1900's with the Map of Hermann Park Addition and the MacGregor and DeMeritt's Southmore Addition, Section 2. The applicant is proposing to refurbish and renovate the existing Museum complex by modernizing the life safety equipment and by increasing the quality and experience of the museum. The goal of the project is to encourage and engage history enthusiasts near and far to connect in a more comfortable and inviting environment. A variance is requested to allow vital building equipment to be placed in the building line with an 8 foot enclosure covered in a decorative ivy. The equipment's proposed location is determined by the current building infrastructure. The purpose of the enclosure will be used to prevent tampering while creating an aesthetically pleasing view from the exterior of the property. The potential relocation of the equipment from the current proposed locations would create unnecessary redesign of the entire interior of the current infrastructure. The location of the generator and transformer along Austin street is due in part because of the current CenterPoint electrical utilities (i.e. transformer pole, service pole). The proposed placement is to facilitate safety for the ingress and egress of the parking area by the patrons of the museum. The enclosure that surrounds them will be of uniform composition that matches the current 8' wall that runs down Austin Street.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not the result of a hardship created by the applicant. The northeast wall of the museum will be relocated to comply with the 10' building set back line. While, the original building abided by the ordinance at the time of construction, updating to the present City of Houston requirements will result in the original building's infrastructure to reside in the building line. In doing so, vital infrastructure will necessitate equipment to reside at its proposed location within the building line. The proposed equipment locations with their enclosures is such that it is in the City's, Museums and the public's best interest and safety.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The general intent and purpose of the City regulations is to preserve the health, safety and general welfare of the public while ensuring that development occurs in an orderly and compatible fashion, therefore the intent would be maintained. The addition of a six (6') foot walkway along Prospect Street and subsequent landscaping and wall ivy will enhance the walkability to pedestrians and provide for an aesthetically pleasing view, as opposed to the previous layout of only a 4' walk with minimal number of bushes. However, the end result of an enhanced pedestrian walkway along Prospect and Austin Streets will provide a safer pedestrian environment preserving the intent of Chapter 42.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting the variance will not be injurious to the public health, safety or welfare. In fact, the improvements will increase the safety and welfare of the public and surrounding community.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance. By granting the variance, the City will recognize the unique challenges that the applicant faces in modernizing the property, and the modernization will improve the quality of the museum, public, and surrounding community.



Application No: 2017-1133

Agenda Item: 122

PC Action Date: 08/24/2017

Plat Name: Holocaust Museum Houston

Applicant: Weisser Engineering Company

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 155

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

Variance being sought to reduce the building line from ten (10') feet to four-foot four-inches (4'4") for eleven (11') feet long at the transformer in Section 1 (per site plan), and for six-foot four inches (6'4") for twenty-four and three tenths feet (24.3') long at the generator also in Section 1 (per site plan) along Austin Street – designated a minor collector. Also, a variance is being sought to reduce the building line from ten (10') to two-foot nine-inches (2'9") for eighteen (18') feet long at the water tank in Section 2 (per site plan), and seven-foot four-inches (7'4") for thirteen (13') feet long at the electrical switch gear in Section 2 (per site plan) along Prospect Street – designated a minor collector. ;

Basis of Recommendation:

The site is in the street width exception north of Binz Street, east of Fannin Street and south of Southmore Blvd. This application was deferred twice to allow time to coordinate in reference to proposed pedestrian enhancements. The applicant is requesting a variance to allow building line encroachments along Prospect and Austin Street for mechanical equipment. Staff is in support of the request.

The site is an existing museum and the applicant is proposing to renovate and reconstruct the development. The applicant is requesting a reduced building line for four mechanical structures along Austin and Prospect Street. Along Prospect the applicant is requesting 2'9" building line for a water Tank and 7'4" BL for an electrical switchboard along Prospect. The distance from the back of curb to the closest building line encroachment will be approximately 10'. The pedestrian realm will range from 6 feet to 8 feet along Prospect due to the constrained ROW and a 38-foot paving section. The existence of this physical characteristics affects the property in question.

The applicant is also requesting a 4'4" BL for a transformer and a 6'4" BL for a generator along Austin Street. The distance from the back of curb to the closest building line encroachment will be over 21 feet and the pedestrian realm is approximately 18 feet. The granting of the variance will not be injurious to the public health, safety or welfare due to the sufficient pedestrian realm on Austin Street.

As a condition of approval, the applicant will provide minimum 6 foot unobstructed sidewalks along Caroline, Prospect and Austin Streets; additionally, the applicant will provide min 3-inch caliber trees along Prospect Street.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy; the ROW is limited along Prospect Street.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant; the ROW constraints and excessive paving section limits the room for pedestrian improvements.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant; The existence of this physical characteristics affects the property in question.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare; the pedestrian realm will range from 6 feet to 8 feet along Prospect and the distance from the back of curb to the closest building line encroachment will be over 21 feet.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance; the constraints of the ROW and limited pedestrian realm affects the property.



Agenda Item: 123
Action Date: 08/24/2017
Plat Name: Hyatt Place Reserve
Developer: Medical Center Fannin OST investment
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2017-1389 C2

Staff Recommendation:
 Defer Applicant request

Total Acreage:	1.2900	Total Reserve Acreage:	1.2900
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	13	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77054	532M	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

134.13. Add to general notes on face of plat: This property(s) is located in Park Sector number 13.

134.9 If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

146. Identify, dimension and provide square footage for all right-of-way dedications. "xx s.f. are hereby dedicated to the public for right-of-way purposes.

158. Provide for the dedication of widening for Dreyfus Street as indicated on the marked file copy.

186. Appendix B:Execution of Owners Acknowledgement is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

add:

1. for any proposed development or improvement on a transit corridor street or type A street the property owner may build up to the property line abutting the transit corridor street or the type A street, but no closer than 15 feet from the back of curb, if the owner provides a pedestrian realm in accordance with 42-402, Transit corridor street and type A street pedestrian access standards.
2. cross section should show more dimensions and details such as trees and width of sidewalks
3. site plan needs to show proposal on OST
4. signs on property to reflect 9/14/17

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 123

Action Date: 08/24/2017

Plat Name: Hyatt Place Reserve

Developer: Medical Center Fannin OST investment

Applicant: LJA Engineering, Inc.- (West Houston Office)

App No/Type: 2017-1389 C2

Staff Recommendation:

Defer Applicant request

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application. Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED AND MISSING B.L.

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 13.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

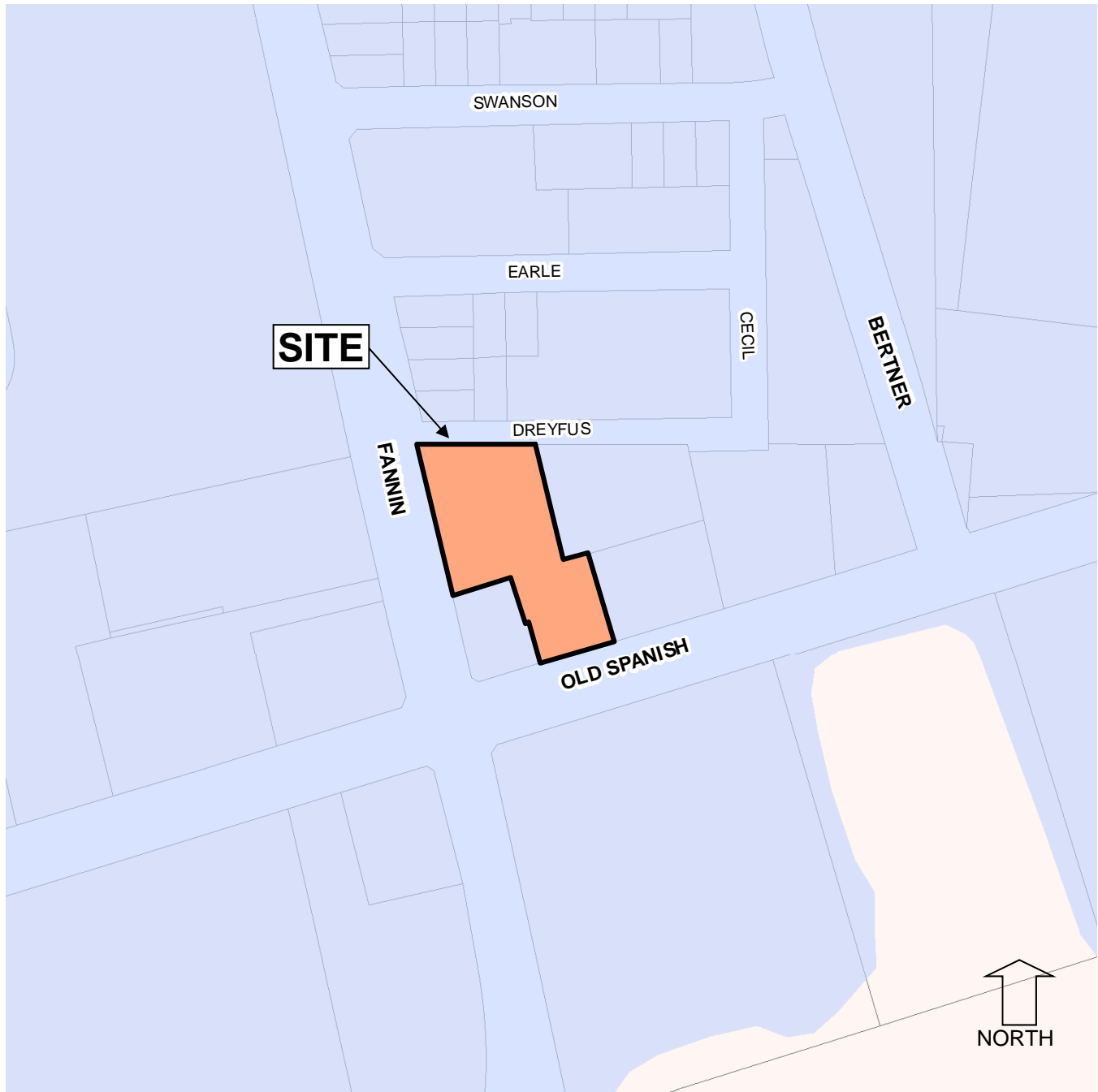
ITEM: 123

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Hyatt Place Reserve

Applicant: LJA Engineering, Inc. – (West Houston Office)



D –Variances

Site Location

Subdivision

Houston Planning Commission

ITEM: 123

Planning and Development Department

Meeting Date: 08/24/2017

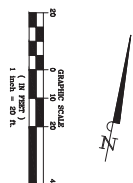
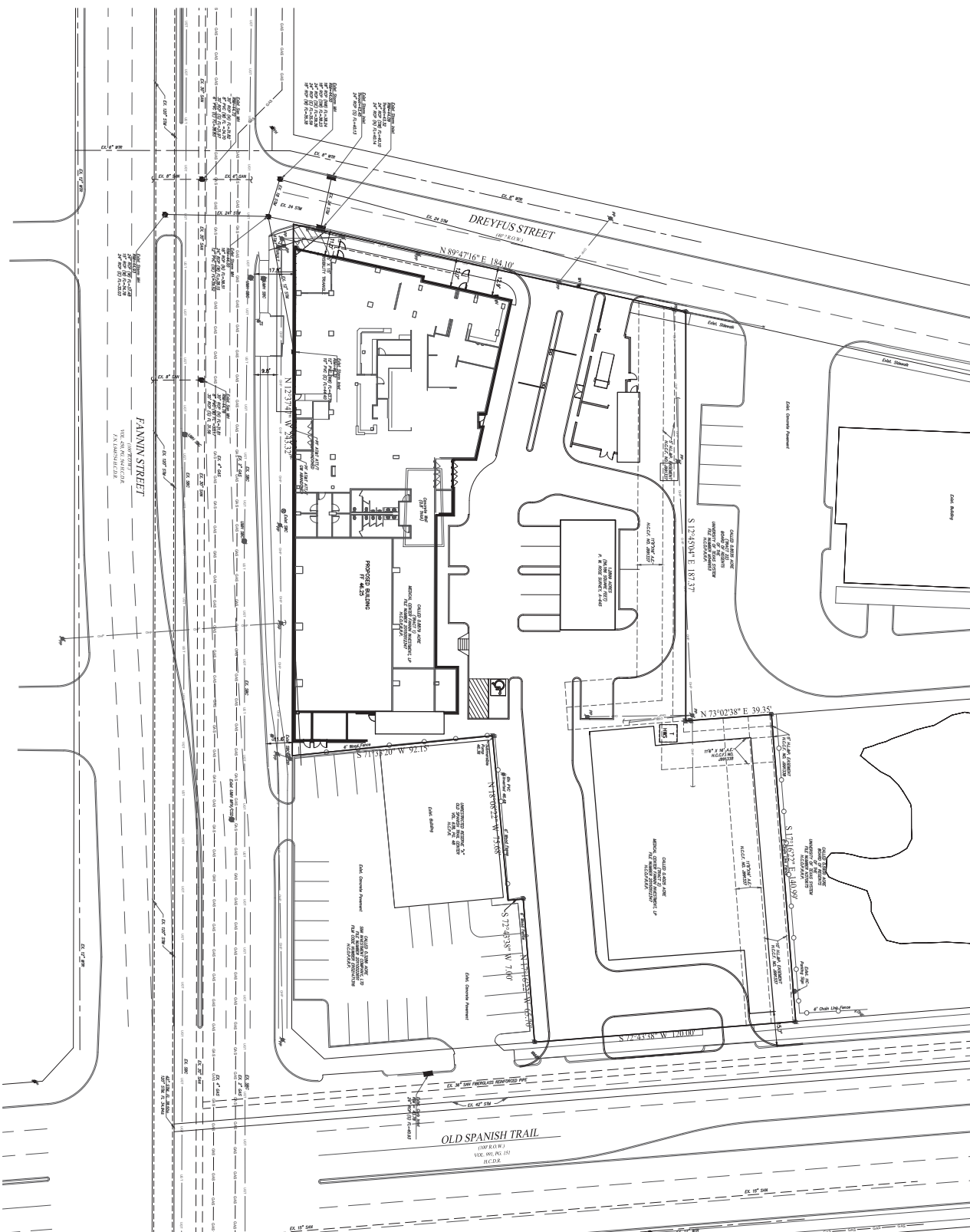
Subdivision Name: Hyatt Place Reserve

Applicant: LJA Engineering, Inc. – (West Houston Office)



D –Variances

Aerial

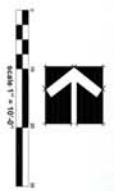


HYATT HOUSE
HYATT PLACE
SITE PLAN AND EXISTING
CONDITIONS EXHIBIT

Section C Old Spanish Trail



LANDSCAPE PLAN



HYATT PLACE/HOUSE HOTEL
1803 OLD SPANISH TRAIL
HOUSTON, TEXAS

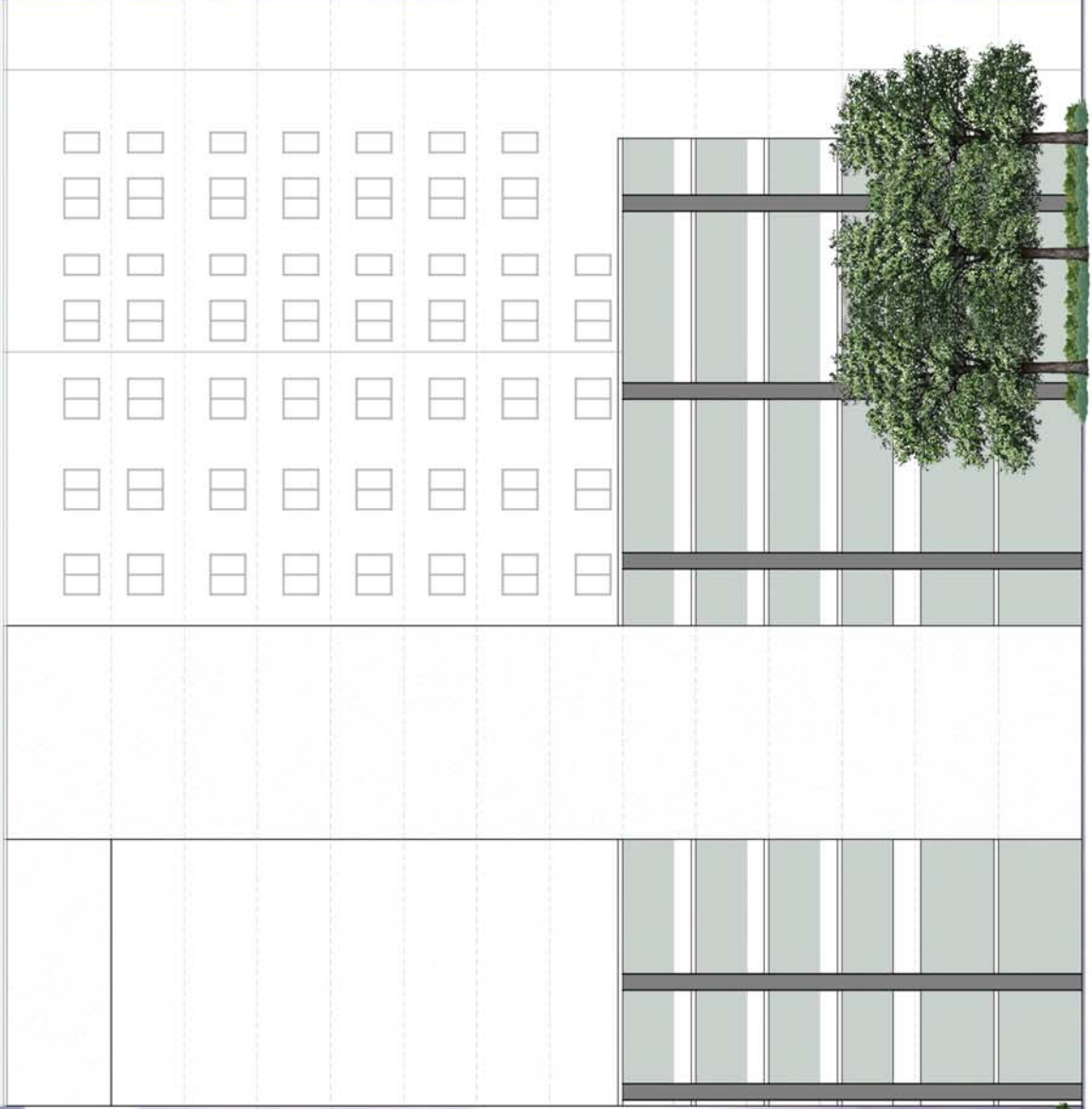
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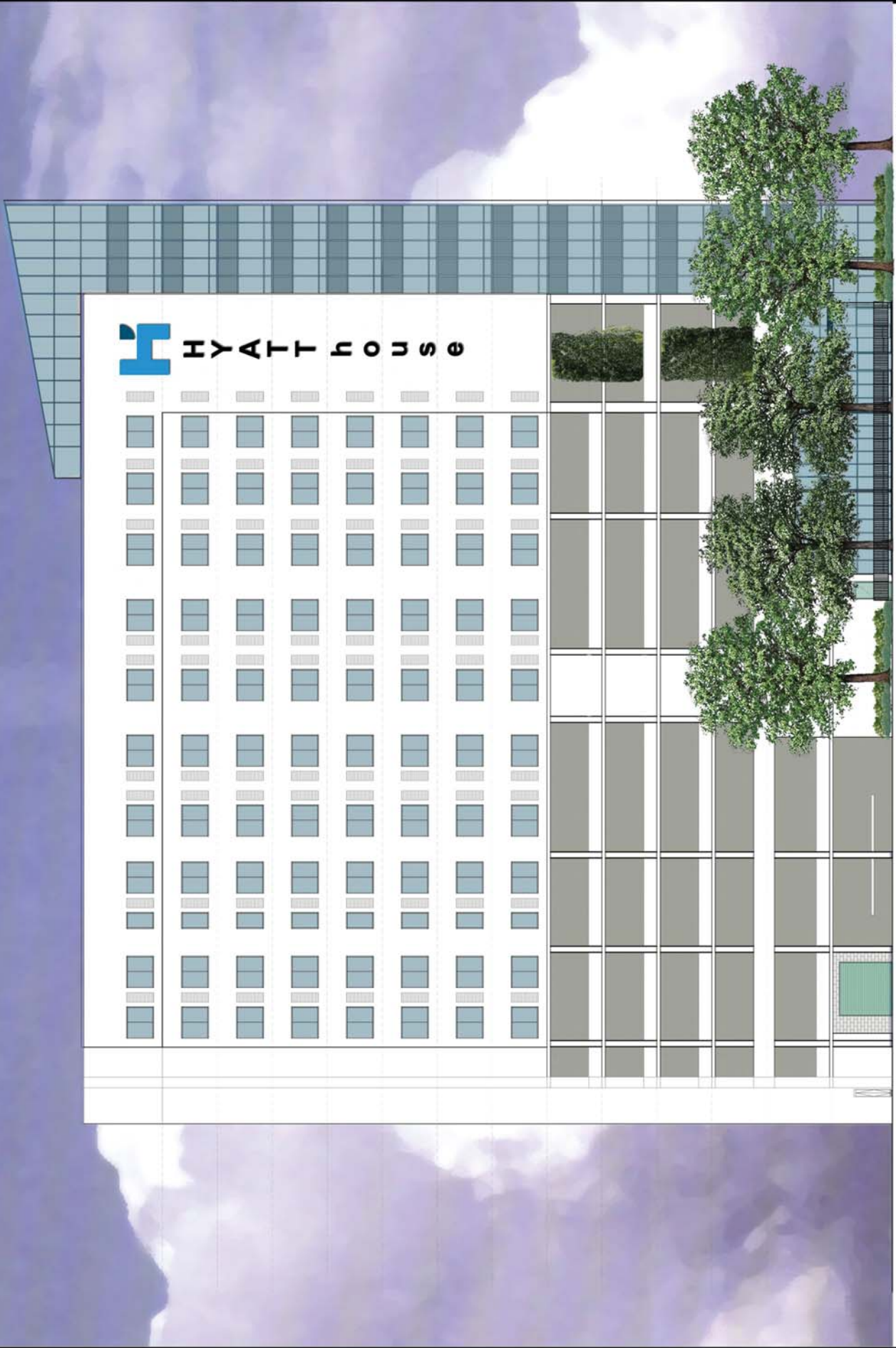
FAIN + CUPPETT
LANDSCAPE ARCHITECTS, LLC
2015 1803 Old Spanish Trail, Suite 100
Houston, Texas 77056 281.441.1000
www.faincuppett.com

Drawn by: JAC/JAC
Checked by: JAC
Reviewed by: JAC
Date: 01/11/2017

OLD SPANISH TRAIL



DREYFUS STREET ELEVATION



HYATT PLACE/HOUSE HOTEL
1803 OLD SPANISH TRAIL
HOUSTON, TEXAS

LANDSCAPE ARCHITECTS, L.L.C.
FAIN + CUPPETT
1803 OLD SPANISH TRAIL, SUITE 100
HOUSTON, TEXAS 77057-1000
713.463.1000
www.faincuppett.com

Date: JUL 24, 2017
Drawn By: [Signature]
Checked By: [Signature]
Revisions:



Application Number: 2017-1389

Plat Name: Hyatt Place Reserve

Applicant: LJA Engineering, Inc.- (West Houston Office)

Date Submitted: 07/31/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Not to provide ten (10) feet of ROW widening for Dreyfus St.; a forty (40) foot right-of-way.

Chapter 42 Section: 121

Chapter 42 Reference:

Sec. 42-121. - Dedication of rights-of-way. (b) When an existing public street with a right-of-way width that does not meet the requirements of section 42-122 of this Code is adjacent to and forms a boundary of a subdivision plat or development plat, the owner of the property within the proposed subdivision or development shall dedicate sufficient additional right-of-way within the proposed subdivision or development adjacent to the existing right-of-way to provide one-half of the total right-of-way width necessary to meet the requirements of section 42-122 of this Code. In the case of a subdivision plat, the dedication shall be made by plat. In the case of a development plat, the dedication shall be made by separate instrument. The commission shall waive the requirement to dedicate right-of-way upon finding that the applicant has made a satisfactory showing that the proposed subdivision or development will not contribute to a significant increase in traffic on the street.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land;

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy; Dreyfus Street is located north of Old Spanish Trail and east of Fannin Street; both major thoroughfares. Fannin Street is also a Transit Corridor Street from Old Spanish Trail and extending north. Dreyfus Street is a forty (40) foot wide public right-of-way dedicated by the University Park Addition (Vol. 450, Pg. 564, H.C.D.R.) with a twenty-five (25) foot pavement section. Dreyfus Street connects to a small network of public streets, Cecil Street, Earle Street and Swanson Street which are bounded by Old Spanish Trail, Fannin Street and Bertner Avenue. These small local streets provide access and circulation to a small handful of businesses which are all directly related to the Medical Center. Of the six (6) properties that have frontage on Dreyfus Street only the University of Texas Board of Regents building, directly to the east of the subject property, takes its primary access from Dreyfus Street. The American Medical Equipment property to the east of the UT Board of Regents building has a gated driveway to Dreyfus Street and is used only for emergencies. The Methodist Hospital on the north side of Dreyfus Street has two (2) service driveways to Dreyfus Street as their primary driveway access and parking is on the north side of the property from Earle Street. In 2011 the Methodist Hospital Earle Street Campus plat was submitted and approved by the Houston Planning Commission. The Methodist Hospital plat was approved with a variance not to provide ten (10) feet of right-of-way widening for Dreyfus Street and a variance for a zero (0) foot building line along Dreyfus Street. When the Houston Planning Commission allowed the Methodist Hospital to be platted without the ten (10) feet of right-of-way dedication, the City in effect abandoned any future intent or plans to widen Dreyfus Street. Therefore, requiring a ten (10) foot right-of-way dedication from the Hyatt Place Reserve at this point would be unnecessary.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Reserve "A" of Methodist Hospital Earle Street Campus, a subdivision recorded in Film Code no. 643224, H.C.M.R. was recorded without any right-of-way taking and maintaining a forty (40) foot right-of-way which was not created or imposed by the applicant.

(3) The intent and general purposes of this chapter will be preserved and maintained;

By not requiring un-needed right-of-way widening to be dedicated with this plat the intent and general purposes of this chapter will be preserved and maintained. In addition, the area in question will be used to further enhance the streetscape with outdoor seating and dining.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

With or without the ten (10) feet of right-of-way dedication Dreyfus Street cannot be widened therefore there is no effect to the public health, safety or welfare

(5) Economic hardship is not the sole justification of the variance.

Reserve "A" of Methodist Hospital Earle Street Campus, a subdivision recorded in Film Code no. 643224, H.C.M.R. not requiring widening along the north side of Dreyfus Street is the justification of this request.



Application Number: 2017-1389

Plat Name: Hyatt Place Reserve

Applicant: LJA Engineering, Inc.- (West Houston Office)

Date Submitted: 07/31/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To have a zero (0) foot building line along Old Spanish Trail, a major thoroughfare

Chapter 42 Section: 152

Chapter 42 Reference:

The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy; The Hyatt Place Reserve is a 1.290 acre tract having frontage on Old Spanish Trail, Fannin Street, both major thoroughfares, and Dreyfus Street, a local street. Fannin Street is a Transit Corridor Street from its intersection with Old Spanish Trail and extending north. It's also important to note that Old Spanish Trail from its intersection with Fannin Street extending southwest to North Stadium Drive is also a Transit Corridor Street. Under the Transit Corridor Ordinance a 0 foot building setback is permitted. On the southern portion of the tract, fronting Old Spanish Trail, a multi-story hotel is being proposed. The hotel will have a first floor lobby to greet guests, a multi-level parking garage which will encompass most of the second through the fourth floor and approx. ten (10) floors of rental hotel rooms. Ingress and egress to the hotel will be from Old Spanish Trail via two (2) separate one-way driveways. To access the driveways vehicles must be travelling southwest along Old Spanish Trail towards Fannin St. Vehicles will make a right turn into the driveway, pull in under the building porte-cochere.. Vehicles can then make a right turn toward the parking garage or turn left to be taken back out to Old Spanish Trail where all vehicles will be forced to turn right towards Fannin Street. A left turn from the driveway onto Old Spanish Trail will not be permitted as there is no median opening in Old Spanish Trail to facilitate such a traffic movement. There is approx. sixteen (16) feet between the proposed hotel building and the existing street curb of Old Spanish Trail. In this sixteen (16) feet a pedestrian realm will be created using the Transit Corridor Standards from Chapter 42-402. As Old Spanish Trail west of Fannin Street is a Transit Corridor Street, The Hyatt Place Reserve is proposing to "extend" the Transit Corridor east from Fannin Street along the entire frontage of the property by implementing the same standards which could be utilized along Old Spanish Trail west of Fannin Street. These same Transit Corridor standards will also be utilized along the Fannin Street portion of the development; however, since that portion of Fannin Street is a Transit Corridor Street a variance to utilize the pedestrian realm standards is not needed.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Supporting this request to utilize the Transit Corridor Standards would provide an enhanced pedestrian realm for clients and the general public alike and not a hardship created by the applicant.

(3) The intent and general purposes of this chapter will be preserved and maintained;

By “extending” the Transit Corridor Standards east from Fannin along Old Spanish Trail the intent and general purposes of this chapter will be preserved and maintained by expanding the walk-ability in the general area

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

By enhancing the walk-ability of Old Spanish Trail east of Fannin the variance will not be injurious to the public health, safety or welfare.

(5) Economic hardship is not the sole justification of the variance.

The developers desire to build a quality product while providing an enhanced pedestrian realm for both clients and the general public is the justification of this request



Application No: 2017-1389

Agenda Item: 123

PC Action Date: 08/24/2017

Plat Name: Hyatt Place Reserve

Applicant: LJA Engineering, Inc.- (West Houston Office)

Staff Recommendation: [Defer Applicant request](#)

Chapter 42 Sections: [121](#); [152](#)

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

[Not to provide ten \(10\) feet of ROW widening for Dreyfus St.; a forty \(40\) foot right-of-way.;](#)

[To have a zero \(0\) foot building line along Old Spanish Trail, a major thoroughfare;](#)

Basis of Recommendation:

The site is located north of Old Spanish Trail, east of Fannin Street, and west of Bertner Ave. The applicant is requesting two variances: 1) not to dedicate 10' of ROW to Dreyfus Street, and 2) to allow a 0' BL along Old Spanish Trail. Staff's recommendation is to defer per the applicant's request. Due to this being the only available deferral, staff has prepared a brief presentation. The applicant is proposing a hotel at the intersection of Fannin and Dreyfus Street; and Dreyfus street is currently a 40' ROW. The existing pedestrian realm is approximately 6 feet.

The requested 0' building line along Old Spanish Trail has not been justified. The applicant has not provided detailed cross sections, nor supporting drawings for the proposed variances. Therefore, staff's recommendation is to defer per the applicant's request to coordinate with staff during the deferral period.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

[N/A](#)

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

[N/A](#)

(3) The intent and general purposes of this chapter will be preserved and maintained;

[N/A](#)

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

[N/A](#)

(5) Economic hardship is not the sole justification of the variance.

[N/A](#)



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 124
Action Date: 08/24/2017
Plat Name: Kingwood Elite Storage
Developer: 1656 Northpark LLC
Applicant: Stewart Engineering
App No/Type: 2017-1364 C2

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	1.5300	Total Reserve Acreage:	1.5300
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Type 2 PAE
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Montgomery	77339	296T	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approve.

City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

PWE Utility Analysis: Approve.

City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

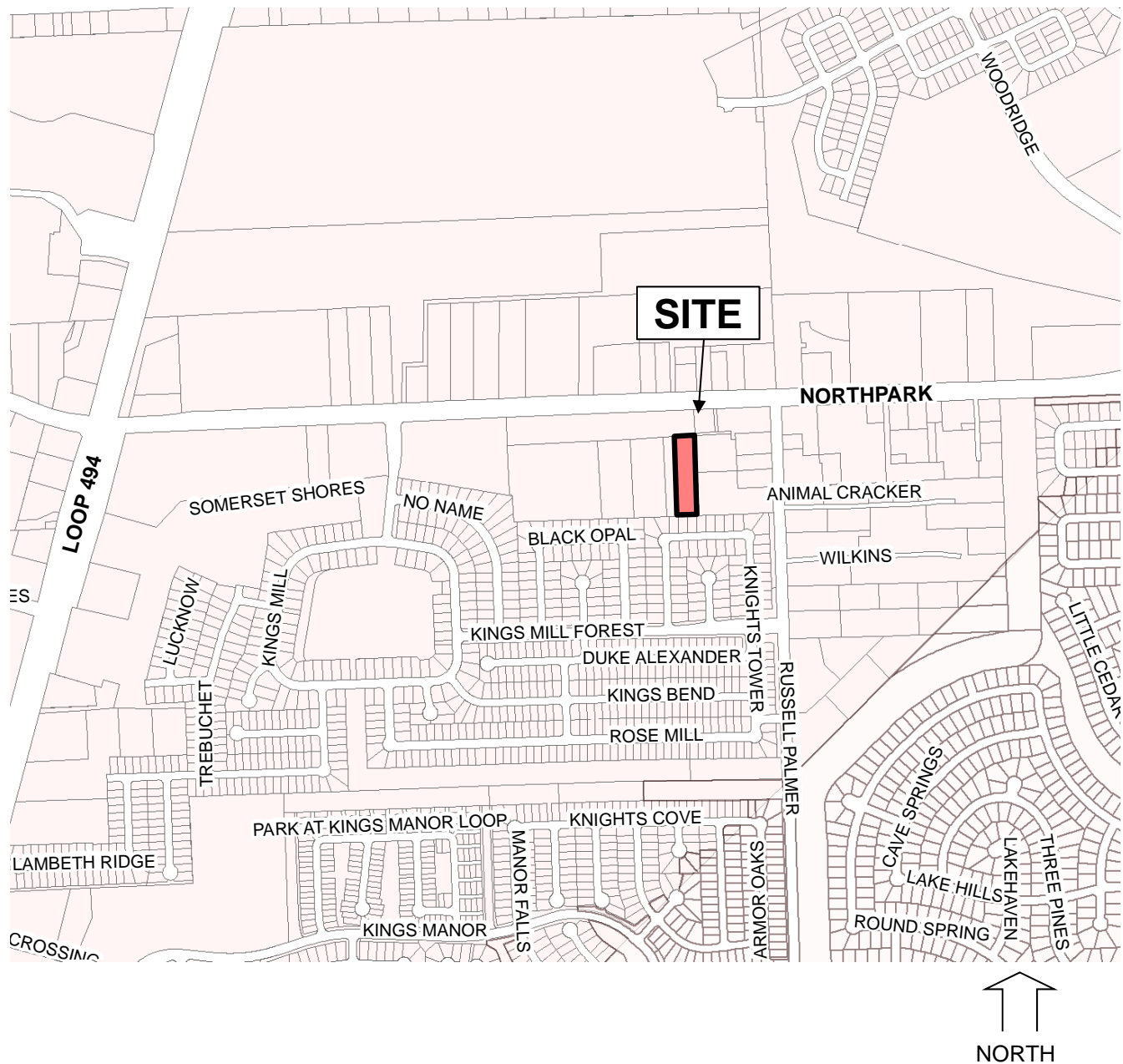
ITEM: 124

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Kingwood Elite Storage (DEF 1)

Applicant: Stewart Engineering



D –Variances

Site Location

Subdivision

Houston Planning Commission

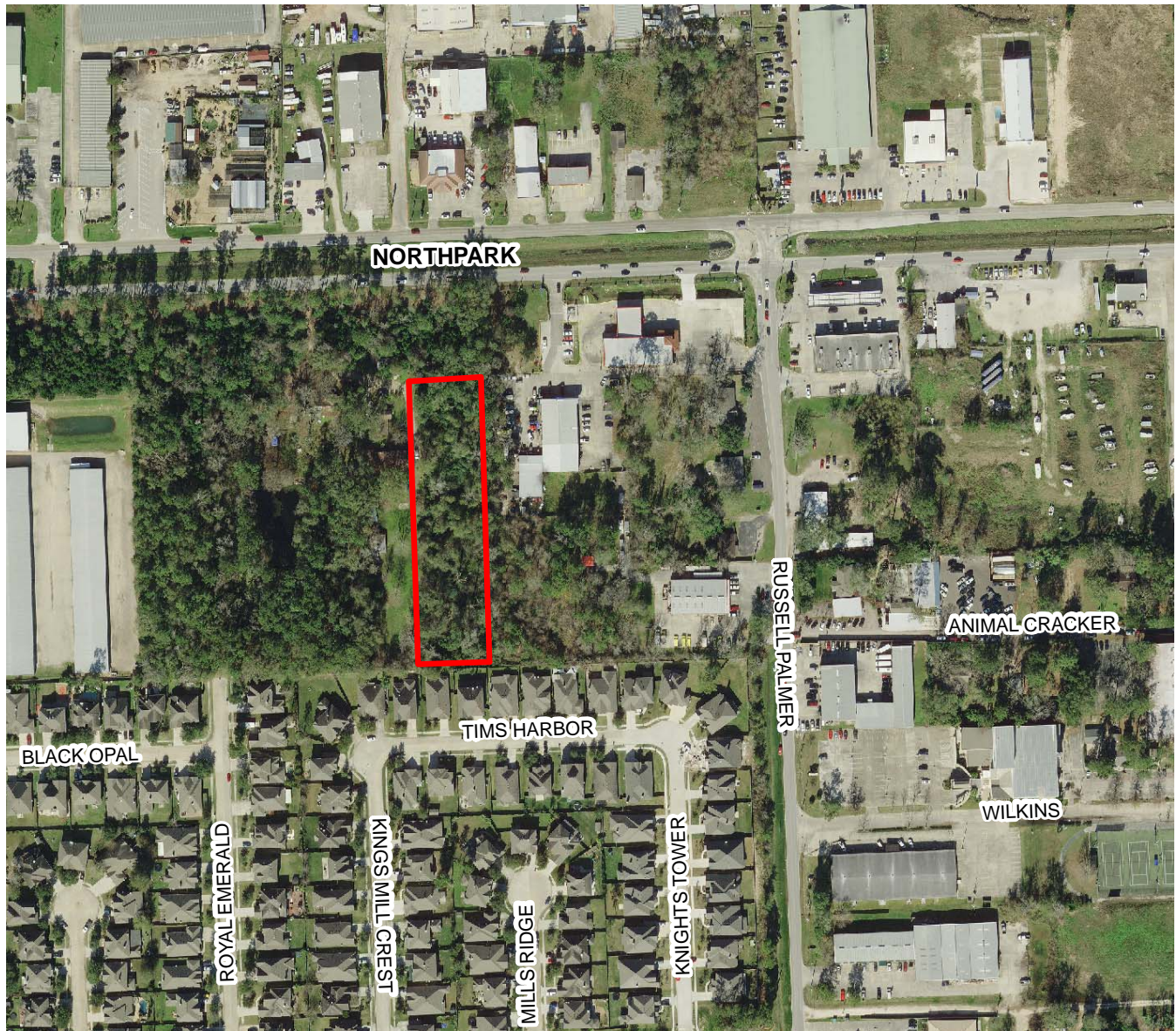
ITEM:124

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Kingwood Elite Storage (DEF 1)

Applicant: Stewart Engineering



D –Variances

Aerial



Application Number: 2017-1364
Plat Name: Kingwood Elite Storage
Applicant: Stewart Engineering
Date Submitted: 07/31/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Not to have 60' of frontage along a local street for a commercial reserve and to take access via an access easement

Chapter 42 Section: 190

Chapter 42 Reference:

Sec. 42-190. - Tracts for non-single-family use—Reserves. (a) A tract of land that is not restricted to single-family residential use shall not be designated on a subdivision plat as a lot, but shall be designated as a reserve and shall be subject to those provisions of this chapter pertaining to reserves. (c) Each reserve shall meet the following requirements for minimum size, the type and width of street or shared driveway on which it may be located, and the minimum frontage, as applicable to the type of reserve:

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Vehicle access to the property is only achievable via a 28' wide non exclusive access easement. Strict application of the terms of chapter 42-190 would make development infeasible due to insufficient road frontage for the type of development proposed.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Due to the location of the property in question, and its configuration in relation to surrounding properties and roadways, there is insufficient road frontage. The applicant has no control over this fact.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of chapter 42 will be preserved and maintained and all other conditions of section 42-190 will be strictly adhered to.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of this variance will not have any negative consequences on public health, safety, or welfare. We are simply requesting that the existing method of vehicular access to the property be allowed to continue.

(5) Economic hardship is not the sole justification of the variance.

Greater than economic hardship to the owner/developer is the fact that the geographical location of this property and its lack of road frontage make it unsuitable for development of many kinds. This property cannot be used to its full potential without some resolution to the road frontage issue.



Application No: 2017-1364

Agenda Item: 124

PC Action Date: 08/24/2017

Plat Name: Kingwood Elite Storage

Applicant: Stewart Engineering

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 190

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

Not to have 60' of frontage along a local street for a commercial reserve and to take access via an access easement;

Basis of Recommendation:

The site is in Montgomery County south of North Park; East of Loop 494. The applicant is proposing a reserve restricted to commercial and requesting a variance to not have 60' of frontage along a local street and to take access via an access easement. Strict application of the ordinance would deny the property owner reasonable use of the land. Therefore, staff recommends granting the requested variance and approving the plat subject to the conditions listed on the CPC form.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

N/A

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict application of the ordinance's frontage requirement would render the land undevelopable. There is however an existing 28' non-exclusive access and roadway easement that the adjoining property owner has granted which allows the property access to Northpark Drive. The non-exclusive easement will run with the land and its maintenance is the responsibility of the grantee. Its use is restricted solely to ingress and egress.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The tract has been in its current configuration for a considerable amount of time and there is no additional land which is willing to be sold to allow this property frontage.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Ch 42's intent will be preserved as the property has access to a public street via a 28' non-exclusive access and roadway easement.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The public's health safety and welfare will not be compromised as there will be adequate ingress and egress for emergency vehicles via the access easement.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification as the owners have attempted to purchase land to the north giving them street frontage. In lieu of being able to acquire the necessary frontage along a public street, the owners were able to negotiate an access easement from the property owners to the north.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 125
Action Date: 08/24/2017
Plat Name: Koehler Iron Works
Developer: SL Riverway, LP
Applicant: Vernon G. Henry & Associates, Inc.
App No/Type: 2017-1470 C2

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	1.2426	Total Reserve Acreage:	1.2426
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77007	492H	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

185. Appendix A: Owners Acknowledgement is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

198. Recordation dedicatory acknowledgements and certificates do not conform to those requirements by Harris County. Contact staff Recordation Section for appropriate statements and requirements.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

ADD: The Planning Commission granted a variance to allow ("a 0' dual building line") subject to specific conditions on 08/24/2017. The variance approval was contingent on the site plan and supporting drawings submitted with the plat application. Any modifications to the site plan would make the variance approval invalid and the plat must meet all applicable building lines per the ordinance.

2. provide 5 pedestrian access easement within plat boundary and min 3" caliber trees along Koehler Street.

3. Awning should be covered (with roof) over the sidewalk along Koehler

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this Project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

City Engineer: DETENTION IS REQUIRED

Houston Planning Commission

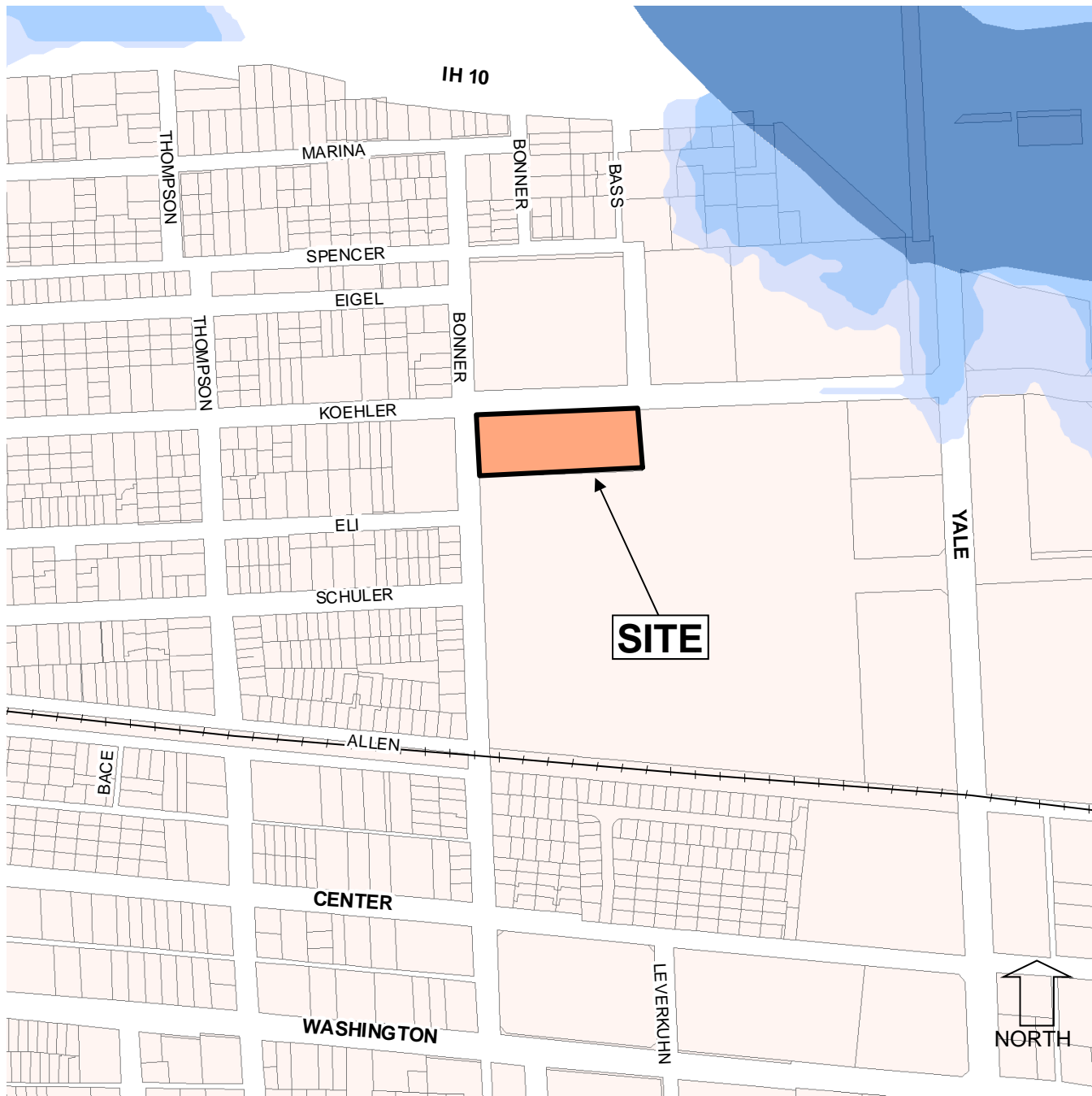
ITEM: 125

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Koehler Iron Works

Applicant: Vernon G. Henry & Associates, Inc.



D –Variances

Site Location

Houston Planning Commission

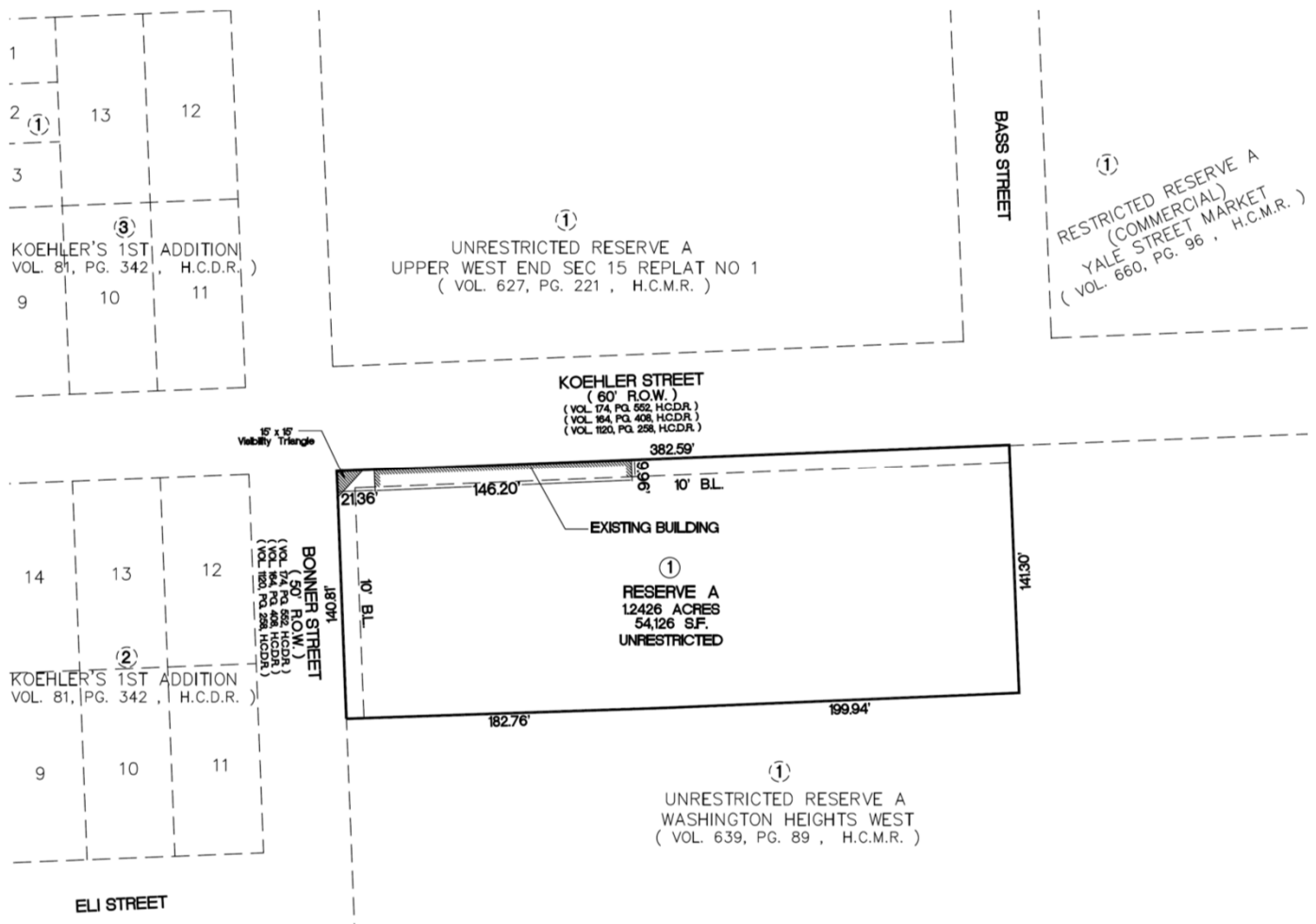
ITEM:125

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Koehler Iron Works

Applicant: Vernon G. Henry & Associates, Inc.



D –Variances

Subdivision

Houston Planning Commission

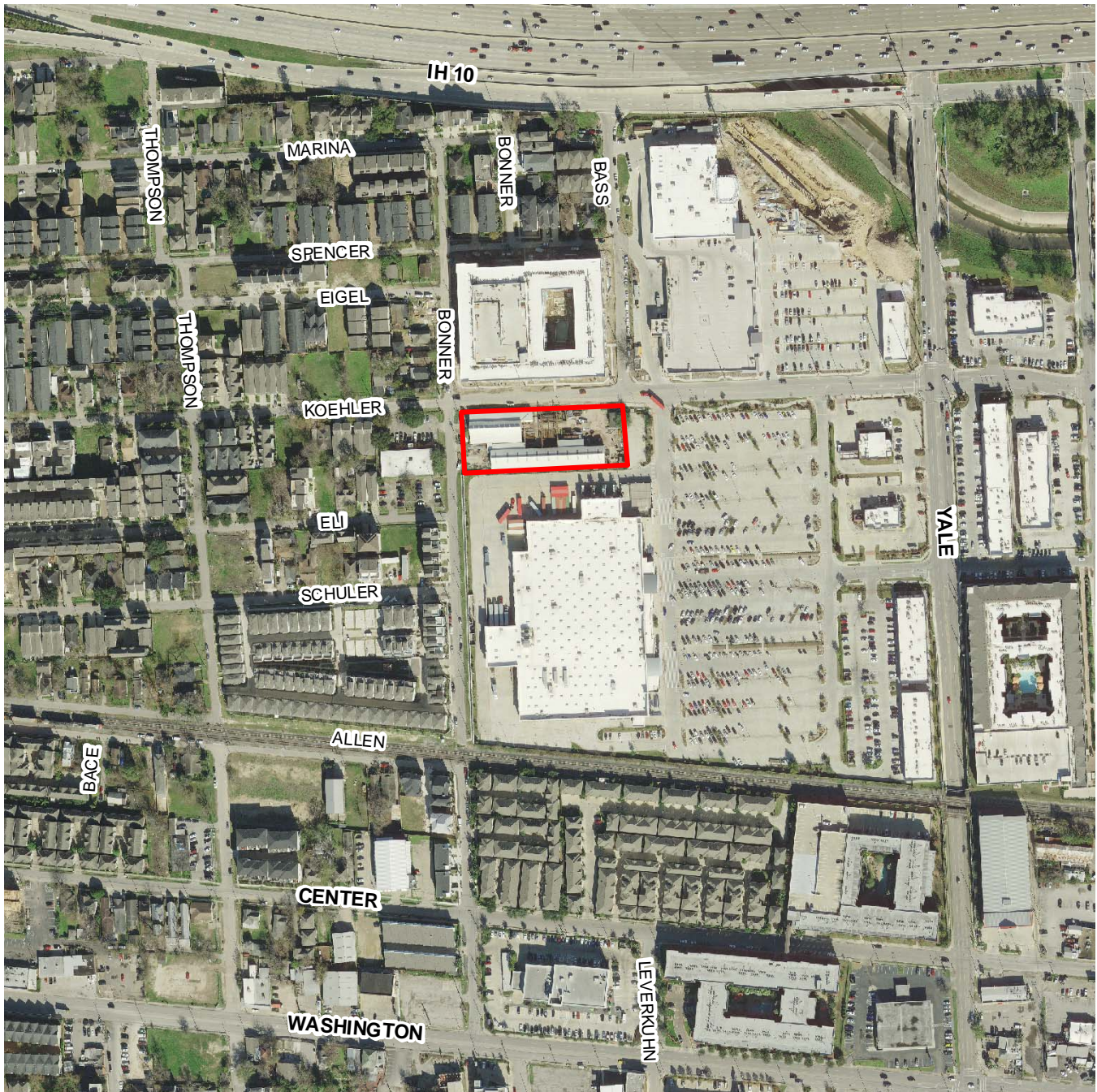
ITEM:125

Planning and Development Department

Meeting Date: 08/24/2017

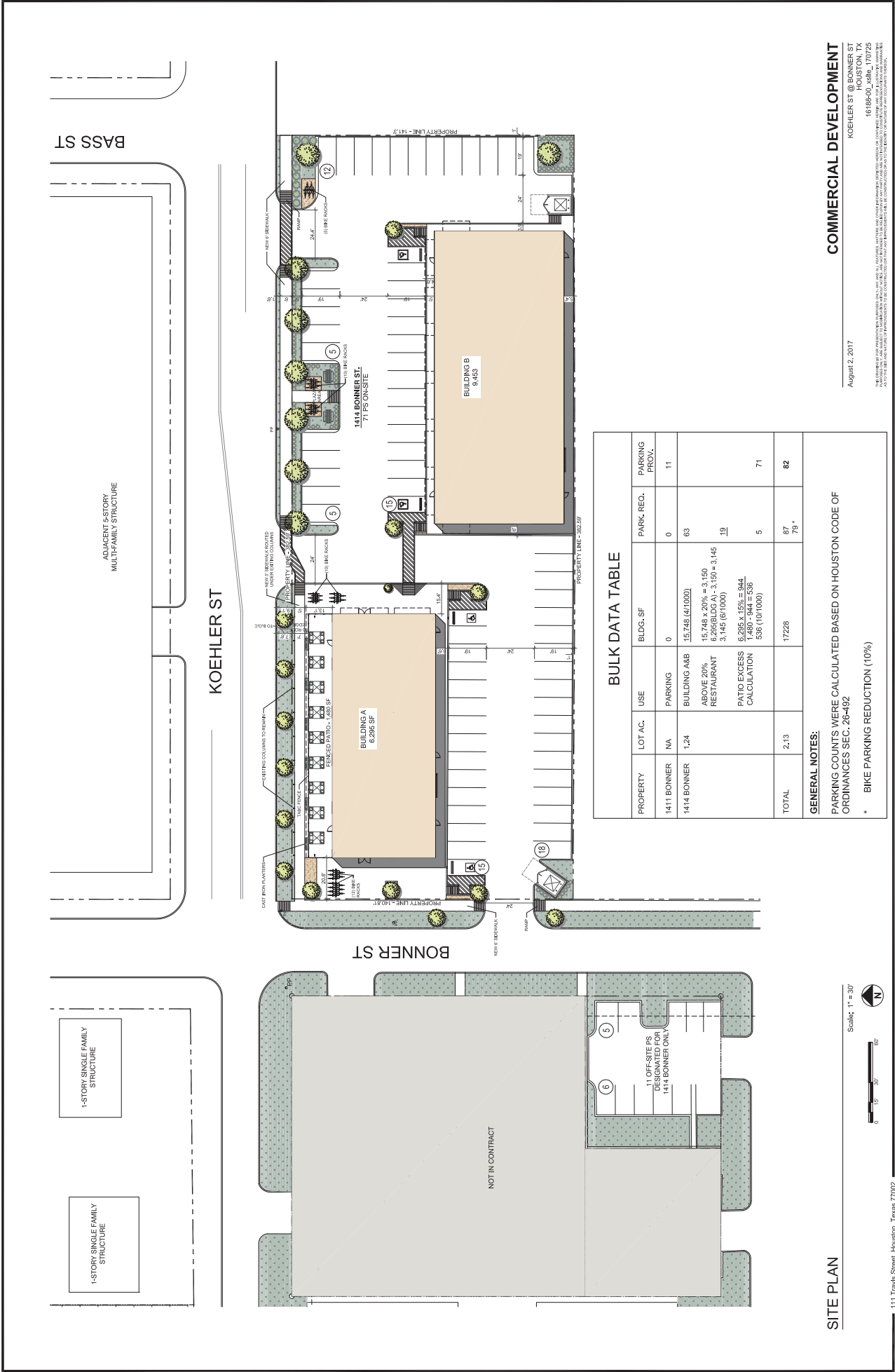
Subdivision Name: Koehler Iron Works

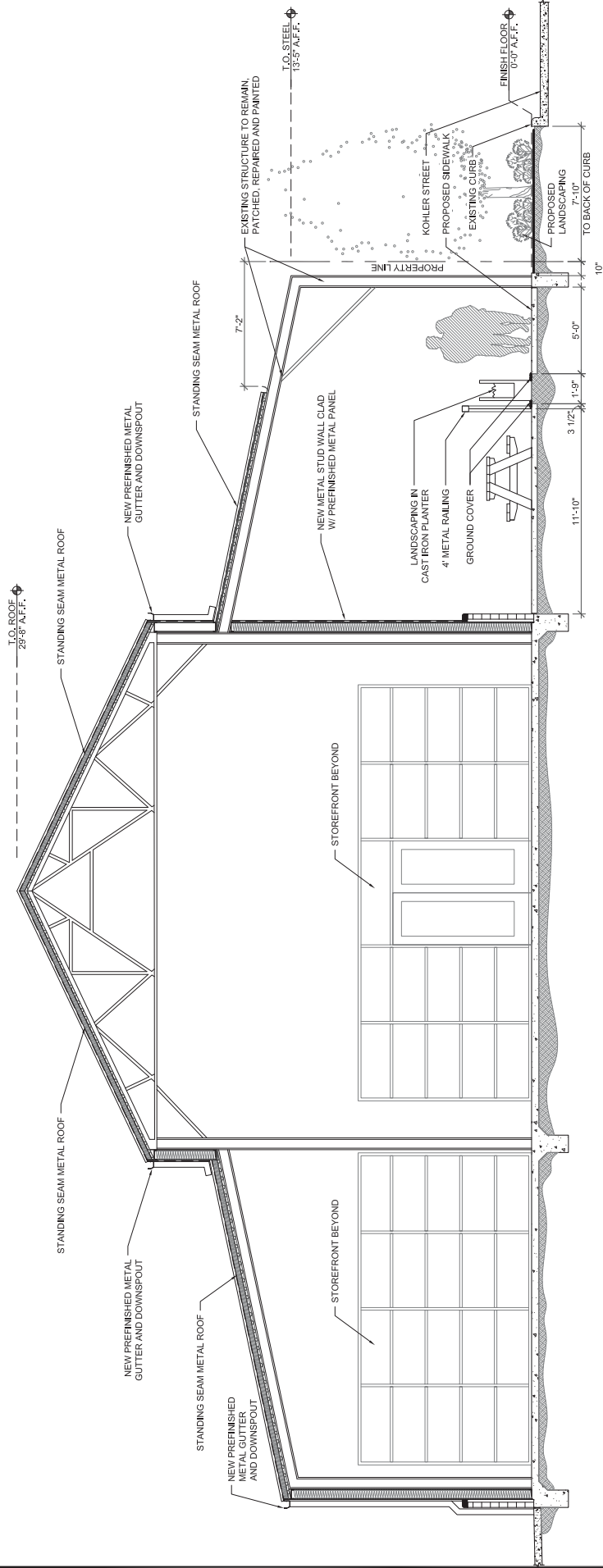
Applicant: Vernon G. Henry & Associates, Inc.



D –Variances

Aerial





BUILDING SECTION - BLDG A
SCALE: 3/8" = 1'-0"

KOEHLER IRONWORKS

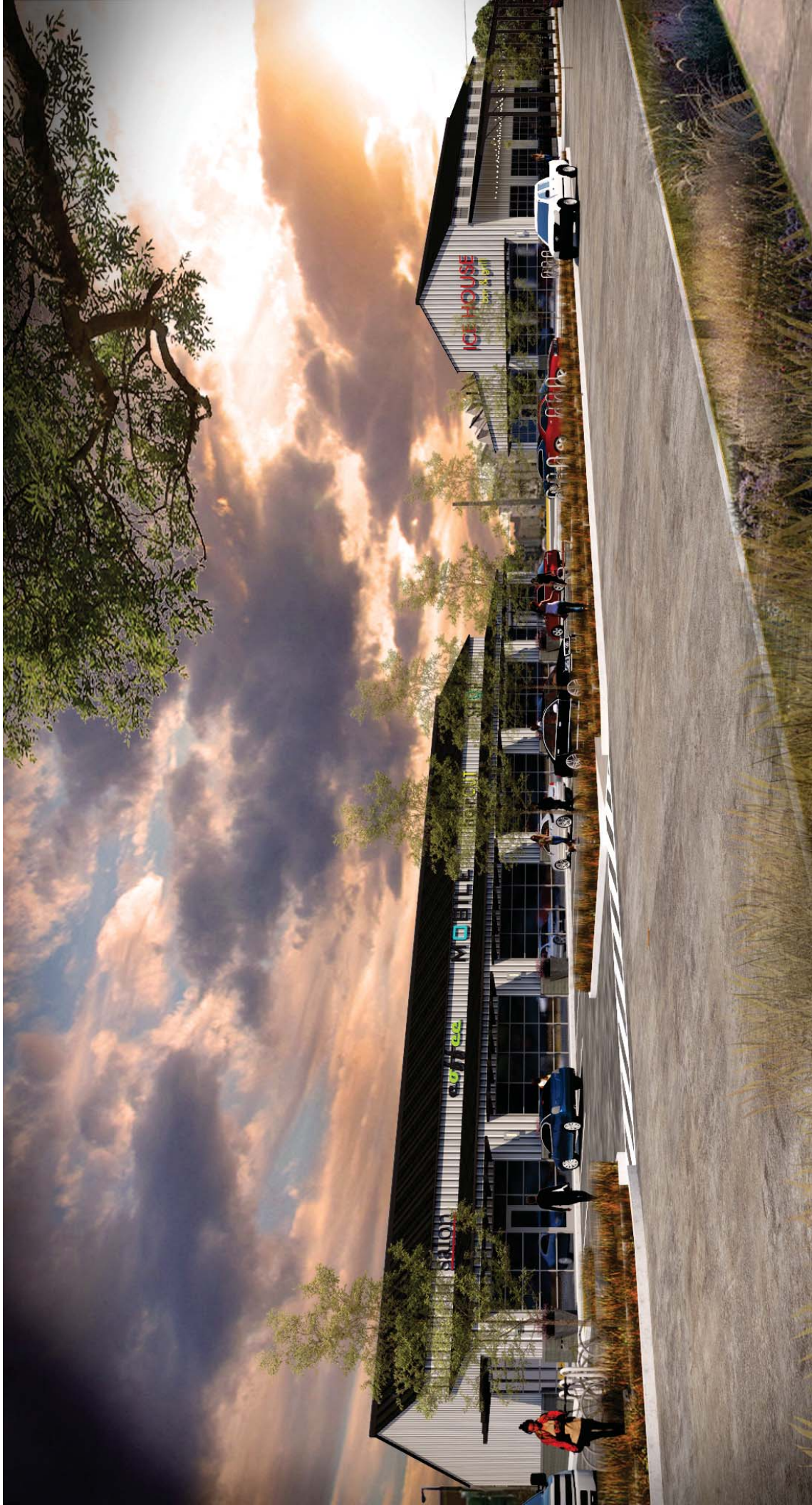
1414 BONNER STREET
HOUSTON, TEXAS 77007

July 24, 2017

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Texas 77002

COMMERCIAL DEVELOPMENT

KOEHLER ST @ BONNER ST
HOUSTON, TX
JULY 18, 2017



Application Number: 2017-1470

Plat Name: Koehler Iron Works

Applicant: Vernon G. Henry & Associates, Inc.

Date Submitted: 08/14/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a 0' foot dual building line along Koehler Street for an existing building and a 10' setback for any future building that replaces the existing building.

Chapter 42 Section: 155

Chapter 42 Reference:

Collector and local streets - Uses other than single-family residential. (a) The building line requirement for a tract used or to be used for other than single-family residential purposes adjacent to a street that is a collector street or local street that is not an alley shall be ten feet unless otherwise required or authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The Heights Iron Works was an important part of Houston's historical construction activities for over one hundred and twenty years. Formerly the site of Berger Iron Works, the property and buildings thereon fabricated ornamental iron work for many of the famous estates and buildings that make up Houston's skyline today. Additionally, Berger Iron Works fabricated steel wire and products helping the US WWII effort and also crafted specialized Marsh Buggies, which were used throughout Texas for the exploration of oil. It has now moved to an industrial area off West Little York to a much more spacious campus, leaving behind its well-worn buildings that drew many to the site. The new owner would like to preserve the buildings as a tie to the historical nature of the business that was there for decades and as a reminder of the past complexity of the Heights, where business and industry is rapidly being replaced with new housing. The new owners are proposing to restore and remodel the two-building complex into a small shopping center while maintaining the original locations and building material selection. The larger building, which sits on the Koehler row line, is likely to house a new restaurant and possible other specialty uses. The northern wall will be moved in 20'1" to create a street-side covered patio as well as a covered 5' unobstructed public sidewalk. A public sidewalk easement will be created. This will leave 7'10" in the row of Koehler for street trees and other landscaping, for which there would otherwise be insufficient room. Koehler was recently reconstructed and the new paving is off-set in the r.o.w., leaving more unpaved area on the north side, adjacent to the new apartments, than on the Iron Works side. There will be 7'10" between the covered sidewalk and the street paving. The owners also have property on the west side of Bonner Street. There is an 11 space parking lot on this property which is being used for the shopping center. The building is vacant at present and no future use for the property has been determined.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The existing building was constructed decades ago when there were no setback regulations. The owner is now trying to preserve the building while adhering to the intent of the current regulations/

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent of the regulations is to ensure that the public street row can contain a public sidewalk as well as the required street trees. This space is provided while at the same time preserving an old building that was important to building construction in the city for decades.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Public pedestrian safety and protection will be enhanced by locating the sidewalk further from the street travel lanes and under cover. It will also enhance health by protecting pedestrians from the sun and rain.

(5) Economic hardship is not the sole justification of the variance.

The justification for the variance is the existing physical conditions and the enhancement of the pedestrian environment.



Application No: 2017-1470

Agenda Item: 125

PC Action Date: 08/24/2017

Plat Name: Koehler Iron Works

Applicant: Vernon G. Henry & Associates, Inc.

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 155

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To create a dual building setback allow a 0' setback along Koehler Street for an existing building and a 10' setback for any future building that replaces the existing building.;

Basis of Recommendation:

The site is in the street width exception area located north of Washington Avenue, west of Yale Street, and south of I-10. The applicant is requesting a 0' dual building line variance for an existing building. Staff is in support of the request. The existing warehouse was constructed approximately in 1954. The applicant is proposing to convert the building into restaurant with an outdoor patio. The distance from the back of curb to the patio will be 7'10" and the northern wall will be moved 20' feet. The applicant will dedicate a 5' unobstructed sidewalk easement within the plat boundary to improve the public health, safety and welfare. Additionally, the requested dual building will only be applicable for the life of the structure; which preserves and maintain the intent and general purposes of Chapter 42. Therefore, staff's recommendation is to grant the requested variance and the plat subject to the CPC 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy; the existing structure sits at the 0' BL.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant; the existing building will be converted and rehabilitated.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter will be preserved and maintained; any additional structures must abide by the required 10' BL.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare; the applicant will dedicate a 5' sidewalk within the property.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance; the existing building was constructed prior to the ordinance.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 126
Action Date: 08/24/2017
Plat Name: Luz de Atardecer
Developer: CAS SURVEY
Applicant: CAS SURVEY
App No/Type: 2017-1302 C2

Staff Recommendation:
Defer Chapter 42 planning
standards

Total Acreage:	2.7600	Total Reserve Acreage:	2.7600
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77484	282F	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

059.1. Acreage in title and on plat must match at recordation.

068. Provide a vicinity map that locates the subdivision site within the boundaries of an existing major thoroughfare grid.

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

190.2. Add 'Martha L. Stein, Chair' as Chair in the Planning Commission certificate.

190.3. Add 'Patrick Walsh, P.E., Secretary' as Secretary in the Planning Commission certificate.

191. Appendix G:Harris County Engineer is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

192. Appendix H:Harris County Clerk Certificate of Commissioners' Court Approval is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

Reserve should be restricted for church and related uses.

Submit a current City Planning Letter with the correct metes and bounds.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 126

Action Date: 08/24/2017

Plat Name: Luz de Atardecer

Developer: CAS SURVEY

Applicant: CAS SURVEY

App No/Type: 2017-1302 C2

Staff Recommendation:

Defer Chapter 42 planning standards

PWE Utility Analysis: Approved

City Engineer: CHECK WITH THE COUNTY TO SEE IF DETENTION IS REQUIRED AND MISSING B.L.

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

An On-Site Sewage Facility (OSSF) Subdivision Planning Report may be required prior to recordation. For more information, please refer to Section 10 of The Rules of Harris County, Texas for On-Site Sewage Facilities (<https://hcpid.org/permits/docs/CH285.pdf>) and 30 TAC 285.4(c) (<https://hcpid.org/permits/docs/285%20-%20Dec2012.pdf>). For wastewater related questions or to submit your report, please email wastewater@hcpid.org . For drainage analysis related questions, please email civildevel@hcpid.org .

Dedicate half of required ROW to achieve 100 feet of ROW along FM 362.

TxDOT permit may be needed for plan approval

Reserve should be restricted for church purposes

County has no objections to variance.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

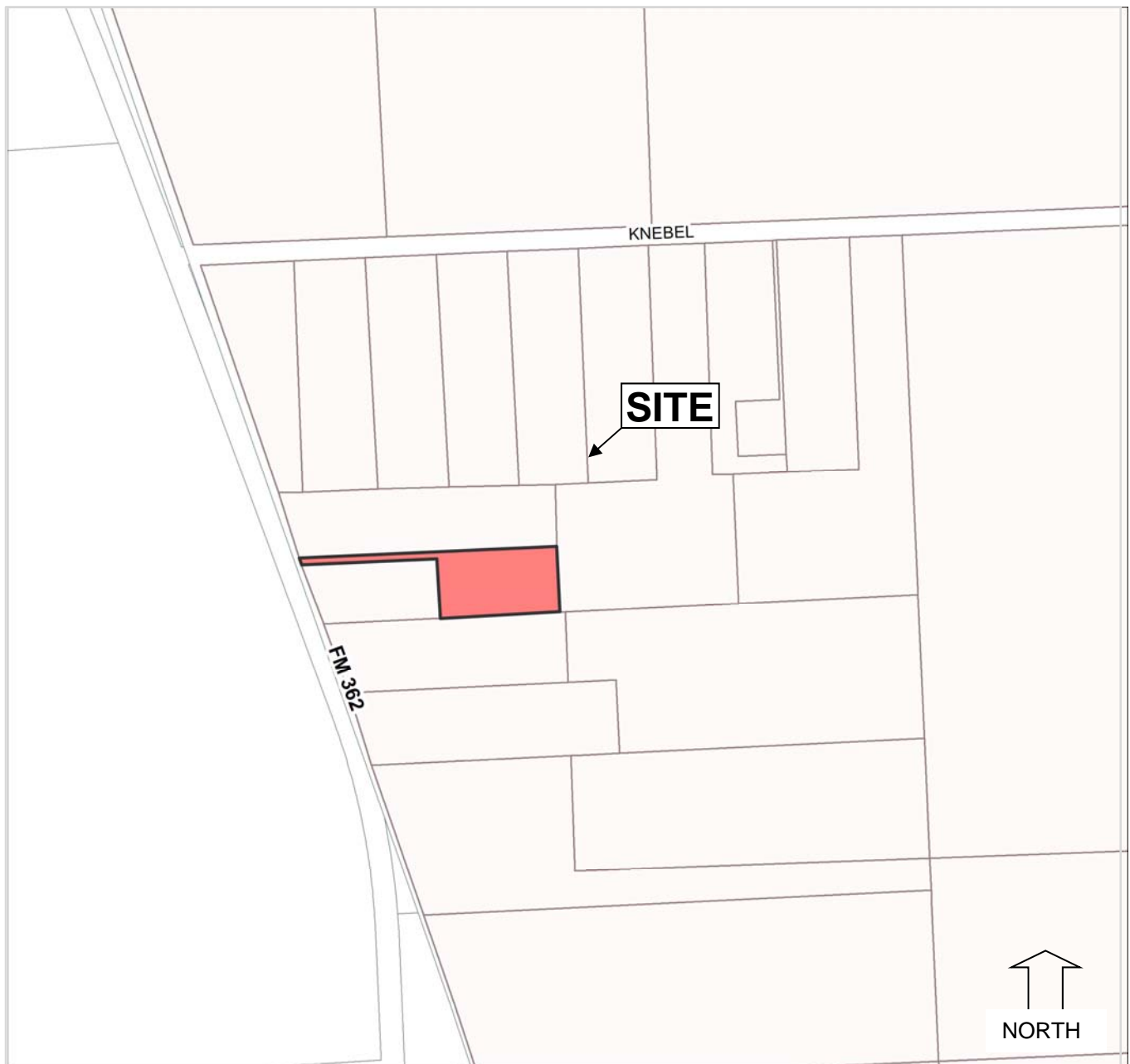
ITEM: 126

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Luz de Atardecer

Applicant: CAS SURVEY



D –Variances

Site Location

Houston Planning Commission

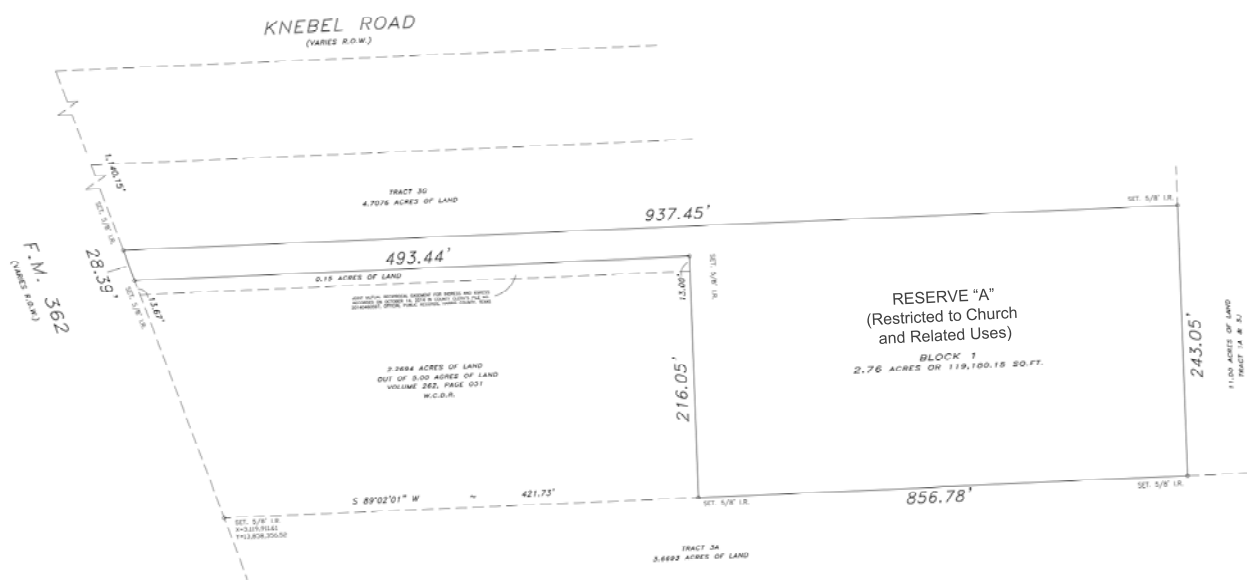
ITEM: 126

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Luz de Atardecer

Applicant: CAS SURVEY



D – Variances

Subdivision

Houston Planning Commission **ITEM: 126**

Planning and Development Department

Meeting Date: 08/24/2017

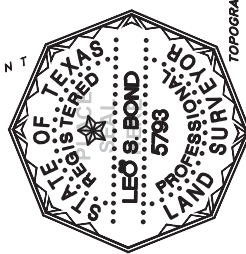
Subdivision Name: Luz de Atardecer

Applicant: CAS SURVEY



D –Variances

Aerial





Application Number: 2017-1302

Plat Name: Luz de Atardecer

Applicant: CAS SURVEY

Date Submitted: 07/17/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow an unrestricted reserve to have less than 60' frontage

Chapter 42 Section: 190(c)

Chapter 42 Reference:

60' Frontage

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The tract that is involved on this project was part of the original 5 acres tract SITUATED IN THE HAMILTON STEWART SURVEY, ABSTRACT NO 723, HARRIS COUNTY, TEXAS, which document is annex on this present Variance. In 1998 the mentioned 5 acres were divided determined by the shape: 2.2694 Acres of land with a frontage of 227.2 feet and 2.76 Acres of land with a frontage of 28.39 feet. In 2000 the present owner bought the second tract to establish the church Luz De Atardecer. Since the year 2000, the church has had the community's and neighbors' best interest in mind at all times. With the necessity to continue this project the Pastor of the church Luz De Atardecer initiated the task to perform the plat in order for the process to allow them to construct. It is in this point that the church Luz De Atardecer finds itself without a reasonable use to its property because of the chapter 42-190(c) requirement of 60 feet frontage, now that requirement is out of the church's hand because the bought the property as is, not abiding by the 60 feet frontage requirement.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict implementation of the code would be impracticable in the present circumstances. The way in which the property was divided in 1998, the original 5 acres determined a frontage of 28.39 feet. Owners not willing to spend 31.61 feet to add all the existing 28.39 feet because none of the neighbors are willing to sell parts

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The applicant has carefully considered to buy the 31.61 feet from the surrounding neighbors to meet the requirement; However, by granting the request, the church could not force the other owners to sell their property, be deprived of the reasonable use of his land.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The owner understands the purpose and intent of this chapter; however, due to the existing circumstances, Pastor Lopez unable to accept full compliance.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Will be accepted with any stipulations.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not at all the sole justification of the variance. There are other justifications supporting the request of the variance, indicating that the strict application of this chapter would be perceived as an impractical development



Application No: 2017-1302

Agenda Item: 126

PC Action Date: 08/24/2017

Plat Name: Luz de Atardecer

Applicant: CAS SURVEY

Staff Recommendation: Defer Chapter 42 planning standards

Chapter 42 Sections: 190(c)

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To allow an unrestricted reserve to have less than 60' frontage;

Basis of Recommendation:

The site is located in Harris County, east of FM 362, south of Castle Road, west of Stokes Road and north of US 290.

The applicant is requesting a variance to allow a reserve, restricted to church and related uses, to have 28.39' of frontage instead of the required 60' frontage on a public street.

Staff's recommendation is to defer the plat to allow the applicant to submit revised information by noon next Wednesday.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

N/A

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

N/A

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

N/A

(3) The intent and general purposes of this chapter will be preserved and maintained;

N/A

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

N/A

(5) Economic hardship is not the sole justification of the variance.

N/A



Agenda Item: 127
Action Date: 08/24/2017
Plat Name: Ranch at Magnolia Point
Developer: CSF Consulting LP
Applicant: CSF Consulting LP
App No/Type: 2017-1441 C3P

Staff Recommendation:
 Defer Chapter 42 planning standards

Total Acreage:	29.9747	Total Reserve Acreage:	2.9702
Number of Lots:	24	Number of Multifamily Units:	0
COH Park Sector:	3	Street Type (Category):	Combination
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77336	298Y	City

Conditions and Requirements for Approval

010.1 Add the following note to the face of the plat (SWD): The residential units or lots encompassed by the plat are ineligible for solid waste collection services provided by the city at the time of the filing of the plat. The obligation to provide solid waste collection services shall be the sole responsibility of the owners of property in the subdivision. Notwithstanding the foregoing, the city reserves the right to amend the level of solid waste collection services it provides.

012.2.1 Dead-end utility easements are not permitted.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

088. Drainage reserve shall have 20' frontage along at least one public street with a right-of-way not less than 50 feet.

093. The fire protection of this subdivision does not comply with the requirements. Revise plan to meet the fire hydrant spacing and hose lay distancing requirements. (233)

124. Add Permanent Access Easement plat note: This subdivision contains one or more permanent access easements that have not been dedicated to the public or accepted by the City of Houston or any other local government agency as public rights-of-way. The City of Houston has no obligation, nor does any other local government agency have any obligation, to maintain or improve any permanent access easement within the subdivision, which obligation shall be the sole responsibility of the owners of property in this subdivision.

126. Add Single Family Residential plat notes: 1) Single family residential shall mean the use of a lot with one building designed for and containing not more than two separate units with facilities for living, sleeping, cooking, and eating therein. A lot upon which is located a free-standing building containing one dwelling unit and a detached secondary dwelling unit of not more than 900 square feet also shall be considered single family residential. A building that contains one dwelling unit on one lot that is connected by a party wall to another building containing one dwelling unit on an adjacent lot shall be single family residential. 2) Each lot shall provide a minimum of two off-street parking spaces per dwelling unit on each lot. In those instances where a secondary unit is provided only one additional space shall be provided.

127. Provide Visibility Triangle at intersections and add plat note: The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle. This area shall assure adequate visibility sight lines for vehicular traffic approaching the intersection. The maximum height of the visibility triangle shall be 20 feet as measured vertically from the ground.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 127
Action Date: 08/24/2017
Plat Name: Ranch at Magnolia Point
Developer: CSF Consulting LP
Applicant: CSF Consulting LP
App No/Type: 2017-1441 C3P

Staff Recommendation:
Defer Chapter 42 planning standards

Provide Parks and Open Space Table on face of the plat.

Fully describe variance being sought and submit a revised variance request form.

Provide record information for adjacent streets and provide documentation for review. Additional variance may be needed for access.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.

(Low or high impact process)

Appointments may be scheduled using the Online Queuing Service

Submit application online at houstonpermittingcenter.org

Harris County Flood Control District: Flood Control review - Include Key Map information on the Vicinity Map it is 298 Y.

City Engineer: IF THE F.H. ARE PRIVATE, IT NEED 15'X25' W.M.E. FOR PRIVATE FIRE LINE USE. IF THE F.H. AND FIRE LINE ARE PUBLIC, IT NEED 20' W.L.E. CONNECTED TO 10'X10' F.H.E. AND ALSO NEED W.M.E..
NEED DRAINAGE PLAN TOO.

Addressing: Magnolia Point Ranch Drive makes a 90 degree turn and therefore must be split. We recommend having a street break at the property lines between lots 6 and 7. A new name must be submitted for a total of 2 names. Please add this name to plat tracker as well.

Solid Waste: The proposed development has at least 10' of frontage along a public road for each proposed lot and qualifies for COH garbage collection.

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 3.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

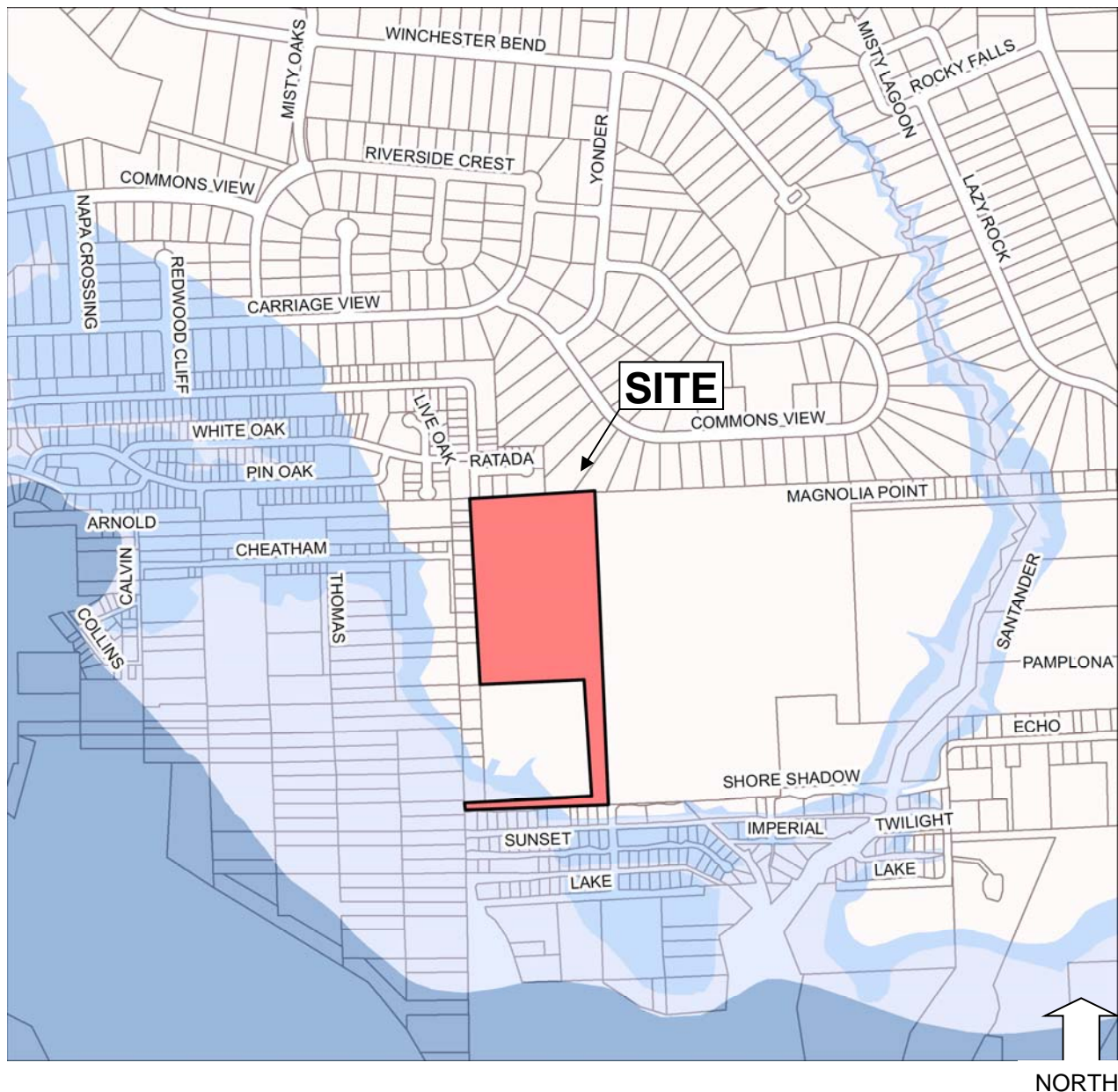
Houston Planning Commission ITEM: 127

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Ranch at Magnolia Point

Applicant: CSF Consulting LP



D –Variances

Site Location

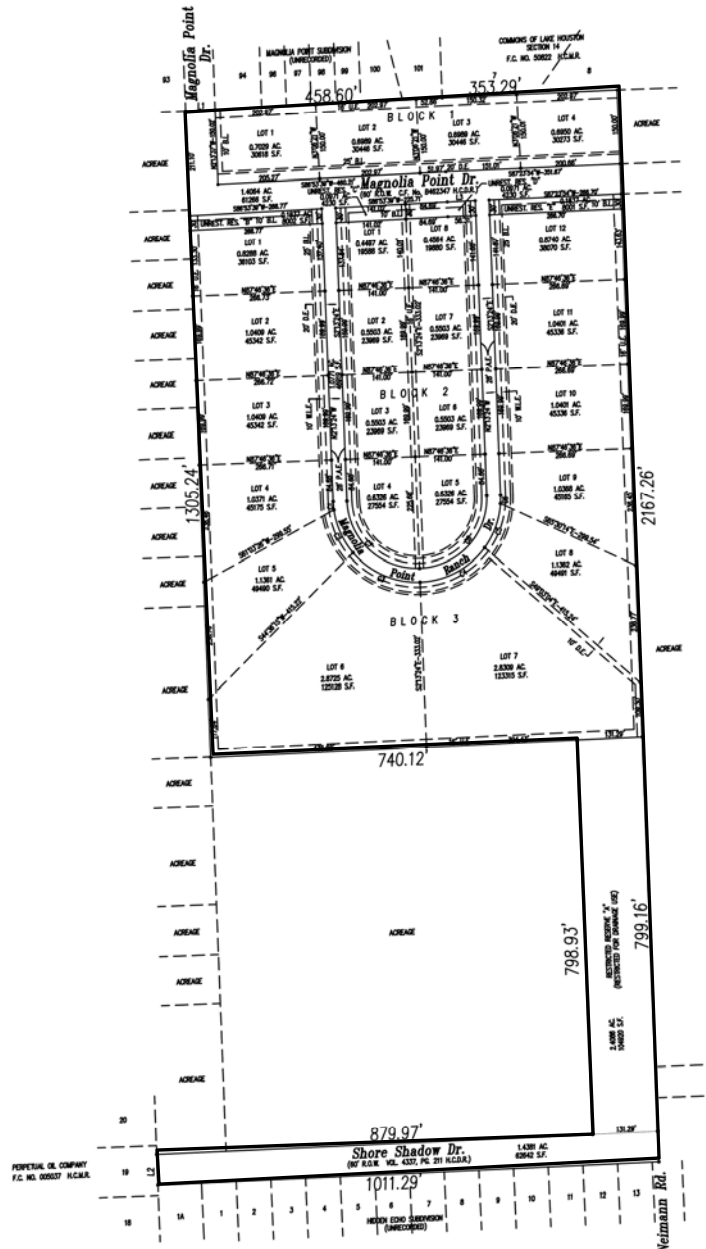
Houston Planning Commission ITEM: 127

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Ranch at Magnolia Point

Applicant: CSF Consulting LP



D –Variances

Subdivision

Houston Planning Commission ITEM: 127

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Ranch at Magnolia Point

Applicant: CSF Consulting LP



D –Variances

Aerial

LINE	BEARING	DISTANCE
L 1	N 87° 58' 38" E	59.62'
L 2	N 02° 08' 08" W	61.94'
(Deed - N 02° 33' 36" W 60.00')		

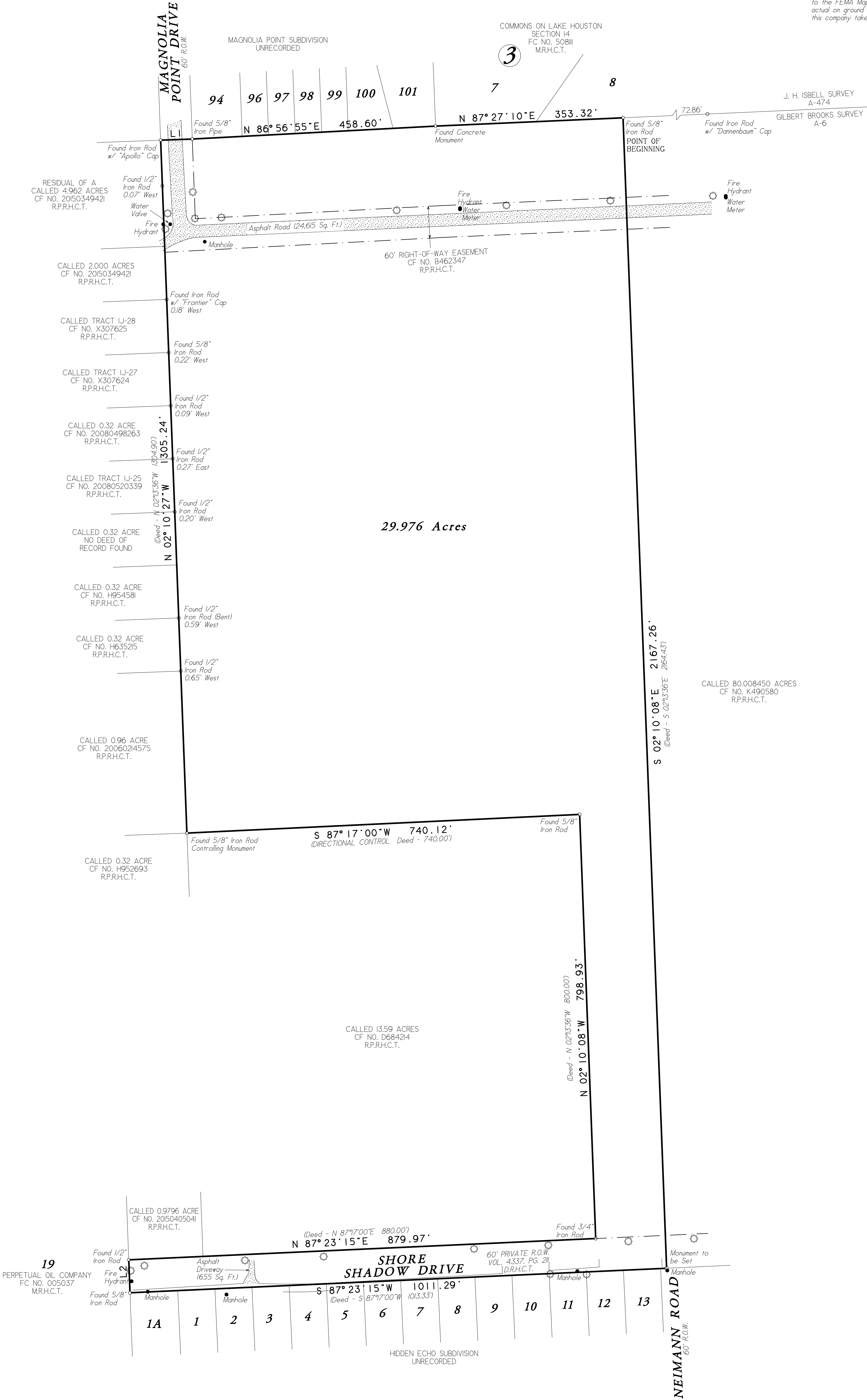
Notes:
1. Basis of bearings: on interior line of the subject property per the recorded deed.
2. Survey performed without the benefit of a title report and may be subject to easements and/or restrictions not shown.

Power Pole

This property lies within ZONE "X" as SCALED from FEMA Map Panel Number 48201C0340-L, dated June 18, 2007.

THIS MEANS THAT THE SUBJECT PROPERTY SCALES OUTSIDE THE 100 YEAR FLOOD PLAIN.

This determination is made strictly according to the FEMA Maps and does not reflect actual on ground flood conditions. Furthermore, this company takes no responsibility for such.

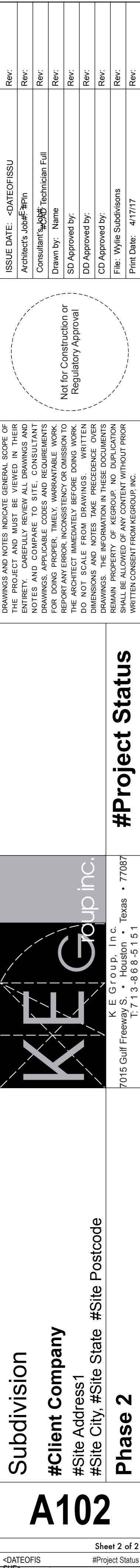


Being a 29.976 acre tract of land situated in the Gilbert Brooks Survey, Abstract Number 6, of Harris County, Texas, and being the same land called 30.0000 acres as described in deed recorded in Clerk's File Number 20090098150 of the Real Property Records of Harris County, Texas; said 29.976 acres being more particularly described by metes and bounds attached.

Date	November 9, 2016	GF No	n/a
Job No	16-0479	Scale	1" = 100' (24 x 36)
Address	832 Magnolia Point	Drawn By	RM
City, State	Huffman, Texas	Zip	77336
C & C Surveying, Inc.		Rev	0
7424 F.M. 1488, Suite A, Magnolia, Texas 77354			
Office: 281-259-4377 Metro: 281-356-5172			
Fax: 281-356-1935			
Email: onesurveyatatime@sbcglobal.net			



Certified To	Christina Lee
Client	Christina Lee
I HEREBY CERTIFY THIS SURVEY WAS MADE ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY B5, CONDITION III SURVEY, AND THAT THERE ARE NO DISCREPANCIES EXCEPT AS SHOWN.	
Steven L. Crews	RPLS # 4141





Application Number: 2017-1441

Plat Name: Ranch at Magnolia Point

Applicant: CSF Consulting LP

Date Submitted: 08/13/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Street Intersection Standards

Chapter 42 Section: 42-128

Chapter 42 Reference:

(a) Each class III plat and each general plan that shows local streets shall provide for internal circulation by meeting either of the following requirements: (1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1400 feet; or (2) One or more collector streets within the class III plat or general plan shall connect with another collector street or major thoroughfare at a minimum of two points.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict application of this Chapter causes an impractical development because it would create a street through the property which does not contribute in a significant manner to the flow of traffic in this area. The 1400 foot block length requirement cuts through the subject property in an east-west direction. This area is already served by Magnolia Point on the north side of the property and Shore Shadows Drive on the south. There is no existing dedicated right-of-way in the Perpetual Oil Company subdivision located to the west of proposed Ranch at Magnolia Point Subdivision that would continue a flow of traffic in the area. This area is a low traffic residential area located near a body of water to the west and the south of proposed Ranch at Magnolia Point which eliminates the need to connect to a major thoroughfare in those directions. In a north-south direction there is a section of dedicated right-of-way called Reba Lane approximately 150 feet to the east that would serve traffic flow in this direction. The logical plan for development to connect Magnolia Point and Shore Shadows would be to continue extending Reba Lane.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances are not a result of a hardship created or imposed by the applicant because theoretically development could continue if the variance were not granted. However, adherence to requirements of Chapter 42 would not be detrimental to the development or safety concerns of the area.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter will be preserved and maintained which is the safety of the general public and to maintain the continuity of the traffic flow.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare because it does not impact the traffic negatively by contributing to traffic congestion nor taxing the traffic flow by the increase of population created by the subdivision.

(5) Economic hardship is not the sole justification of the variance.

Even though adherence to the Chapter 42 requirements would cause a minimal hardship, development would still continue for this plat.



Application No: 2017-1441

Agenda Item: 127

PC Action Date: 08/24/2017

Plat Name: Ranch at Magnolia Point

Applicant: CSF Consulting LP

Staff Recommendation: Defer Chapter 42 planning standards

Chapter 42 Sections: 42-128

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

Street Intersection Standards;

Basis of Recommendation:

The site is located south of Kingwood Drive, east of FM 2100 and north of Atascocita Road.

The applicant is requesting a variance to address 1400' intersection spacing.

Staff's recommendation is to defer the plat to allow the applicant to provide revised information by noon next Wednesday.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

N/A

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

N/A

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

N/A

(3) The intent and general purposes of this chapter will be preserved and maintained;

N/A

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

N/A

(5) Economic hardship is not the sole justification of the variance.

N/A



Agenda Item: 128
Action Date: 08/24/2017
Plat Name: Retreat at Lakewood Forest partial replat no 1
Developer: SEAJ Finance, LLC
Applicant: Windrose
App No/Type: 2017-1504 C2R

Staff Recommendation:
 Grant the requested
 variance(s) and Approve
 the plat subject to the
 conditions listed

Total Acreage:	0.3614	Total Reserve Acreage:	0.3614
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Combination
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Faulkey Gully MUD
County	Zip	Key Map ©	City / ETJ
Harris	77377	328R	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

051. Tie plat boundary to the nearest intersection of public street rights-of-way.

059.1. Acreage in title and on plat must match at recordation.

073.1. Replat Legal Descriptions shall follow guidelines and/or examples.

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

115. Add Owners Certification of Restrictions note to face of replat or amending plat (when plat does not include residential lots): Further, the owners hereby certify that this replat or amending plat does not attempt to alter, amend, or remove any covenants or restrictions; we further certify that no portion of the area covered by the previous plat was limited by deed restrictions to residential use for not more than two (2) residential units per lot.

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

190.2. Add 'Martha L. Stein, Chair' as Chair in the Planning Commission certificate.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 128

Action Date: 08/24/2017

Plat Name: Retreat at Lakewood Forest partial replat no 1

Developer: SEAJ Finance, LLC

Applicant: Windrose

App No/Type: 2017-1504 C2R

Staff Recommendation:

Grant the requested variance(s) and Approve the plat subject to the conditions listed

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: Approved

City Engineer: DETENTION IS REQUIRED

Harris Engineer: This plat is contingent upon review and approval of the Harris County Engineering Department prior to recordation.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Plans may need to show acceptable ingress/egress to North Eldridge Parkway. Left turn lane may be needed. County has no objections to variance

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM:128

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Retreat at Lakewood Forest partial replat no 1

Applicant: Windrose



D –Variances

Site Location

Houston Planning Commission

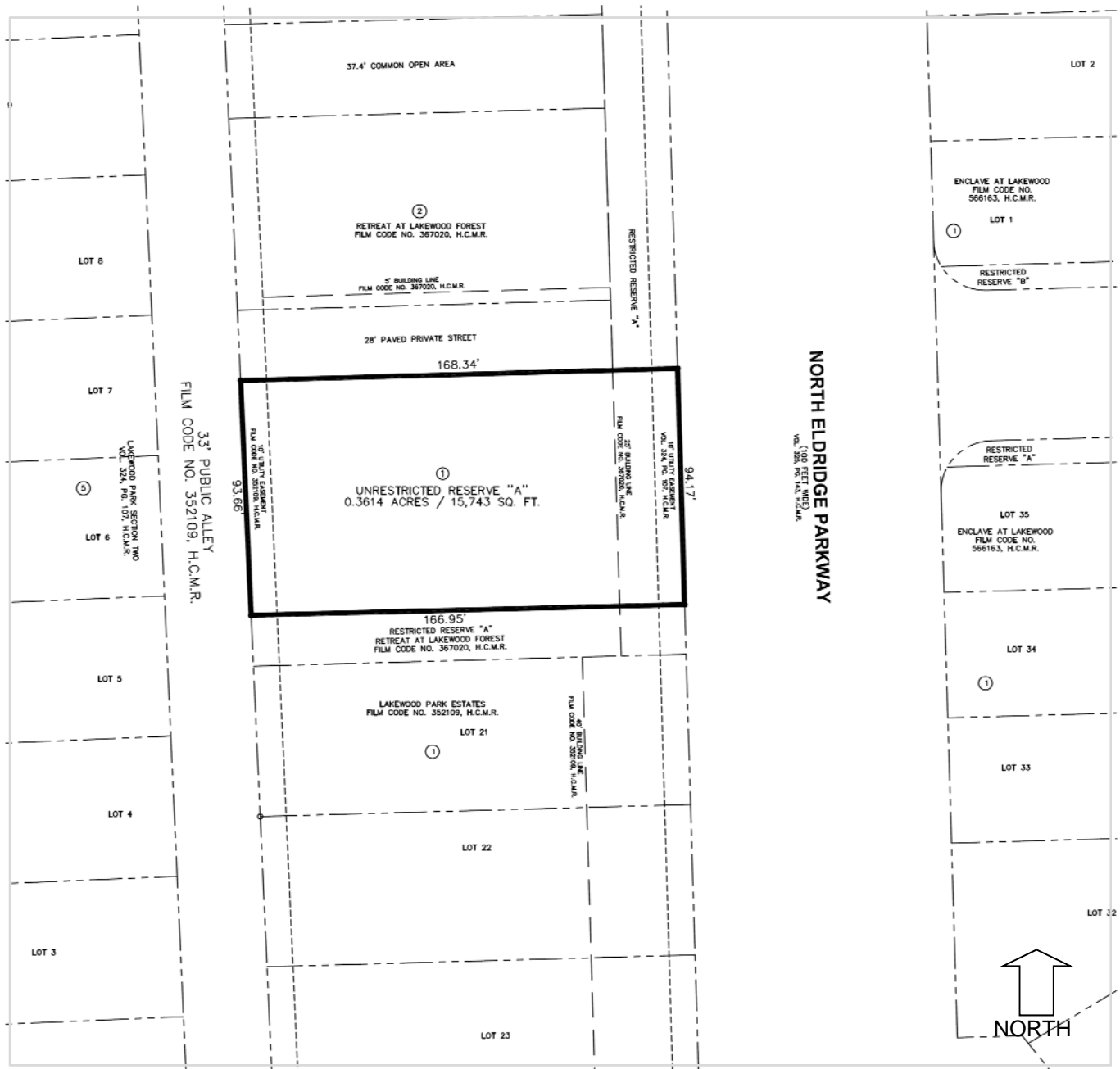
ITEM:128

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Retreat at Lakewood Forest partial replat no 1

Applicant: Windrose



D - Variances

Subdivision

Houston Planning Commission

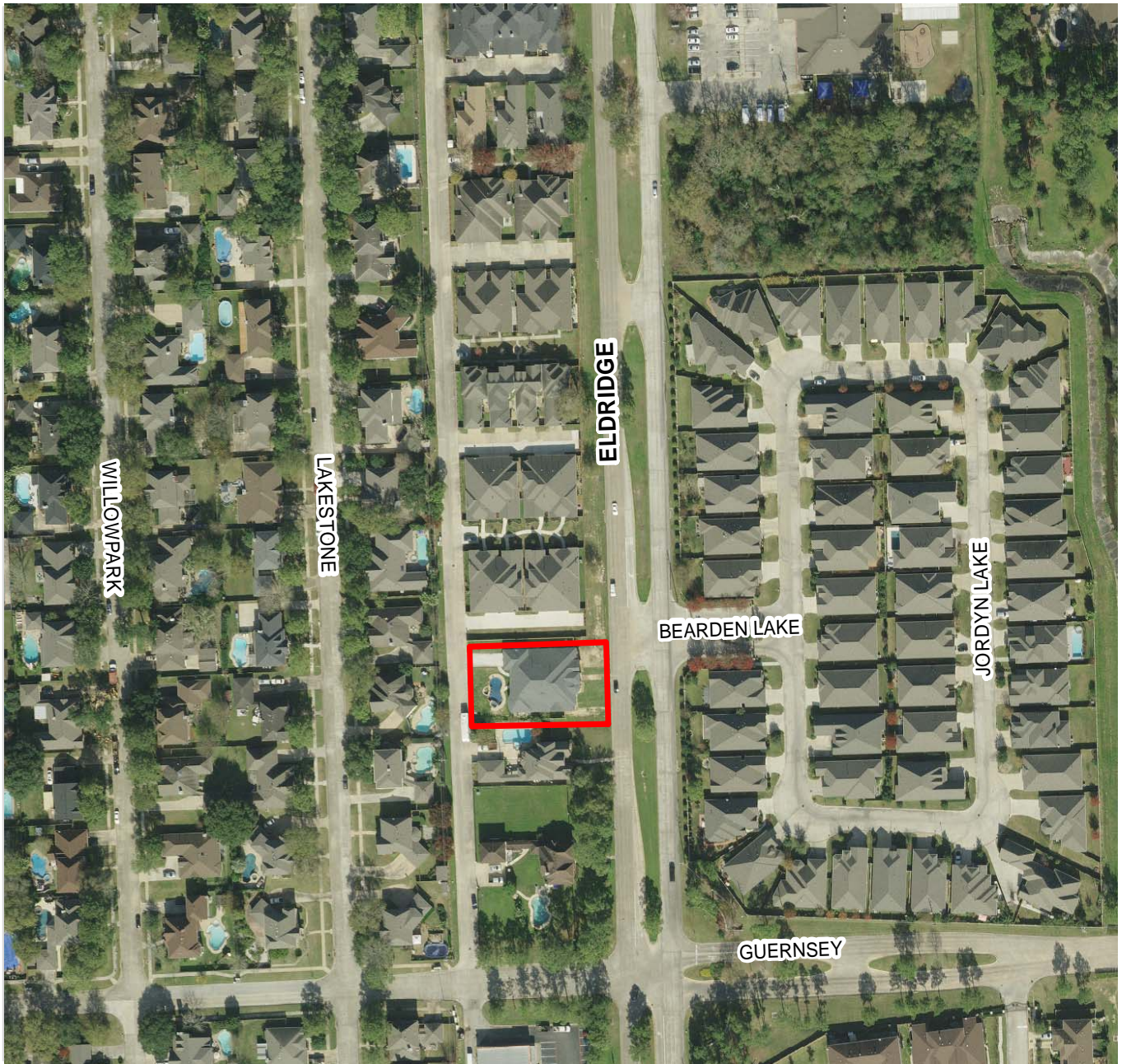
ITEM:128

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Retreat at Lakewood Forest partial replat no 1

Applicant: Windrose



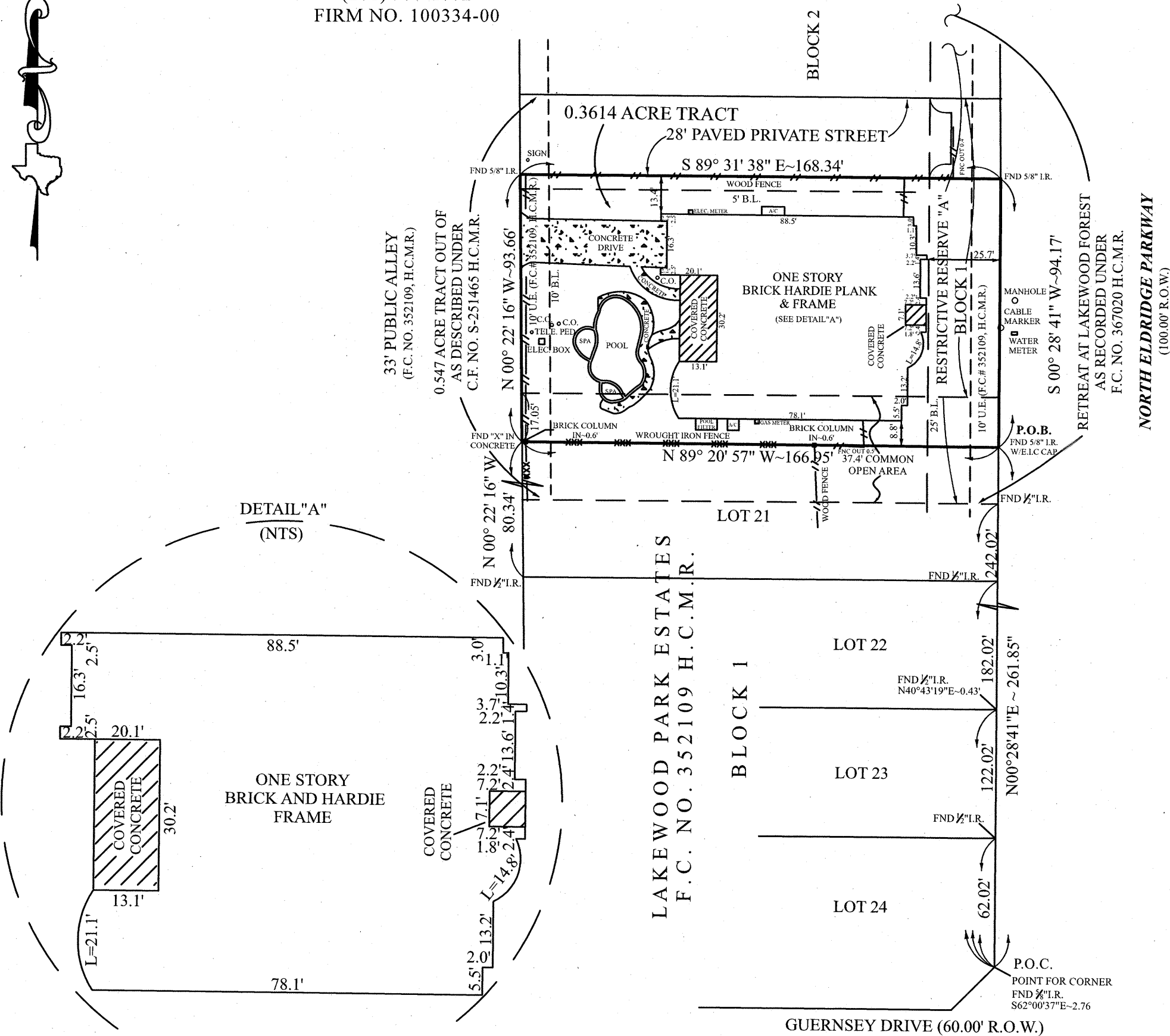
D –Variances

Aerial



SURVEYING COMPANY

12345 JONES ROAD
SUITE 270
HOUSTON, TX 77070
(281) 955-2772
FIRM NO. 100334-00



SUBJECT TO :

- © 2015 Everything In Christ Services, Inc., All Rights Reserved.
- Survey is valid only if print has original Seal and signature of surveyor on it. Declaration is made to original purchaser of this survey. It is not transferable to additional institutions or subsequent owners.
- Restrictive covenants recorded under Film Code No. 367020, of the Map Records of Harris County, Texas and filed for record under Harris County Clerk's File No(s). K-199264, R-377811, S-251463, Y-445109, Y-519065, R-579400, N-0860245, 20120594186, 20130462788 and 20150391180.
- Fences as shown.
- See corresponding field notes.

* 0.3614 ACRE TRACT OUT OF CALL 0.547 ACRE TRACT IN BLOCK 1, A PORTION OF RESTRICTED RESERVE "A", AND A PORTION OF THE COMMON OPEN SPACE AREA IN THE RETREAT AT LAKEWOOD FOREST, F.C.# 367020, H.C.M.R.

This Property Lies in Zone "X"
Outside the 100 Year Flood Plain
Per Graphic Scaling according to
Community Panel No. 4802870240M
having an effective date 10-16-2013.
Job No. 15-857-12
Scale 1"=40'
Date 12-30-2015
Drawn By: NS & LH
Revised: 12-30-2015 to Add Address Number

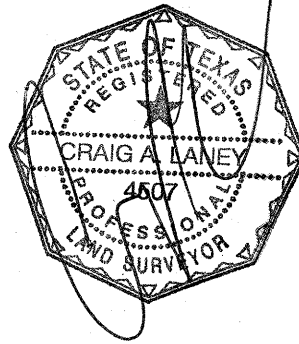
Purchaser NORMA BARKER
Address 16217 NORTH ELDRIDGE PARKWAY
Lot * , Block * , Section *
Survey * , A *
Area 0.3614 ACRE TRACT
Subdivision RETREAT AT LAKEWOOD FOREST
Film Code No. 367020 MAP Records,
HARRIS County, Texas

I, Craig A. Laney, a Registered Professional Land Surveyor in the State of Texas, RPLS No. 4507, do hereby certify to STARTEX TITLE COMPANY and Purchaser(s) that based upon information provided by said Title Company under G.F. No. 0715757887 that this survey was this day made under my supervision on the ground of the above described property and the above plat or drawing reflects the findings on the ground of this property at this time. I have shown or noted all easements reflected in said Title Company's report. This Survey conforms to the minimum standards of practice as approved by the Texas Board of Professional Land Surveying. Effective February, 2014. Last revised 02-2014.

The basis of bearing is S 00° 28' 41" W along the West right-of-way line of North Eldridge Parkway per record plat.

A Division of Everything in Christ Services, Inc.

Seal





Application Number: 2017-1504

Plat Name: Retreat at Lakewood Forest partial replat no 1

Applicant: Windrose

Date Submitted: 08/14/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

The applicant requests a variance to replat an open space reserve into an unrestricted reserve.

Chapter 42 Section: 42-193

Chapter 42 Reference:

Sec. 42-193(c)(1) A plat restriction limiting the use of property to residential or single-family residential use may be amended to permit the use of that property only for landscape, park, recreation, drainage, or open space uses.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The subject property is 0.3614 acres located on the west side of Eldridge Parkway, approximately 1,800 feet south of Spring Cypress Road and is all of Block 1 and a portion of Reserve "A" of existing plat, situated in the H. Schouten Survey, Abstract No. 685, in the ETJ of the City of Houston, within Harris County. The builder purchased the entire Block 1, and a portion of the open space reserve from the original developer with the expressed intent of reconfiguring it into a single unit development intended for an Assisted Living Facility. The southern remainder of the open space reserve adjacent to the subject property had previously been sold and developed by the neighbor to the south. The City's ordinance currently denies replatting of open space reserves into unrestricted reserves. However, as the open space reserve in question is not required to meet Chapter 42 requirements and is not prohibited from conversion into an unrestricted reserve by privately held deed restrictions, the variance is necessary and justified in order to preserve the applicant's right to reasonable use of the land. The applicant purchased the property in its existing form, along with the existing structure from the builder in June of 2017 and intends to use the site as an Assisted Living Facility. The property was already fully developed at the time of purchase. The portion of the open space reserve in question has not been previously used as functional open space for the neighborhood and has never been improved. The open space reserve area was already largely inaccessible due to the sale and development of the southern remainder of the reserve to an adjacent property owner who placed a pool and fence within the reserve denying public access to the area. The remainder of the development has been built as originally intended and has sufficient open space to comply with Chapter 42 requirements. The redevelopment of the applicant's portion of Reserve "A" will not be detrimental to the overall feel or development of the surrounding area.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

When the applicant purchased the property, it was already fully developed. The circumstances supporting the granting of the variance are a result of a technicality in the ordinance that inappropriately restricts the ability of a property owner to replat open space reserves into alternative uses. The existing development does not violate any separately filed deed restrictions and abides by all other provisions of the City's Code of Ordinances.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The applicant's property complies with all other provisions of Chapter 42 and Harris County Development criteria. The re-platting of this portion of Reserve "A" will not create a non-compliance issue for the rest of the development. Even with the replatting of this portion of the reserve, the remaining development will have more than adequate open space to meet development criteria and for the use and enjoyment of the residents. Because the applicant's request is

reasonable, compatible with surrounding development, and does not violate any separately filed deed restrictions, the existing development meets the intent of the City's Subdivision Regulations.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety, or welfare. The property in question was previously unimproved and unmaintained for over 20 years. The property has been recently updated and developed as a single unit, leaving ample open space to service the remaining development. The open space reserve in this area had already been compromised by previous sales and developments to the south. The open space reserve in this area was never improved, falls outside of the common fencing of the overall development, and was largely inaccessible due to the lack of sidewalks along the west side of Eldridge to provide access to said reserve. Residents in the development have not had any detrimental impact due to the development of the applicant's property. The applicant has reached out to the residents via the homeowners association and has not received any negative feedback about the development or the proposed replat.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of this variance. The property was previously developed prior to current ownership and is an existing condition that was not created by the applicant. The denial of the variance will deny the applicant of reasonable use of the land and is certainly an undue hardship.



Application No: 2017-1504

Agenda Item: 128

PC Action Date: 08/24/2017

Plat Name: Retreat at Lakewood Forest partial replat no 1

Applicant: Windrose

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 42-193

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

The applicant requests a variance to replat an open space reserve into an unrestricted reserve.;

Basis of Recommendation:

The site is located in Harris County, west of N Eldridge Parkway and south of Spring Cypress Road.

The applicant is requesting a variance to re-plat a portion of a common open area into an unrestricted reserve. Staff is in support of the request.

The subject site is part of Retreat at Lakewood Forest subdivision, which was platted in 1995. Lakewood Forest subdivision created 11 blocks for residential uses with common open area. The common open area serves more as a landscape open space with no amenities.

The applicant is proposing to re-plat all of Block 1 and a portion of common open area into one reserve and use the existing residential structure for an assisted living facility. Per Sec 42-193, a common open area cannot be re-platted into an unrestricted reserve. Staff coordinated with legal department and there are no separately filed deed restrictions that prevents the change of use from an open space to an unrestricted reserve.

The current owner purchased the subject site on its current configuration with an existing house. The applicant did not create this condition. The subject site includes all of Block 1 and the northern portion of the common open area. The remainder southern portion of the common open area is currently owned by a different individual as part of his/her private property with a swimming pool.

The overall recorded subdivision provides approximately 62,993 sq. ft. of common open area, which was not required by the ordinance at that time. After the re-plat of the subject site, there will be about 54,786 sq. ft. of remaining open space, which would not change the original plan of the subdivision.

Harris County Engineer Office has no objections to the variance.

Staff's recommendation is to grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The subject site is part of Retreat at Lakewood Forest subdivision, which was platted in 1995. Lakewood Forest subdivision created 11 blocks for residential uses with common open area. The common open area serves as a landscape open space with no amenities. The applicant is proposing to re-plat all of Block 1 and a portion of common open area into one reserve and use the existing residential structure for an assisted living facility. Per Sec 42-193, a

common open area cannot be re-platted into an unrestricted reserve. Staff coordinated with legal department and there are no separately filed deed restrictions that prevents the change of use from an open space to an unrestricted reserve.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The current owner purchased the subject site on its current configuration with an existing house. The applicant did not create this condition. The subject site includes all of Block 1 and the northern portion of the common open area. The remainder southern portion of the common open area is currently owned by a different individual as part of his/her private property with a swimming pool.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The recorded subdivision provides approximately 62,993 sq. ft. of common open area, which was not required by the ordinance at that time. After the re-plat of the subject site, there will be about 54,786 sq. ft. of remaining open space, which would not change the original plan of the subdivision.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The recorded subdivision provides approximately 62,993 sq. ft. of common open area, which was not required by the ordinance at that time. After the re-plat of the subject site, there will be about 54,786 sq. ft. of remaining open space, which would not change the original plan of the subdivision.

(5) Economic hardship is not the sole justification of the variance.

Existing physical conditions are the justifications for granting the requested variance.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 129

Action Date: 08/24/2017

Plat Name: Sheldon ISD High School GP

Developer: Sheldon ISD

Applicant: Pacheco Koch Consulting Engineers, Inc.

App No/Type: 2017-1499 GP

Staff Recommendation:

Defer for further study and review

Total Acreage:	365.8000	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Type 2 PAE
Water Type:	City	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77044	416V	ETJ

Conditions and Requirements for Approval

045. The alignment and width of all major thoroughfares within or adjacent to the proposed General Plan shall conform to the requirements of the most recent Major Thoroughfare and Freeway Plan. (24)

046. General Plan approval is for street patterns as shown on the plat only. (24)

047. Make minor corrections and additions as indicated on the marked file copy.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 129

Action Date: 08/24/2017

Plat Name: Sheldon ISD High School GP

Developer: Sheldon ISD

Applicant: Pacheco Koch Consulting Engineers, Inc.

App No/Type: 2017-1499 GP

Staff Recommendation:

Defer for further study and review

PWE Utility Analysis: Approved

City Engineer: DETENTION IS PROVIDED ON GP

Harris Engineer: This general plat is contingent upon review and approval of the Harris County Engineering Department prior to recording section plats

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

At south boundary, show arrows at Evergreen Villas stub streets per approved GP development of more than 150 lots in Section 3 as suggested in variance request will require at least two public street access points

Garrett Road is mislabeled as C E King Parkway

Variance statement "The [TIA] recommendations include adding turn lanes to CE King and Garrett Roads" is inconsistent with the lack of access to Garrett Road shown on the GP

Variance makes comparisons to block lengths at other schools but neglects to state the percentage or distance of the requested variance versus Chapter 42 criteria.

Deferral recommended for adequate time to review the TIA submitted 8/15/17

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

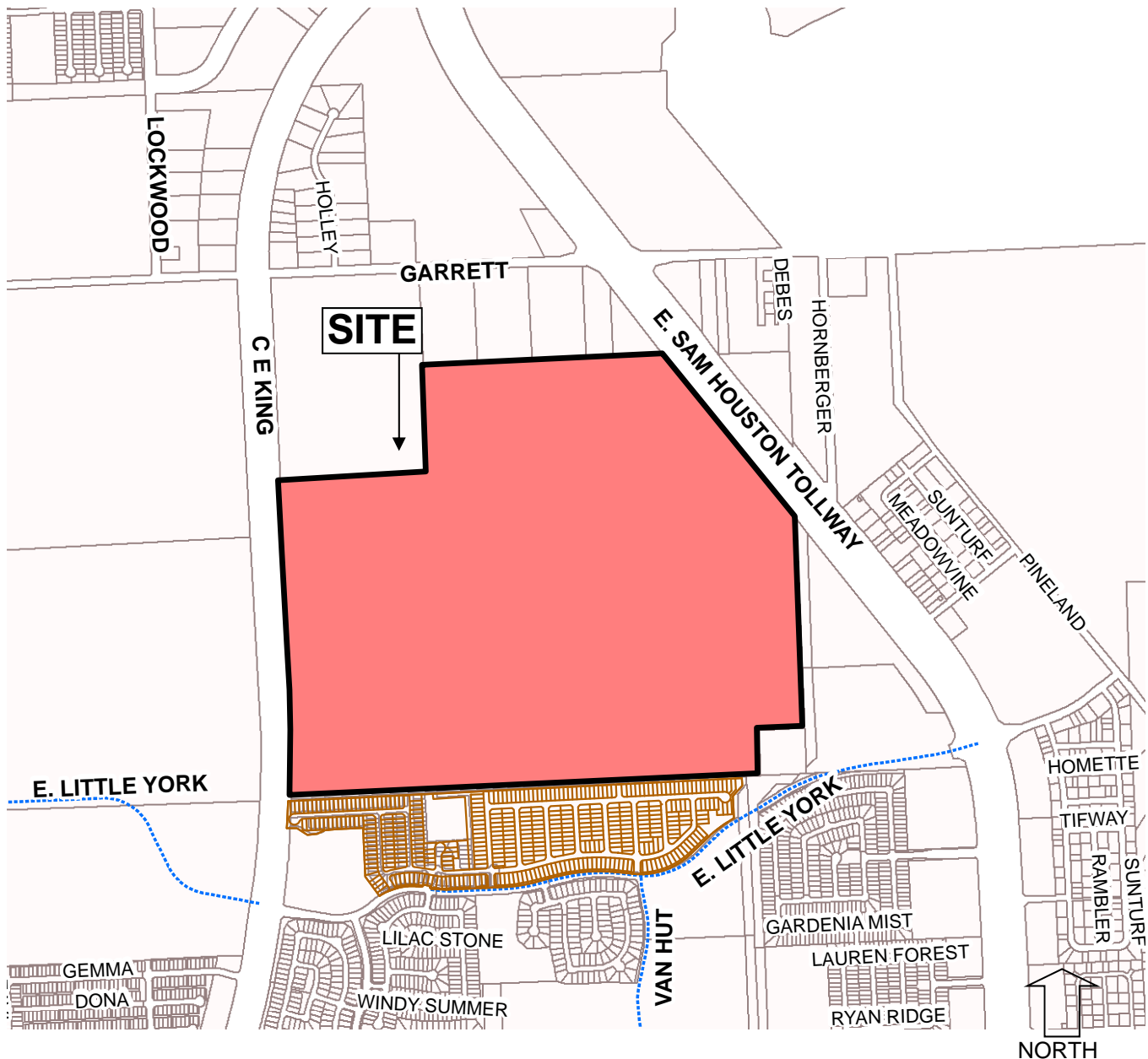
ITEM:129

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Sheldon ISD High School GP

Applicant: Pacheco Koch Consulting Engineers, Inc.



D –Variances

Site Location

Subdivision

Houston Planning Commission

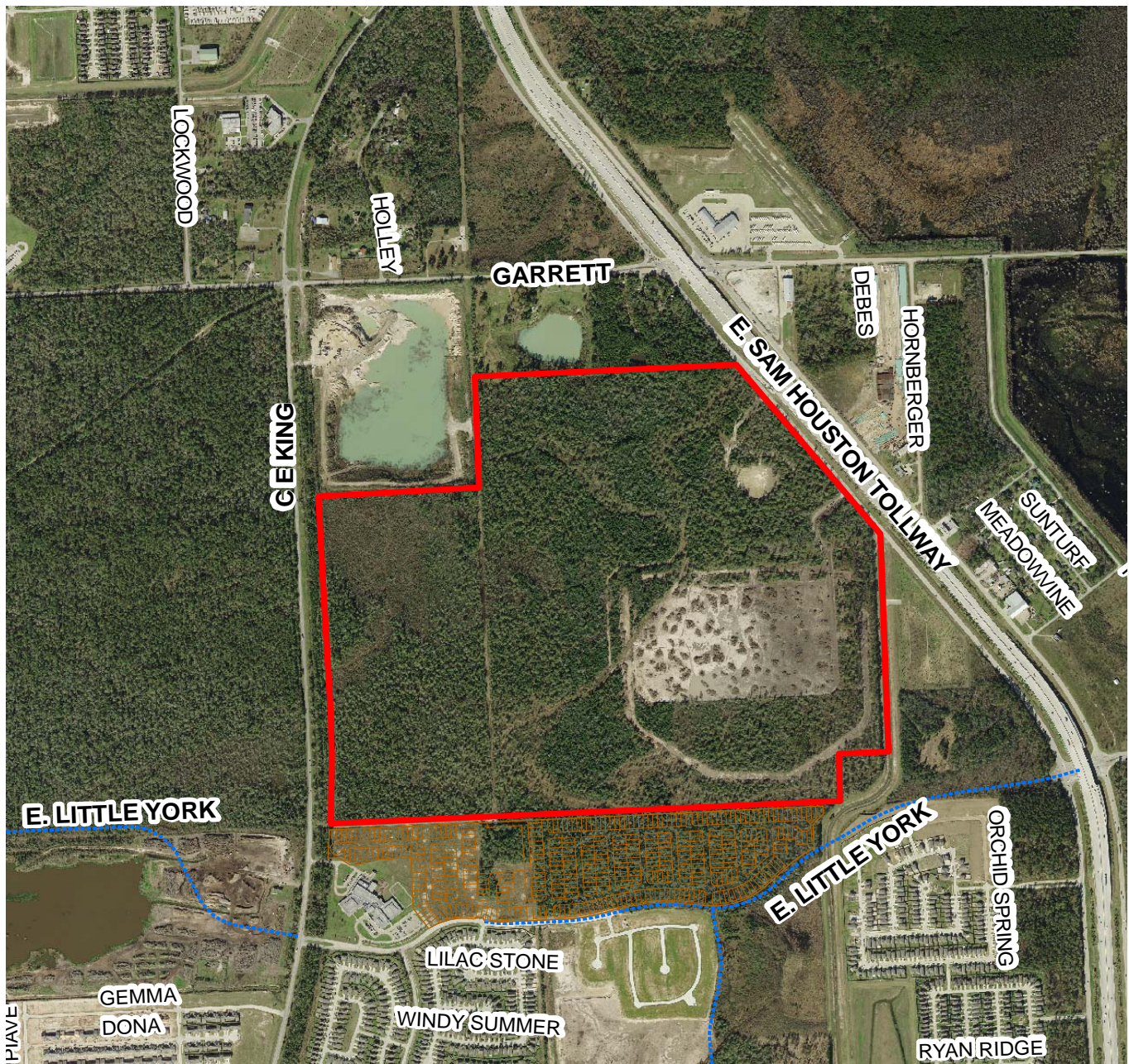
ITEM:129

Planning and Development Department

Meeting Date: 08/24/2017

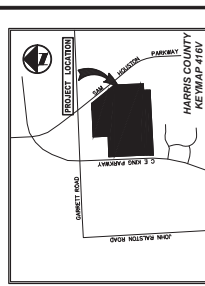
Subdivision Name: Sheldon ISD High School GP

Applicant: Pacheco Koch Consulting Engineers, Inc.



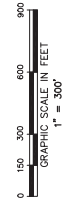
D –Variances

Aerial

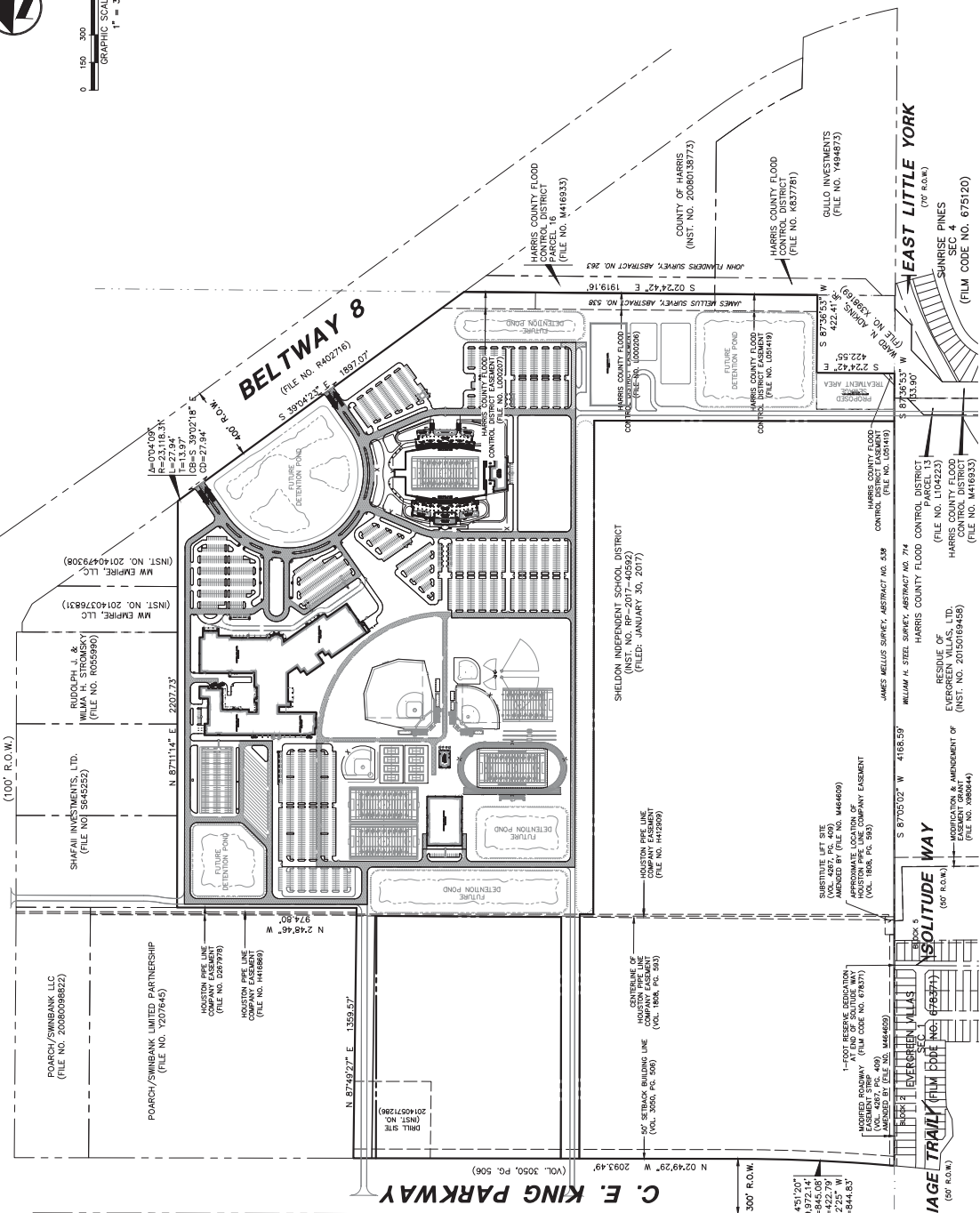


VICINITY MAP
(NOT TO SCALE)

PROPERTY INGRESS/EGRESS



GARRETT ROAD
(100' R.O.W.)



SITE PLAN EXHIBIT
SHELDON ISD HIGH SCHOOL
365.8 ACRES OUT OF THE
JAMES MELLUS SURVEY, ABSTRACT NO. 538,
HARRIS COUNTY, TEXAS

DATE	SCALE	CONVEYED BY	JOB NUMBER
JUNE 2017	1"=300'		3058-16-480

OWNER:
SHELDON INDEPENDENT SCHOOL DISTRICT
20445 STATE HWY 249, SUITE 300
HOUSTON, TEXAS 77055
TX REG. SURVEYING FIRM LS-10089003
HOUSTON, TX 77044-2009

CONTACT: KING R. DAVIS

PREPARED BY: Pacheco Koeh

DATE: 06/01/2017

SCALE: 1"=300'

CONVEYED BY: [Signature]

JOB NUMBER: 3058-16-480

DATE: 06/01/2017

SCALE: 1"=300'

CONVEYED BY: [Signature]

JOB NUMBER: 3058-16-480

DATE: 06/01/2017

SCALE: 1"=300'

CONVEYED BY: [Signature]

JOB NUMBER: 3058-16-480



Application Number: 2017-1499

Plat Name: Sheldon ISD High School GP

Applicant: Pacheco Koch Consulting Engineers, Inc.

Date Submitted: 08/14/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To exceed intersection spacing along the GP boundary by not providing east/west or north/south streets.

Chapter 42 Section: 42-127;134

Chapter 42 Reference:

(a) A major thoroughfare shall intersect with a public local street, a collector street or another major thoroughfare at least every 2,600 feet; (a) A public street that terminates at the boundary of a plat previously approved by the commission without means of a vehicular turnaround shall be extended into the adjacent property at the time the adjacent property is platted unless: (1) The existing stub street is a local street and is not designated as a collector or major thoroughfare on the major thoroughfare and freeway plan; (2) The existing stub street is not shown as a through street on a current general plan approved by the commission for the subdivision in which the existing street is located or the subdivision that is the subject of the application; (3) The existing stub street is only one lot in depth; (4) The proposed subdivision will not extend residential development; and (5) The extension of the street is not required to meet the intersection spacing requirements of this chapter. If each of these criteria is met, the stub street is not required to be extended.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The requirement to dedicate right of way through the site, and ultimately have public roadways dividing the property, would prevent the District from creating a contiguous campus and learning environment for a new High School, Stadium, Sports Complex, Elementary School and associated site improvements. The right of way requirement puts an undue burden on the District and the property by requiring public streets through the property. Unlike other districts, the majority of the High School students in the District ride the bus, a total of 80% of the High School students are eligible to take the bus.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

N/A

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The desire of Sheldon ISD to develop a large contiguous Campus with multiple buildings; and to create it to assure the safety of the students and the security of the property as the utmost requirement is not out of the ordinary for any School District. The circumstances supporting this variance request are not the result of a hardship created or imposed by the applicant.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Based on conversations with Planning staff members, this requirement is to allow traffic to flow from the existing subdivision (and corresponding stub streets), access to Beltway 8. During peak hours on the school's property, this could be achieved without the need for public right of way dedications and ultimately public roadways. One of the District's priorities is the safety of the school site during operating hours. With a public right of way and street, the District's ability to control traffic through their property is limited to special events only. Per the previously submitted General Plan document, the proposed Section 3 could be a future single-family subdivision which would have public right of ways and roads through it to connect to the existing subdivision to the south (Evergreen Villas). The District is

also in negotiations with the Evergreen Villas developer to reconfigure his lot layout near the south east of the District's property to allow for a private drive on to the campus, thus facilitating a point of entry during operating hours.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Student safety and those utilizing the campus during operating hours is the intent of this request. Traffic Engineers, Inc., a licensed professional engineering firm, has prepared a Traffic Impact Analysis (TIA) which includes recommendations and planning for peak use hours (drop off, pick up, football games). The TIA that has been prepared does not include recommendations for dedicating public right of ways through the property. The recommendations include adding turn lanes to CE King and Garrett Roads, much like the existing single-family subdivision to the south have done. An example near a school site of where roads stretch longer than 2,600 feet, between thoroughfares, is along West Lake Houston Parkway between Lockwood and Weckford, near the Humble ISD Summer Creek High School. The stretch along West Lake Houston Parkway exceeds the 2,600 foot measurement based on the measure tool in GIMS. Another example is in Klein ISD at the corner of Spring Cypress Road and Cutten Road where the new Klein Cain High School is located. The Klein Cain frontage along Cutten is approximately 2,800 feet.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification for this request.



Application No: 2017-1499

Agenda Item: 129

PC Action Date: 08/24/2017

Plat Name: Sheldon ISD High School GP

Applicant: Pacheco Koch Consulting Engineers, Inc.

Staff Recommendation: [Defer for further study and review](#)

Chapter 42 Sections: [42-127](#); [134](#)

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

[To exceed intersection spacing along the GP boundary by not providing east/west or north/south streets. ;](#)

Basis of Recommendation:

[The site is located within the Harris County ETJ along the East Sam Houston Tollway between Garrett and East Little York.](#)

[The applicant proposes to create a general plan for a site that includes a proposed school and unspecified future development. The applicant has requested variances to not extend three stub streets along the southern GP boundary and to exceed minimum intersection spacing requirements by not dedicating any public streets within the 365 acre site. Staff has consulted with the Harris County Engineer's office and is in the process of setting up a meeting with the county and the applicant to discuss this proposal further.](#)

[Staff recommends deferring this item for further study and review.](#)

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

[NA](#)

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

[NA](#)

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

[NA](#)

(3) The intent and general purposes of this chapter will be preserved and maintained;

[NA](#)

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

[NA](#)

(5) Economic hardship is not the sole justification of the variance.

[NA](#)



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 130
Action Date: 08/24/2017
Plat Name: Somerset Green Sec 7
Developer: Development Houston In Town, L.P.
Applicant: Jones|Carter - Woodlands Office
App No/Type: 2017-1448 C3R

Staff Recommendation:
 Grant the requested
 variance(s) and Approve
 the plat subject to the
 conditions listed

Total Acreage:	6.5700	Total Reserve Acreage:	0.1900
Number of Lots:	89	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Type 2 PAE
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77055	492A	City

Conditions and Requirements for Approval

- 047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
- 063. All appropriate engineering and surveying data shall be shown. (42 & 44)
- 064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project. When applying please attach a copy of the propose re-plat to the WCR application.
 (Low or high impact process)

Appointments may be scheduled using the Online Queuing Service

Submit application online at houstonpermittingcenter.org

City Engineer: IF THE F.H. ARE PRIVATE, IT NEED 15'X25' W.M.E. FOR PRIVATE FIRE LINE USE. IF THE F.H. AND FIRE LINE ARE PUBLIC, IT NEED 10'X10' F.H.E. AND 20' W.L.E., AND NEED A W.M.E. DETENTION IS REQUIRED.

PWE Traffic: Sufficient on-site parking is provided.

Parks and Recreation: To be corrected on the general notes on face of plat: The then-current fee in lieu of dedication shall be applied to this number (89 units) of dwelling units.



PLANNING &
DEVELOPMENT
DEPARTMENT

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 130

Action Date: 08/24/2017

Plat Name: Somerset Green Sec 7

Developer: Development Houston In Town, L.P.

Applicant: Jones|Carter - Woodlands Office

App No/Type: 2017-1448 C3R

Staff Recommendation:

Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM:130

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Somerset Green Sec 7

Applicant: Jones|Carter - Woodlands Office



D –Variances

Site Location

Houston Planning Commission

ITEM: 130

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Somerset Green Sec 7

Applicant: Jones|Carter - Woodlands Office



D – Variances

Subdivision

Houston Planning Commission

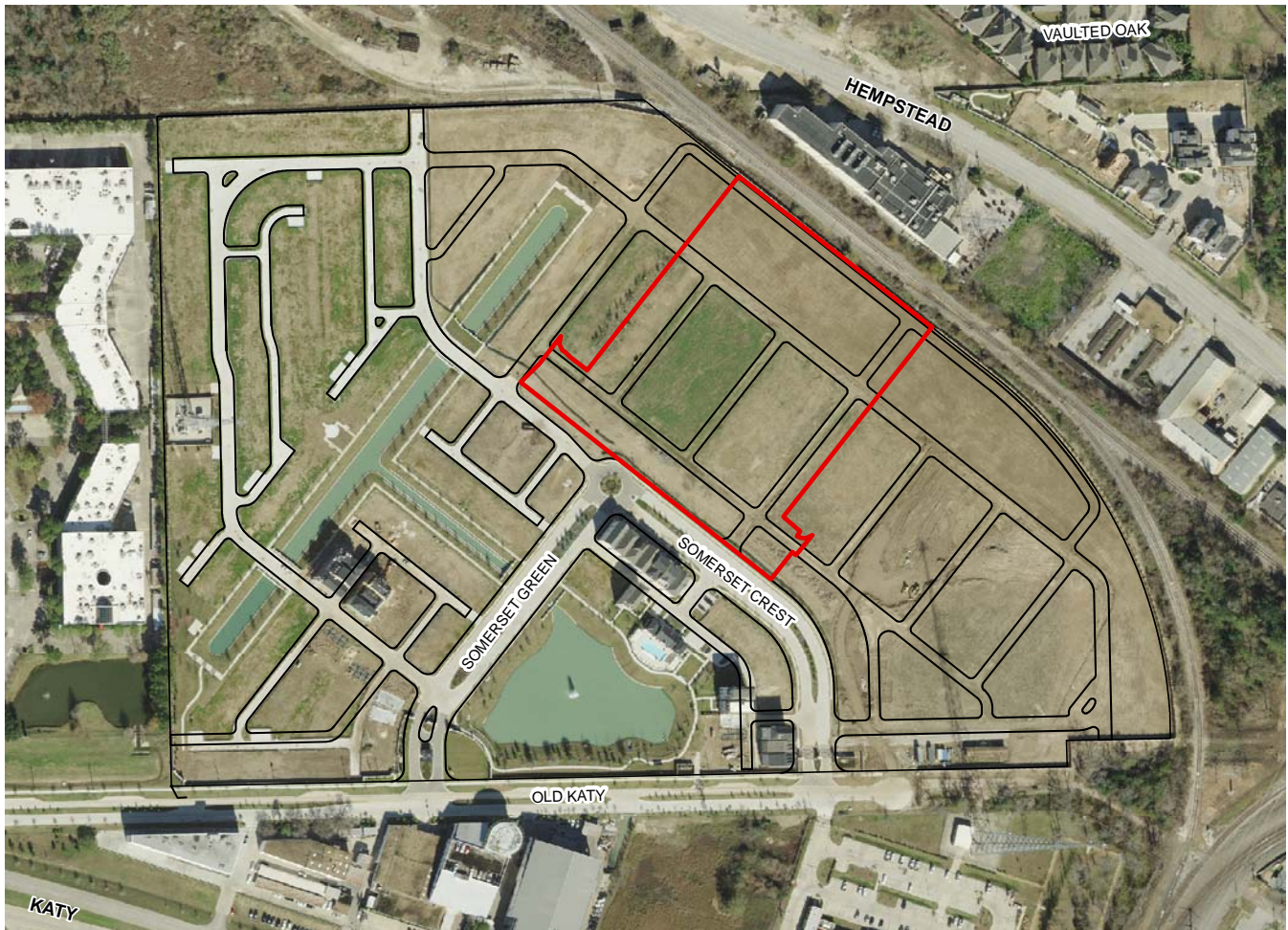
ITEM:130

Planning and Development Department

Meeting Date: 08/24/2017

Subdivision Name: Somerset Green Sec 7

Applicant: Jones|Carter - Woodlands Office



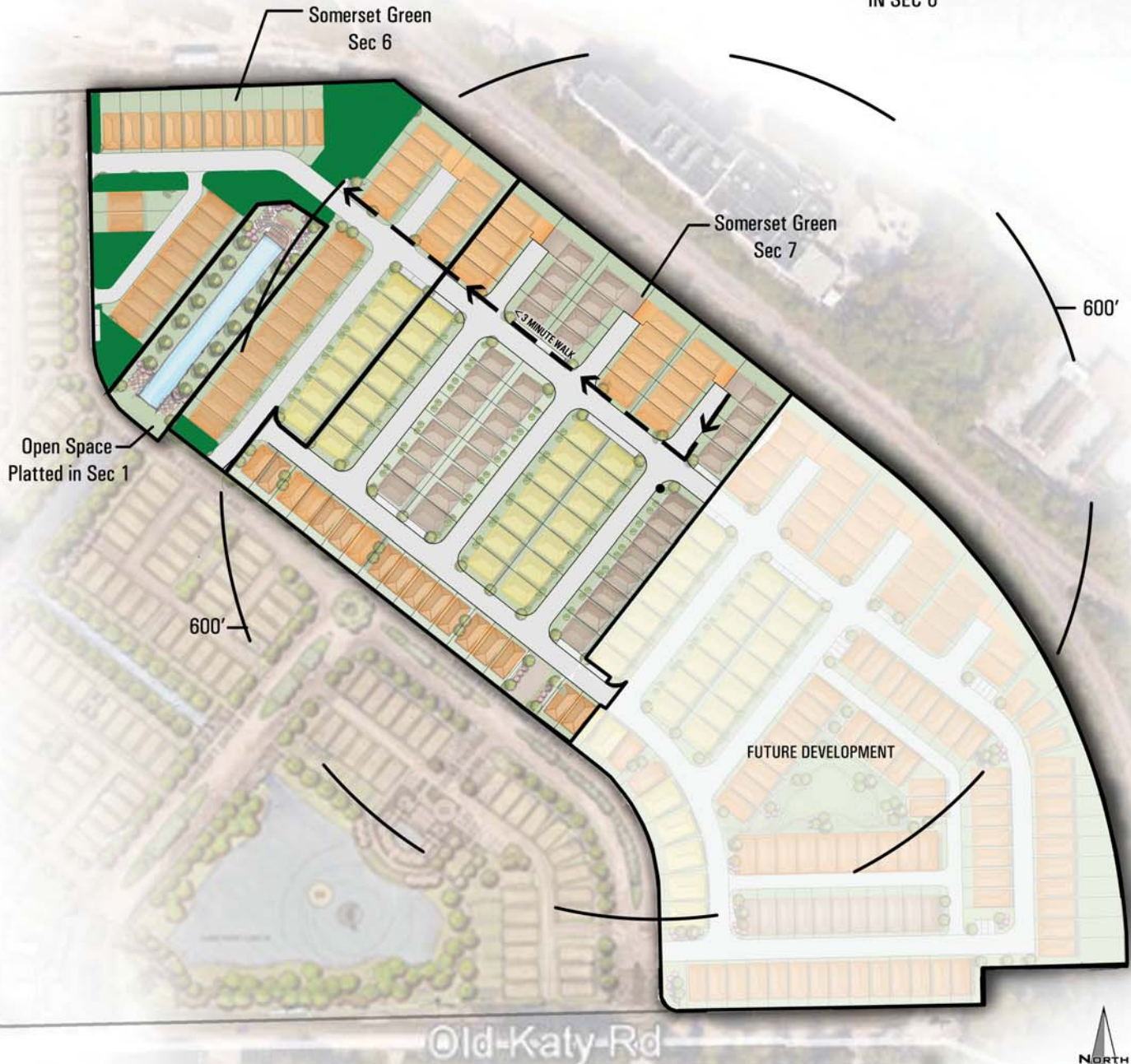
D –Variances

Aerial



SOMERSET GREEN

INDICATES COS PLATTED
IN SEC 6



SCALE: 1"=50'
DATE: 8-14-17

THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.



JONES | CARTER

COS Exhibit



Application Number: 2017-1448

Plat Name: Somerset Green Sec 7

Applicant: Jones|Carter - Woodlands Office

Date Submitted: 08/14/2017

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow compensating open space in Section 6 to satisfy the compensating open space requirement for this section.

Chapter 42 Section: 182

Chapter 42 Reference:

A subdivision plat may contain a lot of less than minimum lot size required if compensating open space is provided within the boundaries of the subdivision plat.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This section of Somerset Green is the 7th and is a new phase of larger, front loading lots. The building pads on these lots will be set back approximately 14' from the P.A.E. to continue the unique and pleasant streetscape established in the first phase of this development with the rear-load lots. Each lot will have private open space in the front yards and will not be more than 600', less than a 3 minute walk, from the designated compensating open space in Section 6 which is more centrally located adjacent to the detention drainage reserves. Unique to most inner-city developments, these lots will have pedestrian walkways along the P.A.E.s which will connect each lot to the compensating open space in Section 6 and all other sections of this development.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

This site has a very shallow outfall drainage which results in a larger than normal area needed for detention which lends itself to the functional, attractive open space which the compensating open space is adjacent to and connects to. This creates a more cohesive open space amenity for the development.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent is to insure adequate compensating open space for lots within each section. The compensating open space for these lots is less than 600' away – less than a 3 minute walk, and will be easily accessible with the connection of pedestrian walkways.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The public will not be negatively impacted by this request, each lot will have adequate access to compensating open space reserves and amenities.

(5) Economic hardship is not the sole justification of the variance.

The justification for the variance is the existing character of the neighborhood and the need to create a pleasing environment for residents.



Application No: 2017-1347

Agenda Item: 131

PC Action Date: 08/24/2017

Plat Name: Wu Eunice Homes

Applicant: RSG Engineering

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 150

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To reduce the 25' building line requirement on a major thoroughfare to 10' Building line ;

Basis of Recommendation:

The site is located along Eunice Street, north of North Street and west of the Interstate 45 Corridor.

The purpose of the replat is to create two lots along a shared driveway.

The applicant is seeking a variance to plat a 10' building line along the rear of the subject tract instead of the 25' building line required along the adjacent I-45 ROW.

Staff is in support of this request.

The site is located along Eunice Street just west of Interstate 45. The tract originally only featured frontage along Eunice, but now faces both this street and I 45 since the rear portion of the tract was taken for the freeway.

The tract is currently separated from the below-grade paved section of the freeway by distance 80'. The proposed widening of I 45 will reduce the distance from the tract by approximately 40', but will still be separated by the difference in grade. Currently, no ROW is proposed to be acquired from the tract to accommodate the widening. Granting the variance is consistent with the intent of Chapter 42 as the proposed structures will be buffered from the freeway by distance and difference in grade.

In addition, the applicant's use of a shared driveway, as opposed to two front loading garages, will result in a safer pedestrian realm due to less auto-pedestrian conflicts. If this variance is not granted, the applicant could submit a replat with two front loading garages without having to request a variance. Granting this variance represents sound public policy as it is consistent with the Planning Department's efforts to improve pedestrian activity within the city. Staff recommends granting the variance and approving the plat per the cpc 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

NA

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The applicant's use of a shared driveway, as opposed to two front loading garages, will result in a safer pedestrian realm due to less auto-pedestrian conflicts. If this variance is not granted, the applicant could submit a replat with two front loading garages without having to request a variance. Granting this variance represents sound public policy as it is consistent with the Planning Department's efforts to improve pedestrian activity within the city.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances for granting the variance are the distance and grade separation from the paved portion of the freeway and that a shared driveway would be a more appropriate option for accommodating pedestrians.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The tract is currently separated from the below-grade paved section of the freeway by distance 80'. The proposed widening of 45 will reduce the distance from the tract by approximately 50%, but will still be separated by the difference in grade. Currently, no ROW is proposed to be taken from the tract to accommodate the widening. Granting the variance is consistent with the intent of Chapter 42 as the proposed structures will be buffered from the freeway by distance and difference in grade.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Public health, safety, or welfare will not be negatively affected by allowing a 10' building line along the rear of the property.

(5) Economic hardship is not the sole justification of the variance.

Granting this variance is justified by the distance and grade separation between the proposed structures and fact that a shared driveway would be more desirable than two lots with direct access to the street.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 132
Action Date: 08/24/2017
Original Action Date: 09/15/2016

Staff Recommendation:
Approve

Plat Name: Greystone Commerce Park
Developer: The Pinnell Group, LLC
Applicant: The Pinnell Group, LLC
App No : 2016-1489
App Type: C2R

Total Acreage:	3.4810	Total Reserve Acreage:	3.4810
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	

County	Zip	Key Map ©	City / ETJ
Harris	77375	249S	ETJ

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 133

Action Date: 08/24/2017

Original Action Date: 09/01/2016

Plat Name: Muoneke Estates

Developer: Action Surveying

Applicant: Action Surveying

App No : 2016-1420

App Type: C3F

Staff Recommendation:

Approve

Total Acreage:	6.8430	Total Reserve Acreage:	0.0650
Number of Lots:	6	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Type 2 PAE
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	

County	Zip	Key Map ©	City / ETJ
Harris	77429	327U	ETJ

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

CITY OF HOUSTON

HOUSTON PLANNING COMMISSION
PLANNING & DEVELOPMENT DEPARTMENT

Planning Commission
Meeting Date: 08/24/17

ITEM: 134

Applicant: BRAD ARBAUGH

Contact Person: LESLIE AND CARROL ARBAUGH

Location	File No.	Zip	Lamb. No.	Key Map	City/ ETJ
	17-1294	77357	5773	256Y	ETJ
SOUTH OF: GRAND PARKWAY WEST OF: 494 LOOP					

ADDRESS: 22150 TX 494

ACREAGE: 4.320

LEGAL DESCRIPTION:

A 4.320 ACRE TRACT OF LAND SITUATED IN THE WILLIAM SMITH SURVEY, ABSTRACT NO. 540, MONTGOMERY COUNTY, TEXAS.

PURPOSE OF REQUEST: BUSINESS

STAFF REPORT

STAFF RECOMMENDATION: Defer

BASIS OF RECOMMENDATION: Defer, further study and review.

ADDITIONAL INFORMATION :

PLANNING COMMISSION ACTION:

BASIS OF PLANNING COMMISSION ACTION: (SEE ABOVE STAFF EVALUATION)

ADDITIONAL FINDINGS BY PLANNING COMMISSION:

CERTIFICATE OF COMPLIANCE

CITY OF HOUSTON

HOUSTON PLANNING COMMISSION
PLANNING & DEVELOPMENT DEPARTMENT

Planning Commission
Meeting Date: 08/24/17

ITEM: 135

Applicant: JOSE CEPEDA

Contact Person: JOSE CEPEDA

Location	File No.	Zip	Lamb. No.	Key Map	City/ ETJ
	17-1295	77365	5671	295R	ETJ
SOUTH OF: MILLS BRANCH EAST OF: SORTERS					

ADDRESS: 25231 Fawn Lane

ACREAGE:

LEGAL DESCRIPTION:

BEING LOTS 202 AND 203 OF RAVENWOOD, AN UNRECORDED SUBDIVISION, IN MONTGOMERY COUNTY, TEXAS.

PURPOSE OF REQUEST: RESIDENCE

STAFF REPORT

STAFF RECOMMENDATION: Defer

BASIS OF RECOMMENDATION: Defer, further study and review.

ADDITIONAL INFORMATION :

PLANNING COMMISSION ACTION:

BASIS OF PLANNING COMMISSION ACTION: (SEE ABOVE STAFF EVALUATION)

ADDITIONAL FINDINGS BY PLANNING COMMISSION:

CERTIFICATE OF COMPLIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to planning.variances@houston.tx.gov prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at www.houstonplanning.com.

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Houston Permit Service	Jacob Buckwalter	832-272-8423	Jacobhps@yahoo.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
6261 BRIAR ROSE Dr.	17020268	77057	5056B	491N	G

HCAD ACCOUNT NUMBER(S): 0820120000300
PROPERTY LEGAL DESCRIPTION: LT 300 BLK 14 BRIARGROVE SEC 2
PROPERTY OWNER OF RECORD: WESSENDORFF ANTONE G
ACREAGE (SQUARE FEET): 9,480 SF
WIDTH OF RIGHTS-OF-WAY: Briar Rose Drive (60 feet), Briargrove Drive (60 feet)
EXISTING PAVING SECTION(S): Briar Rose Drive (25 feet), Briargrove drive (28 feet)
OFF-STREET PARKING REQUIREMENT: Complies
OFF-STREET PARKING PROVIDED: Complies
LANDSCAPING REQUIREMENTS: Complies
LANDSCAPING PROVIDED: Complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]: Existing 2746 SF SFR to remain.

PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]: Existing garage to be remodeled by relocating the garage door to face to the ROW, and adding a new driveway.

PURPOSE OF VARIANCE REQUEST: To allow a garage door on an existing residential garage to be relocated at the 10' building line along Briargrove Drive, in lieu of the required 20' building line.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

CHAPTER 42 REFERENCE(S): Sec. 42-156(c) Notwithstanding the other provisions of this section, the building line requirement for a lot restricted to single-family residential use shall be 20 feet for a garage or carport facing the street, except as provided in subsection (b) of section 42-157 of this Code.

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

This variance request is to cross amended build lines in an attempt to maximize lot use & buildable area. LT 300 BLK 14 of Briargrove sec.2 is a corner home at BRIAR ROSE Drive and BRIARGROVE DR. There is an existing SFR with garage on this property which has a garage fronting Glenchester Drive and is currently at 10' off the property line. The garage door is facing North and the applicant's proposal is to relocate this door facing West, towards BRIARGROVE DR. The city has implemented a new city ordinance GBL of 17'. This creates a new build line that is affecting the ability to utilize the lot. The original plat from 1954 has no garage build line on the BRIARGROVE drive side. There are many residences on BRIARGROVE drive that have their garage doors 10' or less off the property line. If we were to follow the city ordinance of 17' for this replacement garage we would have no buildable area for a yard, nor would it give the same appeal as the rest of the street. Please grant us this variance request. We require a variance due to the garage build line changing by City Ordinance, and request that the build line be maintained by the original plat of 1954.

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@houstontx.gov.

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or

(1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Requirements of this chapter make this project infeasible due to an offsetting garage build line narrowing the lot even more. The 17' GBL on **BRIARGROVE** drive makes the remodel infeasible. With this variance, the owners can maintain the esthetics of the community and continue the positive growth happening in the area. This is a positive for the entire city, local community and immediate neighborhood. The build lines are imperative to continuity and maintaining property values in the area.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

- (2) **The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The circumstances are not a result of a hardship created by the applicant. The build lines have been changed by the City of Houston since the original platting of this subdivision. The lot being on the corner combined with the changes in the City of Houston's build lines in the area narrow the lot hindering construction and has created the need for this variance application.

- (3) **The intent and general purposes of this chapter will be preserved and maintained;**

Yes, the intent and general purposes of this chapter will be maintained. This Variance request is that the garage build line on **BRIARGROVE** drive be reduced from 17' to 10' for the remodel of a garage.

- (4) **The granting of the variance will not be injurious to the public health, safety or welfare;**

This Variance will not be injurious to the public health, safety or welfare. The variance will only affect the property owned by the applicant for the construction of a new Single-Family Residence.

- (5) **Economic hardship is not the sole justification of the variance.**

Economic hardship is not the sole justification of this variance request. The variance is requested to provide continuity in the neighborhood and maintain property values. Maintaining the esthetics of the community is a high priority as this property is in a highly visible area.

DEVELOPMENT PLAT VARIANCE



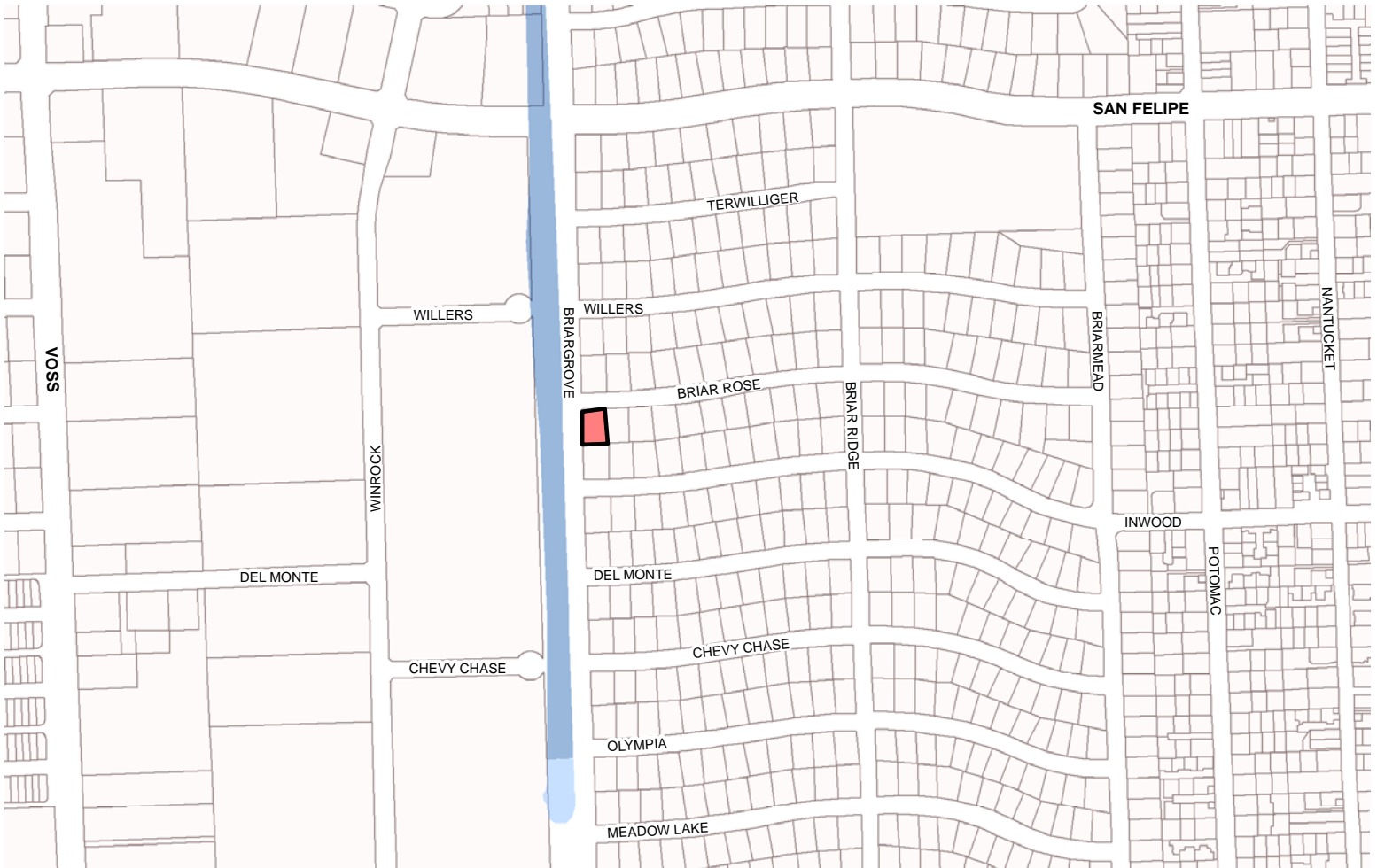
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 136

Meeting Date: 8/24/2017

Houston Planning Commission

Location Map



DEVELOPMENT PLAT VARIANCE



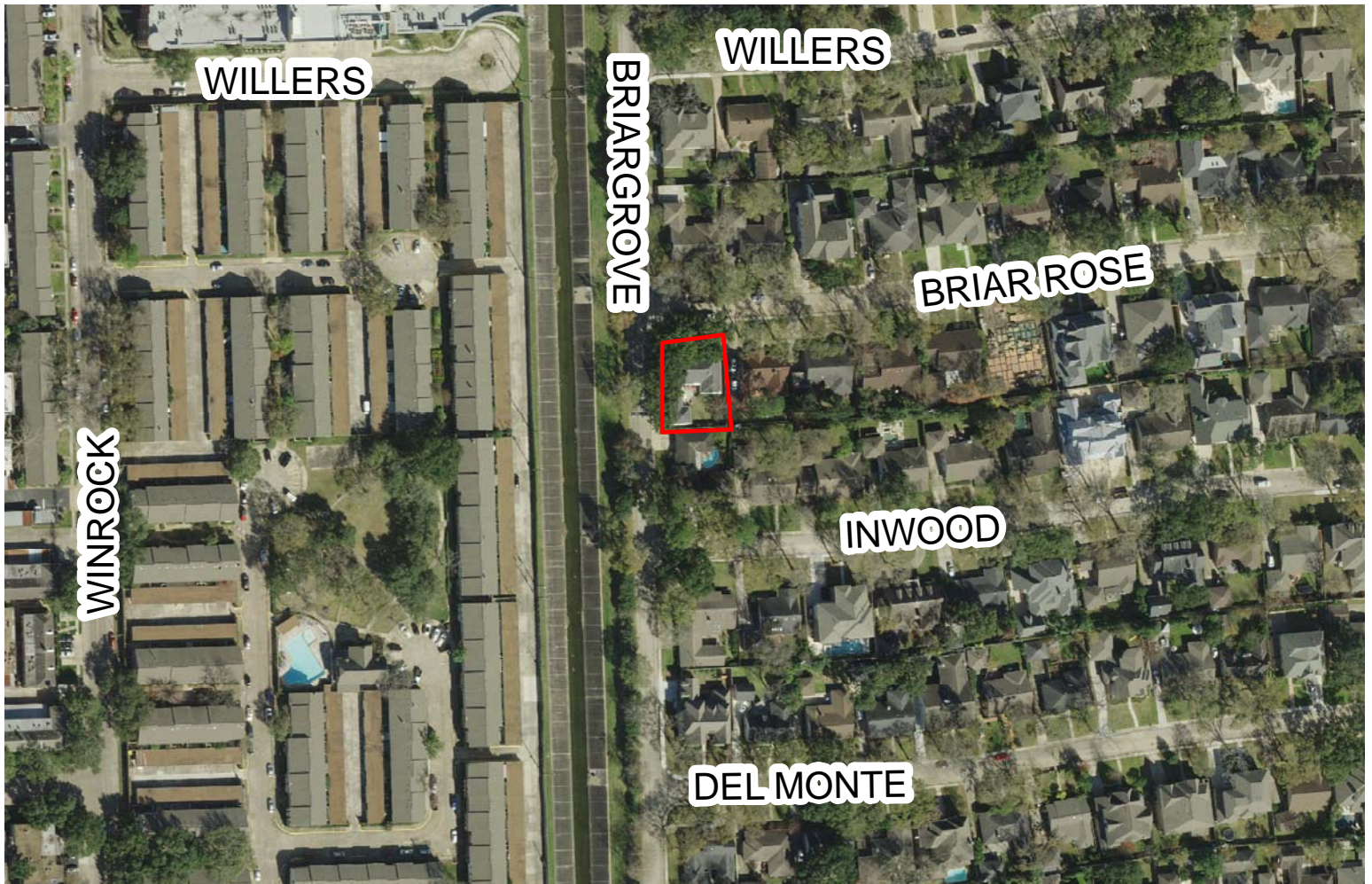
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 136

Meeting Date: 8/24/2017

Houston Planning Commission

Aerial Map



DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

STAFF REPORT

Staff Recommendation: Approve

Basis of Staff Recommendation:

The site is located East of Voss Road, South of San Felipe Street, at the Southeast corner of Briargrove Drive & Briar Rose Drive. The applicant is requesting a variance to allow a new garage door for an existing residential garage to be relocated to the 10' building line along Briargrove Drive, in lieu of the ordinance required 20' building line for a lot restricted to single-family residential use along a local street. Briargrove Homeowner Association poses no objection to the requested variance for the proposed garage remodel. Staff is in support of the building line variance.

The applicant is proposing a residential garage remodel to an existing single family residence. The existing garage will remain in the same location, and the only change will be the orientation of the garage door which currently faces North, and is proposed to face West along Briargrove drive. The subject site is a corner lot that was created by the Briargrove Section 2 Subdivision in 1954 with a 10' building line along Briargrove Drive. Briargrove Drive is a 60' wide local street lined with single-family residential lots. The distance from back of curb to the proposed garage door will be 21.7'. The proposal is consistent with the existing neighborhood, as most of the residential garages in the area are setback at the 10' building line. Therefore, the intent of the ordinance will be preserved.

Due to the characteristics of this property, staff is in support of the requested variance and recommends the Planning Commission grant the requested variance to allow a 10' building line for a new residential garage door, in lieu of the required 20' building line along Briargrove Drive.

Planning Commission Action:

Basis of Planning Commission Action: *(see above staff evaluation)*

Additional Findings by Planning Commission:

DEVELOPMENT PLAT VARIANCE

HOUSTON PLANNING COMMISSION

HOTEL VARIANCE REQUEST - STAFF REPORT



PLANNING &
DEVELOPMENT
DEPARTMENT

AGENDA ITEM: III

MEETING DATE: 08/24/2017

LOCATION	FILE NO.	ZIP	LAMB. NO.	KEY MAP	CITY/ ETJ
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NORTH OF: I-45 Gulf Fwy
SOUTH OF: Old Galveston

EAST OF: South Loop 610
WEST OF: Park Place Blvd

77030 5355 532M City

APPLICANT: 610 Vamdev Inc

ADDRESS: 7600 South Loop East

EXISTING USE: VACANT

PROPOSED USE: HOTEL-MOTEL

HOTEL / MOTEL APPLICATION DATE: 7-27-17

DIRECTOR DECISION: Disapprove

BASIS OF DECISION:

FAILED TO COMPLY WITH SECTION 28-201 & 28-202(A)(2)

LAND USE CALCULATIONS: N/A

PRIMARY ENTRANCE LOCATION: 610 Loop

PURPOSE OF REQUEST:

28-201- To allow a hotel to have frontage on a residential street.

28-202(a)(1)(c)- To allow a hotel to be situated within 750' of a protected use (church).

BASIS OF REQUEST:

The site is located off the 610 loop near the berkly court condos development and the Christian Temple Church. Due to its locations, chapter 28 requires a Variance to be adjacent to a private street and near the church.

STAFF RECOMMENDATION: Defer

BASIS OF RECOMMENDATION The site is loacted along the 610 loop within 750' of a protected use, which requires a variance from sec 28-202 (2). The 2nd variance request is required due to the subject site being adjacent to a residential street.

PLANNING COMMISSION ACTION

DECISION: VARIANCE GRANTED VARIANCE DENIED

DATE: August 24, 2017

HOUSTON PLANNING COMMISSION

HOTEL VARIANCE REQUEST - STAFF REPORT



PLANNING &
DEVELOPMENT
DEPARTMENT

AGENDA ITEM: III

MEETING DATE: 08/24/2017

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS

Variance 1

(1a) **The imposition of the terms, rules, conditions, policies and standards of this chapter would**

create an undue hardship by depriving the applicant of the reasonable use of the land;

TxDot changed their rules on granting driveways to feeders after the ordinance was written. The location is as envisioned by the ordinance with the hotel property abutting the feeder. The difference is that only one driveway will be granted for the Unrestricted Reserve and the neighboring property has it. The hotel property has an access easement.

(2) **The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant:** *The owner is purchasing land and developing a hotel after TxDot changed the rules. The hardship is that the exact situation envisioned by the ordinance is not possible through agency other than the owner.*

(3) **The intent and general purposes of this chapter will be preserved and maintained;**

We feel the intent and purpose of this ordinance will be preserved and maintained because we will not be taking any access from the residential property to serve our hotel. We will also provide a set back with 8 feet high fence and a landscaping buffer. We will ensure the residents of Berkley Court have nice landscaping to look at all around the property as shown in the site plan.

(4) **The granting of the variance will not be injurious to the public health, safety or welfare;**

The situation with respect to the issue of access is what the ordinance is intended to create, a hotel on a feeder taking access from the feeder. It can't be so close and be injurious to the public health, safety and welfare.

(5) **Economic hardship is not the sole justification of the variance.**

A handwritten signature in blue ink, appearing to read "Debra Surolye", written over a horizontal line.

PLANNING COMMISSION ACTION:

DECISION: VARIANCE GRANTED VARIANCE DENIED

DATE: August 24, 2017

HOUSTON PLANNING COMMISSION
HOTEL VARIANCE REQUEST - STAFF REPORT



**PLANNING &
DEVELOPMENT
DEPARTMENT**

AGENDA ITEM: III

MEETING DATE: 08/24/2017

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS

Variance 2

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land;

The purpose of this section is to protect church properties and church-goers from having to observe any actions of questionable morality that may happen at a hotel. The owner/pastor of the church has given the applicant a written statement that the proximity of the hotel to the church property is immaterial to the church. In other words, the church eschews the protection offered by the ordinance. The applicant has hotel/motels in other various areas whom have a church nearby and they are activewith the church in helping them accomadate for rooms for when churches haveprograms or people from away coming. The applicant gives them very low rates to helpthe community.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant: The bottom-line hardship in this situation is that the ordinance seeks to impose protections the church eschews. This is not a situation created by the applicant, only a situation he is happy to take advantage of.

(3) The intent and general purposes of this chapter will be preserved and maintained;

We feel the intent and purpose of this ordinance will be preserved and maintained because the church has been given an opportunity to express their opinion and the church's opinion is in support to allow us to build a hotel as wrote in the letter by the church. They have seen the site plan and are in support of how are hotel will look and how it will be constructed.

(4) Regranting of the variance will not be injurious to the public health, safety or welfare;

The hotel will not be injurious to the public health, safety or welfare because, with respect to this ordinance provision, the party the ordinance seeks to protect has determined that the ordinance's protection in unnecessary.

(5) Economic hardship is not the sole justification of the variance.

Debrah Surolye

PLANNING COMMISSION ACTION: Deny

DECISION: VARIANCE GRANTED VARIANCE DENIED

DATE: August 24, 2017

HOUSTON PLANNING COMMISSION

HOTEL VARIANCE REQUEST - STAFF REPORT



AGENDA ITEM: III

MEETING DATE: 08/24/2017

The proposed 51-unit hotel to be located on the South Loop 610 feeder just north of I-45 Gulf Freeway will comply with the requirements of the hotel/motel ordinance except that the hotel is has indirect access, abuts residential property, and is located within 750' of a church property that abuts the same feeder. The pertinent ordinance section is:

Sec. 28-201. – Location of Hotels

A street where 30% or more of the frontage along both sides of the street within a distance of 250' or the distance to the four-way street, whichever is greater, from the tract upon which a hotel would be located consist, in each direction along the block face, of front, side or rear yards of residential uses.

Sec 28 -202 (2)

(2) No portion of the tract on which the hotel, other than a hotel with 120 or more separately rentable units and service facilities is situated may have frontage on or take any access from any street on which any... church... also has frontage, if the hotel tract would be within 750 feet of the ...church ... tract.

More Basic Information:

The hotel is to be located on a feeder at the intersection of Loop 610 and the Gulf Freeway. TxDot requires the applicant to share the driveway already granted to his neighbor abutting him to the south. The only part of the residential property the hotel abuts is the paved private street for Berkley Court, the condominium complex whose plat created the unrestricted reserve the hotel will occupy 1/3 of. We have provided staff with a letter from the buyer/pastor of the church site stating that there is no objection to the hotel.

The current owner/pastor is buying the church from a congregation that re-located. The sale of that property is only scheduled to be recorded when all the installments of the purchase are complete. We have provided staff with a copy of the sales agreement to verify the letter is from the owner since a different owner is carried by HCAD. In preparing the envelopes for the mailout for the public hearing required by the presence of the church, we found that there are twenty or more absentee unit owners (owner lives elsewhere) and about nine resident-owners of three to six units of the condominiums each. That is a lot of rental. The applicant will also rent to customers just like the owners of the condominiums are renting to customers to live in their condominiums for profit.

PLANNING COMMISSION ACTION:

DECISION: VARIANCE GRANTED VARIANCE DENIED DATE: August 24, 2017

HOUSTON PLANNING COMMISSION

HOTEL VARIANCE REQUEST - STAFF REPORT



PLANNING &
DEVELOPMENT
DEPARTMENT

AGENDA ITEM: III

MEETING DATE: 08/24/2017

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS
610 VAMDEV INC	ANKIT SAROLIYA	832-746-5787	ASAROLIYA88@YAHOO.COM

COUNTY	COUNCIL DISTRICT	ZIP CODE	LAMBERT	KEY MAP	Super neighborhood
HARRIS	H DISTRICT 1	77017	5655	35J	74 PARK PLACE

HOTEUMOTEL NAME: SUPER 8

HOTEUMOTEL ADDRESS: 7660 SOUTH LOOP EAST, HOUSTON, TX 77017

PROPERTY OWNER OF RECORD: 610 VAMDEV INC

OWNER ADDRESS :6630 HOOVER STREET, HOUSTON, TX 77092

PROJECT PERMIT NUMBER: 16085410

TOTAL ACREAGE: 1.375 ACRES (59, 865 S.F)

TOTAL NUMBER OF ROOMS: 51

PARKING SPACES PROVIDED: 57

SURVEY/ABSTRACT NO:

SCHOOL DISTRICT: HISD

NORTH OF: I -45 GULF FWY SOUTH OF: OLD GAVLESTON

EAST OF:SOUTH LOOP 610

WEST OF: PARK PLACE BLVD

PURPOSE OF VARIANCE REQUEST: (1)-A street where 30% or more of the frontage along both sides of the street within a distance of 250' or the distance to the four-way street, whichever is greater, from the tract upon which a hotel would be located consist, in each direction along the block face, of front, side or rear yards of residential uses.

S

(2.)No portion of the tract on which the hotel, other than a hotel with 120 or moreseparately rentable units and service facilities is situated may have frontage on or take anyaccess from any street on which any... church ... also has frontage, if the hotel tract would bewithin 750 feet of the ...church ... tract.

CHAPTER 28 REFERENCE(S): Chapter 28-202 (a) (1)(c) & 28-201

PLANNING COMMISSION ACTION:

DECISION: VARIANCE GRANTED VARIANCE DENIED DATE: August 24, 2017

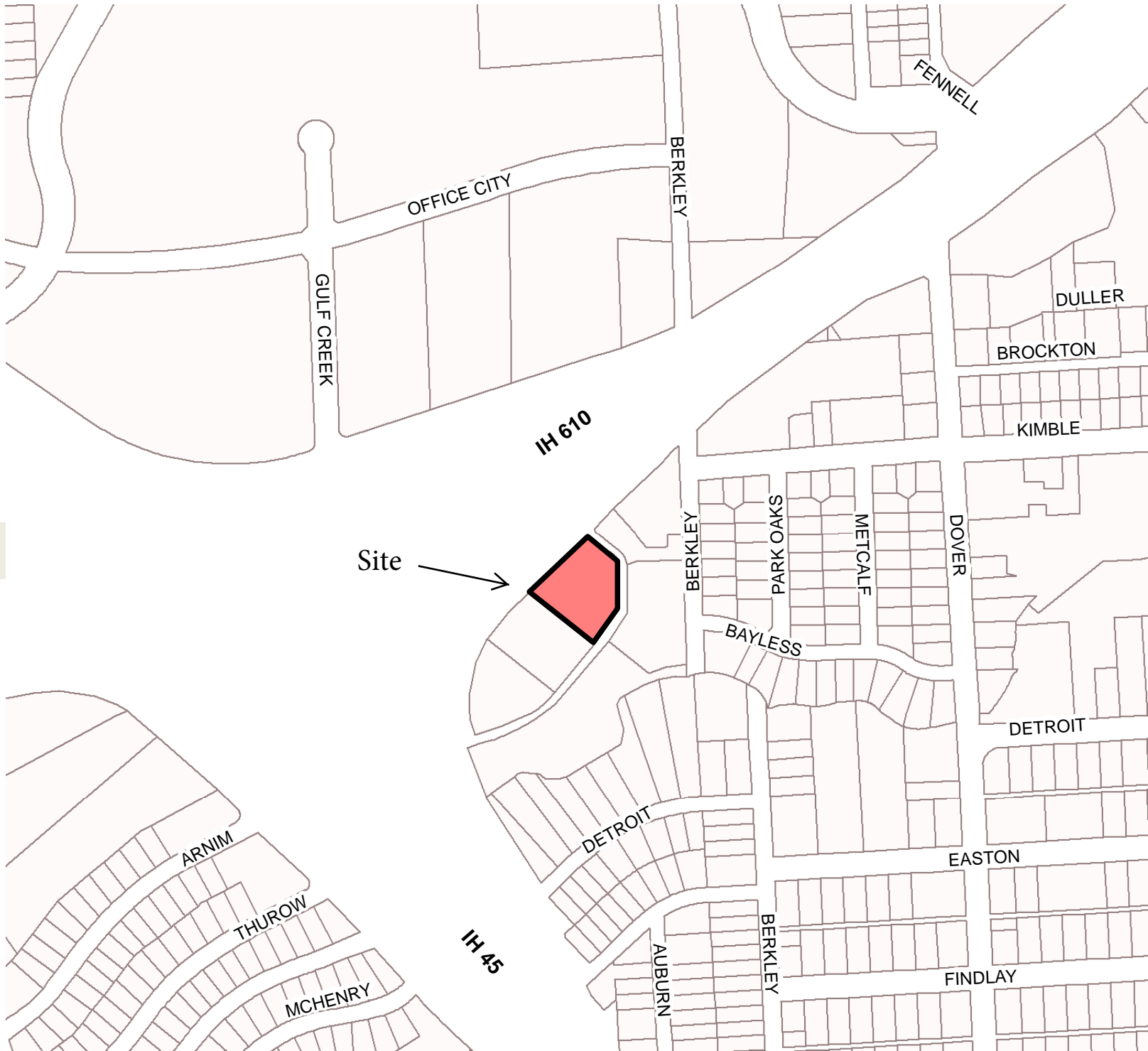
HOUSTON PLANNING COMMISSION
HOTEL VARIANCE REQUEST - STAFF REPORT



**PLANNING &
DEVELOPMENT
DEPARTMENT**

AGENDA ITEM: III

MEETING DATE: 08/24/2017



PLANNING COMMISSION ACTION

DECISION: ☐ VARIANCE GRANTED ☐ VARIANCE DENIED

DATE: August 24, 2017

HOUSTON PLANNING COMMISSION

HOTEL VARIANCE REQUEST - STAFF REPORT



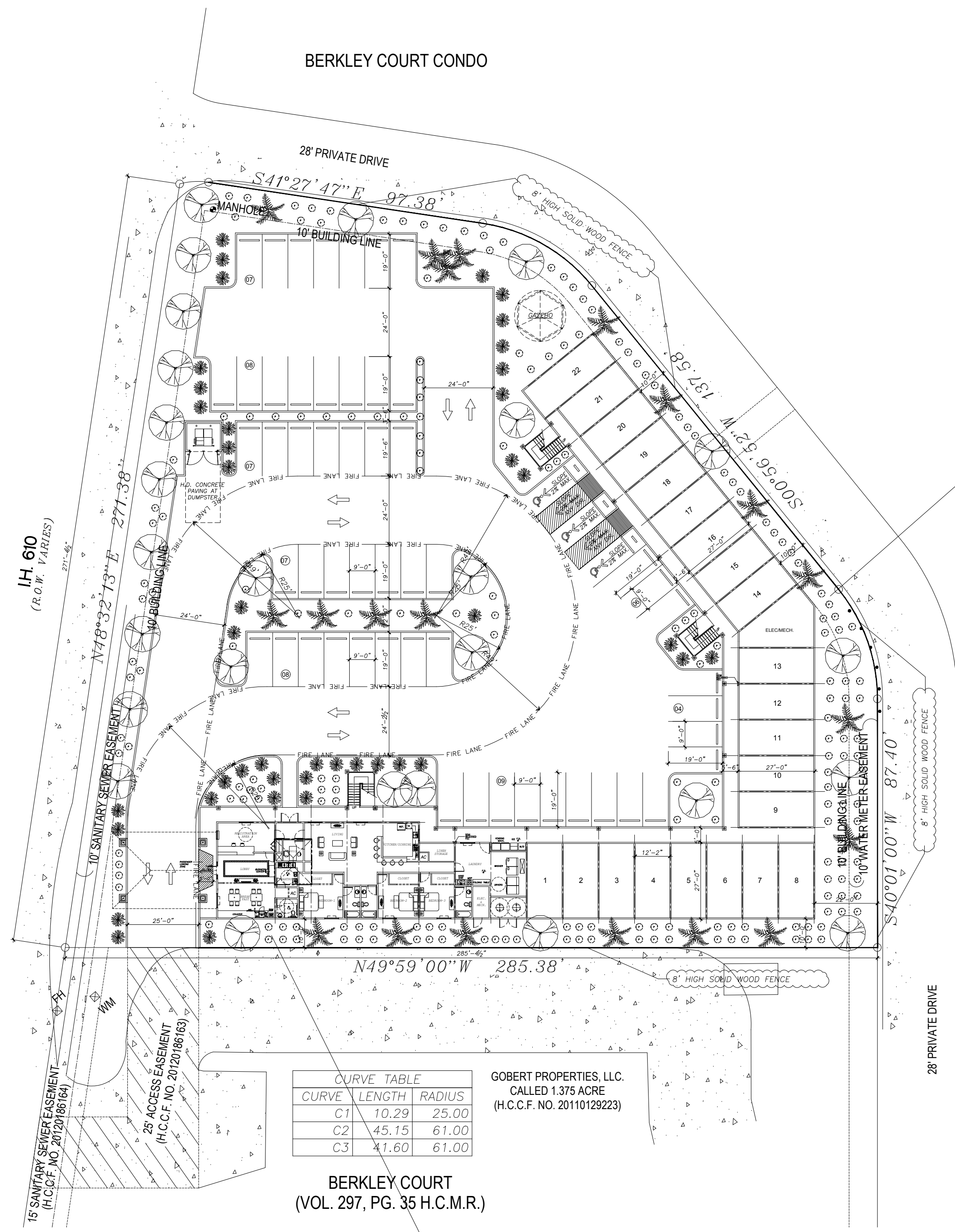
PLANNING &
DEVELOPMENT
DEPARTMENT



PLANNING COMMISSION ACTION

DECISION: VARIANCE GRANTED VARIANCE DENIED

DATE: August 24, 2017



BERKLEY COURT CONDO

1 SITE PLAN
SCALE: 1/30"=1'-0"

CITY OF HOUSTON DEPARTMENT OF PLANNING AND DEVELOPMENT
LANDSCAPE ANALYSIS FOR BUFFER SPACE
Length of property line in lineal feet - 285'-4 1/2"
Number of Canopy trees required - 1 per 100 lineal feet. (3 provided)
Number of Ornamental trees required - 2 per 100 lineal feet. (6 provided)
Number of Shrubs required - 16 per 100 lineal feet. (48 provided)

GENERAL NOTES

- ALL PLANTS SHALL BE FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
- GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AND AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING; OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
- ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
- LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
- IRRIGATION SPRINKLER @ ALL LANDSCAPING WITH AUTOMATIC TIMER.
- ALL DUMPSTERS, RECYCLING BINS & GREASE TRAPS, SERVICE AREAS, ELECTRICAL BOXES, METERS, HVAC UNITS, LP TANKS, ETC. SHALL BE SCREENED FROM VIEW USING LANDSCAPE OR FENCING.
- SATELLITE DISHES SHALL BE INSTALLED IN AN INCONSPICUOUS LOCATION AND SCREENED FROM VIEW WITH LANDSCAPE OR FENCING.

DETECTABLE WARNINGS:
DETECTABLE WARNINGS ON WALKING SURFACES
DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 (23MM), A HEIGHT OF NOMINAL 0.2 IN. (5MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN. (60MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.

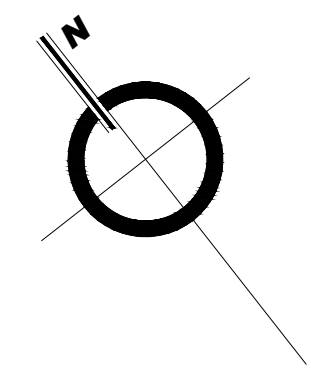
CURB RAMP SURFACES AT PUBLIC RIGHT OF WAY NEXT TO DRIVEWAY SHALL HAVE TRUNCATED DOMES AS PER SECTION 4.29.2

AUTOMATIC SPRINKLER SYSTEM IS ELECTRONICALLY SUPERVISED AND PROVIDED W/ ALL SUPERVISORY FEATURES AS REQUIRED BY SECT. 903.2.7 GROUP R

MANUAL FIRE ALARM SYSTEM AND MANUAL PULLS ARE PROVIDED. MANUAL PULLS ARE REQUIRED BY FRANCHISEE NOT THE CODE. ALARM SYSTEM AND PULLS TO BE INSTALLED. LOCAL SMOKE DETECTION TO BE PROVIDED IN EACH UNIT PER SECTION 903.2.8 GROUP R1.

CITY OF HOUSTON DEPARTMENT OF PLANNING AND DEVELOPMENT
LANDSCAPE ANALYSIS FORM

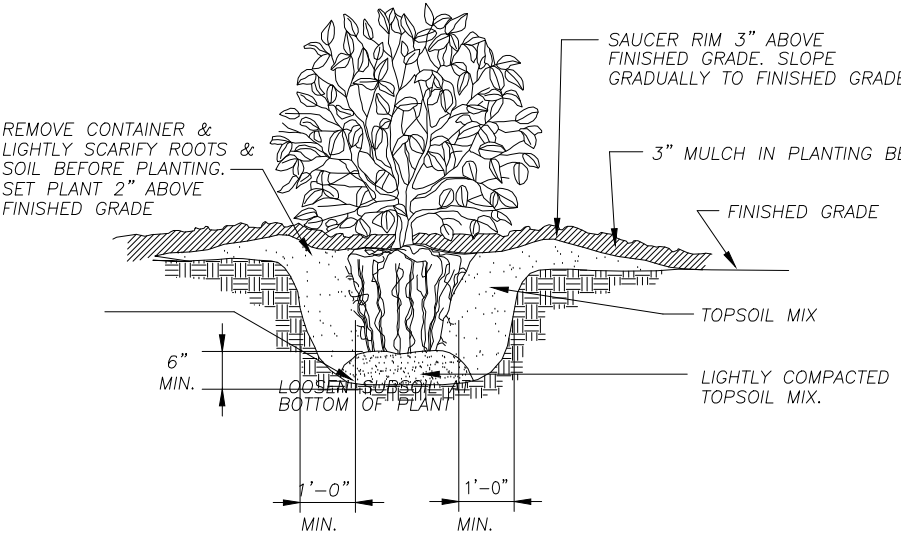
- A. STREET TREES:
Length of property line in lineal feet as measured along all sides of the property fronting on a public street(s). $271' - 4 \frac{1}{2}' \text{ lineal feet} / 30 = 9$ Street trees required.
(Staff may create an artificial lot)
- B. PARKING LOT TREES:
Number of new parking stalls to be constructed $56 / 10 = 6$ Parking lot trees required.
- C. TOTAL TREE REQUIREMENT:
A + B = 16 total number of street and parking lot trees required.
- F. SHRUBS: (Are required for new or the expanded portion of parking lots)
Total number of street trees required, from A above X 10 = 100 shrubs.



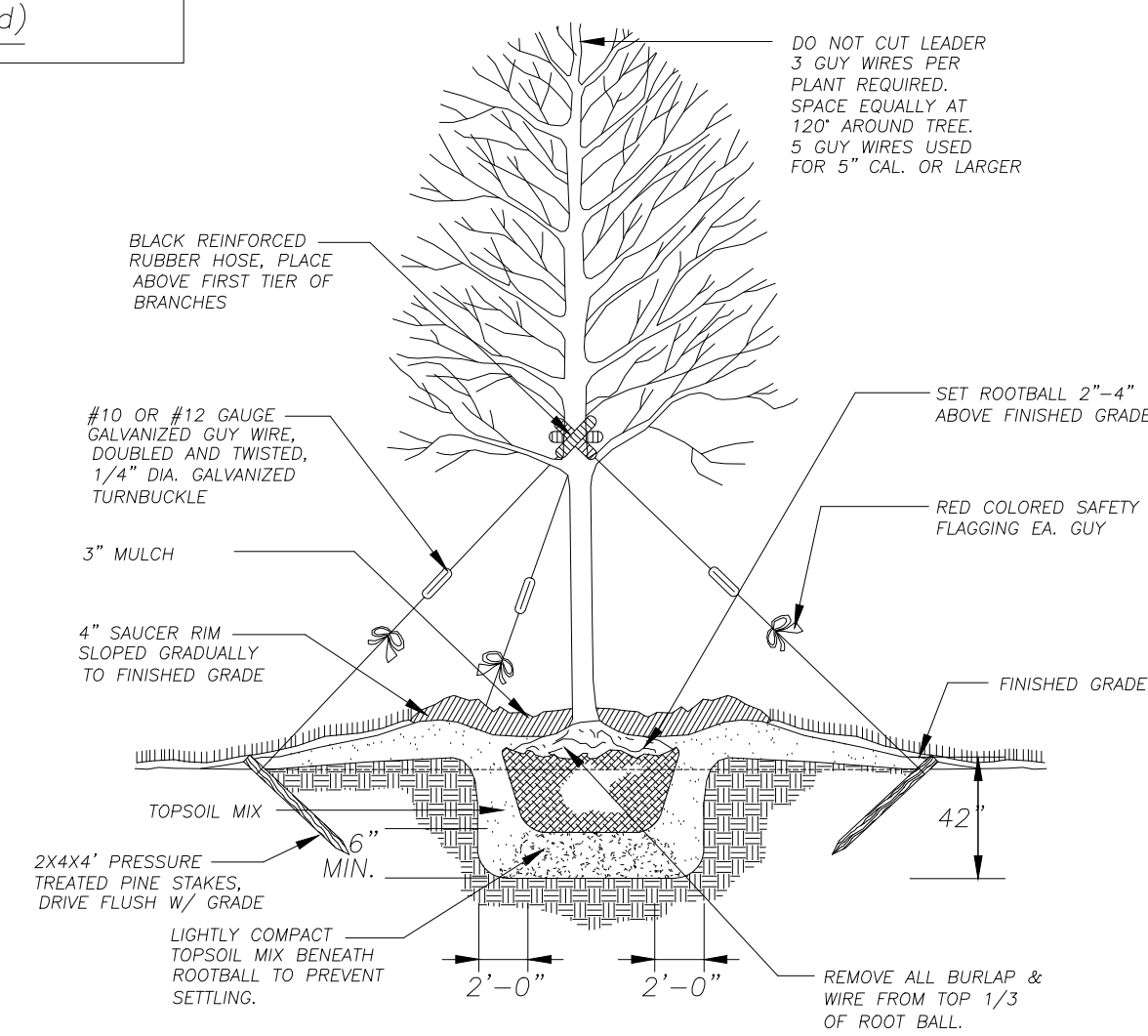
CITY OF HOUSTON DEPARTMENT OF PLANNING AND DEVELOPMENT
LANDSCAPE ANALYSIS FOR BUFFER SPACE
Length of property line in lineal feet - 419'-4 3/4"
Number of Canopy trees required - 1 per 100 lineal feet. (5 provided)
Number of Ornamental trees required - 2 per 100 lineal feet. (10 provided)
Number of Shrubs required - 16 per 100 lineal feet. (80 provided)

TYPE V-A (ONE HOUR PROTECTED)
R-1 OCCUPANCIES WITH AUTOMATIC FIRE SPRINKLER

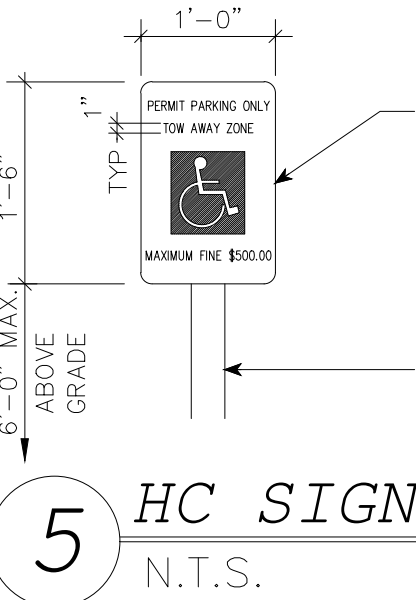
WHEEL STOP SHALL BE PLACED 2'-6" FROM THE
PROPERTY LINE OR FROM INSIDE SIDE WALK



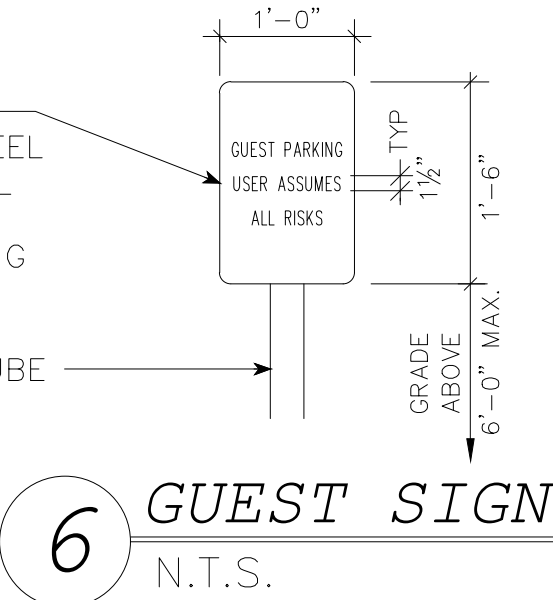
2 SHRUB PLANTING DETAIL
N.T.S.



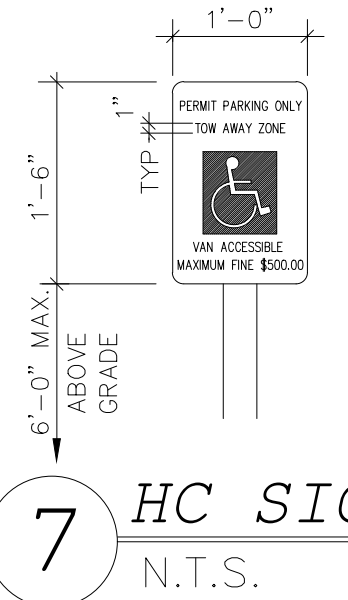
3 TREE PLANTING DETAIL
N.T.S.



5 HC SIGN
N.T.S.



6 GUEST SIGN
N.T.S.



7 HC SIGN
N.T.S.

PROJECT INFORMATION:

LAND AREA	59,915 SQ.FT.
FIRST FLOOR AREA	11,475 SQ.FT.
SECOND FLOOR AREA	11,626 SQ.FT.
CANOPY AREA	982 SQ.FT.
# OF ROOMS	51
# OF PARKING SPACES	56

PLANT SCHEDULE

	SYMBOL	KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	REMARKS
TREE		QV	25	QUERCUS VIRGINIANA	LIVE OAK	STRAIGHT SINGLE TRUNK FULL SYMMETRICAL HEAD 12'-14' HT. X 7'-8' SPREAD
		PC	20	PHOENIX CANARIENSIS	CANARY ISLAND DATE	
SHRUB		TA	42	TRACHELOSPERMUM ASIATICUM	ASIAN JASMINE	
		DB	197	EUONYMUS JAPONICA	DWARF EUONYMUS	18" HT.; 12" SPREAD FULL POT: 2'6" O.C.
GROUND COVER		SS	FULL	ATENDTAPHRUM SECUNDATUM	SAINT AUGUSTINE	SOLID SOD GRASS



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ARCHITECT
4645 WILLOWBEND BLVD.
HOUSTON, TEXAS 77055
Phone 832.577.6829
Fax 713.723.3785



SUPER 8 MOTEL
HOUSTON, TEXAS

PROJECT INFORMATION:

PROJECT NO.: 1013
DATE: 05-30-17
SHEET TITLE: SITE PLAN
SCALE: 1/30" = 1'-0"
REMARKS

DRAWN BY:
PRINTED ON:

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WRITTEN PERMISSION OF THE ARCHITECT OR ASSOCIATE.

Sheet:

C-03.0

AGENDA: IV

SMLSA Application No. 651: North MacGregor Oaks Subdivision, Block 3, Lots 14-16, 19-20, TRS 17, 17A, 17A-1, 18, 18A, 21, 21A; North MacGregor Oaks Subdivision, Block 4, Lots 4-8, TRS 3, 3A, 3B, 3C, 3D, 9-12; Timber Crest Subdivision, Block 1, Lot 1, 3, TR 2; Timber Crest Subdivision, Block 7, Lots 1-15, 17, 19-23, 25-28, TRS 16, 16A, 18, 18A, 24, 24A, 26, 27, 28; ABST 75 H Tierwester, TR 3A, 3A-1, 3A-2, 3B, 3C, 3D

BACKGROUND:

The Planning and Development Department received an application for the establishment of a Special Minimum Lot Size Area (SMLSA) for Timber Crest Addition. Analysis shows that a minimum lot size of 18,990 sq ft exists for the area. A petition was signed by the owners of 12% of the property within the proposed SMLSA. An application was filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-204. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

PROCEDURES:

Following acceptance of an initially complete application, the Planning Director notifies all owners of property within the proposed SMLSA. Any property owner who wishes to vote for or against the creation of the minimum lot size area may return the response form within thirty days. The Director shall forward a complete application to Planning Commission for public hearing and consideration upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 55% of the property within the proposed SMLSA

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSA shall contain no less than five block faces, composed of 5 lots or more on each blockface;
- at least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- the proposed SMLSA does not include a significant area developed as or restricted to a use that is not single family residential and;
- does not include a significant area that does not share a lot size character with the rest of the proposed area
- that the applicant has demonstrated sufficient support of 55% for the establishment of the proposed SMLSA;
- that the establishment of the SMLSA will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSA has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSA is enforceable for forty (40) years from the effective date of the ordinance.

STAFF ANALYSIS:

This application includes fifty (50) properties in Timber Crest Addition.

Analysis of the application resulted in the following findings:

- *The boundaries of the proposed SMLSA must contain not less than five (5) blockfaces composed of five (5) lots or more on each blockface;*

The application contains five (5) blockfaces with at least 5 lots on 5 blockfaces

- *At least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*

Land use of the properties consists of forty-two (42) single-family residential properties representing 84% of the total lots.

- *The applicant has demonstrated sufficient support for the SMLSA;*

The applicant obtained 61% support from property owners in the proposed SMLSA

- *Establishment of the SMLSA will further the goal of preserving the area lot size character;*

A minimum lot size of 18,990 sq ft exists on twenty-eight (28) of fifty (50) lots in the area.

- *The proposed SMLSA has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*

The subdivision was platted in 1941, and some of the houses were constructed in the 1950s. The establishment of a 18,990 sq ft minimum lot size will preserve the lot size character of the area.

- *The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*

Twenty-eight (28) out of fifty (50) lots representing 71% of the application area is at least 18,990 square feet in size.

Public notice of the public hearing was transmitted to all property owners in the area.

ATTACHMENTS:

1. Staff Analysis Summary Page
2. Map of Support
3. Map of Lots that meet SMLSA
4. Land Use Map
5. Aerial Map
6. Application
7. HCAD Map

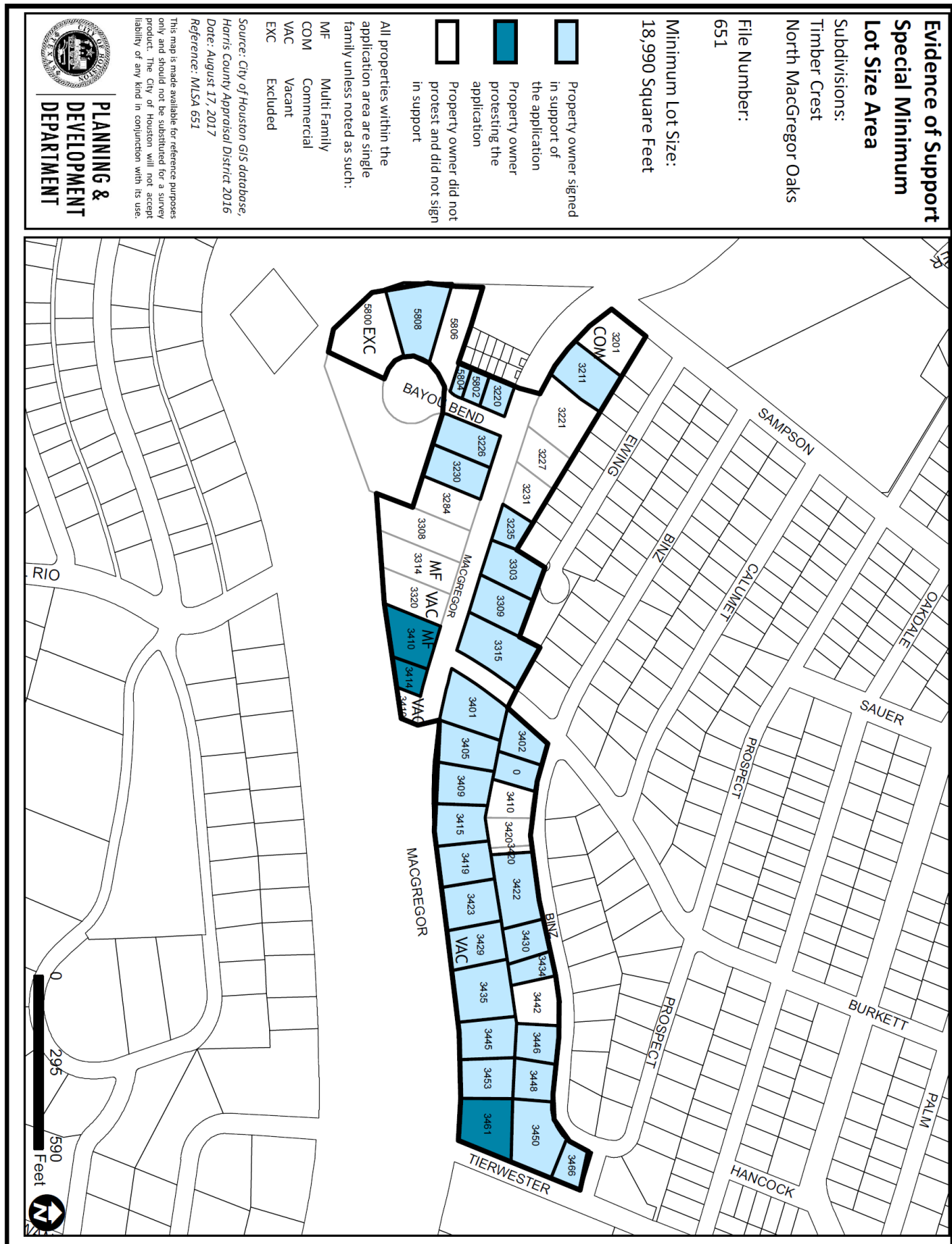
SPECIAL MINIMUM LOT SIZE AREA TIMBER CREST ADDITION

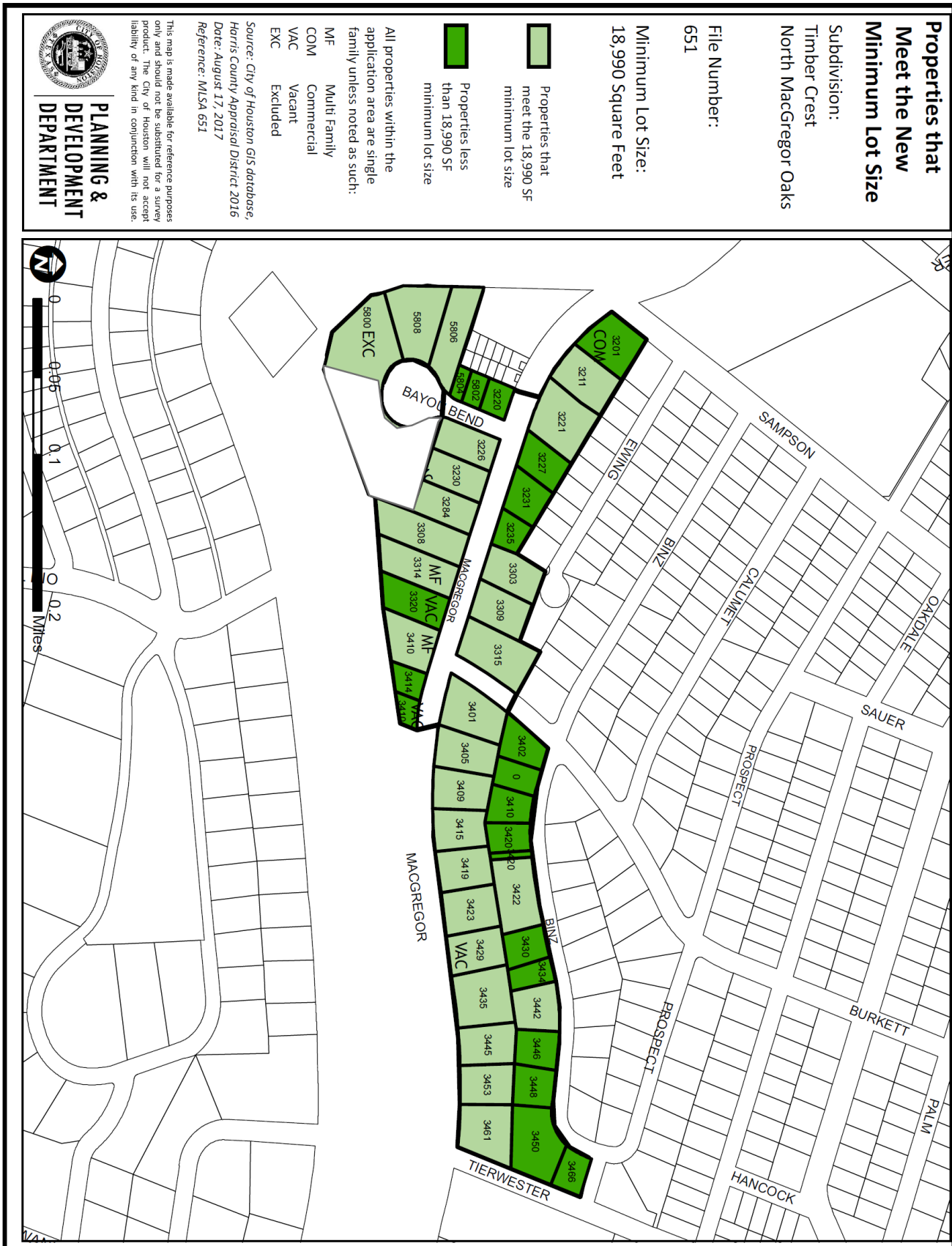
ADDRESS	Lot size (in sq ft)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
5800 BAYOU BEND CT	39,800	4.20%	4.20%			EXC
5808 BAYOU BEND CT	35,658	3.76%	7.96%	Y	Y	SFR
3315 N MACGREGOR WAY	31,171	3.29%	11.24%	Y	Y	SFR
3435 N MACGREGOR WAY	30,710	3.24%	14.48%	Y		SFR
3461 N MACGREGOR WAY	28,750	3.03%	17.51%	N		SFR
3221 N MACGREGOR WAY	28,616	3.02%	20.53%			SFR
3422 BINZ ST	28,300	2.98%	23.51%	Y		SFR
3308 N MACGREGOR WAY	27,900	2.94%	26.45%			SFR
5806 BAYOU BEND CT	26,804	2.83%	29.28%			SFR
3401 N MACGREGOR WAY	25,622	2.70%	31.98%	Y		SFR
3314 N MACGREGOR WAY #24	25,565	2.70%	34.67%			MF
3211 N MACGREGOR WAY	22,718	2.40%	37.07%	Y	Y	SFR
3445 N MACGREGOR WAY	22,448	2.37%	39.44%	Y		SFR
3423 N MACGREGOR WAY	21,983	2.32%	41.75%	Y		SFR
3410 N MACGREGOR WAY	21,452	2.26%	44.02%	N		MF
3405 N MACGREGOR WAY	21,000	2.21%	46.23%	Y		SFR
3409 N MACGREGOR WAY	21,000	2.21%	48.44%	Y		SFR
3419 N MACGREGOR WAY	20,825	2.20%	50.64%	Y		SFR
3453 N MACGREGOR WAY	20,764	2.19%	52.83%	Y		SFR
3429 N MACGREGOR WAY	20,700	2.18%	55.01%	Y		VAC
3415 N MACGREGOR WAY	20,680	2.18%	57.19%	Y		SFR
3309 N MACGREGOR WAY	20,598	2.17%	59.36%	Y		SFR
3284 N MACGREGOR WAY	20,000	2.11%	61.47%			SFR
3226 N MACGREGOR WAY	20,000	2.11%	63.58%	Y	Y	SFR
3230 N MACGREGOR WAY	20,000	2.11%	65.69%	Y	Y	SFR

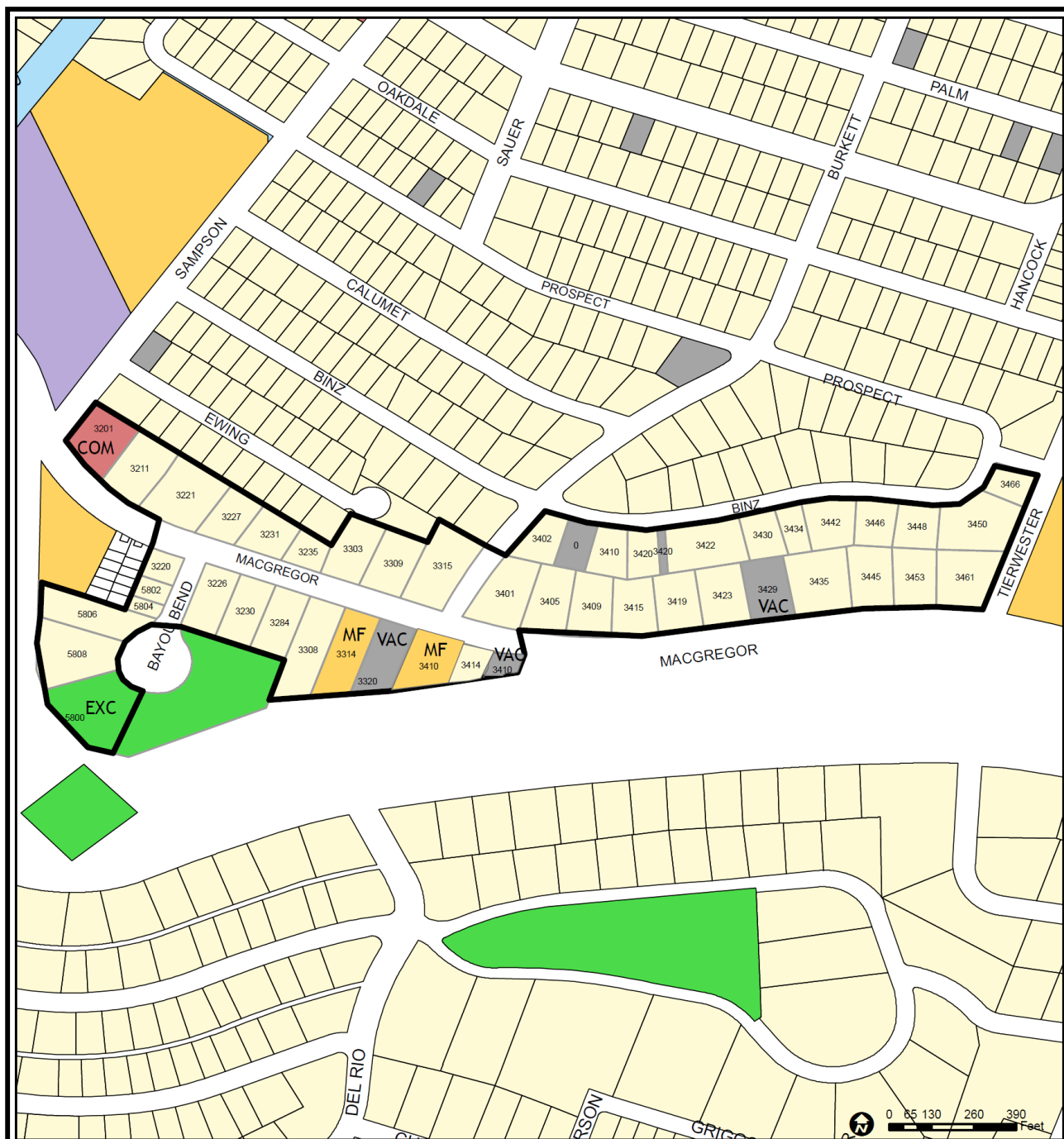
SPECIAL MINIMUM LOT SIZE AREA TIMBER CREST ADDITION

ADDRESS	Lot size (in sq ft)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
3442 BINZ ST	19,900	2.10%	67.79%			SFR
3442 BINZ ST	19,900	2.10%	69.88%			SFR
3303 N MACGREGOR WAY	18,990	2.00%	71.89%	Y		SFR
3450 BINZ ST	18,722	1.97%	73.86%	Y		SFR
3448 BINZ ST	15,803	1.67%	75.53%	Y		SFR
3446 BINZ ST	15,654	1.65%	77.18%	Y		SFR
3227 N MACGREGOR WAY	15,515	1.64%	78.81%			SFR
3430 BINZ ST	15,100	1.59%	80.40%	Y		SFR
3402 BINZ ST	15,020	1.58%	81.99%	Y		SFR
3420 BINZ ST	14,884	1.57%	83.56%			SFR
3231 N MACGREGOR WAY	14,720	1.55%	85.11%			SFR
3201 N MACGREGOR WAY	14,069	1.48%	86.59%			COM
3320 N MACGREGOR WAY	14,000	1.48%	88.07%			VAC
3410 BINZ ST	13,760	1.45%	89.52%			SFR
3450 BINZ ST	13,532	1.43%	90.95%	Y		SFR
0 (BINZ)	12,343	1.30%	92.25%	Y		SFR
3466 BINZ ST	11,725	1.24%	93.48%	Y		SFR
3201 N MACGREGOR WAY	10,533	1.11%	94.59%			COM
3434 BINZ ST	10,419	1.10%	95.69%	Y		SFR
3235 N MACGREGOR WAY	8,775	0.93%	96.62%	Y	Y	SFR
3220 N MACGREGOR WAY	8,676	0.91%	97.53%	Y		SFR
3414 N MACGREGOR WAY	6,314	0.67%	98.20%	N		SFR
3410 N MACGREGOR WAY	6,314	0.67%	98.86%			VAC
5802 BAYOU BEND CT	6,311	0.67%	99.53%	Y		SFR
5804 BAYOU BEND CT	4,468	0.47%	100.00%	Y		SFR

This application qualifies for a Special Minimum Lot Size of:	18,990 sq ft
Response forms received in support of the SMLSA:	31
Response forms received in opposition of the SMLSA:	3
Percentage of property owners in support of the SMLSA boundary: (must be at least 55%)	61%
Percentage of property owners signed the petition for the SMLSA application: (must be at least 10%)	12%
# of developed or restricted to no more than two SFR Units	42
# of Multifamily lots	2
# of Commercial lots	2
# of Vacant Lots	3
# of Excluded Lots	1
TOTAL NUMBER OF LOTS	50
Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 80%):	84%







Timber Crest Addition 18,990 square foot

Land Use

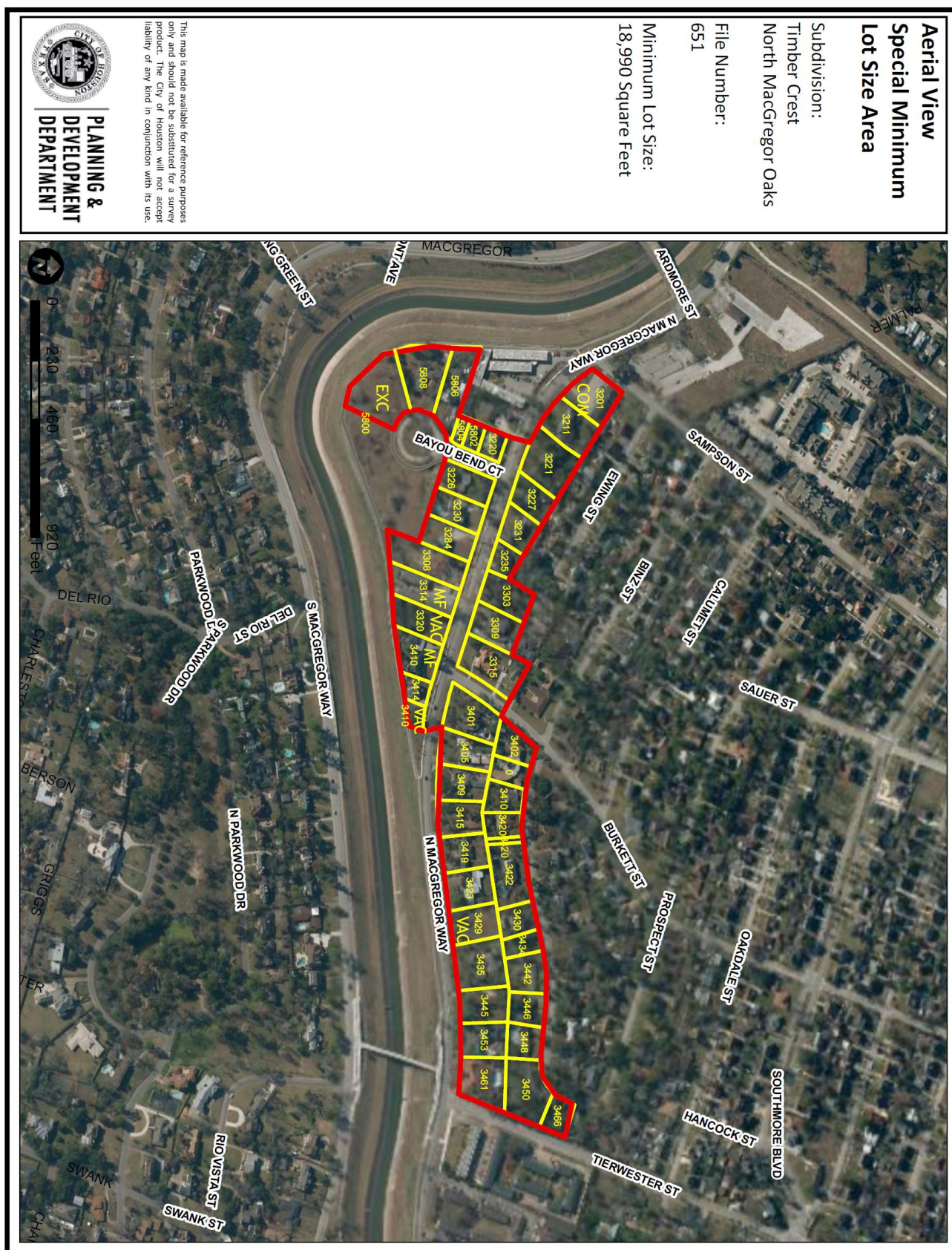
Single-Family Residential	Public & Institutional
Multi-Family Residential	Transportation & Utility
Commercial	Park & Open Spaces
Office	Undeveloped
Industrial	Agriculture Production
	<Null>

Source: Harris County Appraisal District 2016
Date: August 17, 2017
Reference: MLSA 651

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING &
DEVELOPMENT
DEPARTMENT**



Special Minimum Lot Size Area Application

According to
Section 42-197 of Chapter 42 of the Code of Ordinances



PLANNING &
DEVELOPMENT
DEPARTMENT

Please complete entire application form.

1. Location:

LOTS 3, 3A-3D, 4-7, 9 of Block 4, North MacGregor Oaks Subdivision
LOTS 14-16, 17A, 18, 18A, 19-21, 21A of Block 3, North MacGregor Oaks Subdivision
Tracts 3A, 3A1, 3A2, 3B-3D of ABST 75 H Tierwester
LOTS 1-3 of Block 1, Timbercrest Subdivision
LOTS 1-12, 13, 14-16, 16A, 17-18, 18A, 19-24, 24A, 25-28 of Block 7, Timbercrest Subdivision
Example: Blocks 15 - 19, Lots 1-37, in Cocker Spaniel Subdivision

2. Contacts:

Primary
Applicant MEGHAN HOFFNAGLE Phone # [REDACTED]
Address 3226 N. MACGREGOR WAY E-mail [REDACTED]
City HOUSTON State TX Zip 77004
Alternate
Applicant QUINCY OLLISON Phone # [REDACTED]
Address 3211 N. MACGREGOR WAY E-mail [REDACTED]
City HOUSTON State TX Zip 77004

3. Project Information (Staff Use Only-Do Not Fill In):

File # 651 Key Map # _____ TIRZ _____
Lambert # _____ Super N'hood _____ Census Tract _____
City Council District D

4. Submittal Requirements:

Please Check

Completed application form (this page)	<input checked="" type="checkbox"/>
Signed petition signed by the applicant (page 5/4)	<input checked="" type="checkbox"/>
Signed petition of support signed by 10% of lot owners within the boundary area (page 6/5)	<input checked="" type="checkbox"/>
Signed deed restriction statement (page 6)	<input checked="" type="checkbox"/>
Three (3) recommended locations for a community meeting (page 7)	<input checked="" type="checkbox"/>
Sample of Notification Sign (page 9)	<input checked="" type="checkbox"/>
Copy of deed restrictions, if applicable (page 6)	<input checked="" type="checkbox"/>
Map or sketch showing the address, land use and the size of all lots within boundary area	<input checked="" type="checkbox"/>
<u>Statement</u>	<input checked="" type="checkbox"/>

Special Minimum Lot Size Area

Planning and Development Department

