

HOUSTON PLANNING COMMISSION

AGENDA

MAY 28, 2015



COUNCIL CHAMBER
CITY HALL ANNEX
2:30 P.M.

PLANNING COMMISSION MEMBERS



Mark A. Kilkenny, *Chair*
M. Sonny Garza, *Vice Chair*
Susan Alleman
Kenneth J. Bohan
Fernando L. Brave
Antoine Bryant
Lisa Clark
Algenita Davis
Truman C. Edminster, III
James R. Jard
Paul R. Nelson
Linda Porras-Pirtle
Mark Sikes
Martha Stein
Eileen Subinsky
Blake Tarrt III
Shaukat Zakaria

The Honorable Grady Prestage, P. E.
Fort Bend County
The Honorable Ed Emmett
Harris County
Commissioner James Noack
Montgomery County

ALTERNATE MEMBERS

Richard W. Stolleis, P. E.
Clay Forister, P.E.
Fort Bend County
Raymond J. Anderson, P. E.
Harris County
Mark J. Mooney, P.E.
Montgomery County

EX- OFFICIO MEMBERS

Carol Lewis, Ph.D.
Dale A. Rudick, P.E.
Dawn Ullrich
Gilbert Andrew Garcia, CFA

SECRETARY

Patrick Walsh, P.E.

Meeting Policies and Regulations

Order of Agenda

Planning Commission may alter the order of the agenda to consider variances first, followed by replats requiring a public hearing second and consent agenda last. Any contested consent item will be moved to the end of the agenda.

Public Participation

The public is encouraged to take an active interest in matters that come before the Planning Commission. Anyone wishing to speak before the Commission may do so. The Commission has adopted the following procedural rules on public participation:

1. Anyone wishing to speak before the Commission must sign-up on a designated form located at the entrance to the Council Chamber.
2. If the speaker wishes to discuss a specific item on the agenda of the Commission, it should be noted on the sign-up form.
3. If the speaker wishes to discuss any subject not otherwise on the agenda of the Commission, time will be allowed after all agenda items have been completed and "public comments" are taken.
4. The applicant is given first opportunity to speak and is allowed two minutes for an opening presentation. The applicant is also allowed a rebuttal after all speakers have been heard; two additional minutes will be allowed.
5. Speakers will be allowed two minutes for specially called hearing items, replats with notice, variances, and special exceptions.
6. Speakers will be allowed 1 minute for all consent agenda items.
7. Time limits will not apply to elected officials.
8. No speaker is permitted to accumulate speaking time from another person.
9. Time devoted to answering any questions from the Commission is not charged against allotted speaking time.
10. The Commission reserves the right to limit speakers if it is the Commission's judgment

that an issue has been sufficiently discussed and additional speakers are repetitive.

11. The Commission reserves the right to stop speakers who are unruly or abusive.

Limitations on the Authority of the Planning Commission

By law, the Commission is required to approve subdivision and development plats that meet the requirements of Chapter 42 of the Code of Ordinances of the City of Houston. The Commission cannot exercise discretion nor can it set conditions when granting approvals that are not specifically authorized by law. If the Commission does not act upon a Sec. I agenda item within 30 days, the item is automatically approved. The Commission's authority on platting does not extend to land use. The Commission cannot disapprove a plat because it objects to the use of the property. All plats approved by the Commission are subject to compliance with applicable requirements, e.g., water, sewer, drainage, or other public agencies.

Contacting the Planning Commission

Should you have materials or information that you would like for the Planning Commission members to have pertaining to a particular item on their agenda, contact staff at 713-837-7758. Staff can either incorporate materials within the members Agenda packets, or can forward to the members messages and information.

Contacting the Planning Department

The Planning and Development Department is located at 611 Walker Street on the Sixth Floor. Code Enforcement is located at 1002 Washington Street.

The Departments mailing address is:
P.O. Box 1562
Houston, Texas 77251-1562

The Departments website is:
www.houstonplanning.com

E-mail us at:
Planning and Development
Suzy.Hartgrove@houstontx.gov

Plat Tracker Home Page:
www.HoustonPlatTracker.org

Speakers Sign In Form

Instructions:

1. So that the Commission's Chairperson can call on those wishing to address the Commission, please provide the information below. Make sure the information is legible. If you have questions about the form or a particular item while filling out this form Planning and Development Department staff members are available at the front of the room to answer any questions. Hand the completed form to a staff member prior to the meeting's Call to Order.
2. It is important to include your "position" so that the Chairperson can group the speakers by position.
3. If you are a part of an organized group of speakers and want to address the Commission in a particular order please let a staff member know prior to the beginning of the meeting.
4. The Chairperson will call each speaker's name when it is his or her turn to speak. The Chairperson will also call out the speaker to follow.
5. As the called speaker you should move forward to the podium, state your name for the record, and then deliver your comments.
6. If you have materials to distribute to the Commission hand them to a staff member at the beginning of your presentation. Staff will distribute the information to Commission members on both sides of the table as you begin your comments.

Agenda Item Number: _____

Agenda Item Name: _____

Your Name (speaker): _____

How Can We Contact You? (optional): _____

Your Position Regarding the Item (supportive, opposed, undecided): _____

Speakers Sign In Form

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Agenda Item Number: _____

Agenda Item Name: _____

Your Name (speaker): _____

How Can We Contact You? (optional): _____

Your Position Regarding the Item (supportive, opposed, undecided): _____

Houston Planning Commission

AGENDA

May 28, 2015

Meeting to be held in
Council Chamber, City Hall Annex
2:30 p.m.

Call to Order

Director's Report

- **Approval of the May 14, 2015 Planning Commission Meeting Minutes**

I. Platting Activity (Subdivision and Development plats)

- Consent Subdivision Plats (Christa Stoneham)
- Replats (Christa Stoneham)
- Replats requiring Public Hearings with Notification (Dorianne Powe-Phlegm, Suvidha Bandi)
- Subdivision Plats with Variance Requests (Dipti Mathur, Mikalla Hodges, Muxian Fang and Suvidha Bandi)
- Subdivision Plats with Special Exception Requests (Muxian Fang)
- Reconsiderations of Requirement (Mikalla Hodges)
- Extension of Approvals (Chad Miller)
- Name Changes (Chad Miller)
- Certificates of Compliance (Chad Miller)
- Administrative
- Development Plats with Variance Requests (Kimberly Bowie, Christa Stoneham)

II. Establish a public hearing date of June 25, 2015

- Amended Plat of Almeda Place partial replat no 5
- Briarcroft Subdivision partial replat no 1
- King Village North partial replat no 5
- King Village North partial replat no 6
- Memorial Green Sec 2 replat no 1 and extension
- Northborough Sec 2 partial replat no 1
- Richwood partial replat no 1
- Shady Acres Extension no 3 partial replat no 9
- Shady Acres Extension no 3 partial replat no 10
- Walden on Lake Houston Phase 5 Champions Village replat no 1
- West Court partial replat no 3
- Whispering Pines Estates partial replat no 9

III. Establish a Public Hearing date of June 11, 2015 for a Hotel Motel variance located at 3825 Wilcrest Drive

IV. Consideration of a Landscape Variance for a property located at 2951 Wilcrest Drive – General Consulate of Saudi Arabia (Kimberly Bowie)

V. Public Hearing and Consideration of a Special Minimum Lot Size Area Application for Glen Park Subdivision (Misty Staunton) MLSA 482

VI. Public Hearing and Consideration of a Special Minimum Lot Size Area Application for Glenshire Subdivision Sections 2, 4, 6 and 8 (Shan Gao) MLSA 420

VII. Public Hearing and Consideration of a Special Minimum Lot Size Area Application for Glenshire Subdivision Sections 2 and 6 (Shan Gao) MLSA 421

VIII. Consideration of an Appeal of the Decision of the Houston Archaeological and Historical Commission on April 23, 2015 for a Certificate of Appropriateness for 1548 Cortlandt Street - Houston Heights Historic District East (Diana DuCroz)

IX. Excuse the absences of Commissioners Alleman and Kilkenny

X. Public Comment

XI. Adjournment

Minutes of the Houston Planning Commission

(A CD/DVD of the full proceedings is on file in the Planning and Development Department)

May 14, 2015
Meeting to be held in
Council Chambers, Public Level, City Hall Annex
2:30 p.m.

Call to order:

Vice Chair, M. Sonny Garza called the meeting to order at 2:42 p.m. with a quorum present.

Mark A. Kilkenney, Chair	Absent
M. Sonny Garza	
Susan Alleman	Absent
Fernando Brave	Left at 5:30 pm during agenda item VI
Kenneth Bohan	Arrived at 3:05 pm during agenda item #141
Antoine Bryant	Absent
Lisa Clark	Left at 5:01 pm during agenda item #143
Algenita Davis	
Truman C. Edminster III	
James R. Jard	Left at 4:15 pm during agenda item #140
Paul R. Nelson	
Linda Porras-Pirtle	Left at 4:43 pm during agenda item #142
Mark Sikes	
Martha Stein	
Eileen Subinsky	Absent
Blake Tartt III	
Shaukat Zakaria	
Mark Mooney for Commissioner James Noack	Left at 3:15 pm during agenda item #126 & 127
Clay Forister for The Honorable Grady Prestage	
Raymond Anderson for The Honorable Ed Emmett	

EXOFFICIO MEMBERS

Carol A. Lewis
Dale A. Rudick, P.E.

DIRECTOR'S REPORT

The Director's Report was given by Patrick Walsh, Director, Planning and Development Department.

APPROVAL OF THE APRIL 30, 2015 PLANNING COMMISSION MEETING MINUTES

Commission action: Approved the April 30, 2015 Planning Commission meeting minutes.

Motion: **Stein**

Second: **Sikes**

Vote: **Unanimous**

Abstaining: **None**

I. Consideration of the proposed amendments to Chapters 10, 33, 39, 40, and 42 of the Code of Ordinances

Report was presented by Brian Crimmins, Chief of Staff, Planning and Development Department.

Commission action: Approved the recommendation of the proposed amendments to Chapters 10, 33, 39, 40 and 42 of the Code of Ordinances with the requested changes and forward to City Council for approval.

Motion: **Jard**

Second: **Tartt**

Vote: **Unanimous**

Abstaining: **None**

II. PLATTING ACTIVITY (Consent items A and B)

Items removed for separate consideration: **21, 29, 42, 70 and 71.**

Staff recommendation: Approve staff's recommendations for items **1 – 117** subject to the CPC 101 form conditions.

Commission action: Approved staff's recommendations for items **1 – 117** subject to the CPC 101 form conditions.

Motion: **Clark**

Second: **Brave**

Vote: **Unanimous**

Abstaining: **None**

Commissioner Edminster recused and left the room.

Staff recommendation: Approve staff's recommendation to approve items **21, 29, 42, 70 and 71** subject to the CPC 101 form conditions.

Commission action: Approved staff's recommendation to approved items **21, 29, 42, 70 and 71** subject to the CPC 101 form conditions.

Motion: **Porras-Pirtle**

Second: **Zakaria**

Vote: **Unanimous**

Abstaining: **None**

Commissioner Edminster returned.

C PUBLIC HEARINGS

118 Long Point Woods Sec 1 partial replat no 1

C3N

Defer

Staff recommendation: Defer the plat for two weeks to allow time for applicant to provide additional information.

Commission action: Deferred the plat for two weeks to allow time for applicant to provide additional information.

Motion: **Jard**

Second: **Edminster**

Vote: **Unanimous**

Abstaining: **None**

Item #141 was taken at this time.

141 Reserve at Clear Lake City Sec 7

C3P

Approve

Staff recommendation: Deny the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and plat subject to the CPC 101 form conditions.

Motion: **Jard**

Second: **Edminster**

Vote: **Carries**

Abstaining: **Porras-Pirtle**

Speakers: Council Member Martin – opposed; Susan Bobrick, Lynn Capell, Marian Thompson – supportive.

Commissioner Edminster recused and left the room.

119 McKenzie Park Sec 4 partial replat no 1 C3N Approve

Staff recommendation: Approve the plat subject to CPC 101 form conditions.

Commission action: Approved the plat subject to CPC 101 form conditions.

Motion: **Clark**

Second: **Stein**

Vote: **Unanimous**

Abstaining: **None**

Commissioner Edminster returned.

120 Scenic Woods partial replat no 2 C3N Defer

Staff recommendation: Defer per applicants request.

Commission action: Deferred per applicants request.

Motion: **Jard**

Second: **Davis**

Vote: **Unanimous**

Abstaining: **None**

121 Spring Village Estates partial replat no 1 C3N Defer

Staff recommendation: Defer the plat for two weeks to allow time for applicant to provide additional information.

Commission action: Deferred the plat for two weeks to allow time for applicant to provide additional information.

Motion: **Davis**

Second: **Nelson**

Vote: **Unanimous**

Abstaining: **None**

122 Treviso replat no 1 C3N Approve

Staff recommendation: Approve the plat subject to the CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Clark**

Second: **Tartt**

Vote: **Unanimous**

Abstaining: **None**

Speakers: Catherine Barcherp and Warren Escory – applicant – supportive

123 Washington Terrace partial replat no 2 C3N Defer

Staff recommendation: Defer per applicant request.

Commission action: Deferred per applicant's request.

Motion: **Davis**

Second: **Brave**

Vote: **Unanimous**

Abstaining: **None**

124 Westcott Place Sec 2 Partial replat no 1 C3N Approve

Staff recommendation: Approve the plat subject to the CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Nelson**

Second: **Porras-Pirtle**

Vote: **Unanimous**

Abstaining: **None**

Speakers: Felicia Powel – opposed; Mary McKenue – supportive

D – Variances

125 Adara Pointe GP GP Defer

Staff recommendation: Defer per applicant request.

Commission action: Deferred per applicant request.

Motion: **Jard**

Second: **Bohan**

Vote: **Unanimous**

Abstaining: **None**

Items 126 and 127 were taken together at this time and voted on separately.

126 Albion partial replat no 1**C2R****Defer**

Staff recommendation: Grant the requested variance and approve the plat subject subject to the CPC 101 form conditions.

Commission action: Deferred the plat for two weeks to allow time for the applicant to provide additional information.

Motion: **Brave**Second: **Stein**Vote: **Unanimous**Abstaining: **None****127 Albion partial replat no 2****C2R****Defer**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions,

Commission action: Deferred the plat for two weeks to allow time for the applicant to provide additional information.

Motion: **Brave**Second: **Stein**Vote: **Unanimous**Abstaining: **None**

Speakers: Mary Lou Henry, applicant and Donald Perkins, CM Green's office – supportive; Gail Stalanan, Norman Stalaron, & Eddie Grosman – opposed.

128 Aldine Town Center**GP****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Porras-Pirtle**Second: **Edminster**Vote: **Carries**Abstaining: **Anderson****129 Aldine Westfield Business Park****C2****Defer**

Staff recommendation: Defer per applicant request.

Commission action: Deferred per applicant request.

Motion: **Clark**Second: **Sikes**Vote: **Unanimous**Abstaining: **None****130 Bell Hutchins****C2****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Brave**Second: **Clark**Vote: **Unanimous**Abstaining: **None****131 Center City Views****C2R****Approve**

Staff recommendation: Approve the plat subject to the CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Zakaria**Second: **Edminster**Vote: **Unanimous**Abstaining: **None****132 Dwight Place****C2R****Withdrawn**

Commissioner Jard recused and left the room.

133 Energy Gateway District**C3R****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Edminster**Second: **Zakaria**Vote: **Carries**Abstaining: **Tartt**

Speakers: Don Huml – supportive; Virginia Gregory - opposed

134 Fondren Estates**C2****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Bohan**Second: **Davis**Vote: **Unanimous**Abstaining: **None**

Items 135 and 136 were taken together at this time.

135 Harris County MUD no 438**C2****Approve****Waste Water Treatment Plant no 1****136 Harris County MUD no 438****C2****Approve****Water plant no 1**

Staff recommendation: Grant the requested variances and approve the plats subject to the CPC 101 form conditions.

Commission action: Granted the requested variances and approved the plats subject to the CPC 101 form conditions.

Motion: **Clark**Second: **Nelson**Vote: **Unanimous**Abstaining: **None****137 Herkimer Lawrence Homes****C2R****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Stein**Second: **Anderson**Vote: **Unanimous**Abstaining: **None**

Commissioner Jard returned

138 Katy Manor GP**GP****Approve**

Staff recommendation: Grant the requested variance to exceed the required 1400' intersection spacing and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance to exceed the required 1400' intersection spacing and approved the plat subject to the CPC 101 form conditions

Motion: **Porras-Pirtle** Second: **Anderson** Vote: **Unanimous** Abstaining: **None****139 Kubricht White****C2R****Defer**

Staff recommendations: Defer the plat for two weeks to allow time for applicant to provide additional information.

Commission action: Deferred the plat for two weeks to allow time for applicant to provide additional information.

Motion: **Edminster**Second: **Bohan**Vote: **Unanimous**Abstaining: **None****140 Museum of Fine Arts Houston Sec 1****C2R****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Davis**Second: **Brave**Vote: **Unanimous**Abstaining: **None**

Item 141 was taken earlier in the meeting.

142 Rosine Gardens**C2****Defer**

Staff recommendation: Deny the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Deferred the plat for two weeks.

Motion: **Zakaria**

Second: **Davis**

Vote: **Unanimous**

Abstaining: **None**

Speakers: Joe Adams, Bridget Jensen – opposed; Chris Smith, Mike Qaddumi and Mary Villareal – applicant, Mike Solomon, developer – supportive; Richard Smith, Managing Engineer, Public Works and Engineering Department

143 Sunset Ridge West Sec 5**C3P****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Anderson**

Second: **Sikes**

Vote: **Unanimous** Abstaining: **None**

144 Swan Terrace**C2R****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Bohan**

Second: **Edminster**

Vote: **Unanimous** Abstaining: **None**

145 Thrustmaster Sec 2**C2****Defer**

Staff recommendation: Defer for further study and review.

Commission action: Deferred for further study and review.

Motion: **Bohan**

Second: **Brave**

Vote: **Unanimous** Abstaining: **None**

**E SPECIAL EXCEPTIONS
NONE****F RECONSIDERATION OF REQUIREMENTS****146 Aliana Sec 45****C3P****Defer**

Staff recommendation: Defer the plat per applicant request.

Commission action: Deferred the plat per applicant request.

Motion: **Edminster**

Second: **Anderson**

Vote: **Unanimous** Abstaining: **None**

**147 Beltway Southwest
Business Park GP****GP****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Davis**

Second: **Anderson**

Vote: **Unanimous** Abstaining: **None**

148 Huffman Dollar General**C2****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Anderson**

Second: **Stein**

Vote: **Unanimous** Abstaining: **None**

149 SLC Realty Area Fifty One**C2****Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Edminster** Second: **Anderson** Vote: **Unanimous** Abstaining: **None**

Items G, H, and I were taken together at this time.

G EXTENSIONS OF APPROVAL

150	Estates of Teal Run Sec 5 partial replat no 1	EOA	Approve
151	Fort Bend County Municipal Utility District no 58 Lift Station No 2	EOA	Approve
152	Franz Katy LLP	EOA	Approve
153	Harris County MUD no 504 Detention Pond no 1	EOA	Approve
154	Harris County MUD no 504 Detention Pond no 2	EOA	Approve
155	Kenroc Sec 2	EOA	Approve
156	Mustang Estates Sec 1	EOA	Approve
157	Pine Valley Development Sec 1	EOA	Approve
158	Rankin Hardy Tract	EOA	Approve
159	Woodlands Creekside Park West Sec 32	EOA	Approve
160	Woodlands Shumard Oak Drive Street Dedication Sec 1	EOA	Approve

**H NAME CHANGES
NONE****I CERTIFICATES OF COMPLIANCE
NONE**

Staff recommendation: Approve staff's recommendation for items 150 - 160.

Commission action: Approved staff's recommendation for item 150 - 160.

Motion: **Bohan** Second: **Tartt** Vote: **Carries** Abstaining: **Edminster**
abstaining from agenda item #150

**J ADMINISTRATIVE
NONE****K DEVELOPMENT PLATS WITH VARIANCE REQUESTS****161 6705 Airline DPV Approve**

Staff recommendation: Approve the requested variances to allow a 17.9' building line on the major thoroughfare Parker Road.

Commission action: Approved the requested variances to allow a 17.9' building line on the major thoroughfare Parker Road.

Motion: **Davis** Second: **Zakaria** Vote: **Unanimous** Abstaining: **None**

162	12819 Hansel Lane	DPV	Defer
Staff recommendation: Defer per applicant request.			
Commission action: Deferred per applicant request.			
	Motion: Zakaria	Second: Edminster	Vote: Carries Abstaining: Anderson
163	6638 N Main Street	DPV	Withdrawn
164	3819 S MacGregor Way	DPV	Approve
Staff recommendation: Approve the request to allow the existing encroachments to remain and be enclosed as a part of the remodel of the home.			
Commission action: Approved the request to allow the existing encroachments to remain and be enclosed as a part of the remodel of the home			
	Motion: Davis	Second: Zakaria	Vote: Unanimous Abstaining: None
165	201 Westmoreland	DPV	Withdrawn
166	2100 Woodhead	DPV	Defer
Staff recommendation: Defer per applicant's request.			
Commission action: Deferred per applicant's request.			
	Motion: Brave	Second: Bohan	Vote: Unanimous Abstaining: None

III. ESTABLISH A PUBLIC HEARING DATE OF JUNE 11, 2015 FOR:

- a. Blodgett Landing replat no 1
- b. Crescent Island replat no 1 partial replat no 2
- c. Cypress Creek Lakes Sec 26 replat no 1
- d. Decker Place partial replat no 1
- e. Martin partial replat no 1
- f. McIlhenny Street Landing
- g. Olde Oaks Sec 2 partial replat no 1
- h. Riverside Terrace 1 partial replat no 3
- i. Sage partial replat no 4
- j. West Houston partial replat no 2

Staff recommendation: Establish a public hearing date of June 11, 2015 for items **III a-j**.

Commission action: Established a public hearing date of June 11, 2015 for items **III a-j**.

Motion: **Edminster** Second: **Stein** Vote: **Unanimous** Abstaining: **None**

IV. CONSIDERATION OF AN OFF-STREET PARKING VARIANCE FOR A PROPERTY LOCATED AT 3501 SOUTHMORE BOULEVARD (ENERGY INSTITUTE HIGH SCHOOL) **Withdrawn**

V. CONSIDERATION OF AN OFF-STREET PARKING VARIANCE FOR A PROPERTY LOCATED AT 520 MERCURY DRIVE (FURR HIGH SCHOOL)

Staff recommendation: Grant the requested variance to reduce the required number of off-street parking spaces provided on site from 562 parking spaces to 295.

Commission action: Granted the requested variance to reduced the required number of off-street parking spaces provided on site from 562 parking spaces to 295.

Motion: **Zakaria** Second: **Edminster** Vote: **Unanimous** Abstaining: **None**

VI. PUBLIC HEARING AND CONSIDERATION OF A SPECIAL MINIMUM LOT SIZE AREA APPLICATION FOR NAVIGATION SUBDIVISION MLSA 391

Staff recommendation: Defer item for four weeks to give staff time to speak and provide additional information to the community.

Commission action: Deferred for four weeks to give staff time to speak and provide additional information to the community.

Motion: **Tartt** Second: **Davis** Vote: **Unanimous** Opposing: **None**

Speaker for item VI: Bolivar Fraga, Jessica Hulse, Mary Helen Ortega, applicant, Manuela Guerrero – supportive; Janie Aguayo, Alicia Chavez, Miguel A. Martinez, Irene Garza, Ruben Lucio, Ramiro Martinez – opposed.

VII. PUBLIC HEARING AND CONSIDERATION OF A SPECIAL MINIMUM LOT SIZE BLOCK APPLICATION FOR THE 5000 BLOCK OF WEST HUNTING STREET, EAST SIDE. MLS 527

Staff recommendation: Approve the consideration of a special minimum lot size block application for the 5000 block of West Hunting Street (east side) and forward to City Council for approval.

Commission action: Approved the consideration of a special minimum lot size block application for the 5000 block of West Hunting Street (east side) and forward to City Council for approval.

Motion: **Tartt** Second: **Davis** Vote: **Unanimous** Abstaining: **None**

Speakers for item VII: Pauline Justice, and Carolyn Murray - supportive.

VIII. PUBLIC HEARING AND CONSIDERATION OF A SPECIAL MINIMUM LOT SIZE BLOCK APPLICATION FOR 1000 BLOCK OF KERN STREET, NORTH AND SOUTH SIDES MLS 526

Staff recommendation: Deny the consideration of the special minimum lot size block application for the 1000 block of Kern Street, (north and south side).

Commission action: Denied the consideration of the special minimum lot size block application for the 1000 block of Kern Street, (north and south side).

Motion: **Bohan** Second: **Edminster** Vote: **Unanimous** Abstaining: **None**

Speakers for item VIII: Claudio Carugati, Novid Rezai, Gerald Brackman, Kathleen Brackman – opposed; Karla Goolsby, Tim Goings, Tom Kondret, Diana Baldorino, Zackary Schaefer, Nancy Bryant, Hal C. Tribilcox, Ola Humphries, Megan Wilson, Jana Montemayor, Sara Armstrong, Jack Willis, and Lisbeth Nickie – supportive.

IX. PUBLIC HEARING AND CONSIDERATION OF A SPECIAL MINIMUM LOT SIZE BLOCK APPLICATION FOR THE 600 BLOCK OF ARCHER STREET, EAST AND WEST SIDES. MLS 523

Staff recommendation: Approve the consideration of the special minimum lot size block application for the 600 block of Archer Street, (east and west side) and forward to City Council for approval.

Commission action: Approved the consideration of the special minimum lot size block application for the 600 block of Archer Street, (east and west side) and forward to City Council for approval.

Motion: **Bohan** Second: **Davis** Vote: **Unanimous** Abstaining: **None**

Speakers for item IX: Tim Goings, and Zachary Schaefer – supportive.

Items X and XI were taken together at this time and voted on separately.

X. PUBLIC HEARING AND CONSIDERATION OF A SPECIAL MINIMUM LOT SIZE BLOCK APPLICATION FOR THE 1500 BLOCK OF EAST 32ND ½ STREET, NORTH AND SOUTH SIDES. MLS 534

Staff recommendation: Approve the consideration of the special minimum lot size block application for the 1500 block of East 32nd ½ Street, (north and south sides) and forward to City Council for approval.

Commission action: Approved the consideration of the special minimum lot size block application for the 1500 block of East 32nd ½ Street, (north and south sides) and forward to City Council for approval.

Motion: **Davis**

Second: **Bohan**

Vote: **Unanimous**

Abstaining: **None**

XI. PUBLIC HEARING AND CONSIDERATION OF A SPECIAL MINIMUM LOT SIZE BLOCK APPLICATION FOR THE 1400 BLOCK OF EAST 32ND ½ STREET, NORTH AND SOUTH SIDES MLS 535

Staff recommendation: Approve the consideration of a special minimum lot size block application for the 1400 block of East 32nd ½ Street, (north and south sides) and forward to City Council for approval.

Commission action: Approved the consideration of a special minimum lot size block application for the 1400 block of East 32nd ½ Street, (north and south sides) and forward to City Council for approval.

Motion: **Davis**

Second: **Bohan**

Vote: **Unanimous**

Abstaining: **None**

Speakers for item X and XI: Cynthia Allen, Ella Murray – supportive.

XII. EXCUSE THE ABSENCES OF COMMISSIONERS BRAVE AND SUBINSKY

Commissioner Brave present no Commission action required.

Commissioner Subinsky absences were excused.

Motion: **Sikes**

Second: **Tartt**

Vote: **Unanimous**

Abstaining: **None**

XIII. PUBLIC COMMENT

NONE

XIV. ADJOURNMENT

There being no further business brought before the Commission, Vice Chair, Sonny Garza adjourned the meeting at 7:11 p.m.

Motion: **Edminster**

Second: **Zakaria**

Vote: **Unanimous**

Abstaining: **None**

Sonny Garza, Vice Chair

Patrick Walsh, Secretary

Item No.	Subdivision Plat Name	App		Staff's
		Type	Deferral	Recommendation
A-Consent				
1	Aldine Fire Station	C2		Defer Additional information reqd
2	Aliana Sec 35	C3F		Approve the plat subject to the conditions listed
3	Aliana Sec 42	C3P		Approve the plat subject to the conditions listed
4	Aliana Sec 54	C3P		Defer Additional information reqd
5	Barker Village Sec 4	C3F		Approve the plat subject to the conditions listed
6	Bayou Fifth Sec 1	C3F	DEF1	Approve the plat subject to the conditions listed
7	Bayou Fifth Sec 2	C3F	DEF1	Approve the plat subject to the conditions listed
8	Beltway Southwest Business Park Sec 1	C3F		Approve the plat subject to the conditions listed
9	Blackstone Creek Sec 3	C3F		Approve the plat subject to the conditions listed
10	Blue Bell Terrace GP	GP		Approve the plat subject to the conditions listed
11	Braes Heights Addition partial replat no 2 Sec 10	C3F		Approve the plat subject to the conditions listed
12	Brandy Villas	C3P		Approve the plat subject to the conditions listed
13	Breckenridge Forest Sec 11	C3P		Approve the plat subject to the conditions listed
14	Bridgeland Parkland Village Sec 5	C3P		Approve the plat subject to the conditions listed
15	Bridgeland Parkland Village Sec 6	C3P		Approve the plat subject to the conditions listed
16	Cypress Landing East Sec 12	C3F		Approve the plat subject to the conditions listed
17	Cypress Preserve Park Sec 2	C3F	DEF1	Approve the plat subject to the conditions listed
18	Daybreak Sec 3	C3P		Approve the plat subject to the conditions listed
19	Dietz Acres	C2		Approve the plat subject to the conditions listed
20	Dyer Vistas	C3F		Defer Chapter 42 planning standards
21	Elyson Sec 4	C3F		Approve the plat subject to the conditions listed
22	Elyson Sec 5	C3F		Approve the plat subject to the conditions listed
23	Evergreen Villas Sec 1	C3P		Approve the plat subject to the conditions listed
24	Fall Creek East Sec 1	C3F		Approve the plat subject to the conditions listed
25	Fieldstone Sec 12	C3P		Approve the plat subject to the conditions listed
26	Fieldstone Sec 13	C3P		Approve the plat subject to the conditions listed
27	Gogo Victory	C2		Approve the plat subject to the conditions listed
28	Grand Park Professional Place	C2		Defer Applicant request
29	Harris County Improvement District no 15 Detention Pond no 1	C2		Approve the plat subject to the conditions listed
30	Harris County Improvement District No 15 Detention Pond no 2	C2		Approve the plat subject to the conditions listed

Platting Summary**Houston Planning Commission****PC Date: May 28, 2015**

Item No.	Subdivision Plat Name	App Type	Deferral	Staff's Recommendation
31	Houston First North Garage Addition	C3P		Approve the plat subject to the conditions listed
32	Kuykendahl Commercial Center	C2	DEF2	Withdraw
33	Lakemont River United Methodist Church	C2		Approve the plat subject to the conditions listed
34	Long Meadow Farms Sec 42	C3P		Approve the plat subject to the conditions listed
35	Lund RV Park	C2		Defer Additional information reqd
36	Mason Road in Fieldstone Street Dedication Sec 1	C3P		Approve the plat subject to the conditions listed
37	Mayo Trucking	C2		Defer Additional information reqd
38	McKay Intercontinental Trade Center GP	GP		Approve the plat subject to the conditions listed
39	Morton Creek Ranch Sec 17	C3P		Approve the plat subject to the conditions listed
40	Morton Creek Ranch Sec 18	C3P		Approve the plat subject to the conditions listed
41	Northeast Christian Academy	C3P		Approve the plat subject to the conditions listed
42	Orleans Courte	C2	DEF1	Approve the plat subject to the conditions listed
43	Plainview Second Addition partial replat no 6	C3F		Approve the plat subject to the conditions listed
44	Porter Road Street Dedication Sec 1	SP		Approve the plat subject to the conditions listed
45	Priority Wire Expansion	C2		Approve the plat subject to the conditions listed
46	Reserve at Hargrave	C2		Approve the plat subject to the conditions listed
47	Reserve at Kuykendahl	C2		Approve the plat subject to the conditions listed
48	Roman Forest Plaza GP	GP		Approve the plat subject to the conditions listed
49	Roman Forest Plaza Sec 1	C2		Approve the plat subject to the conditions listed
50	Rosehill Reserve Drive and Recreation Center	C3F	DEF1	Approve the plat subject to the conditions listed
51	Rosehill Reserve Sec 4	C3F	DEF1	Approve the plat subject to the conditions listed
52	Schroeder Furches Business Park	C2		Approve the plat subject to the conditions listed
53	Sendero Tract Sec 1	C3P		Approve the plat subject to the conditions listed
54	Sendero Tract Sec 2	C3P		Approve the plat subject to the conditions listed
55	Shay Plaza	C2		Approve the plat subject to the conditions listed
56	Sheldon Ridge Sec 6	C3P		Approve the plat subject to the conditions listed
57	Sheldon Ridge Sec 7	C3P		Approve the plat subject to the conditions listed
58	Springwoods Village District Sec 7	C2	DEF1	Approve the plat subject to the conditions listed
59	Stillwater on Lake Houston Sec 3	C3F		Approve the plat subject to the conditions listed
60	Sunset Ridge West Sec 7	C3P		Approve the plat subject to the conditions listed
61	Tidwell Lakes Sec 2	C3P		Approve the plat subject to the conditions listed

Item No.	Subdivision Plat Name	App Type	Deferral	Staff's Recommendation
62	Towne Lake Sec 37	C3F		Approve the plat subject to the conditions listed
63	Towne Lake Sec 42	C3P		Approve the plat subject to the conditions listed
64	Towne Lake Sec 43	C3P		Approve the plat subject to the conditions listed
65	Vadtal Dham Shree Swaminarayan Hindu Temple	C2	DEF1	Disapprove
66	Ventana Lakes Sec 9	C3F	DEF2	Approve the plat subject to the conditions listed
67	West at Grand Parkway Reserve	C2		Approve the plat subject to the conditions listed
68	Wildwood at Oakcrest North Sec 14	C3F		Approve the plat subject to the conditions listed
69	Winfield Lakes North Sec 2	C3F		Approve the plat subject to the conditions listed

B-Replats

70	Aliana Sec 49	C3R		Defer Additional information reqd
71	Autumn Commons	C2R	DEF1	Defer Chapter 42 planning standards
72	Bomar Morgan Crossing	C2R		Approve the plat subject to the conditions listed
73	Cage Street Court	C2R		Approve the plat subject to the conditions listed
74	Capital Business Park	C2R		Approve the plat subject to the conditions listed
75	Clay Flats	C2R		Withdraw
76	Cook Cowan Crossley	C2R		Approve the plat subject to the conditions listed
77	Cypress Creek Apartment Homes at Wayside	C2R		Approve the plat subject to the conditions listed
78	Deerbrook Crossing Sec 4 partial replat no 1 and extension	C2R	DEF1	Defer Additional information reqd
79	Ernie Hotze Reserve	C2R		Approve the plat subject to the conditions listed
80	Felro Trail	C2R		Defer Chapter 42 planning standards
81	Four Points Park	C2R		Approve the plat subject to the conditions listed
82	Friendswood Self Storage	C2R		Approve the plat subject to the conditions listed
83	Harrow Center partial replat no 2	C2R	DEF1	Defer Applicant request
84	Hartford Homes On Saint Emanuel	C2R		Approve the plat subject to the conditions listed
85	Kansas Corner Estates	C2R	DEF1	Approve the plat subject to the conditions listed
86	Katy Ranch Crossing partial replat no 2	C2R		Approve the plat subject to the conditions listed
87	Kensington Green	C3R		Defer Additional information reqd
88	McKay Intercontinental Trade Center Sec 1	C3R		Approve the plat subject to the conditions listed
89	Mckay Intercontinental Trade Center Sec 2	C3R		Approve the plat subject to the conditions listed
90	Millers Crossing	C2R		Defer Additional information reqd
91	Milwee Market	C2R		Approve the plat subject to the conditions listed
92	Moonshine Green Plaza	C2R	DEF2	Approve the plat subject to the conditions listed

Platting Summary**Houston Planning Commission****PC Date: May 28, 2015**

Item No.	Subdivision Plat Name	App Type	Deferral	Staff's Recommendation
93	Nicholson Street Landing	C2R		Approve the plat subject to the conditions listed
94	Nik and Riya Place	C2R		Approve the plat subject to the conditions listed
95	North Shepherd Plaza	C2R	DEF1	Approve the plat subject to the conditions listed
96	Park Place Corner	C2R		Approve the plat subject to the conditions listed
97	Scenic Gardens Plaza partial replat no 1	C3R		Approve the plat subject to the conditions listed
98	Smith House on Harvard	C2R		Approve the plat subject to the conditions listed
99	Technical Realty Group of Texas	C2R	DEF1	Approve the plat subject to the conditions listed
100	Texas Express Plumbing Inc	C2R		Defer for further study and review
101	Tricon Richton Villas	C2R		Approve the plat subject to the conditions listed
102	Walmart Store no 4526	C2R		Approve the plat subject to the conditions listed
103	West 22nd Villas	C2R	DEF1	Approve the plat subject to the conditions listed
104	West Twenty Second Street Villas	C2R		Approve the plat subject to the conditions listed
105	White Oak Village	C2R		Approve the plat subject to the conditions listed

C-Public Hearings Requiring Notification

106	Aliana Sec 15 replat no 3 and extension partial replat no 1	C3N		Grant the requested variance(s) and Approve the plat subject to the conditions listed
107	Douglas E Bundy Amenity Lake No 1 replat no 1 and extension	C3N		Grant the requested variance(s) and Approve the plat subject to the conditions listed
108	Lakeview Homes Addition partial replat no 2	C3N		Approve the plat subject to the conditions listed
109	Long Point Woods Sec 1 partial replat no 1	C3N	DEF2	Approve the plat subject to the conditions listed
110	Melody Oaks partial replat no 14	C3N		Approve the plat subject to the conditions listed
111	Scenic Woods partial replat no 2	C2	DEF1	Approve the plat subject to the conditions listed
112	Scottcrest partial replat no 1	C3N		Withdraw
113	Spring Village Estates partial replat no 1	C3N	DEF1	Approve the plat subject to the conditions listed
114	Terrace Oaks partial replat no 1	C3N		Approve the plat subject to the conditions listed
115	Washington Terrace partial replat no 2	C3N	DEF2	Deny the requested variance(s) and Approve the plat subject to the conditions listed

D-Variances

116	Adara Pointe GP	GP	DEF2	Grant the requested special exception(s) and Approve the plat subject to the conditions listed
117	Albion partial replat no 1	C2R	DEF1	Grant the requested variance(s) and Approve the plat subject to the conditions listed

Platting Summary**Houston Planning Commission****PC Date: May 28, 2015**

Item No.	Subdivision Plat Name	App Type	Deferral	Staff's Recommendation
118	Albion partial replat no 2	C2R	DEF1	Grant the requested variance(s) and Approve the plat subject to the conditions listed
119	Aldine Westfield Business Park	C2	DEF2	Withdraw
120	Kubricht White	C2R	DEF1	Grant the requested variance(s) and Approve the plat subject to the conditions listed
121	Polk Avenue Landing	C2		Grant the requested variance(s) and Approve the plat subject to the conditions listed
122	Rosine Gardens	C2	DEF2	Deny the requested variance(s) and Disapprove the plat
123	Saudi Arabia Royal Consulate	C2R		Grant the requested variance(s) and Approve the plat subject to the conditions listed
124	Thrustmaster Sec 2	C2	DEF1	Grant the requested variance(s) and Approve the plat subject to the conditions listed
125	Willowcreek Ranch GP	GP		Defer Additional information reqd

E-Special Exceptions

126	Sendero Tract GP	GP		Grant the requested special exception(s) and Approve the plat subject to the conditions listed
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F-Reconsideration of Requirements

127	Aliana Sec 45	C3P	DEF1	Defer Applicant request
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G-Extensions of Approval

128	Briscoe Falls Sec 5	EOA		Approve
129	DNA Properties	EOA		Approve
130	East End on the Bayou Sec 2	EOA		Approve
131	Foley Road Ranch	EOA		Approve
132	Greenwood Plaza	EOA		Approve
133	Hidden Oaks replat no 2 partial replat no 1 and extension	EOA		Approve
134	Lakecrest Village Sec 5	EOA		Approve
135	Pine Trace Sec 6	EOA		Approve
136	Pros Drywall	EOA		Approve
137	WPW Management Corporation	EOA		Approve

H-Name Changes

None

I-Certification of Compliance

138	24254 Kelly Road	COC		Approve
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J-Administrative

Platting Summary**Houston Planning Commission****PC Date: May 28, 2015**

Item		App		Staff's
No.	Subdivision Plat Name	Type	Deferral	Recommendation

None

K-Development Plats with Variance Requests

139	768 East 16th Street	DPV	Approve
140	12819 Hansel Lane	DPV	Deny
141	2951 Wilcrest Drive	DPV	Approve
142	2100 Woodhead	DPV	Deny



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 1
Action Date: 05/28/2015
Plat Name: Aldine Fire Station
Developer: Harris County Emergency Service District #24
Applicant: Gessner Engineering
App No/Type: 2015-0956 C2

Staff Recommendation:
Defer Additional
information reqd

Total Acreage:	8.4080	Total Reserve Acreage:	8.4080
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Open Ditch	Utility District:	Memorial Hills Utility District
County	Zip	Key Map ©	City / ETJ
Harris	77073	333J	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

061. Orient the layout of the plat with north to the top of the page (perpendicular to the bottom edge of the sheet) and provide a north arrow. (41)

191. Appendix G:Harris County Engineer is missing. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

193. Appendix I:Certificate for Harris County Commissioners' Court is missing. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 1
Action Date: 05/28/2015
Plat Name: Aldine Fire Station
Developer: Harris County Emergency Service District #24
Applicant: Gessner Engineering
App No/Type: 2015-0956 C2

Staff Recommendation:
Defer Additional
information reqd

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Label street names on Vicinity Map. (HC)
Missing HC Road Law paragraph from dedicatory language. (HC)
Add HC Engineer's Certificate and County Clerk Certificate of Commissioners' Court approval. (HC)
It doesn't appear that this is a replat. Remove any notations of replat. (HC)
Verify ROW width. HC Road Log shows 60'. Call out recording info for entire existing ROW. (HC)
Verify ROW width of Essman Ln, HC Road Log shows 100'. Call out recording info for Essman Ln. (HC)
Call out recording info for Cypress Creek Pkwy. (HC)
Call out recording info for properties south of Humble-westfield Rd and west of Essman Ln. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 2
Action Date: 05/28/2015
Plat Name: Aliana Sec 35
Developer: Aliana Development
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-1079 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	18.9130	Total Reserve Acreage:	1.4130
Number of Lots:	45	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Fort Bend County MUD 134 B
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	567A	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

052. Sec 34, 37, AND 38 must be recorded prior to or simultaneously with this plat.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

197. Recordation dedicatory acknowledgements and certificates do not conform to those requirements by Fort Bend County. Contact staff Recordation Section for appropriate statements and requirements.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 3
Action Date: 05/28/2015
Plat Name: Aliana Sec 42
Developer: Aliana Development
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-1096 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	10.1960	Total Reserve Acreage:	0.4700
Number of Lots:	45	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Fort Bend County MUD 134 B
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	566D	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
052. Aliana Westmoor Drive Sec 4 must be recorded prior to or simultaneously with this plat.
058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)
063. All appropriate engineering and surveying data shall be shown. (42 & 44)
064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)
091. Provide One-foot reserve as indicated on the plat and add applicable One-foot Reserve note to the plat. (193)
121. Add One-foot Reserve plat note: (adjacent to street) One-foot reserve dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent property, the condition of this dedication being that when the adjacent property is subdivided or re-subdivided in a recorded subdivision plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs, assigns or successors.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 3
Action Date: 05/28/2015
Plat Name: Aliana Sec 42
Developer: Aliana Development
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-1096 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Fort Bend Engineer: change 20' Building line to 25' building line
Extend Westmoor to plat boundary
Provide d general land plan approved by City of Houston
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 4
Action Date: 05/28/2015
Plat Name: Aliana Sec 54
Developer: Aliana Development
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-1092 C3P

Staff Recommendation:
 Defer Additional
 information reqd

Total Acreage:	21.9220	Total Reserve Acreage:	3.2020
Number of Lots:	74	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Fort Bend County MUD 134 B
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	526Z	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

091. Provide One-foot reserve as indicated on the plat and add applicable One-foot Reserve note to the plat. (193)

136. Local streets should have 50-foot right-of-way width if the street is adjacent to single-family residential lots.

163. The minimum spacing of intersections along a major thoroughfare is 600 feet. (127)

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

A revised GP is required to show a new east-west street proposed between section 54 and 49.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: Change Port Dundas from a 25' radius to 30' radius at its connection to Westmoor
 Provide d general land plan approved by City of Houston
 City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 5
Action Date: 05/28/2015
Plat Name: Barker Village Sec 4
Developer: KB Home Lone Star, Inc. a Texas Corporation
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-1026 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	14.8000	Total Reserve Acreage:	2.0000
Number of Lots:	68	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 157
County	Zip	Key Map ©	City / ETJ
Harris	77449	407S	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)
043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.
047. Make minor corrections and additions as indicated on the marked file copy.
052. Baker Village Sec 2 Partial replat no 3 and extension must be recorded prior to or simultaneously with this plat.
058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)
062. Provide an appropriate numeric and graphic scale. (20, 30, 40, 50, 60, or 100 feet) (42 & 44)
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 6
Action Date: 05/28/2015
Plat Name: Bayou Fifth Sec 1
Developer: Fenway Development, Inc.
Applicant: Jacobs Engineering Group Inc.
App No/Type: 2015-0950 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	12.6120	Total Reserve Acreage:	0.6330
Number of Lots:	214	Number of Multifamily Units:	0
COH Park Sector:	11	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77020	494F	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips and existing ROW's must show record information. Provide proof of coordination with PWE or JRC at recordation, regarding existing easements to remain in relocated ROW's.

047. Make minor corrections and additions as indicated on the marked file copy.

063. All appropriate engineering and surveying data shall be shown. (42 & 44) Documentation provided to meet 42-181 and 185 (lot size/width averaging.)

078.1. Minimum lot size in the urban area may be less than 3500 square feet, but not less than 1400 square feet if the subdivision plat meets the development standards of 42-183(b).

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Provide copy of City Council Ordinance abandoning any and all applicable streets and/or utility easements at recordation.

Provide letters of no objection from the Utilities Division of the Public Works and Engineering Department for the realignment and rededication of all applicable streets prior to recordation.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 6
Action Date: 05/28/2015
Plat Name: Bayou Fifth Sec 1
Developer: Fenway Development, Inc.
Applicant: Jacobs Engineering Group Inc.
App No/Type: 2015-0950 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Utility Analysis: A Wastewater capacity reservation letter is required for this project.
CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

PWE Traffic: Parking plan to be provided.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 7
Action Date: 05/28/2015
Plat Name: Bayou Fifth Sec 2
Developer: Fenway Development, Inc
Applicant: Jacobs Engineering Group Inc.
App No/Type: 2015-0953 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	17.6050	Total Reserve Acreage:	2.9400
Number of Lots:	223	Number of Multifamily Units:	0
COH Park Sector:	11	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77020	494K	City

Conditions and Requirements for Approval

013. Provide written approval of plat with Recordation Package of the pipeline easement crossing as indicated on the marked file copy.

042. The following 3 easement issues must be addressed on this plat. All recorded easements must be shown on the plat. All HL&P and other private easements dedicated by separate instrument must be shown on this plat. All easements dedicated by separate instrument that are shown on the plat, and are not located to a common property line must be vacated, abandoned and rededicated prior to recordation.

043. All existing easements and/or fee strips and existing ROW's must show record information. Identify all existing easements listed in the title commitment on a separate exhibit; identify relocated easements or ROW's, and identify all existing ROWS to be abandoned and re-dedicated by this plat.

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Add the following note to the notes section on the face of the plat: "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

Provide copy of City Council Ordinance abandoning any and all applicable streets and/or utility easements at recordation.

Provide letters of no objection from the Utilities Division of the Public Works and Engineering Department for the realignment and rededication of all applicable streets prior to recordation.

Provide extensions of the shared driveway as indicated on the marked file copy.

For Your Information:



**PLANNING &
DEVELOPMENT
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 7
Action Date: 05/28/2015
Plat Name: Bayou Fifth Sec 2
Developer: Fenway Development, Inc
Applicant: Jacobs Engineering Group Inc.
App No/Type: 2015-0953 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A Wastewater Capacity Reservation letter is required for this project.
CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 8
Action Date: 05/28/2015
Plat Name: Beltway Southwest Business Park Sec 1
Developer: SW Tracts Industrial, LLC
Applicant: Windrose Land Services, Inc.
App No/Type: 2015-1021 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	58.7993	Total Reserve Acreage:	55.4395
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	8	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77085	571N	City

Conditions and Requirements for Approval

007.5. Provide written approval from PWE, Joint Referral Committee regarding the abandonment of a street (Coker Street), alley, or easement inside the City of Houston prior to recordation. If it is determined that public utilities are involved a copy of the ordinance to abandon must be provided prior to recordation. Contact JRC at <http://www.publicworks.cityofhouston.gov/documents/JRC/index.htm> for the application process or call 713-837-0050.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

PWE Traffic: No comment.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 9
Action Date: 05/28/2015
Plat Name: Blackstone Creek Sec 3
Developer: Castlerock Communities
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-1008 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	8.1500	Total Reserve Acreage:	0.3339
Number of Lots:	51	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 278
County	Zip	Key Map ©	City / ETJ
Harris	77396	376G	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
052. Detention and Blackstone Creek Sec 2 must be recorded prior to or simultaneously with this plat.
058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: Due to close proximity to CenterPoint Energy Transmission Corridor, developer/applicant must submit drainage and wet utility plans for further review to ensure no negative impact on rights, access, maintenance, and/or facilities.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED:
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Depict Sec 2 layer just west and outside of plat boundary.(HC)

Contact traffic regarding any proposed driveway issues.(HC)



**PLANNING &
DEVELOPMENT
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 10
Action Date: 05/28/2015
Plat Name: Blue Bell Terrace GP
Developer: Blue Bell Place Builders, LLP & Blue Bell Place Builders, Ltd.
Applicant: Jones & Carter, Inc. - The Woodlands
Ann No/Type: 2015-1091 GP

Staff Recommendation:
 Approve the plat subject to the conditions listed

Total Acreage:	33.7600	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Combination
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77038	412F	ETJ

Conditions and Requirements for Approval

046. General Plan approval is for street patterns as shown on the plat only. (24)

046.1. Approval of the General Plan shall remain in effect for four years from the date of the Commission approval. Renewal of the GP shall occur when a section meeting the requirements of 42-24 (f) is recorded.

047. Make minor corrections and additions as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS PROVIDED, HOWEVER, W.M.E. IS REQUIRED. IF THE F.H. ARE PRIVATE, IT NEED 15'X25' W.M.E. FOR PRIVATE FIRE LINE USE. IF THE F.H. AND FIRE LINE ARE PUBLIC, IT NEED 10'X10' F.H.E. AND 20' W.L.E.

Harris Engineer: Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Alignment of Ella Blvd should be checked on both sides of Blue Bell Road (Traffic)

Legal description should also say charleston gardens. see markup. Verify. (HC)

UVE should be checked. See markups. (Traffic)

Road needs to intersect Veterans memorial at a 90-degree angle. Coordinate with traffic. (HC)

R=30' (Typical) at Blue Bell and Ella (HC)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 11
Action Date: 05/28/2015
Plat Name: Braes Heights Addition partial replat no 2 Sec 10
Developer: SF Real Estates Investments
Applicant: Probstfeld & Associates, Inc.
App No/Type: 2015-1017 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.4242	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	13	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77025	532K	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

073.2. Subdivision name shown of the face of the plat must match the subdivision name shown on the CPC101 Form.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 12
Action Date: 05/28/2015
Plat Name: Brandy Villas
Developer: Azure Holdings, LLC
Applicant: R.G. Miller Engineers
App No/Type: 2015-1080 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	19.5300	Total Reserve Acreage:	7.9300
Number of Lots:	43	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Type 1 PAE
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Montgomery	77354	249G	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)
063. All appropriate engineering and surveying data shall be shown. (42 & 44)
064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)
068. Provide a vicinity map that locates the subdivision site within the boundaries of an existing major thoroughfare grid.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS PROVIDED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 13
Action Date: 05/28/2015
Plat Name: Breckenridge Forest Sec 11
Developer: CET limited
Applicant: Van De Wiele & Vogler, Inc.
App No/Type: 2015-0884 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	22.4256	Total Reserve Acreage:	1.6021
Number of Lots:	99	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 82
County	Zip	Key Map ©	City / ETJ
Harris	77373	293Y	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with the HCPID-A&E Division: Make corrections and additions as indicated by Harris County's marked file copy in City of Houston's plat tracker. (HC)

UVEs have been checked and two are required. Required UVEs should be shown on the Plat and construction plan (Traffic)

Sidewalk is recommended at Reserve A, providing walking path to adjacent elementary school (Traffic)

Corner ROW radii at Lincolns Meadow Drive and Birnamwood Drive should be 30'. -Per HC (Traffic)

Double check all adjoining recorded plats.(HC)

Call out recording info for all adjacent property. (HC)

Contact traffic regarding any proposed driveway issues.(HC)

Verify Reserve count in title block. (HC)



Agenda Item: 14
Action Date: 05/28/2015
Plat Name: Bridgeland Parkland Village Sec 5
Developer: Bridgeland Development L.P.
Applicant: LJA Engineering, Inc - (Woodlands Office)
App No/Type: 2015-1060 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	22.3600	Total Reserve Acreage:	8.7000
Number of Lots:	36	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77433	366T	ETJ

Conditions and Requirements for Approval

042. The following 3 easement issues must be addressed on this plat. All recorded easements must be shown on the plat. All HL&P and other private easements dedicated by separate instrument must be shown on this plat. All easements dedicated by separate instrument that are shown on the plat, and are not located to a common property line must be vacated, abandoned and rededicated prior to recordation.

047. Make minor corrections and additions as indicated on the marked file copy.

052. Unnamed Collector from Fry Road to Creekside Bend Blvd and Bridgeland Creek Parkway must be recorded prior to or simultaneously with this plat.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

Add the following note to the face of the plat: "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

Coordinate right of way transitions with Harris County Engineer as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 14
Action Date: 05/28/2015
Plat Name: Bridgeland Parkland Village Sec 5
Developer: Bridgeland Development L.P.
Applicant: LJA Engineering, Inc - (Woodlands Office)
App No/Type: 2015-1060 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: NEED B.L.

Harris Engineer: The following is required to be addressed prior to recordation with HCED:

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Label building line along Mission Tejas Place.(HC)

Name and record Street Dedication for access prior to or simultaneously with this plat.(HC)

Provide correct county engineer certificate.(HC)

There are no traffic issues.(HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 15
Action Date: 05/28/2015
Plat Name: Bridgeland Parkland Village Sec 6
Developer: Bridgeland Development L.P.
Applicant: LJA Engineering, Inc - (Woodlands Office)
App No/Type: 2015-1067 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	19.3400	Total Reserve Acreage:	2.7800
Number of Lots:	50	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77433	366T	ETJ

Conditions and Requirements for Approval

042. The following 3 easement issues must be addressed on this plat. All recorded easements must be shown on the plat. All HL&P and other private easements dedicated by separate instrument must be shown on this plat. All easements dedicated by separate instrument that are shown on the plat, and are not located to a common property line must be vacated, abandoned and rededicated prior to recordation.

047. Make minor corrections and additions as indicated on the marked file copy.

052. Unnamed Collector from Fry Road to Creekside Bend Blvd, Westgreen Drive, and Bridgeland Creek Parkway must be recorded prior to or simultaneously with this plat.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

148. Change street name(s) as indicated on the marked file copy. (133-134)

The following note should be added to the face of the plat: "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

Coordinate right of way transitions with Harris County Engineer as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 15
Action Date: 05/28/2015
Plat Name: Bridgeland Parkland Village Sec 6
Developer: Bridgeland Development L.P.
Applicant: LJA Engineering, Inc - (Woodlands Office)
App No/Type: 2015-1067 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Harris County Flood Control District: HCFCD Review - No comments.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION
AND NEED B.L.

Harris Engineer: The following is required to be addressed prior to recordation with HCED:

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat
tracker. (HC)

UVE should be checked at Name Here Drive and Westgreen Drive (Traffic)

Name and record Street Dedication for access prior to or simultaneously with this plat.(HC)

UVE should be checked at Pilot Knob Drive and Name Here Drive (Traffic)

Label Pilot Knob Drive street name.(HC)

Double check alignment between street dedication "Westgreen Drive" and proposed plat boundary.(HC)

Provide correct county engineer certificate.(HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development
Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number
listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 16
Action Date: 05/28/2015
Plat Name: Cypress Landing East Sec 12
Developer: Pulte Homes of Texas, L.P., a Texas Limited Partnership
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-1022 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	17.0400	Total Reserve Acreage:	1.0000
Number of Lots:	81	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77429	326U	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with the HCPID-A&E Division: Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

There are no traffic issues.(HC)

Contact traffic regarding any proposed driveway issues.(HC)

Adjacent proposed plat show be depicted as Sec 11 and not 12. See markup.(HC)

Verify street name just east of Giant Pine Lane located outside plat boundary.(HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 17
Action Date: 05/28/2015
Plat Name: Cypress Preserve Park Sec 2
Developer: Hendricks Interests, LLC
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-0733 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	156.6130	Total Reserve Acreage:	147.0900
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Pine Foest MUD
County	Zip	Key Map ©	City / ETJ
Harris	77073	332G	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

148. Change street name(s) as indicated on the marked file copy. (133-134)

157.1. Provide street name break(s) as indicated on the marked file copy. Street name breaks must be located at lot lines.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 17
Action Date: 05/28/2015
Plat Name: Cypress Preserve Park Sec 2
Developer: Hendricks Interests, LLC
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-0733 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

PWE Traffic: No comment.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

30 ft ROW corner radii Cypress Slough/IH 45 intersection. -Per HC CIP

Call out legal for all adjacent property outside plat boundary. (HC)

Call out ROW width and recording info for adjacent Trevor Way outside plat boundary. (HC)

Use dashed lines for easements to make clear distinction between easements and reserve boundaries. (HC)

Clarify if the properties within Reserve A are to be included within or omitted from the plat boundary. (HC)

Call out dimensions of all easements within plat boundary. (HC)

Label all reserves on page 3 of 4. (HC)

Call out recording info for adjacent Imperial Valley Dr, Lindfield Lane, Calder Wood Dr, Cypress Slough Dr, outside plat boundary. (HC)

Establish building lines at Calder Wood Dr and Linfield Ln. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 18
Action Date: 05/28/2015
Plat Name: Daybreak Sec 3
Developer: LJA ENGINEERING, INC
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-0845 C3P

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	7.4700	Total Reserve Acreage:	0.3380
Number of Lots:	41	Number of Multifamily Units:	0
COH Park Sector:	7	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 411
County	Zip	Key Map ©	City / ETJ
Harris	77048	574P	City

Conditions and Requirements for Approval

- 047. Make minor corrections and additions as indicated on the marked file copy.
- 063. All appropriate engineering and surveying data shall be shown. (42 & 44)
- 064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

The following note should be added to the face of the plat: "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Parks and Recreation: To be corrected on the general notes on face of plat: This property(s) is located in Park Sector number 7.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 19

Action Date: 05/28/2015

Plat Name: Dietz Acres

Developer: South Texas Surveying Associates, Inc.

Applicant: South Texas Surveying Associates, Inc.

App No/Type: 2015-1066 C2

Staff Recommendation:

Approve the plat subject to the conditions listed

Total Acreage:	10.9009	Total Reserve Acreage:	10.9009
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Fort Bend	77498	567C	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Address excessive E/W block length and the stub street to the east as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Fort Bend Engineer: provide 10' landscape reserve adjacent to Old Richmond Road
provide TIA for site development
provide site civil plans for review and approval for each reserve
provide additional right of way for Old Richmond Road (20')

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 20
Action Date: 05/28/2015
Plat Name: Dyer Vistas
Developer: vistamont realty
Applicant: Texas Engineering.dwg
App No/Type: 2015-1040 C3F

Staff Recommendation:
Defer Chapter 42 planning
standards

Total Acreage:	2.0957	Total Reserve Acreage:	0.0000
Number of Lots:	17	Number of Multifamily Units:	17
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77088	412S	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

Add the following d note to the face of the plat: "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

PWE Traffic: No comment.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 21
Action Date: 05/28/2015
Plat Name: Elyson Sec 4
Developer: NASH FM 529, LLC
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-0995 C3F

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	18.3700	Total Reserve Acreage:	1.3773
Number of Lots:	59	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 457
County	Zip	Key Map ©	City / ETJ
Harris	77493	405T	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

042. The following 3 easement issues must be addressed on this plat. All recorded easements must be shown on the plat. All HL&P and other private easements dedicated by separate instrument must be shown on this plat. All easements dedicated by separate instrument that are shown on the plat, and are not located to a common property line must be vacated, abandoned and rededicated prior to recordation.

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

052. Sec 1 & 5, and the Porter Road Street Dedication must be recorded prior to or simultaneously with this plat.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

When the total number of lots have exceeded 150 for this cell of the Elyson GP, record Sec 4/5 and the Porter Road street dedication to address 42-189.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 21
Action Date: 05/28/2015
Plat Name: Elyson Sec 4
Developer: NASH FM 529, LLC
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-0995 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Coordinate with HC Traffic regarding UVE analysis for Chaffinich at Elyson Hollow. (HC)
Coordinate with HC Traffic regarding driveways at corner lots. (HC)
Call out adjacent ROW width of Elyson Hollow Dr outside plat boundary. (HC)
Call out recording info for all adjacent roads. (HC)
Elyson Section 1 must be recorded prior to or simultaneously with this plat. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 22
Action Date: 05/28/2015
Plat Name: Elyson Sec 5
Developer: NASH FM 529, LLC
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-0997 C3F

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	20.5300	Total Reserve Acreage:	1.6760
Number of Lots:	91	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 457
County	Zip	Key Map ©	City / ETJ
Harris	77493	405N	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

042. The following 3 easement issues must be addressed on this plat. All recorded easements must be shown on the plat. All HL&P and other private easements dedicated by separate instrument must be shown on this plat. All easements dedicated by separate instrument that are shown on the plat, and are not located to a common property line must be vacated, abandoned and rededicated prior to recordation.

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

052. Sec 1 & 5, and the Porter Road Street Dedication must be recorded prior to or simultaneously with this plat.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

When the total number of lots have exceeded 150 for this cell of the Elyson GP, record Sec 4/5 and the Porter Road street dedication to address 42-189.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 22
Action Date: 05/28/2015
Plat Name: Elyson Sec 5
Developer: NASH FM 529, LLC
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-0997 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Harris County Flood Control District: HCFCD Review - No comments.
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED:
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Record Porter Road prior to or simultaneously with this plat.(HC)
UVE should be checked at Elyson Woods Crossing and Porter Road.(Traffic)
Contact traffic regarding any proposed driveway issues.(HC)
41' B-B pavement is required for Elyson Woods Crossing.(Traffic)
A pedestrian trail has been proposed across Reserves A & D. An engineering memo should be provided with the plans. It should recommend traffic control, curb ramp and crosswalk features at Monarch Falls Lane intersections with Warialda Trail and Elyson Hollow Drive. All-Way stop will require a warrant finding per TMUTCD 2B.07. (Traffic)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 23
Action Date: 05/28/2015
Plat Name: Evergreen Villas Sec 1
Developer: Academy Development
Applicant: Robert Doley, Planner
App No/Type: 2015-1016 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	23.7997	Total Reserve Acreage:	5.3158
Number of Lots:	126	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Greenwood Utility District
County	Zip	Key Map ©	City / ETJ
Harris	77044	416Z	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

068. Revise vicinity map to show the subdivision site within the boundaries of an existing major thoroughfare grid.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 23
Action Date: 05/28/2015
Plat Name: Evergreen Villas Sec 1
Developer: Academy Development
Applicant: Robert Doley, Planner
App No/Type: 2015-1016 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED:
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Label west ROW line of CE King.(HC)

Show property info. with recording info across CE King.(HC)

Perpendicular connection to C.E. King Pkwy is required . No cul-de-sac will be allowed. UVE should be checked (Traffic)

Site plan of Sec 1 must include C.E. King left turn lane improvements. (Traffic)

Coordination with County's CIP Project Manager for upcoming C.E. King Project may be required. (Traffic)

TIA will be required before the review of site development plan, It should address, but not limited to, safe route to school, All-Way Stop control, coordination of E. Little York pedestrian route to school with Hidden Meadow developer, pavement width and storage capacity for multilane approaches to the C.E. King and E. Little York intersections (Foliage Trail and Primerose Mark Lane minimum of 41' pavement), storage length of SB left turn lane along C.E. King at Foliage Trail, coordination of street, driveway and left turn lane locations on C. E. King with the property owner to the west, mitigation of impacts to the existing school bus driveway on C.E. King, approximately 100' south of proposed Foliage Trail (a shared left turn is not acceptable), NO PARKING zones, provisions for overflow parking.(Traffic)

Provide recording information for East Little York Road.(HC)

UVE should be checked at Admirable Path and E. Little York Road (Traffic)

Contact traffic regarding any proposed driveway issues.(HC)

Hidden Meadow Sec 13 will need to be recorded prior or or simultaneously with this plat.(HC)

UVE should be checked at Leafy Autumn Path and E. Little York Road (Traffic)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 24
Action Date: 05/28/2015
Plat Name: Fall Creek East Sec 1
Developer: JNC Development
Applicant: R.G. Miller Engineers
App No/Type: 2015-1045 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	22.1280	Total Reserve Acreage:	2.2020
Number of Lots:	102	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 49
County	Zip	Key Map ©	City / ETJ
Harris	77396	376W	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
052. Pipelines must be recorded prior to or simultaneously with this plat.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: Due to close proximity to CenterPoint Energy Transmission Corridor, developer/applicant must submit drainage and wet utility plans for further review to ensure no negative impact on rights, access, maintenance, and/or facilities.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with the HCPID-A&E Division: Make corrections and additions as indicated by Harris County's marked file copy in City of Houston's plat tracker. (HC)

Verify stub street name and continue as previously recorded. FC shown recorded Taylor Grove Ln in lieu of Julie Meadows Ln. Street name must be consistent with previously recorded stub street. (HC)

Call out adjacent property east and west of Autumn Long Trail. (HC)

Contact traffic regarding any proposed driveway issues.(HC)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 25
Action Date: 05/28/2015
Plat Name: Fieldstone Sec 12
Developer: Ersa Grae
Applicant: BGE|Kerry R. Gilbert Associates
App No/Type: 2015-1062 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	28.8000	Total Reserve Acreage:	4.6700
Number of Lots:	119	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Fort Bend County MUD 165
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	526T	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

052. Section 10 must be recorded prior to or simultaneously with this plat.

059.1. Acreage in title and on plat must match at recordation.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: Due to close proximity to CenterPoint Energy Transmission Corridor, developer/applicant must submit drainage and wet utility plans for further review to ensure no negative impact on rights, access, maintenance, and/or facilities.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 26
Action Date: 05/28/2015
Plat Name: Fieldstone Sec 13
Developer: Ersa Grae
Applicant: BGE|Kerry R. Gilbert Associates
App No/Type: 2015-1064 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	10.1000	Total Reserve Acreage:	0.0260
Number of Lots:	38	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Grand Mission MUD 2
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	526N	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

052. Mason Road and Section 11 must be recorded prior to or simultaneously with this plat.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: change radius for Peachleaf Willow Trace from 25' to 30' radius at Mason
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 27
Action Date: 05/28/2015
Plat Name: Gogo Victory
Developer: UNITED FRONT INVESTMENTS
Applicant: South Texas Surveying Associates, Inc.
App No/Type: 2015-0980 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.1766	Total Reserve Acreage:	1.1766
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77088	411U	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 28

Action Date: 05/28/2015

Plat Name: Grand Park Professional Place

Developer: Grand Park Professional Place, LLC

Applicant: Windrose Land Services, Inc.

App No/Type: 2015-1023 C2

Staff Recommendation:

Defer Applicant request

Total Acreage:	5.2908	Total Reserve Acreage:	5.2908
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Fort Bend County MUD 50
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	525L	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements.(Record.doc)

209. Applicant has requested that this item be deferred for two weeks.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Fort Bend Engineer: Provide site civil plans for review and approval for each reserve

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item:	29	Staff Recommendation:	Approve the plat subject to the conditions listed
Action Date:	05/28/2015		
Plat Name:	Harris County Improvement District no 15 Detention Pond no 1		
Developer:	Pinto- Lion Jacintoport II, LP a Delaware limited partnership		
Applicant:	Brown & Gay Engineers, Inc.		
App No/Type:	2015-1027 C2		

Total Acreage:	30.0300	Total Reserve Acreage:	30.0300
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77015	498J	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: Due to close proximity to CenterPoint Energy Transmission Corridor, developer/applicant must submit drainage and wet utility plans for further review to ensure no negative impact on rights, access, maintenance, and/or facilities.

Harris County Flood Control District: Show HCFCF Unit No. N100-00-00 top of bank and centerline

Harris Engineer: The following is required to be addressed prior to recordation with HCED:

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Coordinate with Harris County Traffic prior to recordation. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item:	30	Staff Recommendation:	Approve the plat subject to the conditions listed
Action Date:	05/28/2015		
Plat Name:	Harris County Improvement District No 15 Detention Pond no 2		
Developer:	Pinto- Lion Jacintoport II, LP a Delaware limited partnership		
Applicant:	Brown & Gay Engineers, Inc.		
App No/Type:	2015-1028 C2		

Total Acreage:	7.8930	Total Reserve Acreage:	7.8930
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77530	498K	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Coordinate with HC Traffic prior to recordation. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 31
Action Date: 05/28/2015
Plat Name: Houston First North Garage Addition
Developer: Houston First
Applicant: Windrose Land Services, Inc.
App No/Type: 2015-1024 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	3.7559	Total Reserve Acreage:	3.3132
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	16	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77003	493R	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

Add to face of plat "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: HCFCD Review - Include Key Map Information on the Vicinity Map.

PWE Traffic: No comment.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 32
Action Date: 05/28/2015
Plat Name: Kuykendahl Commercial Center
Developer: HEB Grocery Company LP
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-0767 C2

Staff Recommendation:
Withdraw

Total Acreage:	35.6750	Total Reserve Acreage:	35.6750
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Bridgestone MUD
County	Zip	Key Map ©	City / ETJ
Harris	77388	290L	ETJ

Conditions and Requirements for Approval

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 32
Action Date: 05/28/2015
Plat Name: Kuykendahl Commercial Center
Developer: HEB Grocery Company LP
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-0767 C2

Staff Recommendation:
Withdraw

City Engineer: DETENTION IS REQUIRED AND NEED B.L.

Harris County Flood Control District: HCFCD Review - No comments.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

UVE should be checked for making right turn on red by WB traffic on Spring Stuebner Road (Traffic)

40 ft ROW corner radius at skewed major/major intersection. (CIP)

There are traffic signal vehicle detection equipment along the perimeter of the site. Pull boxes and conduit runs should be shown on site plan and cost for adjustments and relocation should be borne by the developer (Traffic)

callout road width and recording info for Kuykendahl road (HC)

TIA will be required prior to site plan submittal. It should address, but not limited to, corner clip dimension at NW corner, right turn and left turn lanes, potential ROW dedication for widening of the Kuykendahl approaches to the intersection. TIA, driveway locations, median openings and Spring Stuebner left turn lane requirements should be coordinated with the in-progress site planning for the large tract immediately north.(Traffic)

In the future there will be 6-lane cross section for Kuykendahl Road with raised median. A driveway layout consistent with Geometric Design Regulations for median spacing is recommended (Traffic)

Define area outside of Spring stuebner Road (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 33
Action Date: 05/28/2015
Plat Name: Lakemont River United Methodist Church
Developer: United Methodist Foundation of the Texas Annual Conference
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-1074 C2

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	12.5220	Total Reserve Acreage:	12.5220
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Fort Bend County MUD 123
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	525M	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

187. Appendix C:Lienholders Acknowledgement and Subordination Statement(s) is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Add to face of plat "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: Add 10' landscaping reserve adjacent to Bellaire Blvd
 provide TIA for site development
 provide site civil plans for review and approval
 City Engineer: DETENTION IS REQUIRED



Agenda Item: 34
Action Date: 05/28/2015
Plat Name: Long Meadow Farms Sec 42
Developer: LM Development, LP
Applicant: Knudson, LP
App No/Type: 2015-0996 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	14.7000	Total Reserve Acreage:	1.9800
Number of Lots:	49	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Fort Bend	77406	525R	ETJ

Conditions and Requirements for Approval

012.2.1 Dead-end utility easements are not permitted.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

Add note to face of plat "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 35
Action Date: 05/28/2015
Plat Name: Lund RV Park
Developer: Lund Ventures LLC
Applicant: Precision Land Surveying
App No/Type: 2015-0985 C2

Staff Recommendation:
 Defer Additional
 information reqd

Total Acreage:	27.0260	Total Reserve Acreage:	27.0260
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Combination
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Storm Sewer	Utility District:	New Caney MUD
County	Zip	Key Map ©	City / ETJ
Montgomery	77357	256P	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

049.4. Add the following plat note for plats located in Montgomery and Liberty counties: The Coordinates shown hereon are Texas Central Zone no. 4203 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

187. Appendix C:Lienholders Acknowledgement and Subordination Statement(s) is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

Add to face of plat "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED AND NEED B.L.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 36
Action Date: 05/28/2015
Plat Name: Mason Road in Fieldstone Street Dedication Sec 1
Developer: Ersa Grae
Applicant: BGE|Kerry R. Gilbert Associates
App No/Type: 2015-1063 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	2.8000	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Fort Bend County MUD 165
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	526N	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: change radius on Peachtree Willow Trace from 25' to 30' at Mason

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 37
Action Date: 05/28/2015
Plat Name: Mayo Trucking
Developer: Mayo Trucking
Applicant: Replat Specialists
App No/Type: 2015-1073 C2

Staff Recommendation:
Defer Additional
information reqd

Total Acreage:	2.3090	Total Reserve Acreage:	2.3090
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	4	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77028	455T	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

187. Appendix C:Lienholders Acknowledgement and Subordination Statement(s) is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

Add to face of plat "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 38
Action Date: 05/28/2015
Plat Name: McKay Intercontinental Trade Center GP
Developer: Houston Intercontinental Trade Center Partners, LLC. A Texas Limited Liability Company
Applicant: EHRA
Ann No/Type: 2015-1081 GP

Staff Recommendation:
Approve the plat subject to the conditions listed

Total Acreage:	86.7600	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	20	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77338	335X	City

Conditions and Requirements for Approval

046. General Plan approval is for street patterns as shown on the plat only. (24)

046.1. Approval of the General Plan shall remain in effect for four years from the date of the Commission approval. Renewal of the GP shall occur when a section meeting the requirements of 42-24 (f) is recorded.

143.1. Along a local street, there shall be an intersection with a local street, collector street or major thoroughfare at least every 1400 feet. (128)

162. Along a major thoroughfare, there shall be an intersection with a local street, collector street or major thoroughfare at least every 2600 feet. (127)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 38

Action Date: 05/28/2015

Plat Name: McKay Intercontinental Trade Center GP

Developer: Houston Intercontinental Trade Center Partners, LLC. A Texas Limited Liability Company

Applicant: EHRA

App No/Type: 2015-1081 GP

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Staff Recommendation:

Approve the plat subject to the conditions listed

Addressing: McKay Crossing Drive has two street types in the name. Both "Crossing" and "Drive" are street types. "Crossing" is also used to designate major collector streets.

PWE Traffic: No comment.

Parks and Recreation: To be added to the general notes on the face of the plat:

1) This General Plan and any current and future sections are subject to Chapter 42, Article III, Division 7 of the Code of Ordinances.

2) If this General Plan is proposed to have residential lots or multi-family units, it is subject to the Parks and Open Space requirements of 42-251. A fee per dwelling unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at the time the sections are submitted.

3) This property(s) is located in Park Sector number 20.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 39
Action Date: 05/28/2015
Plat Name: Morton Creek Ranch Sec 17
Developer: Woodmere Development Co., Ltd
Applicant: Robert Doley, Planner
App No/Type: 2015-1012 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	3.6389	Total Reserve Acreage:	0.2671
Number of Lots:	10	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 432
County	Zip	Key Map ©	City / ETJ
Harris	77493	445P	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
051. Tie plat boundary to the nearest intersection of public street rights-of-way.
052. Revised GP must be approved prior to or simultaneously with this plat's final submission.
161. Provide for widening of thoroughfare. Clearly label and delineate widening at final. See Major Thoroughfare and Freeway Plan. (122) (Morton)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Coordinate with HC Traffic prior to recordation regarding UVE's and driveways. (HC)
Call out ROW width and complete recording info for adjacent Morton Rd. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 40
Action Date: 05/28/2015
Plat Name: Morton Creek Ranch Sec 18
Developer: Woodmere Development Co., Ltd
Applicant: Robert Doley, Planner
App No/Type: 2015-1014 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	15.4875	Total Reserve Acreage:	0.2791
Number of Lots:	61	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 432
County	Zip	Key Map ©	City / ETJ
Harris	77493	445N	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

052. An updated General Plan must be approved prior to or simultaneously with this plat's final submittal. All of the adjoining drainage easement shall be included in this plat's final plat boundary. Sec 17 must also be recorded prior to or simultaneously with this plat.

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

143.1. Along a local street, there shall be an intersection with a local street, collector street or major thoroughfare at least every 1400 feet. (128)

150. Provide a second point of access to a public street when the total number of lots exceeds 150. (190)

157.1. Provide street name break(s) as indicated on the marked file copy. Street name breaks must be located at lot lines.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 40
Action Date: 05/28/2015
Plat Name: Morton Creek Ranch Sec 18
Developer: Woodmere Development Co., Ltd
Applicant: Robert Doley, Planner
App No/Type: 2015-1014 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
WB left turn lane will be required on Morton Road at Winchester Ranch Trail if it was not included in Morton Creek Ranch South Sec 1. (Traffic)
Coordinate with HC Traffic regarding driveways. (HC)
Establish street name break for Mountain Elm Trail @ Verdant Spring Trail. Breaks must align with property lines. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 41
Action Date: 05/28/2015
Plat Name: Northeast Christian Academy
Developer: Northeast Christian Academy
Applicant: Jones & Carter, Inc.
App No/Type: 2015-1093 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	14.5000	Total Reserve Acreage:	14.3400
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Montgomery	77365	296U	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

189. Appendix E: Certificate for Engineer or Surveyor is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Provide 60' radius in cul de sac for unrestricted reserve on 60' right of way.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 42
Action Date: 05/28/2015
Plat Name: Orleans Courte
Developer: Spring Cy-One LP
Applicant: Robinson Surveying Inc.
App No/Type: 2015-0881 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.9511	Total Reserve Acreage:	0.9511
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	Malcomson Road Utility District
County	Zip	Key Map ©	City / ETJ
Harris	77377	329N	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

073.2. Subdivision name shown of the face of the plat must match the subdivision name shown on the CPC101 Form.

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

subdivision name doesn't match planning standards. Revise subdivision name

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 42
Action Date: 05/28/2015
Plat Name: Orleans Courte
Developer: Spring Cy-One LP
Applicant: Robinson Surveying Inc.
App No/Type: 2015-0881 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Coordinate with HC Traffic prior to recordation. (HC)
Plat name may be a duplicate. Correct Plat name. (HC)
Call out recording info and Verify ROW width of adjacent Spring Cypress Rd, HC Road Log shows 60'. (HC)
Call out recorded plat north of Spring Cypress Rd. (HC)
Call out ROW width and recording info for Buvinghausen Rd. (HC)
Plat boundary must be in bold. (HC)
Call out block number within plat boundary. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 43
Action Date: 05/28/2015
Plat Name: Plainview Second Addition partial replat no 6
Developer: Tosca Homes, LLC
Applicant: A & M Services
App No/Type: 2015-1004 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1148	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77019	492V	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

185.1. Appendix A: Replat language pursuant to the provisions of Chapter 212.014 Local Government Code (short replat paragraph; preliminary was a C3N.)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 44
Action Date: 05/28/2015
Plat Name: Porter Road Street Dedication Sec 1
Developer: Nash FM 529, LLC
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-0998 SP

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.2640	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 457
County	Zip	Key Map ©	City / ETJ
Harris	77493	405N	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
051. Tie plat boundary to the nearest intersection of public street rights-of-way.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 44
Action Date: 05/28/2015
Plat Name: Porter Road Street Dedication Sec 1
Developer: Nash FM 529, LLC
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-0998 SP

Staff Recommendation:
Approve the plat subject to
the conditions listed

Harris Engineer: The following is required to be addressed prior to recordation with HCED:
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
County prefers 50' additional ROW dedicated for Porter within plat boundary (or dedication by separate instrument) for grand total of 100' ROW, (Fred-HC)
The proposed Porter Road alignment creates an unacceptable offset at the existing FM 529 / Porter intersection at the north end. Northbound and southbound left turn lanes will be required. Based on an engineering study for the alignment and control of the existing north leg and the proposed south legs, the plat boundary will need to be supplemented or amended prior to recordation. I.E. to accommodate a tangent north-south alignment of the intersection, additional ROW dedication or acquisition by the applicant will be needed on the southwest corner, the northeast corner or both. A joint meeting between the applicant, Harris County and TxDOT is recommended. (Traffic)
Provide 1' reserve at street terminus. (HC)
Record Elyson Sec 5 prior to or simultaneously with this plat. Address 150 lot rule. (HC)
Provide complete recording information for FM 529 and double check alignment. (HC)
Documentation of TxDOT approval for FM 529 tie-in should be provided prior to plan approval by Harris County (Traffic)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 45
Action Date: 05/28/2015
Plat Name: Priority Wire Expansion
Developer: Hamilton & Newman, L.L.C.
Applicant: The Pinnell Group, LLC
App No/Type: 2015-1002 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	5.4960	Total Reserve Acreage:	5.4960
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	4	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77013	495D	City

Conditions and Requirements for Approval

030. Provide a fully dimensioned 15' x 15' visibility triangle at each street intersection. Add Visibility Triangle note to the plat. (162)

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: HCFCD Review – No comments.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 46
Action Date: 05/28/2015
Plat Name: Reserve at Hargrave
Developer: Leader Trading, LLC
Applicant: Hovis Surveying Company Inc.
App No/Type: 2015-1029 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.3108	Total Reserve Acreage:	0.3108
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77070	369H	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 47
Action Date: 05/28/2015
Plat Name: Reserve at Kuykendahl
Developer: CS & JS Properties LLC
Applicant: Hovis Surveying Company Inc.
App No/Type: 2015-1038 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.9560	Total Reserve Acreage:	1.9560
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77379	290V	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

051. Tie plat boundary to the nearest intersection of public street rights-of-way.

058. Accurately identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

068. Provide a vicinity map that locates the subdivision site within the boundaries of an existing major thoroughfare grid. Label all ROW's. Also label surveys.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED:
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
There are no traffic issues.(HC)
Check all adjoining recorded plats.(HC)
Provide approx. ROW width for Kuykendahl Road.(HC)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 48
Action Date: 05/28/2015
Plat Name: Roman Forest Plaza GP
Developer: Roman Holdings LLC
Applicant: Hovis Surveying Company Inc.
App No/Type: 2015-1084 GP

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	33.8710	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Montgomery	77357	257A	ETJ

Conditions and Requirements for Approval

045. The alignment and width of all major thoroughfares within or adjacent to the proposed General Plan shall conform to the requirements of the most recent Major Thoroughfare and Freeway Plan. (24) (Roman Forest. US Hwy 59)

046. General Plan approval is for street patterns as shown on the plat only. (24)

046.1. Approval of the General Plan shall remain in effect for four years from the date of the Commission approval. Renewal of the GP shall occur when a section meeting the requirements of 42-24 (f) is recorded.

047. Make minor corrections and additions as indicated on the marked file copy.

143.1. Along a local street, there shall be an intersection with a local street, collector street or major thoroughfare at least every 1400 feet, except with pipeline exception of 2000'. Provide street ROW as shown on mark up. (128)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED (Coordinate with County)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 49
Action Date: 05/28/2015
Plat Name: Roman Forest Plaza Sec 1
Developer: Roman Holdings LLC
Applicant: Hovis Surveying Company Inc.
App No/Type: 2015-1087 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.7091	Total Reserve Acreage:	1.7091
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Montgomery	77357	257E	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)
015. The building lines established along a major thoroughfare are required to be 25 ft. unless otherwise noted. (152)
- 047.1. Make minor corrections and additions as indicated on scanned image file attached to the application.
058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. Remove any references to visible and apparent easements, and match this tract only. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 50
Action Date: 05/28/2015
Plat Name: Rosehill Reserve Drive and Recreation Center
Developer: ROSEHILL RESERVE, LTD.
Applicant: Costello, Inc.
App No/Type: 2015-0975 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	14.3980	Total Reserve Acreage:	7.3355
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Proposed Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77377	286Q	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

191.1. Provide new Harris County Engineer certificate. Reference recordation dedicatory acknowledgement and certifications for requirements.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Update Centerpoint note "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 50
Action Date: 05/28/2015
Plat Name: Rosehill Reserve Drive and Recreation Center
Developer: ROSEHILL RESERVE, LTD.
Applicant: Costello, Inc.
App No/Type: 2015-0975 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Coordinate with Harris County Traffic prior to recordation. (HC)

use d county certificate (HC)

label 1-foot reserve which ROW abuts acreage tracts (HC)

sec 4 plat calls out Joshua Green Drive. Street names must match. (HC)

May need Txdot permit for plan approval. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 51
Action Date: 05/28/2015
Plat Name: Rosehill Reserve Sec 4
Developer: ROSEHILL RESERVE, LTD.
Applicant: Costello, Inc.
App No/Type: 2015-0972 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	18.3403	Total Reserve Acreage:	0.6058
Number of Lots:	47	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77377	286Q	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

052. Rosehill Reserve Drive must be recorded prior to or simultaneously with this plat.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

143.1. Along a local street, there shall be an intersection with a local street, collector street or major thoroughfare at least every 1400 feet. (128)

191.1. Provide new Harris County Engineer certificate. Reference recordation dedicatory acknowledgement and certifications for requirements.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Update Centerpoint note "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 51
Action Date: 05/28/2015
Plat Name: Rosehill Reserve Sec 4
Developer: ROSEHILL RESERVE, LTD.
Applicant: Costello, Inc.
App No/Type: 2015-0972 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Coordinate with Harris County Traffic prior to recordation. (HC)

Coordinate with HC Traffic prior to recordation regarding driveway permitting.(HC)

Provide d county engineer certificate (HC)

Verify number of lots, blocks and reserves

Establish 1-foot reserve (HC)

Consult with COH if street name should change. (HC)

Rosehill reserve drive with stub will need to be recorded prior to plat recordation. (HC)

Callout stub street name. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 52
Action Date: 05/28/2015
Plat Name: Schroeder Furches Business Park
Developer: 1960 Autoplex, Inc.
Applicant: Civil Concepts, Inc.
App No/Type: 2015-1007 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	3.9190	Total Reserve Acreage:	3.9190
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77338	335S	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: HCFCD Review - No comments.

Harris Engineer: The following is required to be addressed prior to recordation with HCED:

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Verify recorded plat just north of plat boundary.(HC)

HC Traffic: Provide documentation of TxDOT driveway approvals with plans.(Traffic)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 53
Action Date: 05/28/2015
Plat Name: Sendero Tract Sec 1
Developer: Meritage Homes
Applicant: BGE|Kerry R. Gilbert Associates
App No/Type: 2015-1052 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	29.0000	Total Reserve Acreage:	5.3300
Number of Lots:	104	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Fort Bend County MUD 132
County	Zip	Key Map ©	City / ETJ
Fort Bend	77406	524R	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: Change 25' radius on Regatta Lake Dr. at Bellaire Blvd. to 30'

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 54
Action Date: 05/28/2015
Plat Name: Sendero Tract Sec 2
Developer: Meritage Homes
Applicant: BGE|Kerry R. Gilbert Associates
App No/Type: 2015-1053 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	31.6000	Total Reserve Acreage:	15.0300
Number of Lots:	62	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Fort Bend County MUD 132
County	Zip	Key Map ©	City / ETJ
Fort Bend	77406	524M	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 55
Action Date: 05/28/2015
Plat Name: Shay Plaza
Developer: JINMAO, LLC
Applicant: Jalayer And Associates, Inc.
App No/Type: 2015-1031 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	5.6535	Total Reserve Acreage:	5.6535
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	10	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77040	410W	City

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

047. Make minor corrections and additions as indicated on the marked file copy.

100. If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

127. Provide Visibility Triangle at intersections and add plat note: The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle. This area shall assure adequate visibility sight lines for vehicular traffic approaching the intersection. (162)

134.10. Add to general notes on face of plat: This property(s) is located in Park Sector number 10.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED AND NEED B.L. ON SIX FLAGS ROAD
THE CONSTRUCTION CAN'T BE BUILT WITHIN THE UTILITY EASEMENT.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 56
Action Date: 05/28/2015
Plat Name: Sheldon Ridge Sec 6
Developer: Woodmere Development Co., Ltd
Applicant: Robert Doley, Planner
App No/Type: 2015-1010 C3P

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	11.5972	Total Reserve Acreage:	0.5955
Number of Lots:	53	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Northeast Harris County MUD 1
County	Zip	Key Map ©	City / ETJ
Harris	77044	418S	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

052. Additional point of access to Garrett Road must be recorded prior to or simultaneously with this plat.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

132. Add COS plat note: Areas designated as compensating open space shall be restricted for the use of owners of property in and residents of the subdivision. Areas identified as compensating open space shall be owned, managed, and maintained under a binding agreement among the owners of property in the subdivision. (184)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
 Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
 Section 5 must be recorded prior to or simultaneously with this plat. (HC)
 Coordinate with HC Traffic regarding driveways. (HC)



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 57
Action Date: 05/28/2015
Plat Name: Sheldon Ridge Sec 7
Developer: Woodmere Development Co., Ltd
Applicant: Robert Doley, Planner
App No/Type: 2015-1011 C3P

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	8.6410	Total Reserve Acreage:	0.3702
Number of Lots:	51	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Northeast Harris County MUD 1
County	Zip	Key Map ©	City / ETJ
Harris	77044	418S	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

052. Additional point of access to Garrett Road must be recorded prior to or simultaneously with this plat.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

132. Add COS plat note: Areas designated as compensating open space shall be restricted for the use of owners of property in and residents of the subdivision. Areas identified as compensating open space shall be owned, managed, and maintained under a binding agreement among the owners of property in the subdivision. (184)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED:
 Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Record Sec 5 prior to or simultaneously with this plat. Check street widths and street names.(HC)

Confirm ROW width and street name for adjoining recorded plat Sec 4.(HC)

Contact traffic regarding any proposed driveway issues.(HC)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 58
Action Date: 05/28/2015
Plat Name: Springwoods Village District Sec 7
Developer: Springwoods Realty, Inc.
Applicant: C.L. Davis & Company
App No/Type: 2015-0940 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	76.5603	Total Reserve Acreage:	76.5603
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Combination
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Harris County Improvement District 18
County	Zip	Key Map ©	City / ETJ
Harris	77389	292J	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

191.1. Provide new Harris County Engineer certificate. Reference recordation dedicatory acknowledgement and certifications for requirements.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 58
Action Date: 05/28/2015
Plat Name: Springwoods Village District Sec 7
Developer: Springwoods Realty, Inc.
Applicant: C.L. Davis & Company
App No/Type: 2015-0940 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED:

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Coordinate with the Grand Parkway Association at 713-965-0871 for review of proposed alignment.(HC)

UVE should be checked for making right turn on red by SB traffic on Holzwarth Road (Traffic)

TIA will be required before the review of site development plan. Left turn lane installations, median opening construction by the developer required on Spring Stuebner in compliance with Geometric Design Regulations. Driveways at east end of the property may require pavement widening of Spring Stuebner for acceptable lane alignments. A driveway opposite the proposed north-south public street in the Kenroc development must match in center line alignment and cross section. Adequate SB storage space will be required for future traffic signal operation (Traffic)

Provide all needed documentation to confirm total ROW width of 100' for Stuebner Road. Road Log shows 60' ROW. Clarify.(HC)

Provide new county engineer certificate.(HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 59
Action Date: 05/28/2015
Plat Name: Stillwater on Lake Houston Sec 3
Developer: Taylor Morrison of Texas, Inc.
Applicant: Jones & Carter, Inc.
App No/Type: 2015-1069 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	8.4400	Total Reserve Acreage:	3.0163
Number of Lots:	16	Number of Multifamily Units:	0
COH Park Sector:	3	Street Type (Category):	Type 2 PAE
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 499
County	Zip	Key Map ©	City / ETJ
Harris	77044	377U	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DRAINAGE PLAN IS APPROVED, MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 60
Action Date: 05/28/2015
Plat Name: Sunset Ridge West Sec 7
Developer: Lando Development LTD
Applicant: Benchmark Engineering Corp.
App No/Type: 2015-0804 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	9.6330	Total Reserve Acreage:	0.0000
Number of Lots:	66	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 49
County	Zip	Key Map ©	City / ETJ
Harris	77396	376U	ETJ

Conditions and Requirements for Approval

- 040.3. COS per lot and Summary Table must be shown on the face of the plat (184).
047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
148. Change street name(s) as indicated on the marked file copy. (133-134)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: Due to close proximity to CenterPoint Energy Transmission Corridor, developer/applicant must submit drainage and wet utility plans for further review to ensure no negative impact on rights, access, maintenance, and/or facilities.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED:
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Traffic issue may not be required.(HC)
Record Sec 5 prior to or simultaneously with this plat.(HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 61
Action Date: 05/28/2015
Plat Name: Tidwell Lakes Sec 2
Developer: Far East Land, Ltd
Applicant: Arborleaf Engineering & Surveying, Inc.
App No/Type: 2015-1070 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	10.1940	Total Reserve Acreage:	0.0480
Number of Lots:	55	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77044	457A	ETJ

Conditions and Requirements for Approval

012.2.1 Dead-end utility easements are not permitted.

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

091. Provide One-foot reserve as indicated on the plat and add applicable One-foot Reserve note to the plat. (193)

116. Add BL plat note: Unless otherwise indicated, the building line (b.l.), whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time. (150)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 61

Action Date: 05/28/2015

Plat Name: Tidwell Lakes Sec 2

Developer: Far East Land, Ltd

Applicant: Arborleaf Engineering & Surveying, Inc.

App No/Type: 2015-1070 C3P

Staff Recommendation:

Approve the plat subject to the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Coordinate with HC Traffic regarding driveways for corner lots. (HC)

Call out recording info and ROW width for adjacent Cassini Dr & Saint Laurent Ln outside plat boundary. (HC)

Call out recording info for adjacent Sasson Boulevard outside plat boundary. (HC)

Establish 1' Reserve at C1. (HC)

Correct nomenclature and file number for adjacent Tidwell Lakes Ponds. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 62
Action Date: 05/28/2015
Plat Name: Towne Lake Sec 37
Developer: CW SCOA West, L.P., a Texas Limited Partnership
Applicant: EHRA
App No/Type: 2015-1083 C3F

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	24.3800	Total Reserve Acreage:	1.7877
Number of Lots:	27	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Combination
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 502
County	Zip	Key Map ©	City / ETJ
Harris	77433	366V	ETJ

Conditions and Requirements for Approval

047.1. Make minor corrections and additions as indicated on scanned image file attached to the application.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED:
 Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
 Provide dashed line to separate proposed private street with proposed public streets. See markup.(HC)
 Provide name for stub street just east of Millpass Lane.(HC)
 Provide more space for Deputy signature.(HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 63
Action Date: 05/28/2015
Plat Name: Towne Lake Sec 42
Developer: CW SCOA West, L.P., a Texas Limited Partnership
Applicant: EHRA
App No/Type: 2015-1085 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	41.8000	Total Reserve Acreage:	8.3100
Number of Lots:	97	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Type 1 PAE
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 502
County	Zip	Key Map ©	City / ETJ
Harris	77433	367S	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

159. Provide centerline tie.

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1) Remove 1' Reserves from private streets.

2) Provide pipeline release letter for Hazel Hills Drive at recordation.

3) Show radii in all culs de sac.

4) Record Towne Lake Pkwy STD Sec 2 prior to / simultaneously with this plat.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 63
Action Date: 05/28/2015
Plat Name: Towne Lake Sec 42
Developer: CW SCOA West, L.P., a Texas Limited Partnership
Applicant: EHRA
App No/Type: 2015-1085 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION IS REQUIRED AND W.M.E. IS REQUIRED. IF THE F.H. ARE PRIVATE, IT NEED 15'X25' W.M.E. FOR PRIVATE FIRE LINE USE. IF THE F.H. AND FIRE LINE ARE PUBLIC, IT NEED 10'X10' F.H.E. AND 20' W.L.E.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Establish "Access Denied" along west side of Twilight Shores Ln. (HC)
Use "Access Denied" note in lieu of 1' Reserves on private streets. (HC)
Call out width and recording info for adjacent Grapevine Shore Ln, Dockside Landing Dr, and Hazel Hills Dr outside plat boundary. (HC)
Towne Lake Pkwy St Dedication Sec 2 must be recorded prior to or simultaneously with this plat. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 64
Action Date: 05/28/2015
Plat Name: Towne Lake Sec 43
Developer: CW SCOA West, L.P., a Texas Limited Partnership
Applicant: EHRA
App No/Type: 2015-1088 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	29.7000	Total Reserve Acreage:	3.8500
Number of Lots:	71	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 502
County	Zip	Key Map ©	City / ETJ
Harris	77433	367S	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

record Towne Lake Parkway Sec 2 prior to or simultaneously with this plat.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 64
Action Date: 05/28/2015
Plat Name: Towne Lake Sec 43
Developer: CW SCOA West, L.P., a Texas Limited Partnership
Applicant: EHRA
App No/Type: 2015-1088 C3P

Staff Recommendation:
Approve the plat subject to
the conditions listed

Harris County Flood Control District: HCFCD Review - No comments.
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Verify acreage on plat.

Depict R-O-W centerline and distances. (HC)

All easements on the exterior of the boundary must be recorded and shown on this plat prior to recordation. (HC)

Dedicatory language and appropriate certifications must be shown on final submittal. (HE)

Add all County certificates: County Engineer, Commissioners' Court and Clerk's recordation certifications. (HC)

Add note to plat: This plat requires compliance with landscaping requirements prior to occupancy of structures as mandated in "Regulations of Harris County, Texas for the Approval and Acceptance of Infrastructure." (HC)

Add note to plat: 1' reserve note. (HC)

Coordinate with Harris County Traffic prior to recordation. (HC)

Label X/Y coordinates for plat boundary corners. (HE)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 65
Action Date: 05/28/2015
Plat Name: Vadtal Dham Shree Swaminarayan Hindu Temple
Developer: D. S. & Associates
Applicant: S. S. A. U. S. M. USA Inc.,
App No/Type: 2015-0847 C2

Staff Recommendation:
Disapprove

Total Acreage:	3.6411	Total Reserve Acreage:	3.6411
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Open Ditch	Utility District:	Fort Bend County FWSD 2
County	Zip	Key Map ©	City / ETJ
Fort Bend	77498	527X	ETJ

Conditions and Requirements for Approval

206. Staff recommendation is disapproval for the following reasons.

This plat will not print to scale.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Fort Bend Engineer: Relocate reserve B outside of Centerpoint easement
Highlight reserve B in bold and anotate
Provide site construction plans

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 66
Action Date: 05/28/2015
Plat Name: Ventana Lakes Sec 9
Developer: D. R. Horton - Texas, Ltd., A Texas Limited Partnership
Applicant: EHRA
App No/Type: 2015-0836 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	23.0400	Total Reserve Acreage:	2.8400
Number of Lots:	98	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77493	445E	ETJ

Conditions and Requirements for Approval

012.2.1 Dead-end utility easements are not permitted.

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

West ventana parkway at ventana meadows drive std must be recorded prior to or simultaneously with this plat. (HC)

Corner lots (lot 1-block 2) require a 22 feet or greater tangent distance otherwise a driveway permit may not be allowed. Refer to Harris County guidelines regarding driveway construction. (HC)

Verify number of lots, blocks and reserves (HC)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 67
Action Date: 05/28/2015
Plat Name: West at Grand Parkway Reserve
Developer: Fry Road Ventures, L.P.
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-0869 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	229.4000	Total Reserve Acreage:	229.4000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 438
County	Zip	Key Map ©	City / ETJ
Harris	77433	405C	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 059.1. Acreage in title and on plat must match at recordation.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)
1. West Rd and Peek Rd FedEx Dr STD SEC 1 must be recorded prior or simultaneously.
 2. All easements listed in title must match easements shown on plat. Remove easements outside plat boundary.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 67
Action Date: 05/28/2015
Plat Name: West at Grand Parkway Reserve
Developer: Fry Road Ventures, L.P.
Applicant: Brown & Gay Engineers, Inc.
App No/Type: 2015-0869 C2

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED:
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Coordinate with the Grand Parkway Association at 713-965-0871 for review of proposed alignment.(HC)
Provide approximate width for Grand Parkway.(HC)
Clarify/provide access from existing public ROW to proposed plat.(HC)
Record plat name "WEST ROAD AND PEEK ROAD AND FED EX ROAD STREET DEDICATION SEC 1" prior to or simultaneously with this plat.(HC)
Recommended mitigations in TIA should be implemented (Traffic)
UVE should be checked. See markup. (Traffic)
Provide Key Map information.(HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 68
Action Date: 05/28/2015
Plat Name: Wildwood at Oakcrest North Sec 14
Developer: Lennar Homes of Texas Land and Construction, LTD
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-1068 C3F

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	6.0730	Total Reserve Acreage:	3.1440
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77429	327D	City/ETJ

Conditions and Requirements for Approval

Remove single family paragraph.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

WB left turn lane will be required along Boudreaux Road at Autumn Bend Drive.
Parking Analysis will be required for site development of Reserve A. (Traffic)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 69
Action Date: 05/28/2015
Plat Name: Winfield Lakes North Sec 2
Developer: Woodmere Development
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-1094 C3F

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	9.1450	Total Reserve Acreage:	0.0000
Number of Lots:	50	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Fort Bend County MUD 24
County	Zip	Key Map ©	City / ETJ
Fort Bend	77545	611N	ETJ

Conditions and Requirements for Approval

041.1. Utility service easements located outside of plat boundary must be recorded by separate instrument prior to submitting this plat for recordation. The recording information for these easements must be shown on the face of the plat.

047. Make minor corrections and additions as indicated on the marked file copy.

121. Add One-foot Reserve plat note: (adjacent to street) One-foot reserve dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent property, the condition of this dedication being that when the adjacent property is subdivided or re-subdivided in a recorded subdivision plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs, assigns or successors.

155. All streets must have a name followed by a suffix. In addition, permanent access easements must have a suffix of "Private" or "PVT." (133-134)

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedictory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1) Utility easements listed in title and shown on plat must match.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: Due to close proximity to CenterPoint Energy Transmission Corridor, developer/applicant must submit drainage and wet utility plans for further review to ensure no negative impact on rights, access, maintenance, and/or facilities.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 70
Action Date: 05/28/2015
Plat Name: Aliana Sec 49
Developer: Aliana Development
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-1076 C3R

Staff Recommendation:
Defer Additional
information reqd

Total Acreage:	10.4020	Total Reserve Acreage:	0.9970
Number of Lots:	34	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Fort Bend County MUD 134 B
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	526Z	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

A revised GP is required to show a new east-west street proposed between section 54 and 49.

Provide long replat paragraph.

Provide revised title report addressing the replat portion from Aliana Westmoor Drive and Reserve.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: Change all radius along Brannock to 30' radius
Extend Westmoor to plat boundary
City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 71
Action Date: 05/28/2015
Plat Name: Autumn Commons
Developer: Greater Love Baptist Church
Applicant: TKE Development Services, Ltd.
App No/Type: 2015-0914 C2R

Staff Recommendation:
 Defer Chapter 42 planning standards

Total Acreage:	0.1300	Total Reserve Acreage:	0.0000
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:	4	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77016	454G	City

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

047. Make minor corrections and additions as indicated on the marked file copy.

079. Revise and update the Lot Size and Coverage Table, Dwelling Unit Density Table and plat notes on the plat. (183)

141. Provide for widening of Laura Koppe Road, a major collector street. Reference Major Thoroughfare and Freeway Plan. (122)

146. Identify, dimension and provide square footage for all right-of-way dedications. "xx s.f. are hereby dedicated to the public for right-of-way purposes.

148. Change street name(s) as indicated on the marked file copy. (133-134)

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

Address standard Centerpoint Note: "Absent written authorization by the affected utilities, all CenterPoint Energy and City of Houston utility easements must be kept unobstructed from any non-utility improvements or obstructions by property owner. Any unauthorized improvements or obstructions may be removed by the utility at the property owner's expense."

Provide an d City Planning Letter or Title Report to reflect the revised acreage of the plat.

Provide new drawings that illustrate the entire plat boundary without line breaks.

Provide a new registry drawing to accompany the d plat drawings.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 71

Action Date: 05/28/2015

Plat Name: Autumn Commons

Developer: Greater Love Baptist Church

Applicant: TKE Development Services, Ltd.

App No/Type: 2015-0914 C2R

Staff Recommendation:

Defer Chapter 42 planning standards

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%
AND STREET NAME IS WRONG
PWE Traffic: No comment.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 72
Action Date: 05/28/2015
Plat Name: Bomar Morgan Crossing
Developer: Mazzarino Construction
Applicant: Total Surveyors, Inc.
App No/Type: 2015-1033 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1148	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77006	493N	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

127. Provide Visibility Triangle note: The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle. This area shall assure adequate visibility sight lines for vehicular traffic approaching the intersection. (162)

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%



**PLANNING &
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DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 73
Action Date: 05/28/2015
Plat Name: Cage Street Court
Developer: Melius Interests, LLC
Applicant: Owens Management Systems, LLC
App No/Type: 2015-0987 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.2296	Total Reserve Acreage:	0.0000
Number of Lots:	5	Number of Multifamily Units:	0
COH Park Sector:	11	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77020	494K	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution. Due to close proximity to CenterPoint Energy Transmission Corridor, developer/applicant must submit drainage and wet utility plans for further review to ensure no negative impact on rights, access, maintenance, and/or facilities.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%
AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 74
Action Date: 05/28/2015
Plat Name: Capital Business Park
Developer: Alpine Engineering and Construction, LLC
Applicant: Gruller Surveying
App No/Type: 2015-0967 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	3.6356	Total Reserve Acreage:	3.5540
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77066	370F	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

The following note should be added to the face of the plat: "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

Address excessive block length along Haynes Road by providing a public street as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 74
Action Date: 05/28/2015
Plat Name: Capital Business Park
Developer: Alpine Engineering and Construction, LLC
Applicant: Gruller Surveying
App No/Type: 2015-0967 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: HCFCD Review - No comments.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Update County Engineer's Certificate. (HC)

Call out Map Record info for all adjacent lots and those south of Haynes Rd. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 75

Action Date: 05/28/2015

Plat Name: Clay Flats

Developer: W & W BUILDERS

Applicant: Bates Development Consultants

App No/Type: 2015-1039 C2R

Staff Recommendation:

Withdraw

Total Acreage:	0.1148	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77019	493N	City

Conditions and Requirements for Approval

210. Applicant has requested that this item be withdrawn at this time.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 76
Action Date: 05/28/2015
Plat Name: Cook Cowan Crossley
Developer: Including Kids, Inc.
Applicant: Windrose Land Services, Inc.
App No/Type: 2015-1054 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	2.4290	Total Reserve Acreage:	2.4290
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 278
County	Zip	Key Map ©	City / ETJ
Harris	77346	377A	ETJ

Conditions and Requirements for Approval

042. The following 3 easement issues must be addressed on this plat. All recorded easements must be shown on the plat. All HL&P and other private easements dedicated by separate instrument must be shown on this plat. All easements dedicated by separate instrument that are shown on the plat, and are not located to a common property line must be vacated, abandoned and rededicated prior to recordation.

047. Make minor corrections and additions as indicated on the marked file copy.

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 76
Action Date: 05/28/2015
Plat Name: Cook Cowan Crossley
Developer: Including Kids, Inc.
Applicant: Windrose Land Services, Inc.
App No/Type: 2015-1054 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED:

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

A median cut on Timber Forest Drive cannot be approved due to insufficient distance between existing median openings. Provide a driveway on Barr Forest Drive to serve entries from the south and exits to the north without a required u-turn on Timber Forest. Locate the Barr Forest driveway well away from Timber Forest to reduce conflicts between exiting vehicles and eastbound A.M. peak hour vehicle queues at the Barr Forest / Timber Forest stop sign. Driveway locations will be determined at site plan submittal. (Traffic)

Provide proper label within plat boundary to clearly depict the type of reserve being proposed by this plat.(HC)

CIP: 30 ft ROW corner radius at SE corner of property.(Traffic)

UVE should be checked at Barr Forest Drive and Timber Forest Drive (Traffic)

Provide landscaping paragraph.(HC)

Provide missing county clerk certificate.(HC)

Provide signature lines for county clerk certificate.(HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 77
Action Date: 05/28/2015
Plat Name: Cypress Creek Apartment Homes at Wayside
Developer: Stuart Shaw Family Partnership, Ltd.
Applicant: R.G. Miller Engineers
App No/Type: 2015-0849 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	20.8800	Total Reserve Acreage:	20.8800
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	7	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77048	574Y	City

Conditions and Requirements for Approval

030. Provide a fully dimensioned 15' x 15' visibility triangle at each street intersection. Add Visibility Triangle note to the plat. (162)

042. The following 3 easement issues must be addressed on this plat. All recorded easements must be shown on the plat. All HL&P and other private easements dedicated by separate instrument must be shown on this plat. All easements dedicated by separate instrument that are shown on the plat, and are not located to a common property line must be vacated, abandoned and rededicated prior to recordation.

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

134.07. Add to general notes on face of plat: This property(s) is located in Park Sector number 7.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Provide the following note on the face of the plat: "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

Coordinate street improvements with the Office of the City Engineer as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 77
Action Date: 05/28/2015
Plat Name: Cypress Creek Apartment Homes at Wayside
Developer: Stuart Shaw Family Partnership, Ltd.
Applicant: R.G. Miller Engineers
App No/Type: 2015-0849 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION IS REQUIRED

Parks and Recreation: To be corrected on the general notes on face of plat: This property(s) is located in Park Sector number 7.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 78
Action Date: 05/28/2015
Plat Name: Deerbrook Crossing Sec 4 partial replat no 1 and extension
Developer: Bleyl & Associates
Applicant: Civil Concepts, Inc.
App No/Type: 2015-0872 C2R

Staff Recommendation:
Defer Additional
information reqd

Total Acreage:	12.6480	Total Reserve Acreage:	12.6480
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	20	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77338	375B	City

Conditions and Requirements for Approval

008.5. The applicant is required to provide proof of an approved Drainage Plan from PWE, Floodplain Management Office prior to the approval of this plat.

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

051. Tie plat boundary to the nearest intersection of public street rights-of-way.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 78
Action Date: 05/28/2015
Plat Name: Deerbrook Crossing Sec 4 partial replat no 1 and extension
Developer: Bleyl & Associates
Applicant: Civil Concepts, Inc.
App No/Type: 2015-0872 C2R

Staff Recommendation:
Defer Additional
information reqd

PWE Utility Analysis: A wastewater capacity reservation letter is required for this project.

Aviation: As per City of Houston Ordinance #2008-1052, this project may be subject to the Houston Airport System sound and height ordinance.

Harris County Flood Control District: Call out ROW per HCFCD Policy, Procedure, & Criteria Manual Appendix C. Identify type (fee or easement) unit number, owner, dimension (or irregular), volume & page numbers, or Harris County Clerk File numbers, show high bank, and centerline of channels. See page C-9 PCPM for further details.

City Engineer: DETENTION IS REQUIRED AND NEED DRAINAGE PLAN

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 79
Action Date: 05/28/2015
Plat Name: Ernie Hotze Reserve
Developer: COMPRESSOR ENGINEERING CORP.
Applicant: Miller Survey Group
App No/Type: 2015-1057 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	6.2995	Total Reserve Acreage:	6.2995
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	8	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77081	531B	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. Provide notary public for lienholders. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED AND NEED B.L.

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 8.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 80
Action Date: 05/28/2015
Plat Name: Felro Trail
Developer: Felro Development
Applicant: Broussard Land Surveying, LLC
App No/Type: 2015-1043 C2R

Staff Recommendation:
Defer Chapter 42 planning
standards

Total Acreage:	19.5303	Total Reserve Acreage:	2.5517
Number of Lots:	12	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Fort Bend	77545	651C	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)
015. The building lines established along a major thoroughfare are required to be 25 ft. unless otherwise noted. (152)
022. Single-family residential lots in a suburban area shall have minimum 20-foot front building lines along the local street. Should a lot side or back a local street a 10-foot side or rear building line will be required. (158)
047. Make minor corrections and additions as indicated on the marked file copy.
- 134.7. Identify, dimension and provide square footage and acreage for all park land dedications. "xx s.f. (xx acres) are hereby dedicated to the public for park purposes".
158. Provide for the dedication of widening for Kansas, Sycamore and West Palm Street as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: dedicate 40' total addition right of way for Kansas and Sycamore
provide civil plans for the development
set meeting with Fort Bend County Engineering department
Add required cut backs at Sycamore and Kansas
City Engineer: DETENTION IS REQUIRED

PWE Traffic: No comment.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 81
Action Date: 05/28/2015
Plat Name: Four Points Park
Developer: Sam Shah
Applicant: The Interfield Group
App No/Type: 2015-1055 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	4.1428	Total Reserve Acreage:	4.1428
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	North Belt Utility District
County	Zip	Key Map ©	City / ETJ
Harris	77032	373U	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Provide documentation of TxDOT driveway approval with site plans. -Per HC Traffic
Provide HC Engineer's Certificate and HC Clerk's Certificate of Commissioners' Court Approval. (HC)
Call out block number within plat boundary. (HC)
Correct film code # for subdivision west of plat boundary. (HC)
Correctly label subdivision name and recording info of property east of plat boundary. (HC)
Correctly label Northgreen Dr. (HC)
Add HC Landscape note. (HC)
Missing HC Road Law paragraph from dedicatory language. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 82
Action Date: 05/28/2015
Plat Name: Friendswood Self Storage
Developer: Friendswood Self Storage LTD
Applicant: Civil Concepts, Inc.
App No/Type: 2015-1005 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	7.2953	Total Reserve Acreage:	7.2953
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 55
County	Zip	Key Map ©	City / ETJ
Harris	77546	617Y	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
068. Provide a vicinity map that locates the subdivision site within the boundaries of an existing major thoroughfare grid.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 82
Action Date: 05/28/2015
Plat Name: Friendswood Self Storage
Developer: Friendswood Self Storage LTD
Applicant: Civil Concepts, Inc.
App No/Type: 2015-1005 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Will need to provide information regarding the proposed redevelopment of exiting site - Site Plan. TIA may be required pending what is proposed for redeveloped on site (Traffic)

Existing driveway will need to be relocated or combined with private driveway to north to ensure one driveway at intersection of West bay Area Blvd. and Heritage Colony Drive / Private Driveway. Two driveways in the same approach to an intersection creates safety issues (traffic)

Label correct recording information for West Bay Area blvd. (HC)

Add block number (HC)

If this is a replat, add replat language (HC)

Label reason for replat (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 83

Action Date: 05/28/2015

Plat Name: Harrow Center partial replat no 2

Developer: HARROW RENTAL REAL ESTATE, LLC - SERIES ONE

Applicant: Broussard Land Surveying, LLC

App No/Type: 2015-0681 C2R

Staff Recommendation:

Defer Applicant request

Total Acreage:	9.2648	Total Reserve Acreage:	9.2648
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County Utility District 6
County	Zip	Key Map ©	City / ETJ
Harris	77084	448A	ETJ

Conditions and Requirements for Approval

209. Applicant has requested that this item be deferred for two weeks.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
 Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
 Site development should include parking analysis and additional NO PARKING signs on Rippling Water Drive. -Per HC Traffic
 Corner cutback for Rippling Water Dr @ Kieth Harrow Dr should be 28.28' for 20'x20'. -Per HC Traffic
 Correctly spell Kieth Harrow Dr. (HC)
 Revise Reserves as Reserve A & B. Clearly identify Restricted use and acreage. Remove previous legal descriptions of reserves within plat boundary. (HC)
 Plat boundary must be in bold. (HC)
 Remove note 10 from General notes. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 84
Action Date: 05/28/2015
Plat Name: Hartford Homes On Saint Emanuel
Developer: Hartford Homes, Inc.
Applicant: The Interfield Group
App No/Type: 2015-1071 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.2295	Total Reserve Acreage:	0.0000
Number of Lots:	6	Number of Multifamily Units:	0
COH Park Sector:	15	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77004	493U	City

Conditions and Requirements for Approval

030. Provide a fully dimensioned 15' x 15' visibility triangle at each street intersection that is not encroached upon by any building lines. Add Visibility Triangle note to the plat. (162)

047. Make minor corrections and additions as indicated on the marked file copy.

127. Provide Visibility Triangle at intersections and add plat note: The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle. This area shall assure adequate visibility sight lines for vehicular traffic approaching the intersection. (162)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 84
Action Date: 05/28/2015
Plat Name: Hartford Homes On Saint Emanuel
Developer: Hartford Homes, Inc.
Applicant: The Interfield Group
App No/Type: 2015-1071 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%
AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION.

PWE Traffic: The width of McIlhenny is such that one side of the street may need to be restricted in the future which may eliminate this parking spot. It is preferred that the guest parking space be shown on St. Emanuel between the driveway and the corner of McIlhenny assuming that the clear zone will not be effected.

Parks and Recreation: To be corrected on the general notes on face of plat: The then-current fee in lieu of dedication shall be applied to this number (4 units) of dwelling units.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%
AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION.

PWE Traffic: The width of McIlhenny is such that one side of the street may need to be restricted in the future which may eliminate this parking spot. It is preferred that the guest parking space be shown on St. Emanuel between the driveway and the corner of McIlhenny assuming that the clear zone will not be effected.

Parks and Recreation: To be corrected on the general notes on face of plat: The then-current fee in lieu of dedication shall be applied to this number (4 units) of dwelling units.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 85
Action Date: 05/28/2015
Plat Name: Kansas Corner Estates
Developer: Gary Burch
Applicant: FMS Surveying, Inc
App No/Type: 2015-0810 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1200	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77007	492B	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

049.2. Subdivision plat must include State Plane Coordinates in NAD 83; and NAVD 1988 with 2001 adjustment.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65% AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION.

Parks and Recreation: The Parks and Open Space table is incorrect. It states there are 1 existing, 3 proposed, and 3 incremental dwelling units. The table should read: 1 existing, 3 proposed, and 2 incremental dwelling units. The applicant was asked to provide a revised drawing.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 86
Action Date: 05/28/2015
Plat Name: Katy Ranch Crossing partial replat no 2
Developer: LSI
Applicant: Miller Survey Group
App No/Type: 2015-1015 C2R

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	11.2340	Total Reserve Acreage:	11.2340
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris Fort Bend Counties MUD 3
County	Zip	Key Map ©	City / ETJ
Harris	77494	485A	ETJ

Conditions and Requirements for Approval

187. Appendix C:Lienholders Acknowledgement and Subordination Statement(s) is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Add face to plat "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION
 THE CONSTRUCTION CAN'T BE BUILT WITHIN THE UTILITY EASEMENT.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Show or call out ROW width of adjacent I-10 and Longhorn Ranch Ave. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 87
Action Date: 05/28/2015
Plat Name: Kensington Green
Developer: City Choice Homes L.L.C.
Applicant: ICMC GROUP INC
App No/Type: 2015-1030 C3R

Staff Recommendation:
Defer Additional
information reqd

Total Acreage:	1.7816	Total Reserve Acreage:	0.0275
Number of Lots:	36	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Type 2 PAE
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	492A	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

093. The fire protection of this subdivision does not comply with the requirements. Revise plan to meet the fire hydrant spacing and hose lay distancing requirements. (233)

112. Fire protection hose lay shall be measured beginning from edge of 28 foot paved private street.

126. Add Single Family Residential plat notes: 1) Single family residential shall mean the use of a lot with one building designed for and containing not more than two separate units with facilities for living, sleeping, cooking, and eating therein. A lot upon which is located a free-standing building containing one dwelling unit and a detached secondary dwelling unit of not more than 900 square feet also shall be considered single family residential. A building that contains one dwelling unit on one lot that is connected by a party wall to another building containing one dwelling unit on an adjacent lot shall be single family residential. 2) Each lot shall provide a minimum of two off-street parking spaces per dwelling unit on each lot. In those instances where a secondary unit is provided only one additional space shall be provided.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 87

Action Date: 05/28/2015

Plat Name: Kensington Green

Developer: City Choice Homes L.L.C.

Applicant: ICMC GROUP INC

App No/Type: 2015-1030 C3R

Staff Recommendation:

Defer Additional
information reqd

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION IS REQUIRED. AND W.M.E.IS REQUIRED. IF THE F.H. AND FIRE LINE ARE PUBLIC, IT NEED 20' W.L.E. CONNECTED TO F.H.E.

Parks and Recreation: The applicant is claiming 1 existing, 36 proposed, and 35 incremental dwelling units. The property's HCAD records and the survey provided by the applicant show the lot as being industrial. Industrial structures do not count towards existing residential dwelling units. The applicant needed to produce a stamped and sealed survey from the last year, a demolition permit from within the last year, or HCAD documentation from within the last year that clearly substantiated 1 residential dwelling unit. In lieu of this documentation, the applicant also did not submit a revised plat reflecting: 0 existing, 36 proposed, and 36 incremental dwelling units.

PWE Traffic: The parking plan seems impractical for those it is intending to serve. Having all of the required "guest" parking at one end of such a long plat is desirable. Please consider revising.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 88
Action Date: 05/28/2015
Plat Name: McKay Intercontinental Trade Center Sec 1
Developer: HITC Partners, LLC, A Texas Limited Liability Company
Applicant: EHRA
App No/Type: 2015-1086 C3R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	62.4000	Total Reserve Acreage:	59.6500
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	20	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77338	335X	City

Conditions and Requirements for Approval

008.4. The applicant is required to provide proof of an approved Drainage Plan from PWE, Floodplain Management and Engineering Services offices prior to submittal of a final plat. This is consistent w/ Chapter 19-13. Submit drainage plan to First Floor, 611 Walker.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

100. If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

143.1. Along a local street, there shall be an intersection with a local street, collector street or major thoroughfare at least every 1400 feet. (128)

148. Change street name(s) as indicated on the marked file copy. (133-134)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 88
Action Date: 05/28/2015
Plat Name: McKay Intercontinental Trade Center Sec 1
Developer: HITC Partners, LLC, A Texas Limited Liability Company
Applicant: EHRA
App No/Type: 2015-1086 C3R

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Addressing: McKay Crossing Drive has two street types in the name. Both "Crossing" and "Drive" are street types. "Crossing" is also used to designate major collector streets.

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 20.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 89
Action Date: 05/28/2015
Plat Name: Mckay Intercontinental Trade Center Sec 2
Developer: HITC Partners, LLC. A Texas Limited Liability Company
Applicant: EHRA
App No/Type: 2015-1090 C3R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	11.6900	Total Reserve Acreage:	8.3900
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	20	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77338	335X	City

Conditions and Requirements for Approval

008.4. The applicant is required to provide proof of an approved Drainage Plan from PWE, Floodplain Management and Engineering Services offices prior to submittal of a final plat. This is consistent w/ Chapter 19-13. Submit drainage plan to First Floor, 611 Walker.

047.1. Make minor corrections and additions as indicated on scanned image file attached to the application.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

100. If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

121. Add One-foot Reserve plat note: (adjacent to street) One-foot reserve dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent property, the condition of this dedication being that when the adjacent property is subdivided or re-subdivided in a recorded subdivision plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs, assigns or successors.

148. Change street name(s) as indicated on the marked file copy. (133-134)

162. Along a major thoroughfare, there shall be an intersection with a local street, collector street or major thoroughfare at least every 2600 feet. (127)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 89
Action Date: 05/28/2015
Plat Name: McKay Intercontinental Trade Center Sec 2
Developer: HITC Partners, LLC. A Texas Limited Liability Company
Applicant: EHRA
App No/Type: 2015-1090 C3R

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION IS REQUIRED

Addressing: McKay Crossing Drive has two street types in the name. Both "Crossing" and "Drive" are street types. "Crossing" is also used to designate major collector streets.

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 20.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 90
Action Date: 05/28/2015
Plat Name: Millers Crossing
Developer: Rosendo Galindo
Applicant: Owens Management Systems, LLC
App No/Type: 2015-1046 C2R

Staff Recommendation:
Defer Additional
information reqd

Total Acreage:	2.0997	Total Reserve Acreage:	1.9531
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77049	458N	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

073.2. Subdivision name shown of the face of the plat must match the subdivision name shown on the CPC101 Form.

Add to face of plat "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 90

Action Date: 05/28/2015

Plat Name: Millers Crossing

Developer: Rosendo Galindo

Applicant: Owens Management Systems, LLC

App No/Type: 2015-1046 C2R

Staff Recommendation:

Defer Additional
information reqd

City Engineer: DETENTION IS REQUIRED AND NEED DRAINAGE PLAN

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Coordinate with HC Traffic regarding UVE's and TIA. Driveway opposite to Lisa Dawn Lane will not be allowed due to insufficient distance from Moore Road for a NB left turn lane. -Per HC Traffic

Site development plan approval by Harris County CIP Project Manager (Ross Hosket) for Miller Road No 2 improvements, now under design, will be required. (Traffic)

Verify/Correct ROW width of adjacent Miller Rd No 2. Film Code #119006 dedicated additional ROW. (HC)

Plat name must match CPC101 in all occurrences on plat. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 91
Action Date: 05/28/2015
Plat Name: Milwee Market
Developer: Axis Development
Applicant: South Texas Surveying Associates, Inc.
App No/Type: 2015-1095 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.8784	Total Reserve Acreage:	0.8784
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	1	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77092	451Q	City

Conditions and Requirements for Approval

030. Provide a fully dimensioned 15' x 15' visibility triangle at each street intersection. Add Visibility Triangle note to the plat. (162)

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Add to face of plat "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 92
Action Date: 05/28/2015
Plat Name: Moonshine Green Plaza
Developer: G & S Concrete
Applicant: BM DESIGN LLC
App No/Type: 2015-0692 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.9861	Total Reserve Acreage:	0.9861
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77338	336T	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: HCFCD Review - No comments.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Call out recording info for Huffman Lane. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 93
Action Date: 05/28/2015
Plat Name: Nicholson Street Landing
Developer: Mazzarino Construction
Applicant: Total Surveyors, Inc.
App No/Type: 2015-1025 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.4135	Total Reserve Acreage:	0.0000
Number of Lots:	7	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	452V	City

Conditions and Requirements for Approval

030. Provide a fully dimensioned 15' x 15' visibility triangle at each street intersection. Add Visibility Triangle note to the plat. (162)
047. Make minor corrections and additions as indicated on the marked file copy.
068. Provide a vicinity map that correctly locates the subdivision site within the boundaries of an existing major thoroughfare grid.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Coordinate with Centerpointe (disapproval.)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 94
Action Date: 05/28/2015
Plat Name: Nik and Riya Place
Developer: AASH Builders Inc
Applicant: Owens Management Systems, LLC
App No/Type: 2015-1072 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	2.7649	Total Reserve Acreage:	2.7649
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 165
County	Zip	Key Map ©	City / ETJ
Harris	77433	406R	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

161.2. Identified existing major thoroughfare has sufficient right-of-way per current MTFP. No additional dedication for ROW widening is required. Please dimension existing ROW. (122) (FM 529)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

HC Traffic: If a shared access driveway across the adjacent reserve to the Greenhouse Road median opening is provided, a southbound left turn lane will be required. Otherwise, provide documentation of TxDOT driveway approval with site plans.

Verify/Correct recording info for adjacent FM 529 Rd. Map record shown is incorrect. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 95
Action Date: 05/28/2015
Plat Name: North Shepherd Plaza
Developer: Braun Enterprises
Applicant: Tetra Surveys
App No/Type: 2015-0981 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.6008	Total Reserve Acreage:	0.6008
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	452V	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
- 073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.
- 134.12. Add to general notes on face of plat: This property(s) is located in Park Sector number 12.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

PWE Traffic: No comment.

Parks and Recreation: To be added to the general notes on face of plat: This property(s) is located in Park Sector number 12.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 96
Action Date: 05/28/2015
Plat Name: Park Place Corner
Developer: Park Place Memorial Management
Applicant: South Texas Surveying Associates, Inc.
App No/Type: 2015-1089 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.3328	Total Reserve Acreage:	0.3328
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77007	492L	City

Conditions and Requirements for Approval

015. The building lines established along a major thoroughfare are required to be 25 ft. unless otherwise noted. (152)
043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.
- 161.2. Identified existing major thoroughfare has sufficient right-of-way per current MTFP. No additional dedication for ROW widening is required. (122) (Memorial)
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 97
Action Date: 05/28/2015
Plat Name: Scenic Gardens Plaza partial replat no 1
Developer: MB BUILDERS
Applicant: REKHA ENGINEERING, INC.
App No/Type: 2015-1078 C3R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	1.0568	Total Reserve Acreage:	0.1623
Number of Lots:	12	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Type 2 PAE
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Louetta North PUD
County	Zip	Key Map ©	City / ETJ
Harris	77379	330N	ETJ

Conditions and Requirements for Approval

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

132. Add COS plat note: Areas designated as compensating open space shall be restricted for the use of owners of property in and residents of the subdivision. Areas identified as compensating open space shall be owned, managed, and maintained under a binding agreement among the owners of property in the subdivision. (184)

157. Provide streets names for each street. (133-134)

174. Add Permanent Access Easement note to the plat and/or add PAE paragraph to the Appendix A: Owner's Acknowledgement. (189)

180.1. Add this note to the face of the plat: This subdivision contains one or more permanent access easements that have not been dedicated to the public or accepted by the City of Houston or any other local government agency as public rights-of-way. The City of Houston has no obligation, nor does any other local government agency have any obligation, to maintain or improve any permanent access easement within the subdivision, which obligation shall be the sole responsibility of the owners of property in this subdivision.

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

191. Appendix G:Harris County Engineer is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

192. Appendix H:Harris County Flood Control District Engineer is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

202. Include Harris County Road Law certificate to Appendix A: Owners Acknowledgement. (Record.doc)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 97
Action Date: 05/28/2015
Plat Name: Scenic Gardens Plaza partial replat no 1
Developer: MB BUILDERS
Applicant: REKHA ENGINEERING, INC.
App No/Type: 2015-1078 C3R

Staff Recommendation:
Approve the plat subject to
the conditions listed

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED AND W.M.E. IS REQUIRED. IF THE F.H. ARE PRIVATE, IT NEED 15'X25' W.M.E. FOR PRIVATE FIRE LINE USE. IF THE F.H. AND FIRE LINE ARE PUBLIC, IT NEED 10'X10' F.H.E. AND 20' W.L.E.

Harris County Flood Control District: HCFCD Review - No comments.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Establish name for unnamed street perpendicular to Scenic Gardens Ct. (HC)

Add access denied note at south end of unnamed road. (HC)

Remove hatch from all reserves. (HC)

Call out recording info for property SW of plat boundary. (HC)

Add HC landscape note. (HC)

City Engineer: DETENTION IS REQUIRED AND W.M.E. IS REQUIRED. IF THE F.H. ARE PRIVATE, IT NEED 15'X25' W.M.E. FOR PRIVATE FIRE LINE USE. IF THE F.H. AND FIRE LINE ARE PUBLIC, IT NEED 10'X10' F.H.E. AND 20' W.L.E.

Harris County Flood Control District: HCFCD Review - No comments.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Establish name for unnamed street perpendicular to Scenic Gardens Ct. (HC)

Add access denied note at south end of unnamed road. (HC)

Remove hatch from all reserves. (HC)

Call out recording info for property SW of plat boundary. (HC)

Add HC landscape note. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 98
Action Date: 05/28/2015
Plat Name: Smith House on Harvard
Developer: Smith Developer Group
Applicant: TKE Development Services, Ltd.
App No/Type: 2015-1037 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.7575	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	493A	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

115. Add Owners Certification of Restrictions note to face of replat or amending plat (when plat does not include residential lots): Further, the owners hereby certify that this replat or amending plat does not attempt to alter, amend, or remove any covenants or restrictions; we further certify that no portion of the area covered by the previous plat was limited by deed restrictions to residential use for not more than two (2) residential units per lot.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 99
Action Date: 05/28/2015
Plat Name: Technical Realty Group of Texas
Developer: Technical Realty Group of Texas, LLC
Applicant: Pape-Dawson Engineers
App No/Type: 2015-0957 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	9.8650	Total Reserve Acreage:	9.8650
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77388	291V	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

162. Along a major thoroughfare, there shall be an intersection with a local street, collector street or major thoroughfare at least every 2600 feet. (127)

209. Applicant has requested that this item be deferred for two weeks.

1) Modify reason for replat: "To create one unrestricted reserve"

2) Modify legal description. See Markup.

3) Designate an official land use within plat boundary.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 99

Action Date: 05/28/2015

Plat Name: Technical Realty Group of Texas

Developer: Technical Realty Group of Texas, LLC

Applicant: Pape-Dawson Engineers

App No/Type: 2015-0957 C2R

Staff Recommendation:

Approve the plat subject to the conditions listed

City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: HCFCD Review - No comments.

Harris Engineer: The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Plat name should match the final CPC-101.

If reserve is restricted state the "use". If the reserve is "unrestricted" it must state so. (HC)

Label X/Y coordinates for plat boundary corners. (HE)

Add note to plat: This plat requires compliance with landscaping requirements prior to occupancy of structures as mandated in "Regulations of Harris County, Texas for the Approval and Acceptance of Infrastructure." (HC)

Coordinate with Harris County Traffic prior to recordation. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 100
Action Date: 05/28/2015
Plat Name: Texas Express Plumbing Inc
Developer: Texas Express Plumbing
Applicant: The Interfield Group
App No/Type: 2015-1009 C2R

Staff Recommendation:
Defer for further study and
review

Total Acreage:	0.8208	Total Reserve Acreage:	0.8208
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	10	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77041	450E	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

207.1. Staff requests a two week deferral for further study and legal review of the separately filed deed restrictions.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 101
Action Date: 05/28/2015
Plat Name: Tricon Richton Villas
Developer: Bercon LTD
Applicant: MOMENTUM ENGINEERING
App No/Type: 2015-1000 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1250	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77098	492Y	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)
- 1) Include "revise building line" in reason for replat.
 - 2) Legal description must match title.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

PWE Traffic: No comment.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 102
Action Date: 05/28/2015
Plat Name: Walmart Store no 4526
Developer: Windrose Services
Applicant: Owens Management Systems, LLC
App No/Type: 2015-0846 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.8682	Total Reserve Acreage:	0.8682
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	2	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77022	453K	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1) Provide new CenterPoint Note: "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

2) Provide long replat paragraph.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
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Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 103
Action Date: 05/28/2015
Plat Name: West 22nd Villas
Developer: West Ella Holdings, LLC
Applicant: Windrose Land Services, Inc.
App No/Type: 2015-0895 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1063	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	452T	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65% AND NEED DRAINAGE PLAN

Parks and Recreation: To be corrected on the general notes on face of plat: This property(s) is located in Park Sector number 12.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Agenda Item: 104
Action Date: 05/28/2015
Plat Name: West Twenty Second Street Villas
Developer: 22ND Street CNR
Applicant: MOMENTUM ENGINEERING
App No/Type: 2015-0999 C2R

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	0.2870	Total Reserve Acreage:	0.0000
Number of Lots:	7	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	452T	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

187.1. Provide acknowledgement and subordination of lienholders identified in title report. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1) Provide additional guest residential parking table on the face of the plat.

2) Legal description on plat must match title.

3) A tree located in the right-of-way (ROW) is identified on the existing conditions survey. Trees located partially or wholly within the City ROW are protected by Article VI of Ch. 33 of the Houston Code of Ordinances. Refer to Ch. 16 of the Infrastructure Design Manual for tree protection procedures. If removal is required, the procedure as outlined in 33-155 must be abided. No tree in the ROW may be removed without an approved tree removal permit.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65% AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION

PWE Traffic: Street width is sufficient for on street parking.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 105
Action Date: 05/28/2015
Plat Name: White Oak Village
Developer: Global Radiance, Inc.
Applicant: ASV Consulting Group, Inc.
App No/Type: 2015-1056 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.2100	Total Reserve Acreage:	0.0000
Number of Lots:	5	Number of Multifamily Units:	0
COH Park Sector:	12	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77008	452U	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

1) Modify lot coverage table. See markup.

2) Appendix E must be verbatim.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 105
Action Date: 05/28/2015
Plat Name: White Oak Village
Developer: Global Radiance, Inc.
Applicant: ASV Consulting Group, Inc.
App No/Type: 2015-1056 C2R

Staff Recommendation:
Approve the plat subject to
the conditions listed

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%
AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION

CenterPoint: There are several issues:

1. As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.
2. this language should be shown under the general notes: "Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing."

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 106
Action Date: 05/28/2015
Plat Name: Aliana Sec 15 replat no 3 and extension partial replat no 1
Developer: Aliana Development
Applicant: LJA Engineering, Inc.- (West Houston Office)
App No/Type: 2015-0843 C3N

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	2.0300	Total Reserve Acreage:	0.0330
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Fort Bend County MUD 134 B
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	526Z	ETJ

Conditions and Requirements for Approval

015. The building lines established along a major thoroughfare are required to be 25 ft. unless otherwise noted. (152)

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

073.1. Replat Legal Descriptions shall follow guidelines and describe the replat portion.

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: Change 20' Building line to 25' Building Lines

Houston Planning Commission

ITEM: 106

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Aliana Sec 15 replat no 3 and extension partial replat no 1

Applicant: LJA Engineering, Inc.- (West Houston Office)



C – Public Hearings with Variance

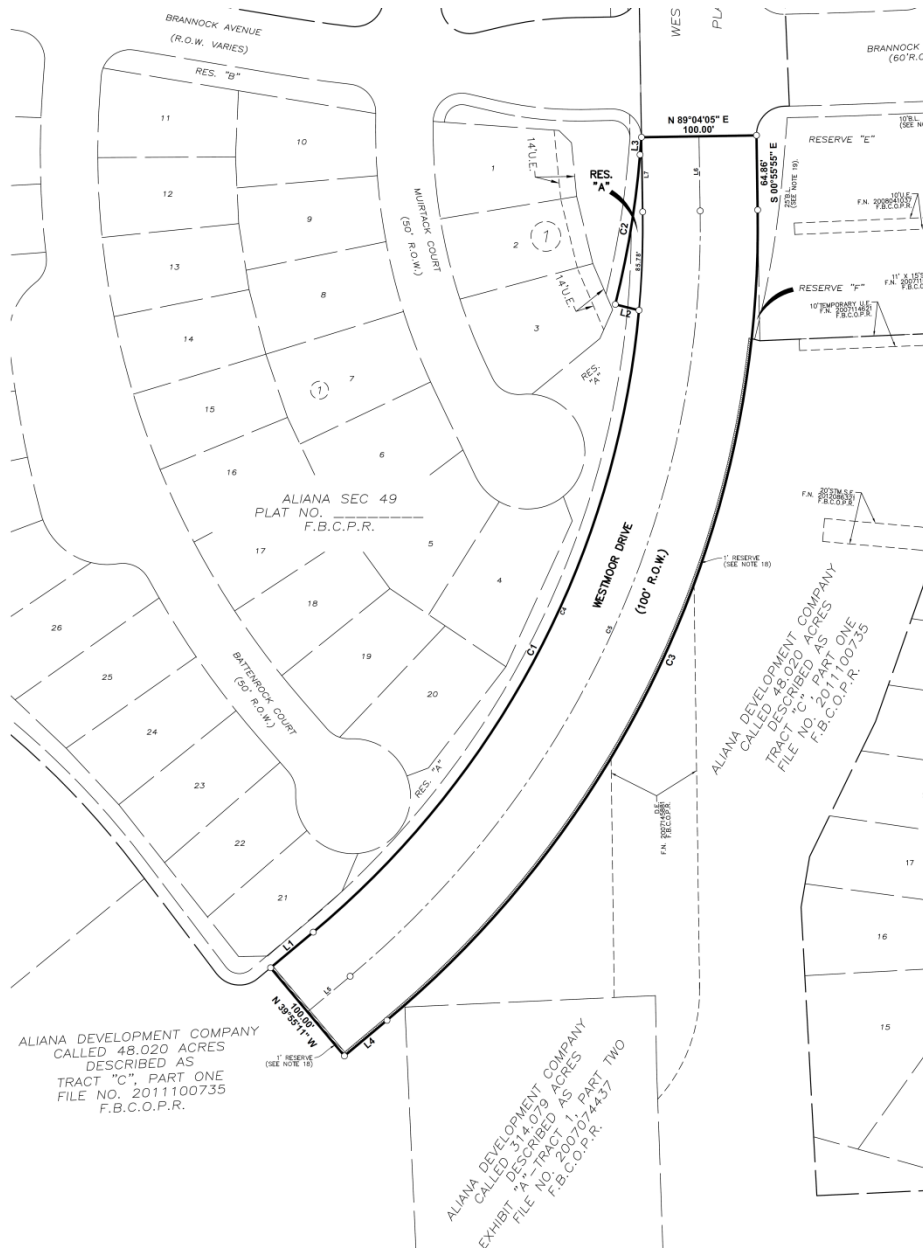
Site Location

ITEM: 106

Meeting Date: 05/28/2015

Subdivision Name: Aliana Sec 15 replat no 3 and extension partial replat no 1

Applicant: LJA Engineering, Inc.- (West Houston Office)



C – Public Hearings with Variance

Subdivision

Houston Planning Commission

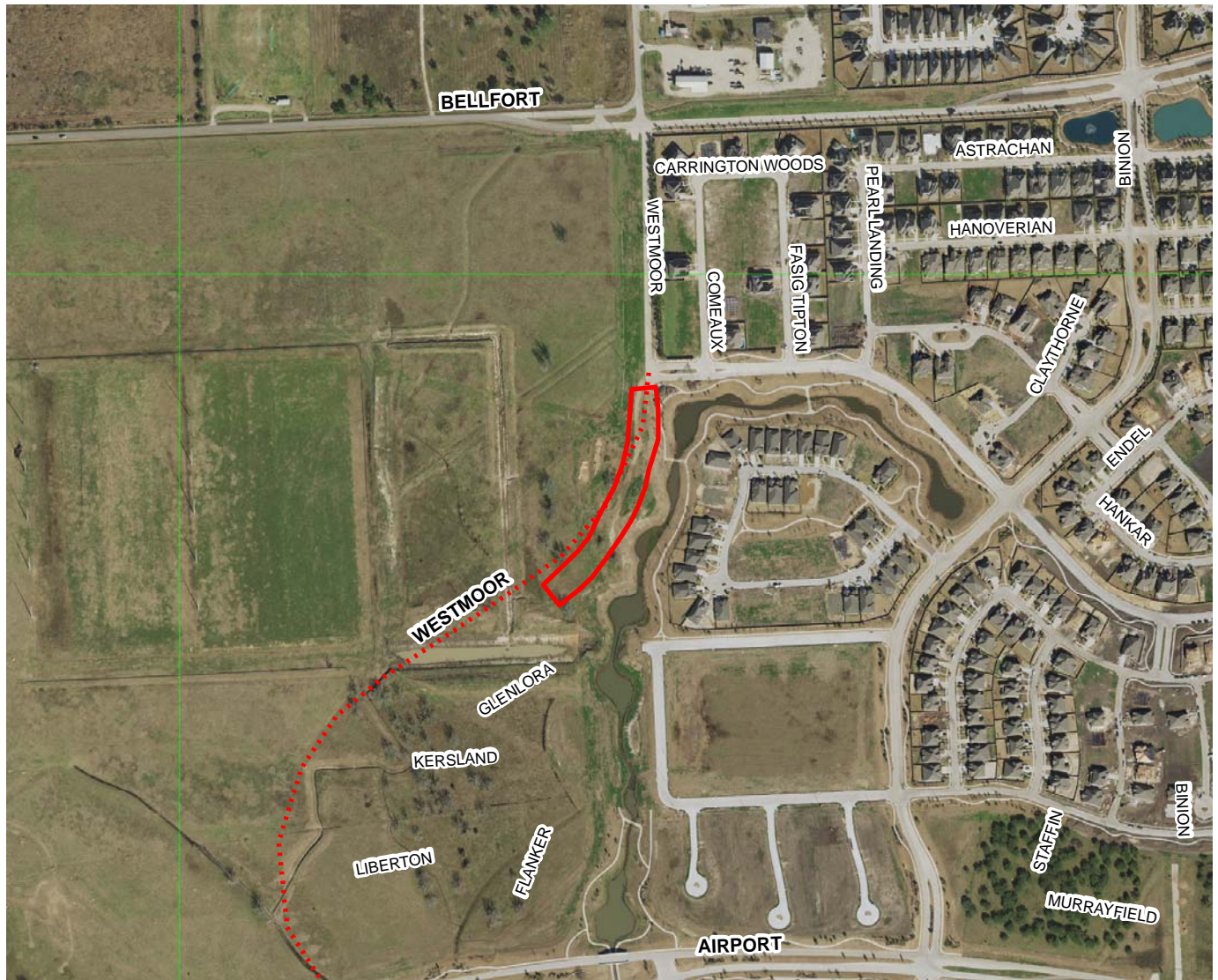
ITEM: 106

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Aliana Sec 15 replat no 3 and extension partial replat no 1

Applicant: LJA Engineering, Inc.- (West Houston Office)



C – Public Hearings with Variance

Aerial



Application Number: 2015-0843

Plat Name: Aliana Sec 15 replat no 3 and extension partial replat no 1

Applicant: LJA Engineering, Inc.- (West Houston Office)

Date Submitted: 04/20/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow for a radius of less than 2000' for a street that is still classified as a major thoroughfare.

Chapter 42 Section: 132(a)

Chapter 42 Reference:

Sec. 42-132. Curves. (a) Curves for the right-of-way of a major thoroughfare shall have a centerline radius of at least 2000 feet. Reverse curves shall be separated by a tangent distance of not less than 100 feet.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This proposed plat is replatting the piece of Westmoor Drive that was included in Aliana Section 15 replat No 3 and extension. That portion of Westmoor was platted with a curve in the form of an 850' radius so that Westmoor could be utilized as a major thoroughfare. Westmoor was declassified by Fort Bend County Commissioner's Court to a collector street on February 10, 2015. LJA Engineering on behalf of Aliana Development has submitted a major thoroughfare amendment to the City of Houston in March 2015 to declassify the major thoroughfare to a collector. Aliana Section 44 was granted a variance to allow for a 70' ROW and to allow for a radii less than 2000' feet (this plat is recorded). The previous sections that included Westmoor Drive treated the street as a collector. Abermore Westmoor Street dedication plat has final plat approval with Westmoor treated as a collector street. The portion of Westmoor that is dedicated in Aliana Sec 15 replat no 3 and extension partial replat no 1 will connect Aliana Sec 15 replat no 3 and extension with Abermore Westmoor Street Dedication. The dedication of this portion of Westmoor will allow for a north/west street to connect West Bellfort south to West Airport.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Westmoor Drive currently is platted from West Airport to West Bellfort within Aliana. The sections of Westmoor Drive are designed as a collector street and have widths ranging from 70' to 100'. The circumstances are that Westmoor has always functioned as a collector and that process will be complete later this year when City Council approves the 2015 MTFP Amendments.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Westmoor Drive functions as a collector and Fort Bend County has already made the street a collector on their major thoroughfare plan. The Planning Commission has granted variances allowing for Westmoor to have a radius lesser than 2000' along Aliana Section 44.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health and welfare of the surrounding neighborhood because Westmoor was always treated as a collector street by both the City and County as evidenced by the variances granted by the Planning Commission and the fact that Fort Bend County Commissioner's Court has already approved Westmoor as a collector street. The dedication of Westmoor in the above mentioned plat will allow for the continuous run of Westmoor from West Bellfort to West Airport.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance. In fact the justification for the variance is the fact that Westmoor is utilized as a collector already and that similar variances have been approved by the Planning Commission in Aliana Section 44.



Application No: 2015-0843

Agenda Item: 106

PC Action Date: 05/28/2015

Plat Name: Aliana Sec 15 replat no 3 and extension partial replat no 1

Applicant: LJA Engineering, Inc.- (West Houston Office)

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 132(a)

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To allow for a radius of less than 2000' for a street that is still classified as a major thoroughfare. ;

Basis of Recommendation:

Site is located north of West Airport and west of Binion. The applicant is requesting a variance to allow a radius of less than 2000' for major thoroughfare Westmoor. It is proposed that the radius be 850' for this particular segment of designated major thoroughfare, Westmoor.

In 2006 the Planning Commission approved the reclassification from a major thoroughfare to a major collector street for the segment of Westmoor, south of West Airport. Westmoor, north of Madden had already been reclassified from a major thoroughfare to a major collector. The only portion remaining of Westmoor to be reclassified to a major collector is located between Madden and West Airport Blvd, a portion of which is included in Aliana Sec 15 replat no 3 and extension.

On the current Fort Bend County MTFP map Westmoor between Madden Rd and West Airport Blvd is identified as a collector street. The applicant LJA Engineering on behalf of Aliana Development has submitted a major thoroughfare amendment request to reclassify Westmoor from Madden Rd to West Airport Blvd as a collector street. This application is under Planning Commission consideration.

Planning Commission has granted a similar variance for Westmoor within Aliana Sec 44 in Sep 2014 for reduced radius of 850' considering the reclassification to a collector street.

Proposed plat will complete the Westmoor Drive Section between West Bellfort and West Airport Blvd and this variance is required to make the streets sections connect accurately.

Review by legal department indicates that the plat does not violate any restrictions on the face of the plat or those filed separately.

Therefore, staff's recommendation is to grant the requested variance and approve the plat subject to CPC 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict application of the ordinance would make this project infeasible as the streets will not be connecting accurately.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not the result of a hardship created by the applicant. It is due to the reclassification of Westmoor to a collector street by Fort Bend County.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purpose of this chapter will be preserved as this portion of Westmoor will be reclassified from Major thoroughfare into a major collector.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting of this variance will not be injurious to the public health and safety as the Fort Bend County reclassified this portion of Westmoor from Major thoroughfare to a major collector.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of this variance.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item:	107	Staff Recommendation:	Grant the requested
Action Date:	05/28/2015		variance(s) and Approve
Plat Name:	Douglas E Bundy Amenity Lake No 1 replat no 1 and extension		the plat subject to the
Developer:	Harris County Municipal Utility District No. 71		conditions listed
Applicant:	Brown & Gay Engineers, Inc.		
App No/Type:	2015-0751 C3N		

Total Acreage:	10.1000	Total Reserve Acreage:	10.1000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 71
County	Zip	Key Map ©	City / ETJ
Harris	77449	445M	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

059.1. Acreage in title and on plat and for the reserve must match at recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

146. Identify, dimension and provide square footage for all right-of-way dedications. "xx s.f. are hereby dedicated to the public for right-of-way purposes.

146.1. Provide for dedication of cutback(s) as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 107

Action Date: 05/28/2015

Plat Name: Douglas E Bundy Amenity Lake No 1 replat no 1 and extension

Developer: Harris County Municipal Utility District No. 71

Applicant: Brown & Gay Engineers, Inc.

App No/Type: 2015-0751 C3N

Staff Recommendation:

Grant the requested variance(s) and Approve the plat subject to the conditions listed

Harris Engineer: The following is required to be addressed prior to recordation with HCED:

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

L1 at the corner of Mason Road and Lakes of Bridgewater Drive should be 28.28' for 20'x20' cutback (Traffic)

Double check alignment for Lakes of Bridgewater Drive.(HC)

Determined whether proposing Unrestricted Reserve or Restricted Reserve. Clarify.(HC)

Double check alignment for Lakes of Bridgewater Drive.(HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

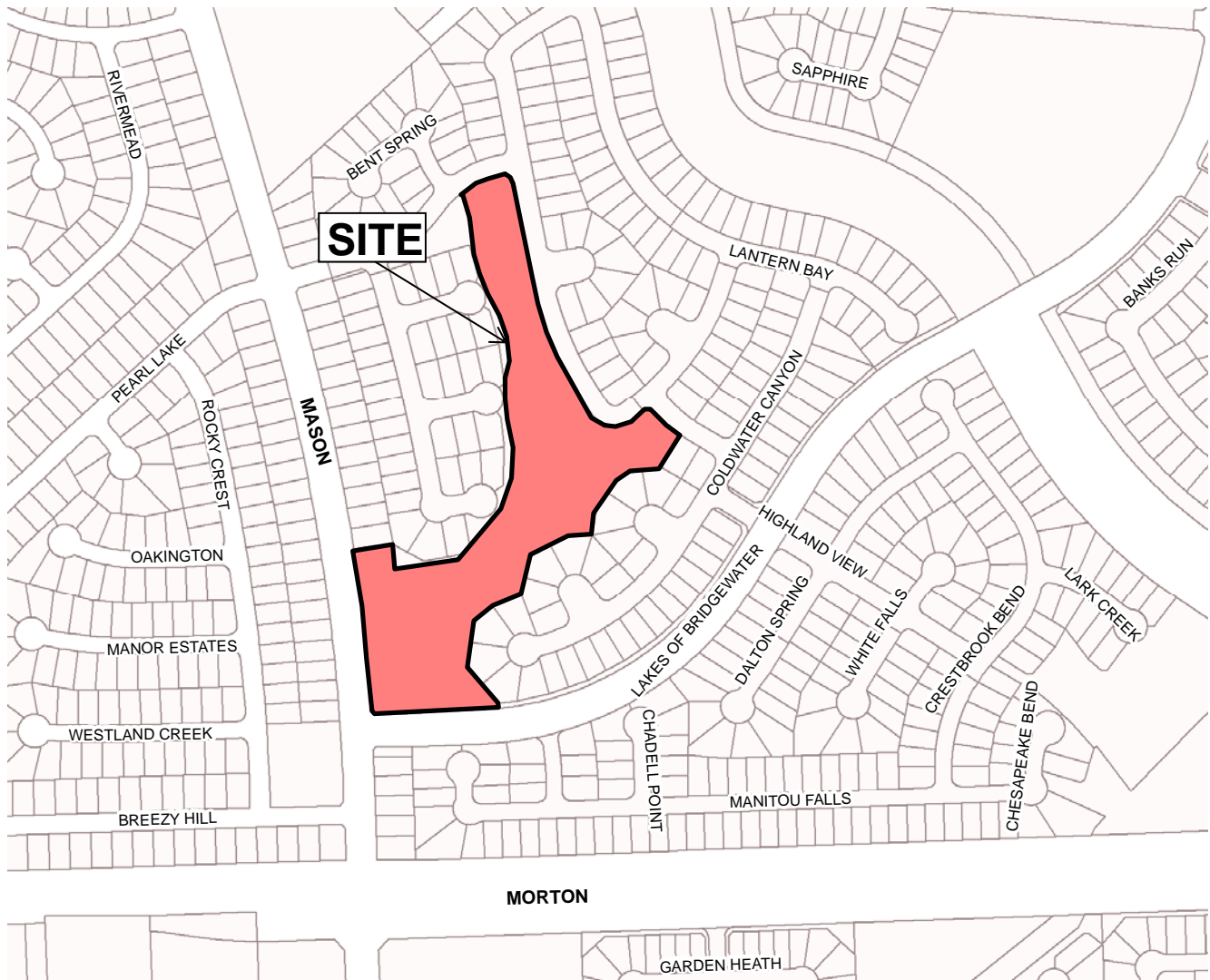
ITEM: 107

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Douglas E Bundy Amenity Lake No 1 replat no 1 and extension

Applicant: Brown & Gay Engineers, Inc.

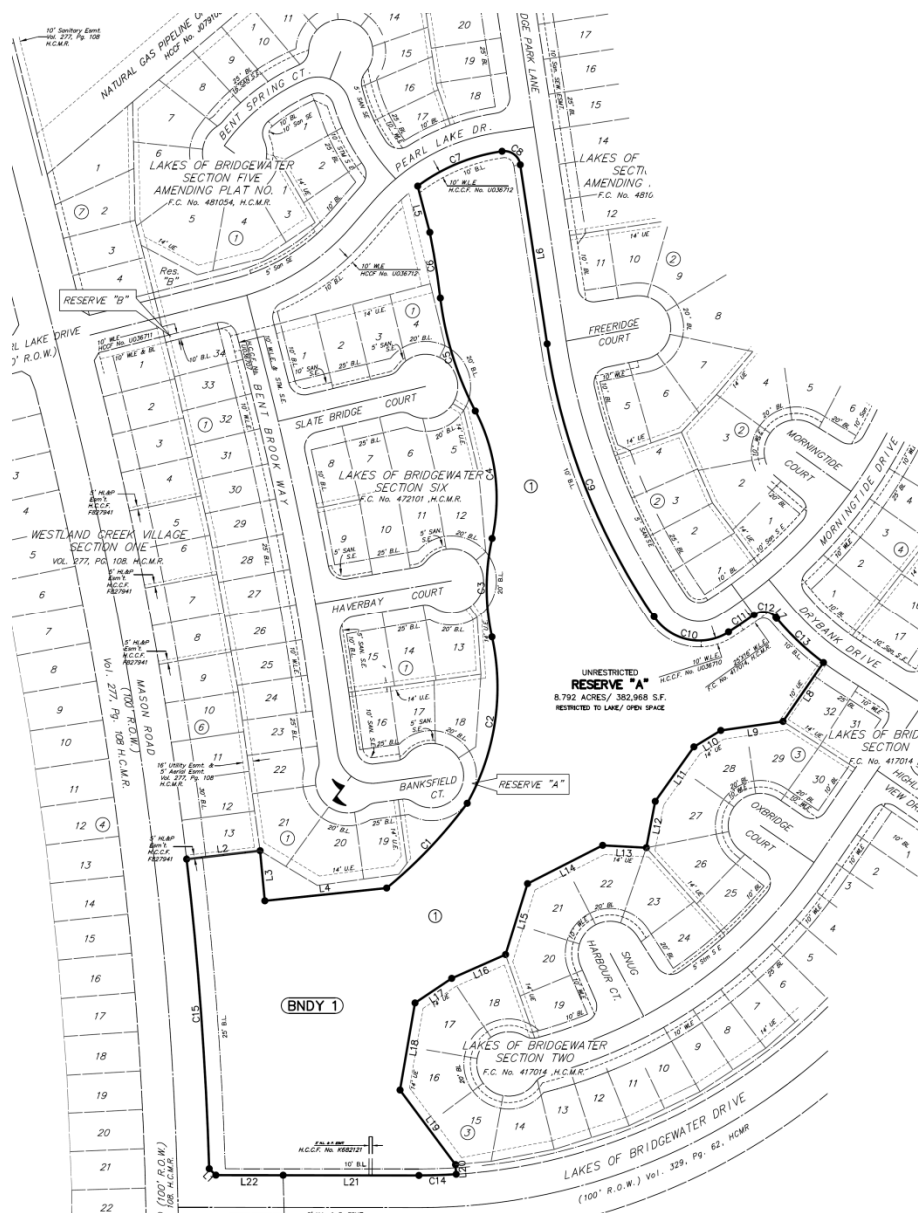


C – Public Hearings with Variance

Site Location

Meeting Date: 05/28/2015

Applicant: Brown & Gay Engineers, Inc.



NORTH

Subdivision

Houston Planning Commission

ITEM: 107

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Douglas E Bundy Amenity Lake No 1 replat no 1 and extension

Applicant: Brown & Gay Engineers, Inc.



C – Public Hearings with Variance

Aerial



Application Number: 2015-0751

Plat Name: Douglas E Bundy Amenity Lake No 1 replat no 1 and extension

Applicant: Brown & Gay Engineers, Inc.

Date Submitted: 04/06/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a partial replat to use a unique subdivision name.

Chapter 42 Section: 42-41

Chapter 42 Reference:

Sec. 42-41. Additional requirements—All subdivision plats. b. The name of a subdivision plat subject to the provisions of section 42-49 of this Code that is a partial replat of a preceding subdivision plat where all of the lots in the preceding plat are subject to the same separately filed deed restrictions shall be the name of the prior subdivision plat followed by “partial replat no. X” where “X” represents the next sequential number of partial replats of the prior subdivision. To illustrate, the first partial replat of “Sunny Land Subdivision” would be named “Sunny Land Subdivision partial replat no. 1,” the second partial replat would be named “Sunny Land Subdivision Partial Replat No 2,” and so on;

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The proposed plat is a replat of the entire plat, Douglas E. Bundy Amenity Lake No. 1, along with lots 14-21 of Block 6 of Westland Creek Village Section One. The Douglas E. Bundy Amenity Lake has physically existed on the ground in the same configuration since May of 2002 including Lots 14-21 of Block 6 of Westland Creek Village Section One. The original plat of the amenity lake was named in honor of Mr. Douglas E. Bundy, a long standing board member of Harris County MUD No. 71. Harris County MUD No. 71 board of directors respectfully requests “Douglas E. Bundy” remain a part of the current plat name. Today, the replat and extension of the Douglas E. Bundy Amenity Lake is being completed to allow for the entire physical limits of the lake and open space area along with all of the property owned by Harris County Municipal Utility District No. 71 to be included within one contiguous plat boundary. A brief history of the subject property reveals the following: a) an amendment and change to declaration of covenants, conditions and restrictions is filed in March of 1983 under HCCF No. H866527; the amendment includes lots 14-21 of Block 6 of Westland Creek Village Section One restricting the use to recreational purposes only; b) in February of 2000, per Warranty Deed filed under HCCF No U231830, a 9.897 acre tract of land including a portion of Lot 15 and all of Lots 16-21 is conveyed to Harris County Municipal Utility District No. 71; the remainder of Lot 15 and all of Lot 14 of Block 6 of Westland Creek Village Section One is retained by the original developer, Bridgewater, Ltd., at the time of the February 2000 conveyance; c) In May of 2002 the plat, Douglas E. Bundy Amenity Lake No. 1, is recorded at Film Code No. 515002; the plat totals 8.792 acres and does not include the Westland Creek Village Section One lots owned by Harris County Municipal Utility District No. 71; d) in March of 2015 Lot 14 and the remainder of Lot 15 is conveyed to Harris County Municipal Utility District No. 71. In short, Lots 14-21 of Block 6 of Westland Creek Village Section One were removed from the restrictions for Westland Creek Village and have been existing as an amenity lake and open space prior to the Chapter 42 amendments of 2003 regulating the naming of partial replats.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by Harris County Municipal Utility District No. 71. The circumstances supporting the granting of the variance are based upon the subject lots having restrictions of record allowing for an amenity lake and open space prior to the 2003 amendments to Chapter 42.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of Chapter 42 will be preserved and maintained. The title block of the proposed plat, Douglas E. Bundy Amenity Lake No. 1 Replat No. 1 and Extension, clearly states all of Lots 14-21 of Block 6 of Westland Creek Village Section One are included in the plat boundary. In addition, proper notice through physical signs at the site, the Houston Chronicle, and the U.S. Mail service was provided in accordance with the subdivision ordinance.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting of the variance and allowing the name, "Douglas E. Bundy," to be included within the plat name will not be injurious to the public health, safety, or welfare.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the justification of the variance; the justification of the variance is based upon the subject lots having restrictions of record allowing for an amenity lake and open space prior to the 2003 amendments to Chapter 42.



Application No: 2015-0751

Agenda Item: 107

PC Action Date: 05/28/2015

Plat Name: Douglas E Bundy Amenity Lake No 1 replat no 1 and extension

Applicant: Brown & Gay Engineers, Inc.

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 42-41

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To allow a partial replat to use a unique subdivision name.;

Basis of Recommendation:

Site is located at the intersection of Mason Road and Lakes of Bridgewater Drive. Purpose of the replat is to create 1 restricted reserve, to abandon utility easements and to reduce a 30' B.L. to 25' B.L. along Mason Road.

The applicant is requesting a variance to continue the plat name of Douglas E Bundy Amenity Lake No 1 for this plat instead of the required name of Westland Creek Village Sec 1 partial replat no 1.

The proposed plat is a replat of the entire plat, Douglas E. Bundy Amenity Lake No. 1, along with lots 14-21 Block 6 of Westland Creek Village Sec 1. Per the ordinance, partial replat of a single family deed restricted subdivision should continue the name of the original plat.

However, this replat and extension of the Douglas E. Bundy Amenity Lake is being completed to allow for the entire physical limits of the lake and open space area along with all of the property owned by Harris County Municipal Utility District No. 71 to be included within one contiguous plat boundary.

In 1983 an amendment and change to declaration of covenants, conditions and restrictions was filed in which lots 14-21 of Block 6, Westland Creek Village Sec 1 were restricted to recreational purposes only. These lots were conveyed to Harris County Municipal Utility District No 71 but were not included in the plat of Douglas E Bundy Amenity Lake No 1 plat done in 2002. These lots were always used as part of the detention facility and with this replat the lots will become part of the Detention reserve plat. Therefore, it is justified to keep the subdivision name as Douglas E Bundy Amenity Lake No 1 replat no 1 and extension.

Review by legal department indicates that the plat does not violate any restrictions on the face of the plat or those filed separately.

Staff's recommendation is to grant the requested variance and approve the plat subject to cpc 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

Strict application of the ordinance will create undue hardship for the applicant as the name will not be Douglas E Bundy Amenity Lake No 1 anymore even though it is being used for lake purposes.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not the result of a hardship created by the applicant. These lots were allowed to be used for an amenity lake and open space since 1983 per the amended deed restrictions.

(3) The intent and general purposes of this chapter will be preserved and maintained;

These lots were always used as part of the detention facility and with this replat the lots will become part of the Detention reserve plat. Therefore it is justified to keep the subdivision name as Douglas E Bundy Amenity Lake No 1 replat no 1 and extension.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting of the variance will not be injurious to public health and safety as the name of the subdivision is only for platting purposes.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of this variance. These lots were being used as part of the detention facility and were owned by Harris County Municipal Utility District No. 71.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 108
Action Date: 05/28/2015
Plat Name: Lakeview Homes Addition partial replat no 2
Developer: N/A
Applicant: E.I.C. Surveying Company
App No/Type: 2015-0711 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1859	Total Reserve Acreage:	0.0000
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77530	498H	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

185.1. Appendix A: Add replat language pursuant to the provisions of Chapter 212.014 Local Government Code (short replat paragraph).

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

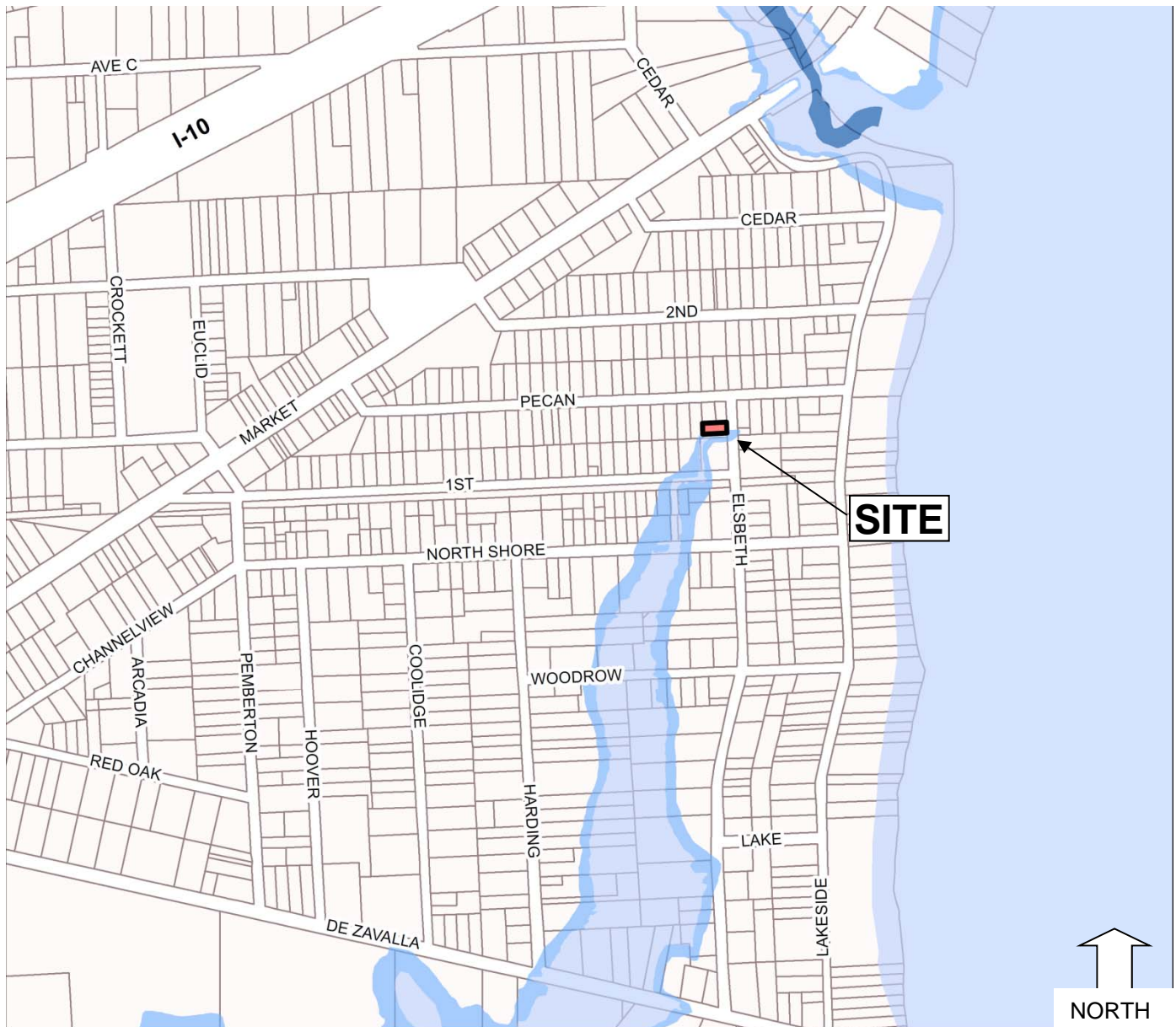
ITEM: 108

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Lakeview Homes Addition partial replat no 2

Applicant: E.I.C. Surveying Company



C – Public Hearings

Site Location

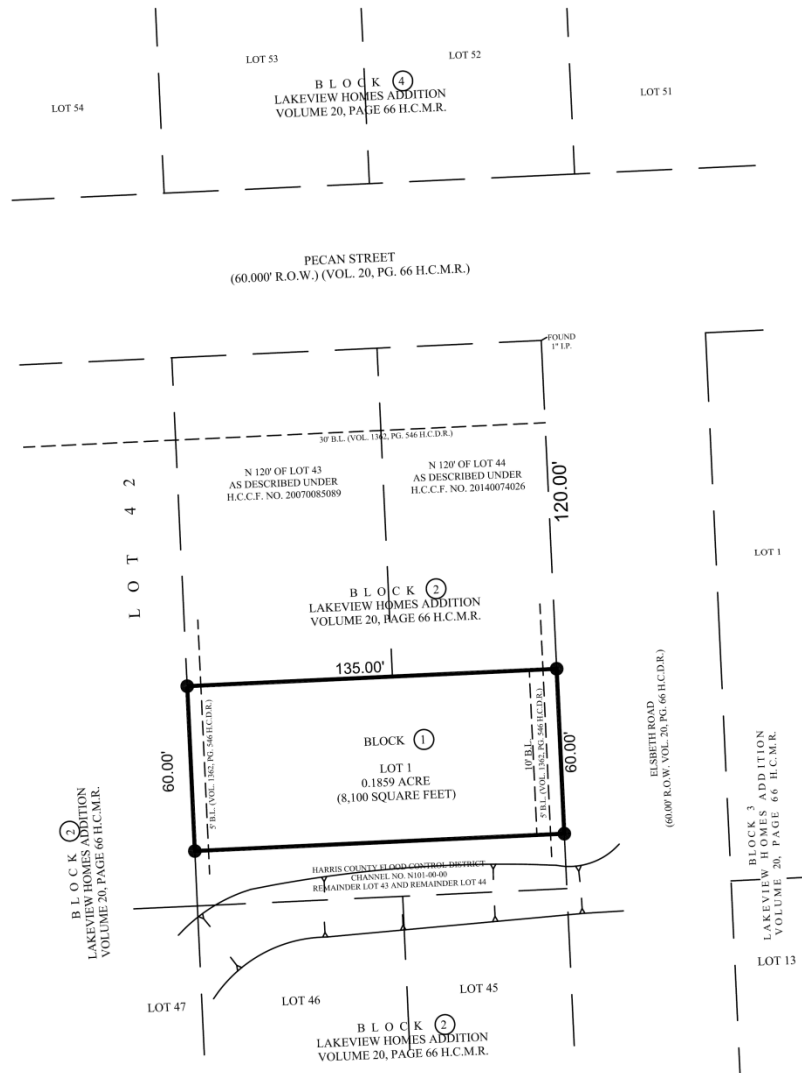
Houston Planning Commission ITEM: 108

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Lakeview Homes Addition partial replat no 2

Applicant: E.I.C. Surveying Company



C – Public Hearings

Subdivision

Houston Planning Commission

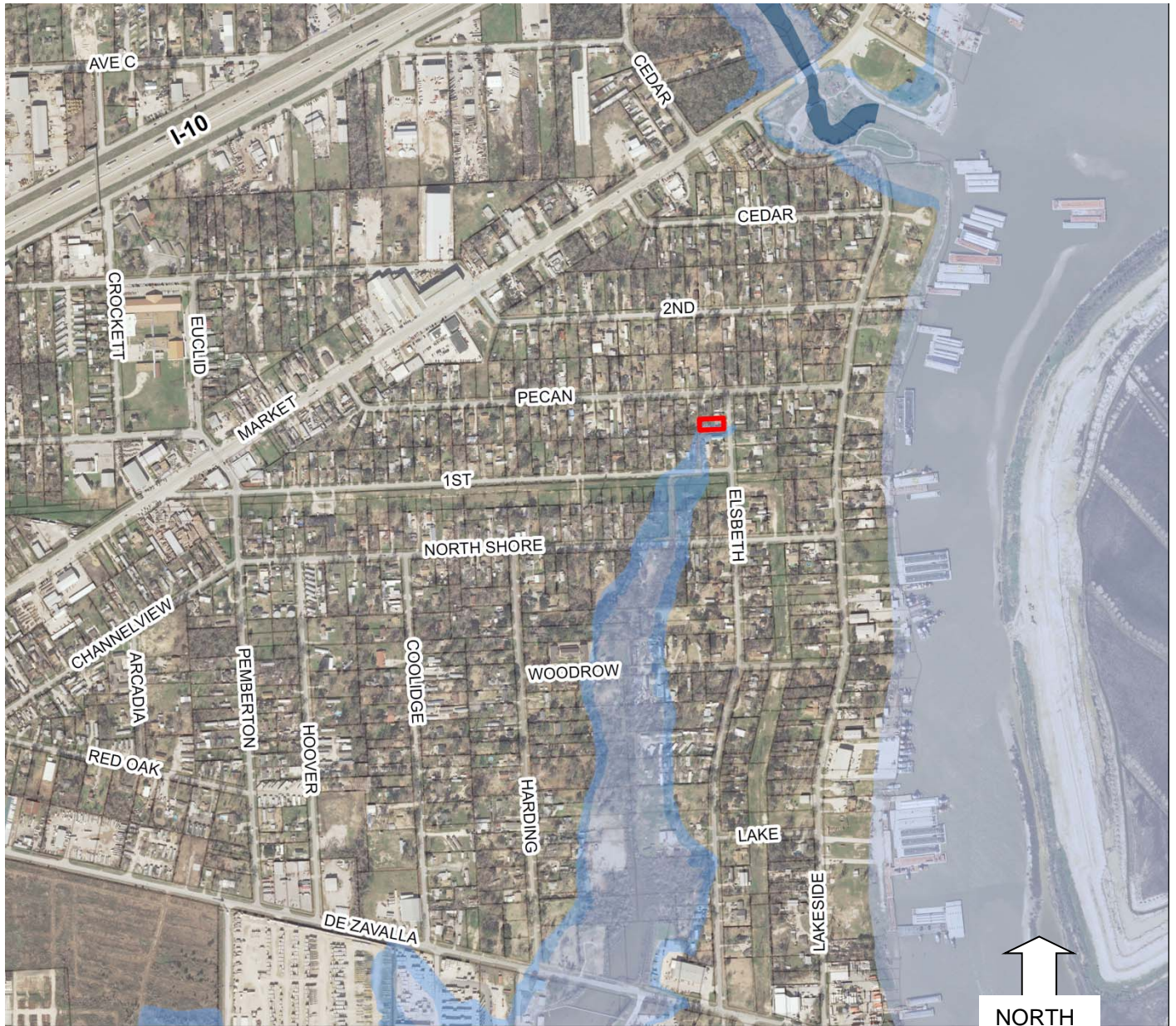
ITEM: 108

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Lakeview Homes Addition partial replat no 2

Applicant: E.I.C. Surveying Company



C – Public Hearings

Aerial



Agenda Item: 109
Action Date: 05/28/2015
Plat Name: Long Point Woods Sec 1 partial replat no 1
Developer: TimeLine Construction Group LLC
Applicant: Melissa's platting service
App No/Type: 2015-0356 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.3362	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	10	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77055	450X	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Harris County Flood Control District: HCFCD Review - Include Key Map information on the Vicinity Map.

PWE Utility Analysis: Lot 2 does not front COH sanitary sewer.

A Wastewater capacity reservation letter is required for this project before replat.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Harris County Flood Control District: HCFCD Review - Include Key Map information on the Vicinity Map.

PWE Utility Analysis: Lot 2 does not front COH sanitary sewer.

A Wastewater capacity reservation letter is required for this project before replat.



PLANNING &
DEVELOPMENT
DEPARTMENT

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 109
Action Date: 05/28/2015
Plat Name: Long Point Woods Sec 1 partial replat no 1
Developer: TimeLine Construction Group LLC
Applicant: Melissa's platting service
App No/Type: 2015-0356 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 109

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Long Point Woods partial replat no 1 (DEF 2)

Applicant: Melissa's platting service



C – Public Hearings

Site Location

Subdivision

Houston Planning Commission

ITEM: 109

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Long Point Woods partial replat no 1 (DEF 2)

Applicant: Melissa's platting service



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 110
Action Date: 05/28/2015
Plat Name: Melody Oaks partial replat no 14
Developer: KAR Capital Enterprises Inc
Applicant: Owens Management Systems, LLC
App No/Type: 2015-0705 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.2440	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	10	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77055	451X	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

185.1. Appendix A: Add replat language pursuant to the provisions of Chapter 212.014 Local Government Code (short replat paragraph).

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 110

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Melody Oaks partial replat no 14

Applicant: Owens Management Systems, LLC



C – Public Hearings

Site Location

Houston Planning Commission

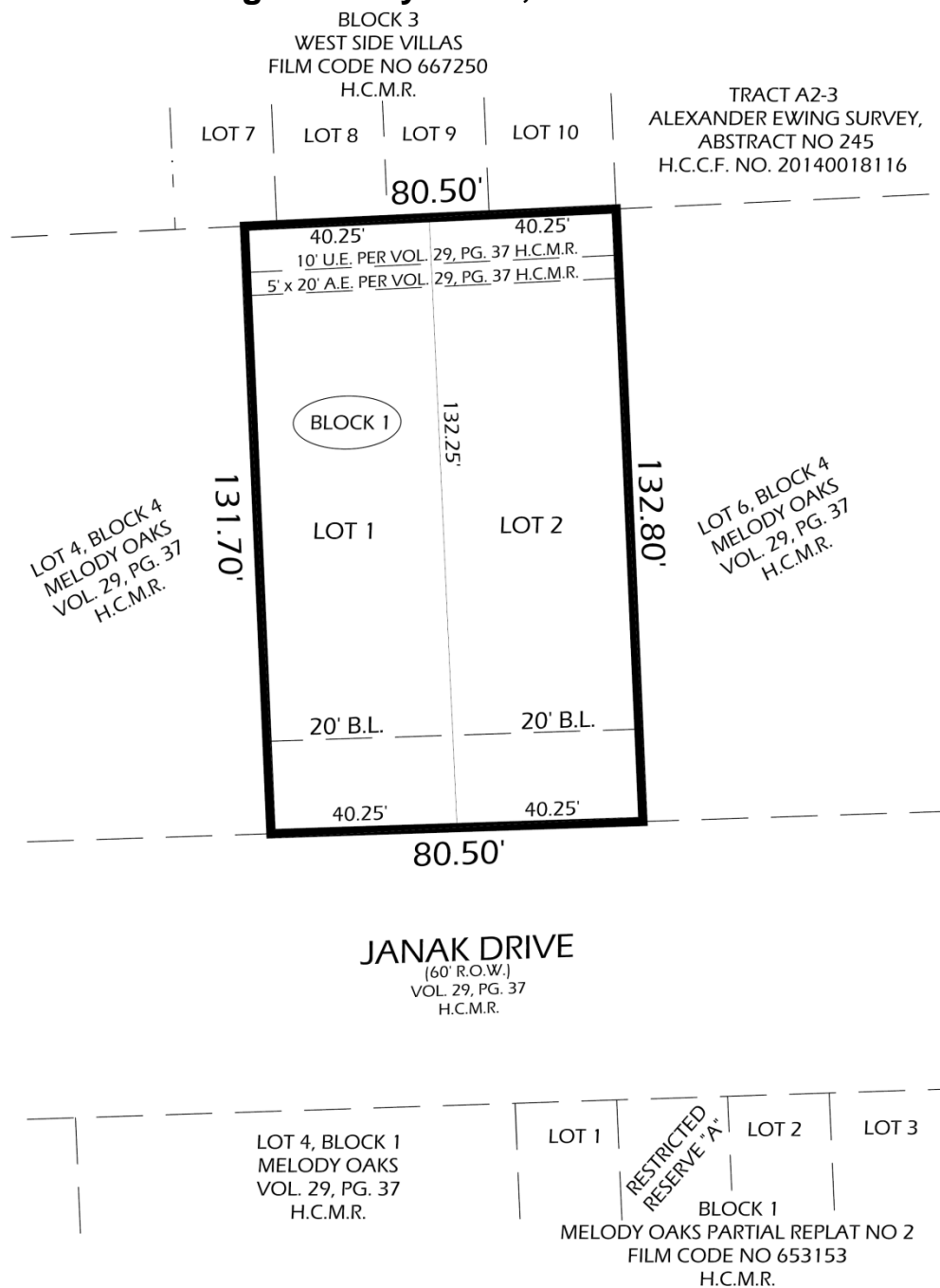
ITEM: 110

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Melody Oaks partial replat no 14

Applicant: Owens Management Systems, LLC



C – Public Hearings

Subdivision

Houston Planning Commission

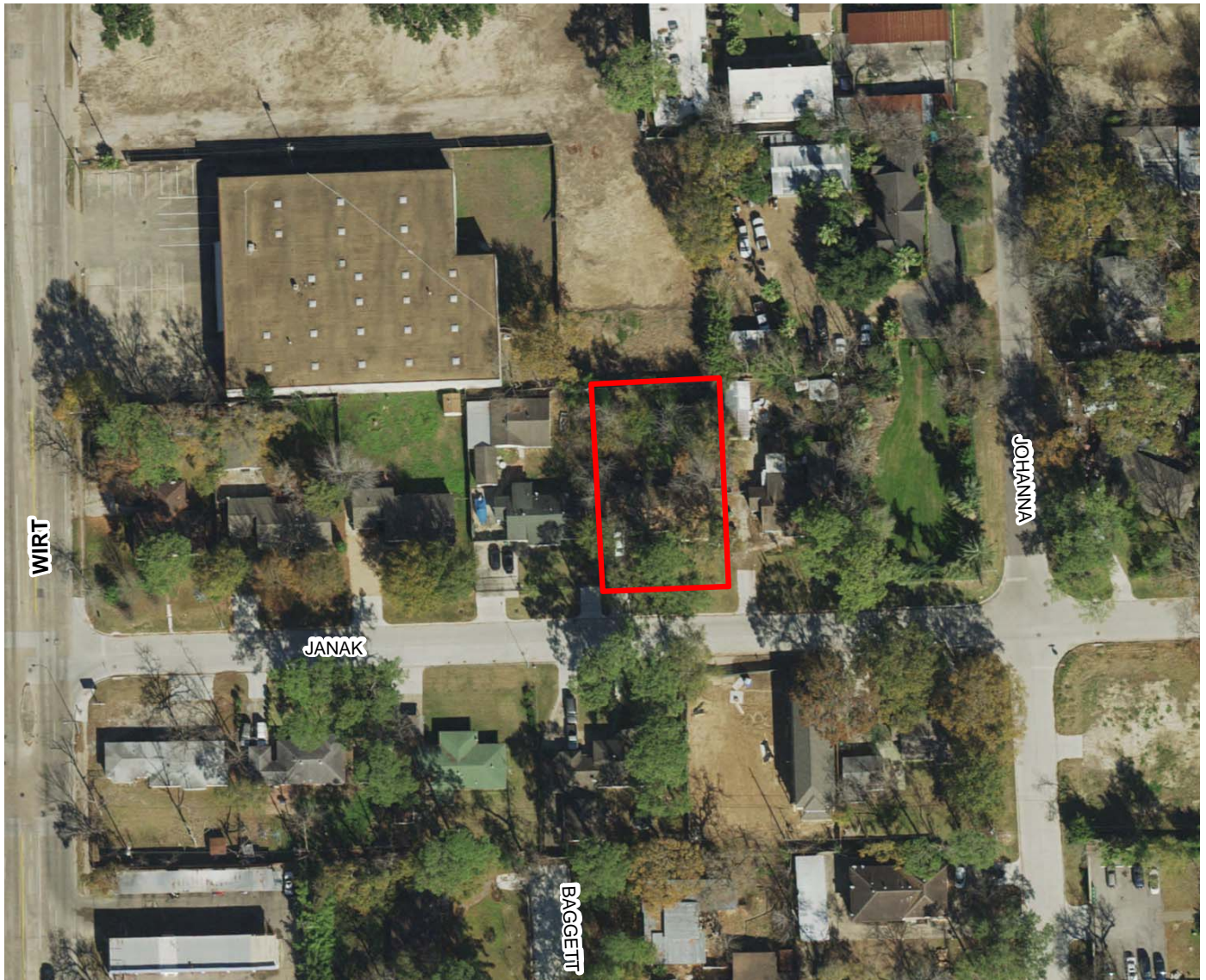
ITEM: 110

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Melody Oaks partial replat no 14

Applicant: Owens Management Systems, LLC



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 111

Action Date: 05/28/2015

Plat Name: Scenic Woods partial replat no 2

Developer: Houston Community College

Applicant: Boundary One, LLC

App No/Type: 2015-0488 C2

Staff Recommendation:

Approve the plat subject to the conditions listed

Total Acreage:	41.4430	Total Reserve Acreage:	41.4430
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	4	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77016	415S	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

The applicant shall construct a wood, concrete or masonry opaque screening fence with a minimum height of six feet that extends the entire right-of-way of the stub street, Fala Street.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 111

Action Date: 05/28/2015

Plat Name: Scenic Woods partial replat no 2

Developer: Houston Community College

Applicant: Boundary One, LLC

App No/Type: 2015-0488 C2

Staff Recommendation:

Approve the plat subject to the conditions listed

PWE Utility Analysis: A Wastewater capacity reservation letter is required.
City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: Plat is barely readable.
Call out ROW per HCFCD Policy, Criteria, & Procedure Manual Appendix C.
Parks and Recreation: To be added to general notes on face of plat:
If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

PWE Utility Analysis: A Wastewater capacity reservation letter is required.
City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: Plat is barely readable.
Call out ROW per HCFCD Policy, Criteria, & Procedure Manual Appendix C.
Parks and Recreation: To be added to general notes on face of plat:
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PWE Utility Analysis: A Wastewater capacity reservation letter is required.
City Engineer: DETENTION IS REQUIRED

Harris County Flood Control District: Plat is barely readable.
Call out ROW per HCFCD Policy, Criteria, & Procedure Manual Appendix C.
Parks and Recreation: To be added to general notes on face of plat:
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Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

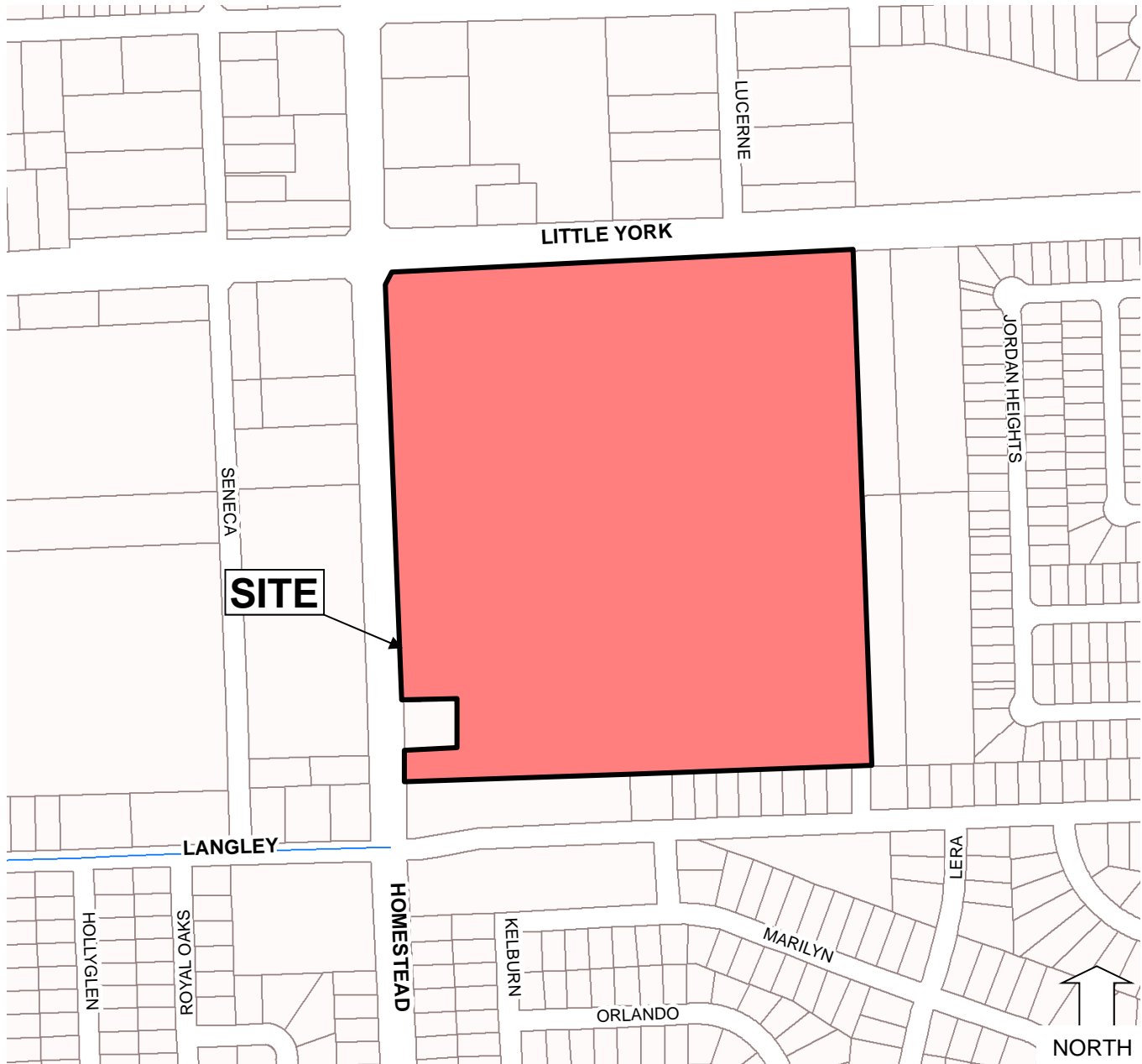
ITEM: 111

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Scenic Woods partial replat no 2 (DEF 1)

Applicant: Boundary One, LLC



C – Public Hearings

Site Location

Houston Planning Commission

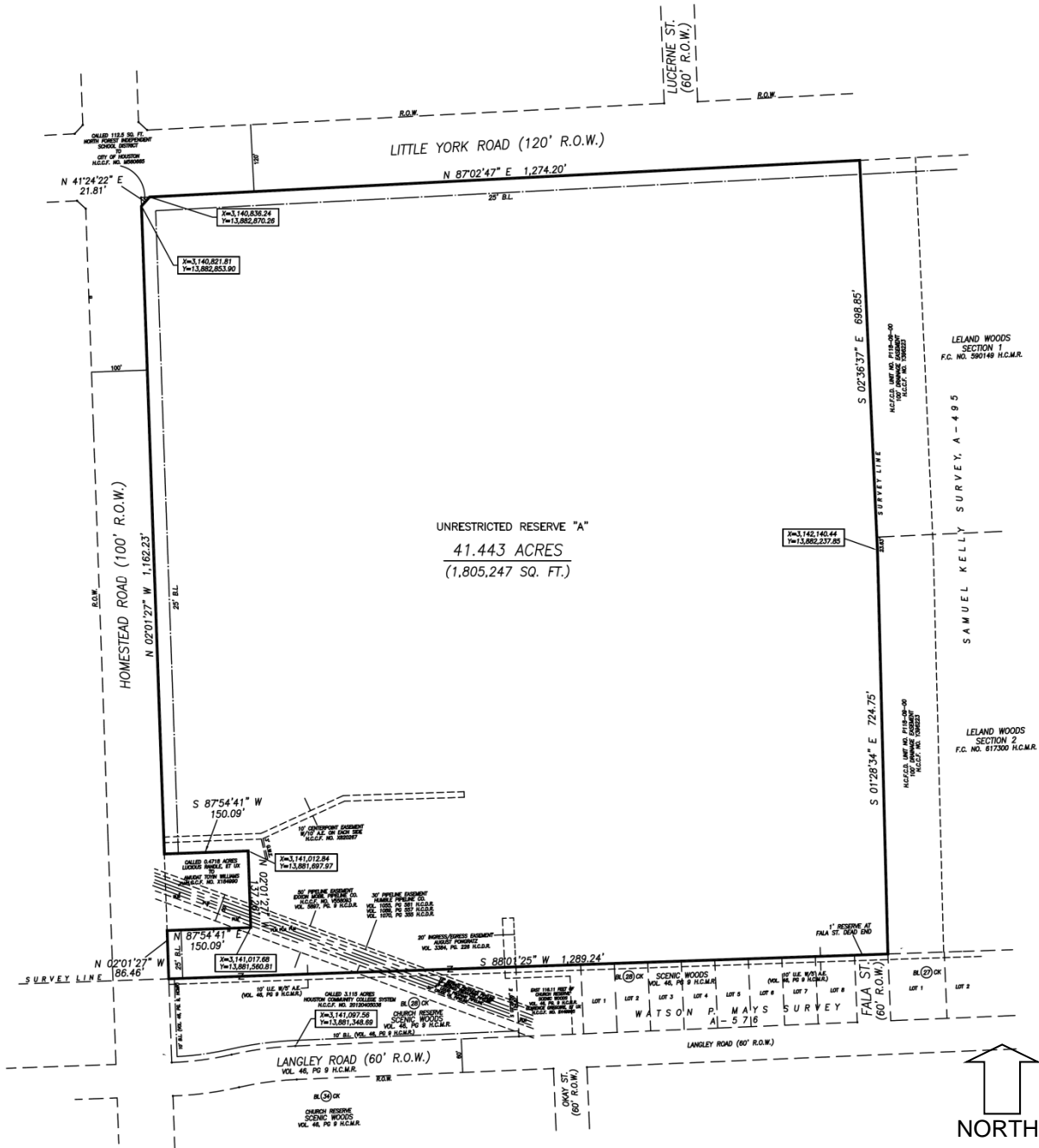
ITEM: 111

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Scenic Woods partial replat no 2 (DEF 1)

Applicant: Boundary One, LLC



C – Public Hearings

Subdivision

Houston Planning Commission

ITEM: 111

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Scenic Woods partial replat no 2 (DEF 1)

Applicant: Boundary One, LLC



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 112
Action Date: 05/28/2015
Plat Name: Scottcrest partial replat no 1
Developer: 34 DHANANI INVESTMENTS
Applicant: Advance Surveying, Inc.
App No/Type: 2015-0796 C3N

Staff Recommendation:
Withdraw

Total Acreage:	0.9537	Total Reserve Acreage:	0.9537
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	7	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77051	573G	City

Conditions and Requirements for Approval

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

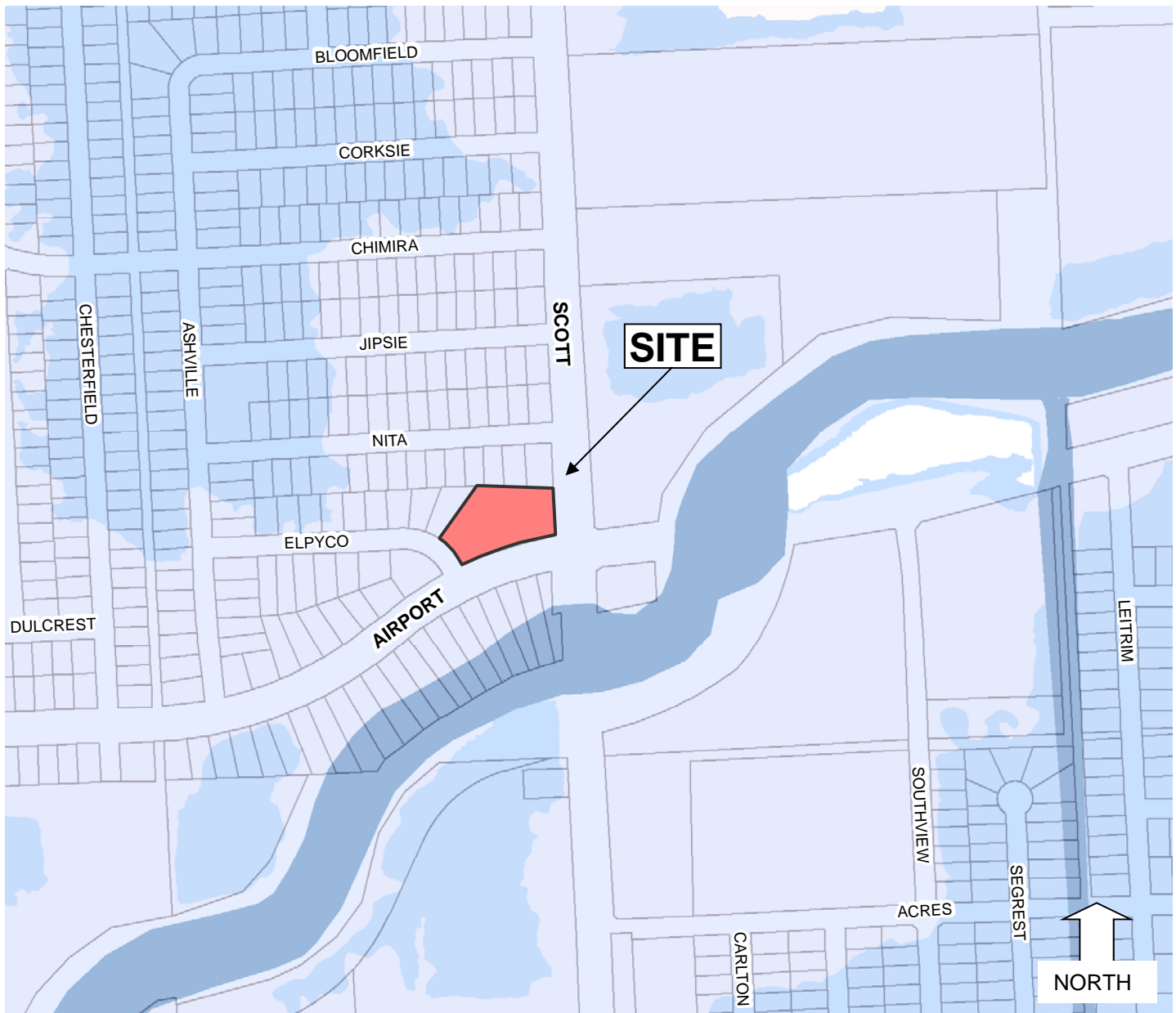
ITEM: 112

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Scottcrest partial replat no 1

Applicant: Advance Surveying, Inc.



C – Public Hearing

Site Location

Houston Planning Commission

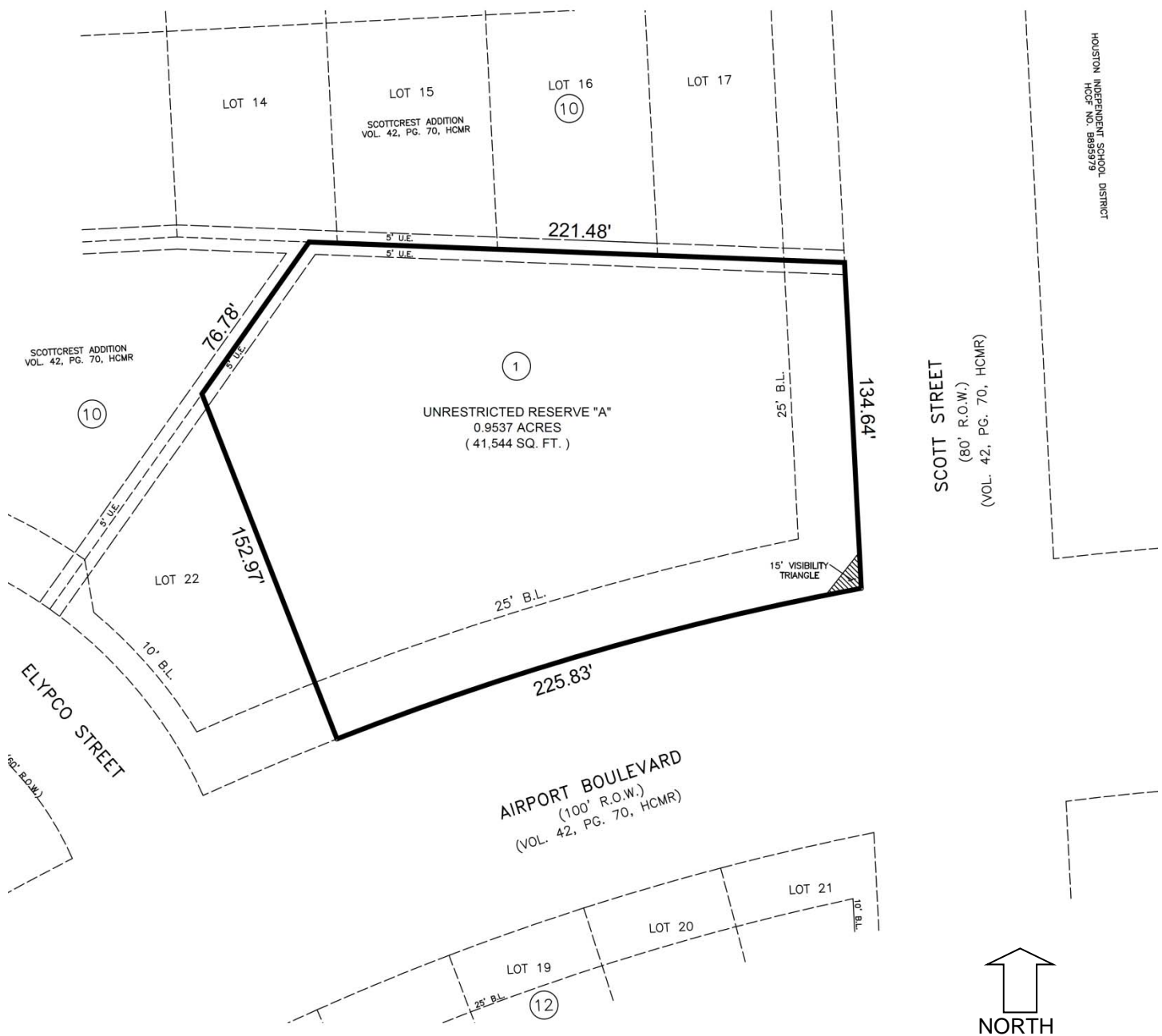
ITEM: 112

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Scottcrest partial replat no 1

Applicant: Advance Surveying, Inc.



C – Public Hearing

Subdivision

Houston Planning Commission

ITEM: 112

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Scottcrest partial replat no 1

Applicant: Advance Surveying, Inc.



C – Public Hearing

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 113
Action Date: 05/28/2015
Plat Name: Spring Village Estates partial replat no 1
Developer: KING'S LAND SURVEYING SOLUTIONS, LLC
Applicant: KING'S LAND SURVEYING SOLUTIONS, LLC
App No/Type: 2015-0486 C3N

Staff Recommendation:
 Approve the plat subject to
 the conditions listed

Total Acreage:	1.1350	Total Reserve Acreage:	0.0000
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77375	290F	ETJ

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

073.2. Subdivision name shown on the face of the plat must match the subdivision name shown on the CPC101 Form.

185.1. Appendix A: Add replat language pursuant to the provisions of Chapter 212.014 Local Government Code (short replat paragraph).

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
 Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
 Coordinate with HC Traffic prior to recordation. (HC)
 Plat name must match approved CPC101 in all occurrences on plat. (HC)
 Call out complete recording info for Kuykendahl Rd. (HC)
 Correct block number within plat boundary. There appears to be only 1 block. (HC)
 ROW denotes "public" roads. Please remove from call out for Spring Estates Dr. (HC)
 Remove note #5 and replace with 150' Drainage note. (HC)

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 113

Action Date: 05/28/2015

Plat Name: Spring Village Estates partial replat no 1

Developer: KING'S LAND SURVEYING SOLUTIONS, LLC

Applicant: KING'S LAND SURVEYING SOLUTIONS, LLC

App No/Type: 2015-0486 C3N

Staff Recommendation:

Approve the plat subject to
the conditions listed

Houston Planning Commission

ITEM: 113

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Spring Village Estates partial replat no 1 (DEF 1)

Applicant: King's Land Surveying Solutions, LLC



C – Public Hearings

Site Location

Houston Planning Commission

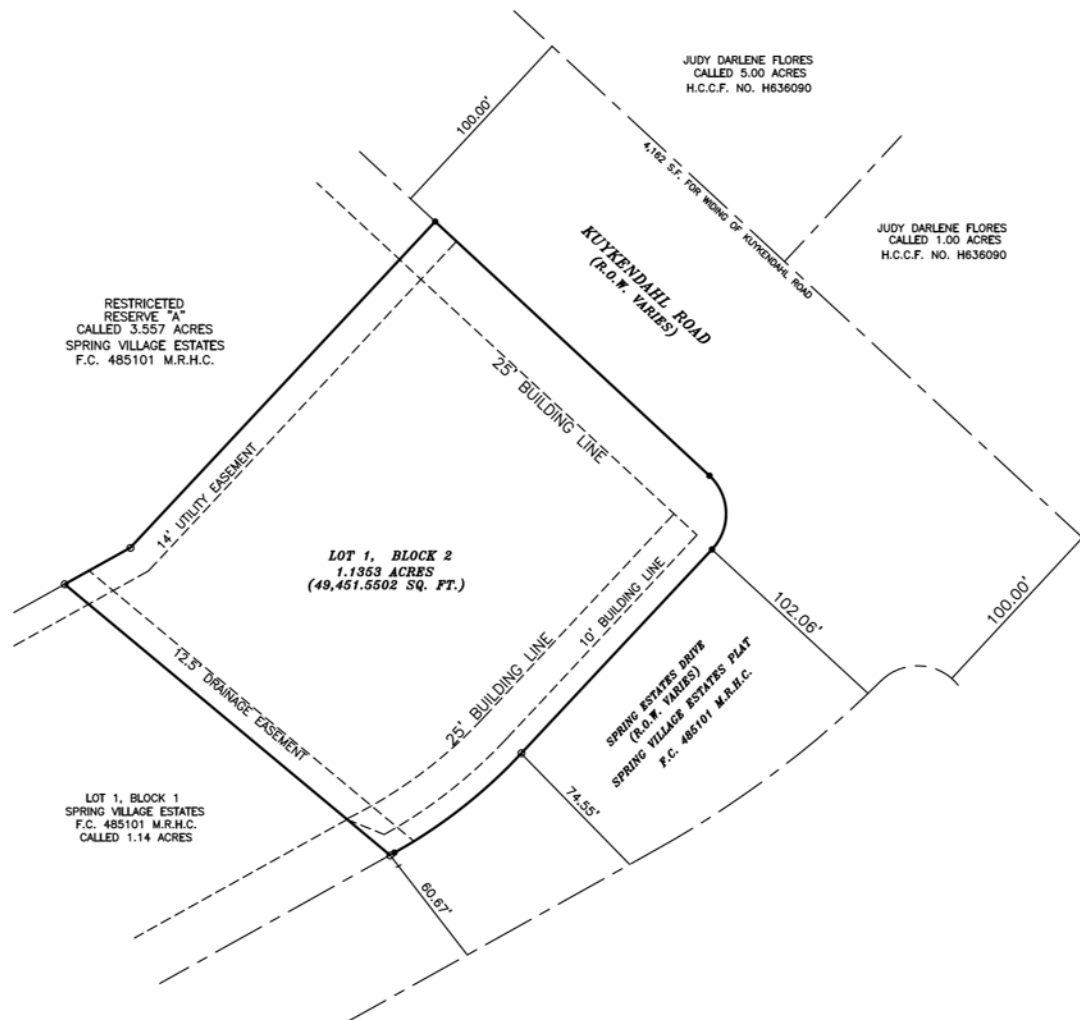
ITEM: 113

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Spring Village Estates partial replat no 1 (DEF 1)

Applicant: King's Land Surveying Solutions, LLC



C – Public Hearings

Subdivision

Houston Planning Commission

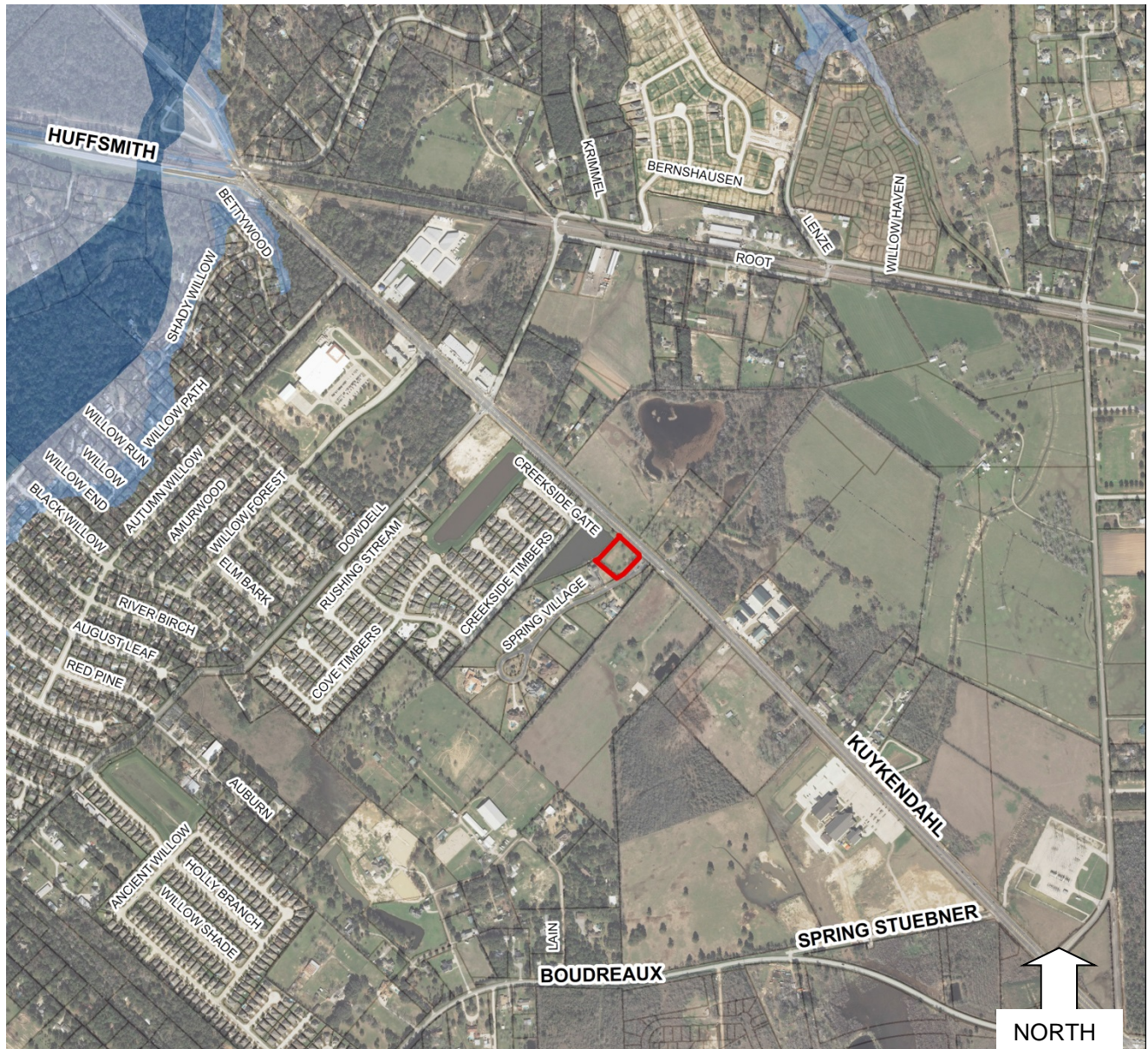
ITEM: 113

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Spring Village Estates partial replat no 1 (DEF 1)

Applicant: King's Land Surveying Solutions, LLC



C – Public Hearings

Aerial



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 114
Action Date: 05/28/2015
Plat Name: Terrace Oaks partial replat no 1
Developer: Baylor Asset Management
Applicant: Owens Management Systems, LLC
App No/Type: 2015-0708 C3N

Staff Recommendation:
Approve the plat subject to
the conditions listed

Total Acreage:	0.1550	Total Reserve Acreage:	0.0000
Number of Lots:	2	Number of Multifamily Units:	0
COH Park Sector:	15	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77021	533G	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

Add short replat paragraph.

Provide new center point paragraph.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65%

Harris County Flood Control District: HCFCD Review - No comments.

Houston Planning Commission

ITEM: 114

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Terrace Oaks partial replat no 1

Applicant: Owens Management Systems, LLC



C – Public Hearings

Site Location

Houston Planning Commission

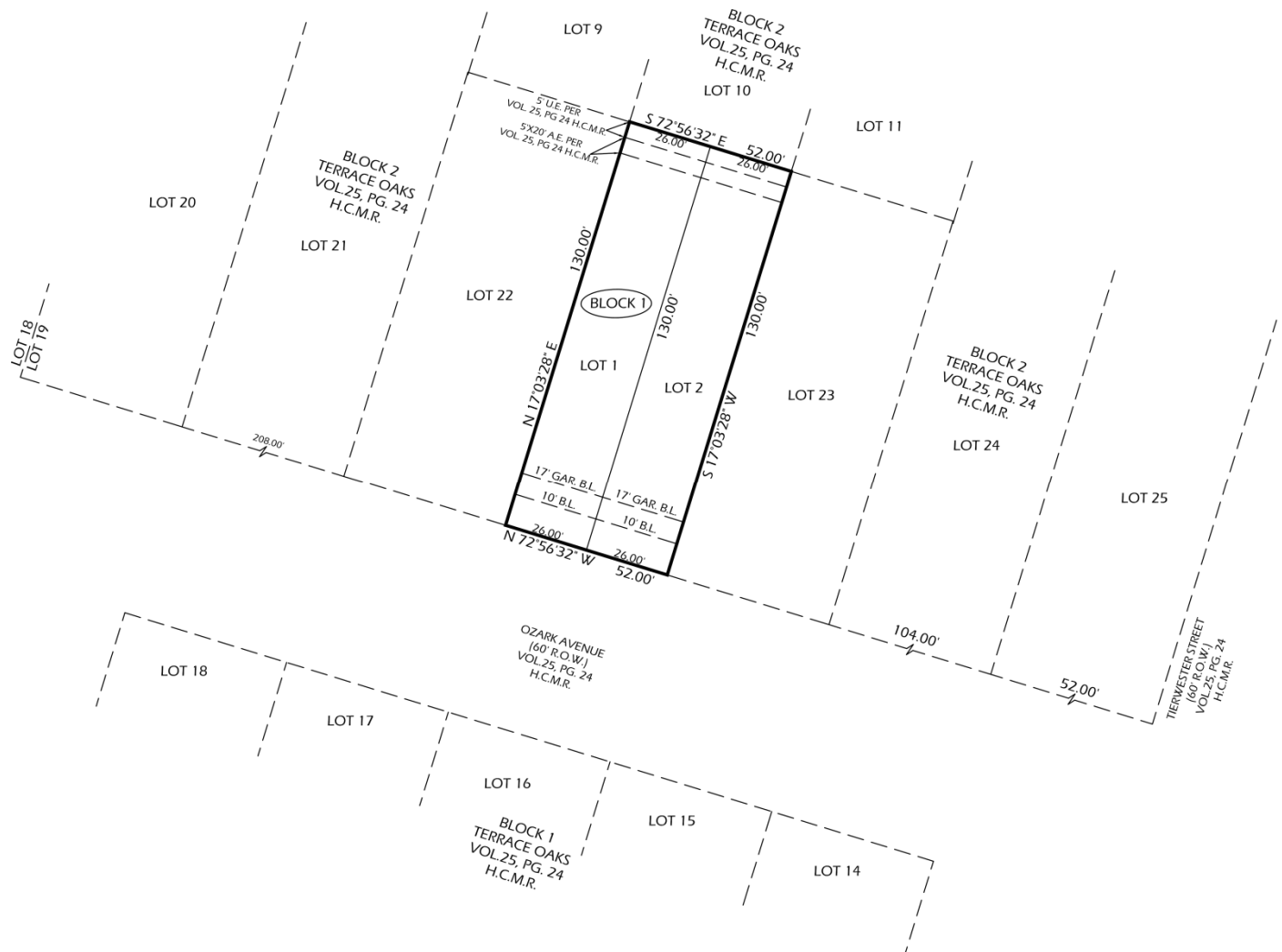
ITEM: 114

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Terrace Oaks partial replat no 1

Applicant: Owens Management Systems, LLC



C – Public Hearings

Subdivision

Houston Planning Commission

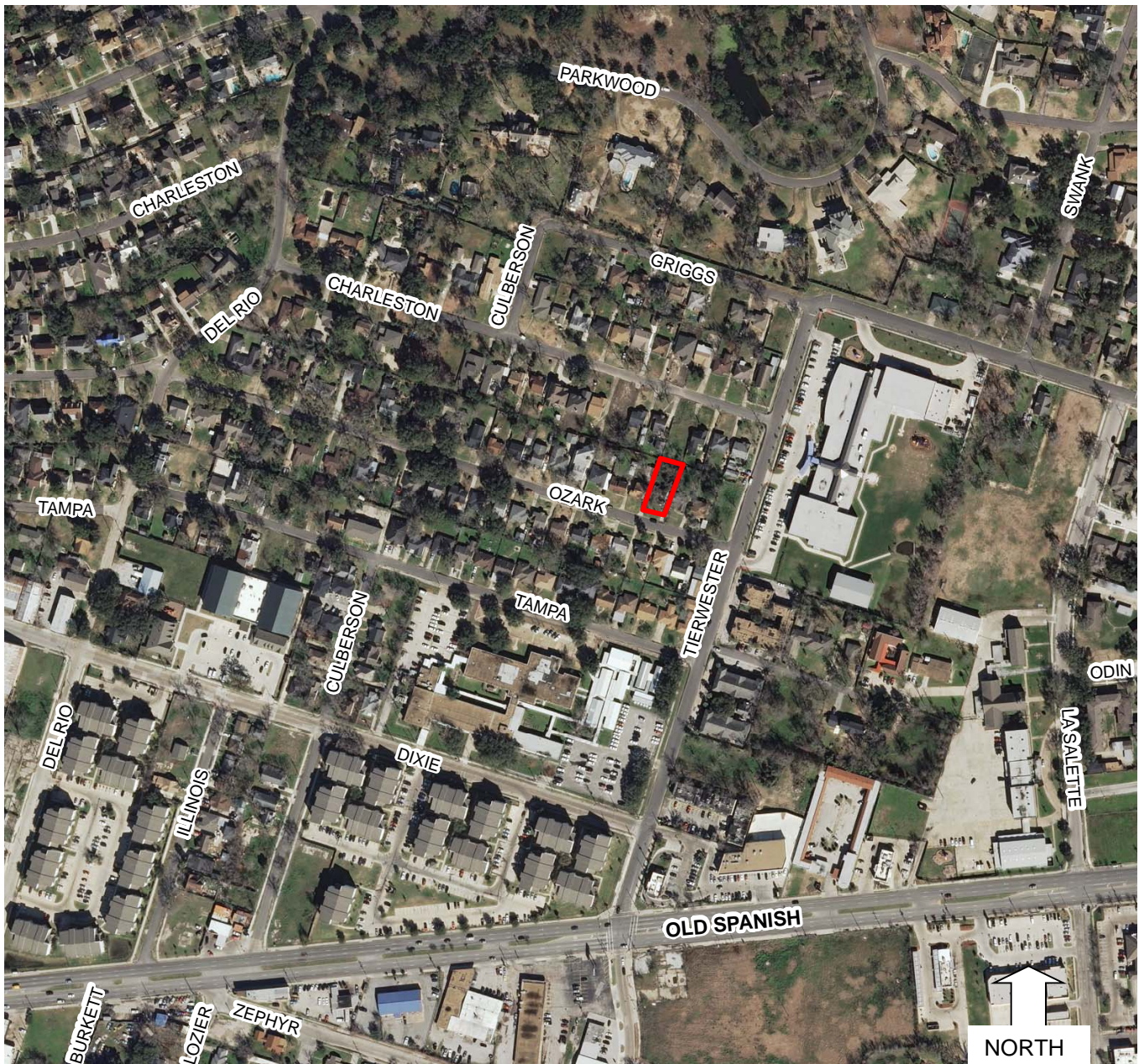
ITEM: 114

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Terrace Oaks partial replat no 1

Applicant: Owens Management Systems, LLC



C – Public Hearings

Aerial



Agenda Item: 115
Action Date: 05/28/2015
Plat Name: Washington Terrace partial replat no 2
Developer: High Heels to Hard Hats
Applicant: PRIME TEXAS SURVEYS, LLC
App No/Type: 2015-0231 C3N

Staff Recommendation:
 Deny the requested
 variance(s) and Approve
 the plat subject to the
 conditions listed

Total Acreage:	0.1210	Total Reserve Acreage:	0.0000
Number of Lots:	3	Number of Multifamily Units:	0
COH Park Sector:	15	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77004	493Y	City

Conditions and Requirements for Approval

022. Should a lot side or back a local street a 10-foot side or rear building line will be required. (158)
047. Make minor corrections and additions as indicated on the marked file copy.
- 047.2. This is a preliminary approval only; a final plat must be approved prior to recordation.
- 049.2. Subdivision plat must include State Plane Coordinates in NAD 83; and NAVD 1988 with 2001 adjustment.
063. All appropriate engineering and surveying data shall be shown. (42 & 44)
064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)
- Lot coverage table should be corrected to 75% coverage.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION MAYBE REQUIRED SUBJECT TO IMPERVIOUS COVER MORE THAN 65% AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION

PWE Traffic: No comment.

Houston Planning Commission

ITEM: 115

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Washington Terrace partial replat no 2 (DEF 2)

Applicant: Prime Texas Surveys, LLC.



C – Public Hearings with Variance

Site Location

Houston Planning Commission

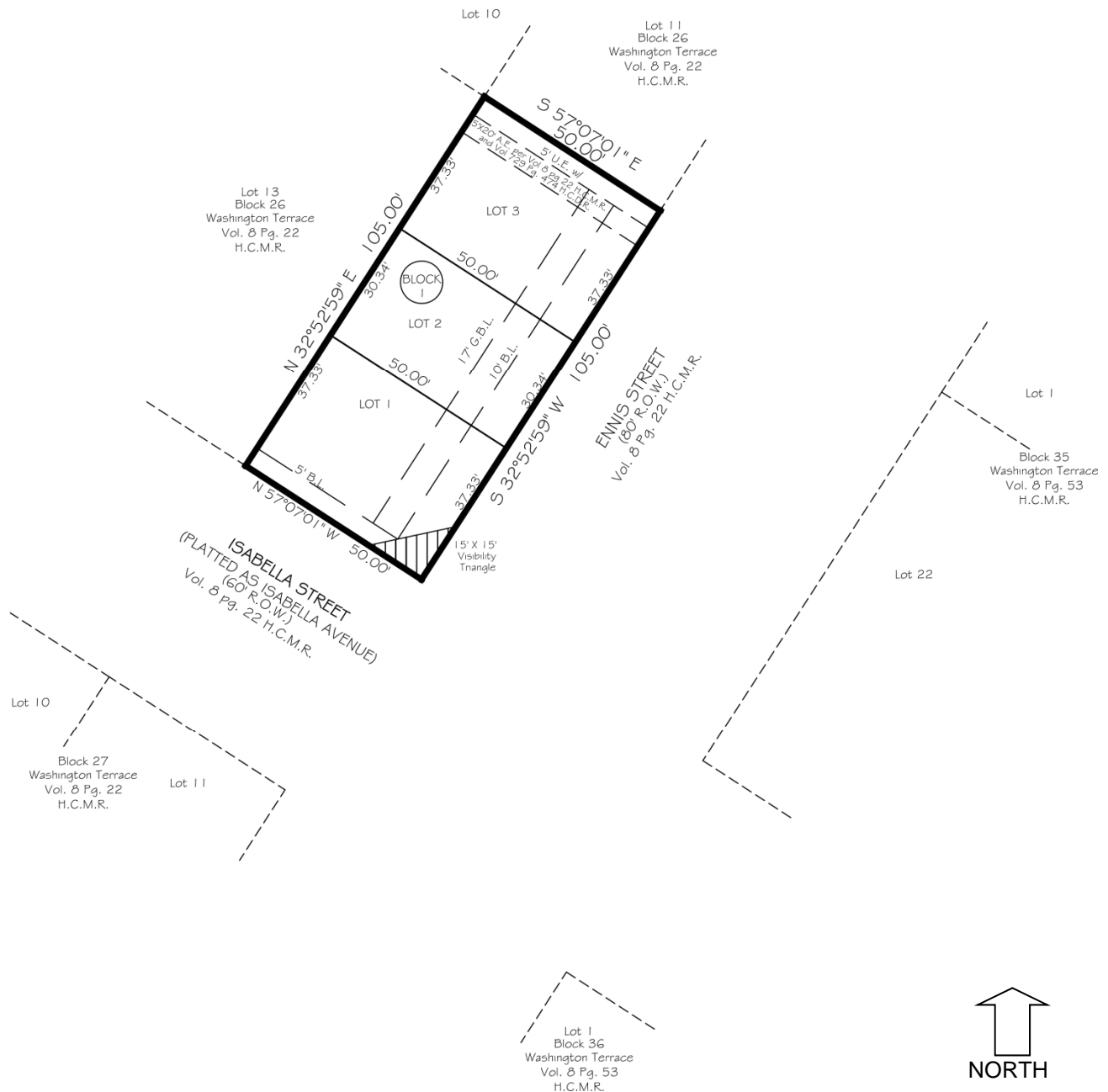
ITEM: 115

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Washington Terrace partial replat no 2 (DEF 2)

Applicant: Prime Texas Surveys, LLC.



C – Public Hearings with Variance

Subdivision

Houston Planning Commission

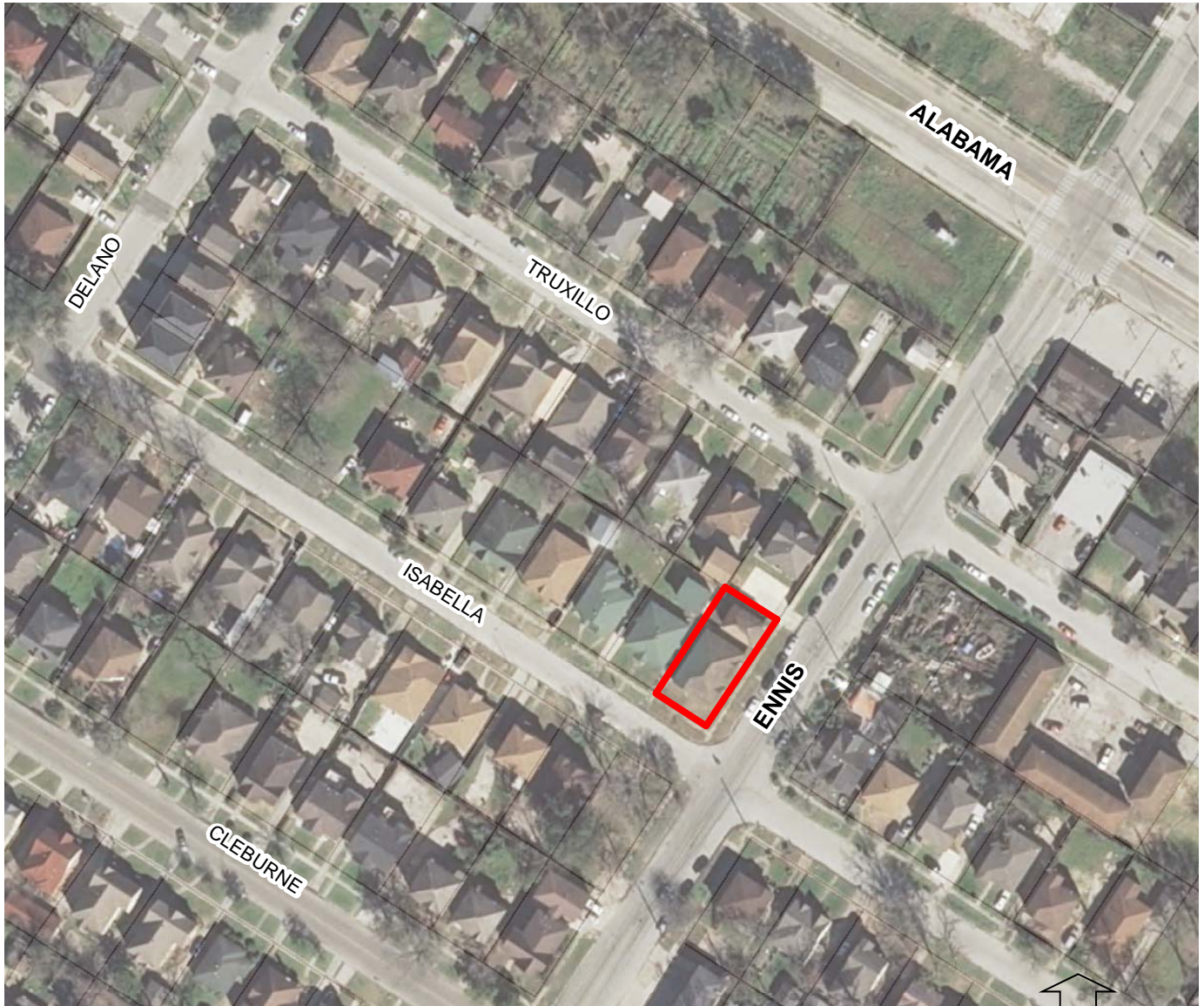
ITEM: 115

Planning and Development Department

Meeting Date: 05/28/2015

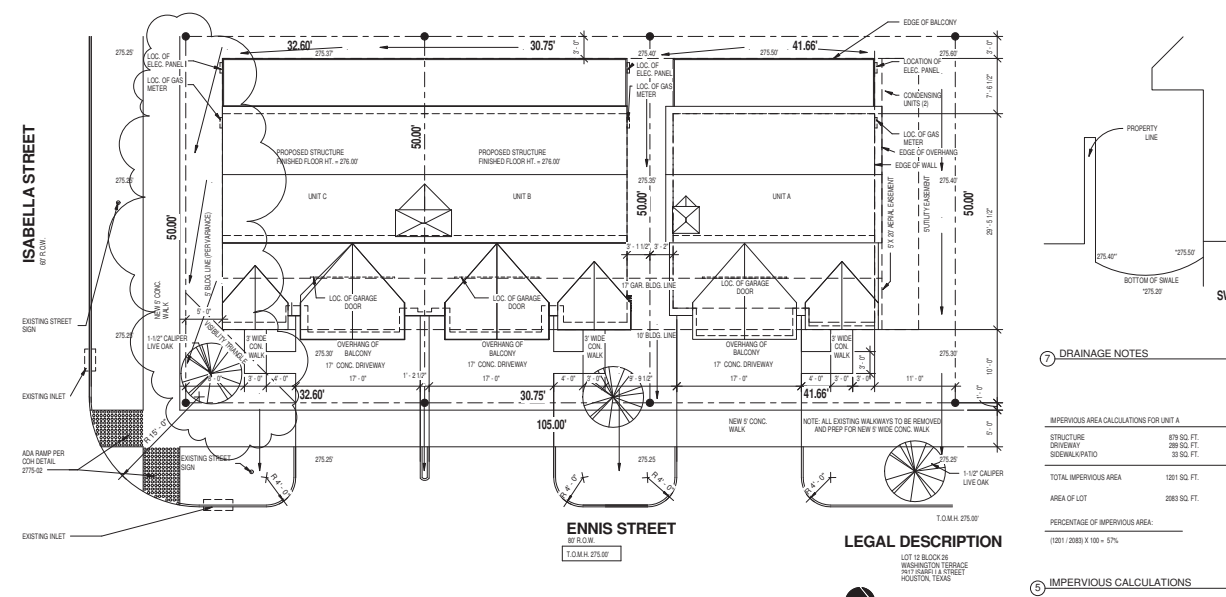
Subdivision Name: Washington Terrace partial replat no 2 (DEF 2)

Applicant: Prime Texas Surveys, LLC.



C – Public Hearings with Variance

Aerial



1 SITE PLAN 2
1/8" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. ALL MATERIALS, FINISHES, APPLIANCES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE AND THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS INCLUDING BUILDING, WALKERS, HOISTING, ETC. IN ORDER TO MEET THE REQUIREMENTS EVEN IF THEY ARE NOT INDICATED ON THESE PLANS.

2. IF THE CONTRACTOR'S RESPONSIBILITY TO PARTIAL SURFACES THAT REQUIRES PROTECTION FROM THE ELEMENTS WITH THE APPROPRIATE PLAN INCLUDING NECESSARY PRIMER COATS AND BACK PRIMING WERE REQUIRED.

3. CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY FLASHING INCLUDED (BUT NOT LIMITED TO) THRU FLASHING, STEP FLASHING, COUNTER FLASHING, COP FLASHING, BASE FLASHING AND FLEXIBLE FLASHING WERE NECESSARY TO MAKE A WATER TIGHT BUILDING. PROTECT MATERIALS WHICH ARE SENSITIVE TO DISCOLORATION AND TO MAKE TRANSITION AT DISJUNCTURAL MATERIALS.

4. CONTRACTOR TO SEAL WITH THE APPROPRIATE TYPE OF CAULK AT ALL LOCATIONS NECESSARY TO PREVENT THE PENETRATION OF MOISTURE AND AT THE TRANSITION OF DISJUNCTURAL MATERIALS.

5. CONTRACTOR TO PROVIDE AND INSTALL ALL LOCKING AND SECURITY DEVICES REQUIRED BY FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS.

6. CONTRACTOR TO PROVIDE AND INSTALL ALL GLASS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS.

7. CONTRACTOR TO MEET ALL THE REQUIREMENTS OF THE BUILDING CODE AND FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS. EVEN IF IT REQUIRES LABOR AND/OR MATERIALS NOT INDICATED ON THE PLANS.

8. CONTRACTOR MUST CONSTRUCT THIS PROJECT FROM WRITTEN DIMENSIONS ON THIS PLAN. DO NOT SCALE THE DRAWINGS.

9. ALL MECHANICAL AND ELECTRICAL DISCREPANCIES SHALL HAVE A CURRENT MATTERS LICENSE IN GOOD STANDING WITH THE LOCAL GOVERNING BODY.

10. ALL BEDROOM WINDOWS SHALL COMPLY WITH THE BUILDING CODE WHEN USED AS A MEANS OF ESCAPE OR RESCUE. MINIMUM NET CLEAR OPENING SHALL BE NO LESS THAN 5.7 SQUARE FEET. MINIMUM CLEAR OPENING HEIGHT SHALL NOT BE LESS THAN 24". MINIMUM CLEAR OPENING WIDTH SHALL NOT BE LESS THAN 20". THE FINISHED SLAB HEIGHT SHALL NOT EXCEED 4" ABOVE FINISH FLOOR.

11. ALL GLASS SLIDING DOORS AND SLDOWIGHTS SUBJECT TO IMPACT SHALL BE TEMPERED AND COMPLY WITH THE BUILDING CODE.

12. CONTRACTOR TO PROVIDE VENTILATION AT ALL BATH AND UTILITY ROOMS THROUGH NATURAL, OR MECHANICAL MEANS AND COMPLY WITH THE BUILDING CODE.

13. CONTRACTOR SHALL APPLY 5/8" PRECAST GYPSUM BOARD TO WALLS AND CEILING OF USABLE SPACE UNDER STAIRS AND TO WALL AND CEILING OF ATTACHED GARAGE ADJOINING LIVING SPACES.

14. PROVIDE 3/8" FIRE RATED PLYWOOD ON EXPOSED PANE OF ATTIC ACCESS. OPENING SHALL BE A MIN. OF 6" IF MEASURED ON A HORIZONTAL PLANE FROM A GAS WATER HEATER GAS APPLIANCE PER IRC R902.2.

15. A REVIEW OF A COMPLETE GEOLOGICAL EVALUATION OF THE LOAD BEARING WALLS IN TABLE R401.4.1 SHALL BE REQUIRED.

SAFETY

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR STRICT COMPLIANCE BY ALL TRADES INVOLVED WITH THIS PROJECT AS NOTED HEREIN, AND MUST TAKE ALL MEASURES NECESSARY TO ENSURE THE SAFETY OF PERSONS ON OR NEAR THIS JOB SITE.

OCCUPATIONAL SAFETY AND HEALTH

1. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION PRACTICES AS REQUIRED BY THE RULES AND REGULATIONS SET FORTH BY OSHA SAFETY CODES, LATEST EDITION.

ELECTRICAL POWER SAFETY PRACTICES

1. OSHA REGULATIONS

1. FOR POWER LINES OF 50,000 VOLTS AND BELOW, THE MINIMUM CLEARANCE BETWEEN THE LINES AND ANY PART OF A CRANE OR LOAD MUST BE TEN (10) FEET. AN EXCEPTION TO THIS REQUIREMENT IS WHEN THE LINES HAVE BEEN DEENERGIZED AND GROUND.

2. THE ELECTRIC UTILITY COMPANY MUST BE NOTIFIED AND INFORMED OF OPERATIONS NEAR THE LINES BEFORE WORK BEGINS.

3. EVERY OVERHEAD WIRE MUST BE CONSIDERED TO BE ENERGIZED, UNLESS AND UNTIL THE UTILITY COMPANY INDICATES THAT IT IS NOT ENERGIZED, AND THE LINE IS GROUND.

4. VOLTAGES OR SUBJECT TO CRIMINAL PENALTIES.

TENSAIR

1. TEXAS LAW PROHIBITS ANY WORK DONE AROUND POWER LINES IF AT ANY TIME IT IS POSSIBLE THAT A TENSAIR MACHINE OR MATERIAL MAY COME WITHIN SIX (6) FEET OF THE LINES.

2. THE LAW FURTHER PROHIBITS THE OPERATION OF CRANES OR SIMILAR EQUIPMENT WITHIN TEN (10) FEET OF THE FOOT TO A DISTANCE OF 10 FEET FROM THE FOUNDATION.

3. THE ONLY EXCEPTION TO THESE REQUIREMENTS IS WHEN THE DANGER OF CONTACTING THESE LINES HAS BEEN PROPERLY GUARDED AGAINST. THOSE PARTIES RESPONSIBLE FOR THE WORK MUST NOTIFY THE ELECTRIC UTILITY COMPANY AT LEAST 48 HOURS BEFORE THE WORK BEGINS TO ARRANGE FOR EXPERTS TO GUARD AGAINST CONTACTING THE LINES. THE WORK MAY NOT BEGIN UNTIL THOSE PARTIES HAVE BEEN ADVISED BY THE UTILITY COMPANY HAVE NEGOTIATED AND TAKEN PROPER SAFETY PRECAUTIONS, SUCH AS DEENERGIZING THE LINES.

4. IF A VIOLATION OF THE LAW RESULTS IN CONTACT WITH A POWER LINE, ALL RESPONSIBLE PARTIES ARE SUBJECT TO CRIMINAL PENALTIES. THEY ARE ALSO LIABLE TO THE UTILITY COMPANY FOR ALL LIABILITY IT INCURS DUE TO THE CONTACT.

IV. CODE OF FEDERAL REGULATION, TITLE 24, PART 910.100, 102E.416 AND 102E.500.

IV. TEXAS HEALTH AND SAFETY CODE, CHAPTER 702.

FOUNDATION NOTES

1. NOT USED

2. EXCAVATION FOR SLABS AND BEAMS SHALL BE SMOOTH AND FREE OF DEBRIS PRIOR TO INSTALLATION OF POLYETHYLENE IMPER BARRIERS.

3. WOOD BARRIER TO OVERLAP JOINTS A MINIMUM OF 12" WITH GRIP AND JOINTS SURFACES TO SECURE JOINTS.

4. INSTALL ALL REINFORCEMENTS AROUND PILES AND PILEMERS RISERS, AND CHECK FOR TENSILE PRIOR TO POURING CONCRETE.

5. ALL REINFORCEMENT BARS AND WELLS SHALL BE PLACED ON CHAIRS. LIFTING OF MEASURING PILE IS ALLOWED.

6. REFER TO STRUCTURAL DRAWINGS FOR ALL REINFORCEMENT SIZE, QUANTITY AND PLACEMENT. ALL CONCRETE STRENGTH AND MIXING REQUIREMENTS, AND ALL BEAM OR FOOTING SIZES AND SLAB THICKNESS.

6. PROTECT SUB FLOOR FROM ADVERSE WEATHER CONDITIONS UNTIL PAINT, SET.

WALL/FLOOR NOTES

1. ALL NON-LOAD BEARING PARTITIONS SHALL BE 2 X 4 STUDS AT 16" O.C. (RE: STRUCTURAL DRAWINGS)

2. ALL LOAD BEARING PARTITION SHALL BE 2 X 4 STUDS AT 16" O.C. OR 12" O.C. (RE: STRUCTURAL DRAWINGS)

3. LOAD BEARING PARTITIONS AT FIRST FLOOR OF THREE STORY BUILDING THAT ARE SUPPORTING THE FLOORS AND THE ROOF SHALL BE 2 X 4 STUDS OR 2 X 4 STUDS AT 16" O.C. OR 12" O.C. (RE: STRUCTURAL DRAWINGS)

4. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION ANCHOR BOLTS, SIZE, LOCATION AND SPACING.

5. WOOD TRIMMING, SEALS, VERTICAL, FRAMING, HORIZONTAL, FRAMING, PRESTRESS, ANCHORAGE, FURNISHING AND CONNECTIONS NOT SHOWN ON DOCUMENTS SHALL BE AS PER LOCAL BUILDING CODE MINIMUM REQUIREMENTS.

6. ALL PLYWOOD FLOOR SHEATHING SHALL BE 23/32" X 96" 5/8" STANDARD CDX GRADE WITH EXTERIOR GLUE. PANEL INDEX 4034 CONFORMING TO U.S. PS-1 STAMPED WITH DPMI GRADE TRADEMARK. (RE: STRUCTURAL DRAWINGS)

7. ALL PLYWOOD ROOF SHEATHING SHALL BE 1/2" (1/2" STANDARD CDX EXTERIOR GRADE WITH EXTERIOR GLUE. PANEL INDEX 1203 CONFORMING TO U.S. PS-1 STAMPED WITH DPMI GRADE TRADEMARK. (RE: STRUCTURAL DRAWING)

8. WATERPROOFING ON BALCONIES AND WALKWAYS TO BE SINGLE PL 5 BUTYLENE WATERPROOFING OR EQUAL.

9. PROVIDE EXPANDED FOAM INSULATION AT WINDOWS, EXTERIOR DOORS, TEES, CORNERS, PLATES AND PENETRATIONS.

10. ALL STUDS SHALL BE SOUTHERN YELLOW PINE, STUD GRADE LUMBER WITH MOISTURE CONTENT OF 10% MAX DRIED.

11. ALL OTHER STRUCTURAL LUMBER SHALL BE 40% DRIED AND VALLEY MEMBERS #2, BEAM AND GIRDERS #2, ALL OTHER LUMBER #1 UNLESS INDICATED OTHERWISE ON THE PLANS.

12. ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO THE WEATHER SHALL BE PRESURE TREATED LUMBER.

13. ALL AIR ALL CONCRETE PATCHES, POCKETS AND PLACEMENT AWAY FROM EXTERIOR WALLS.

14. INSTALL WALL BRACING, PLYWOOD SHEATHING AND SHEAR PANELS AS SPECIFIED BY STRUCTURAL ENGINEER.

MASONRY NOTES

1. STONE VENEER (IF APPLICABLE) SHALL BE ATTACHED TO A STRUCTURAL SUBSTRATE PER MANUFACTURER'S SPECIFICATIONS.

2. CONTRACTOR SHALL PROVIDE SILENT LEVELS SIZE OF STRUCTURAL ENGINEER ABOVE ALL MASONRY OPENINGS WITH MINIMUM BEARING ON EACH SIDE.

SITE CONDITIONS

PRIOR TO STARTING CONSTRUCTION

1. CALL ALL UTILITY COMPANIES PRIOR TO EXCAVATION TO VERIFY THE LOCATIONS OF UNDERGROUND UTILITIES AND EASEMENTS.

2. CONTACT WATER, POWER, SANITARY SEWER, NATURAL GAS AND STORM DRAIN PROVIDERS FOR VERIFICATION OF SIZE, LOCATION AND CAPACITY AND TAP REQUIREMENTS.

3. CONTACT LOCAL FLOOD CONTROL AUTHORITIES FOR MINIMUM FINISH FLOOR ELEVATIONS PRIOR TO SETTING FORMS.

SITE WORK

1. THE SITE IS TO BE STRIPPED OF ALL VEGETATION UNDER FOUNDATION AREA AS REQUIRED BY THE SOIL ENGINEER. (SEE SOIL REPORT).

2. ALL UNDERGROUND UTILITY EXCAVATIONS ARE TO BE LOCATED WITH SAND 12" ABOVE THE UTILITY WORK, AND THEN BACKFILLED COMPACTED EARTH TO GRADE.

3. LEAVE NO EXCAVATION FOR UTILITIES OR FOOTING OPEN OVERNIGHT. COVER ALL OPEN BEING WORKED WITH 14" PLYWOOD OR EQUIV.

4. KEEP SITE CLEAR OF TRASH, SCRAP BUILDING MATERIAL, AND DEBRIS AT ALL TIMES.

5. PROTECT ALL TREES AND SHRUBS TO BE SAVED WITH BARRIERS ERECTED A MINIMUM OF 5' FROM THE TRUNK LINES.

6. LEAVE SITE GRADE WITH TOP SOIL WITHIN 12" OF FINISHED FLOOR SLOPED AWAY FROM THE STRUCTURE AT 1" PER FOOT TO A DISTANCE OF 6' FROM THE FOUNDATION.

7. APPLY TENSILE PROTECTION BEFORE POURING THE FOUNDATION, AND APPLY AROUND THE FOUNDATION AFTER FINAL GRADING.

8. INSTALL ALL WALLS AND DRIVES WITH A MIN. 1/8" FINISH SLOPE AND SLOPE THE SURFACES TO DRAIN AT A MINIMUM OF 1/4" PER FOOT UNLESS NOTED OTHERWISE ON THE PLANS. EXPANDED NOT TO EXCEED 1/4" O.C. FROM WALLS 10" O.C. FOR DRIVES.

RESIDENCE:

LOT 12, BLK 28, WASHINGTON TERRACE, HOUSTON, TEXAS

BUILDING CODES

CITY CODE: IFC 2018 WITH AMENDMENTS

ELECTRICAL CODE: NEC 2018

PLUMBING CODE: IPC 2018

MECHANICAL CODE: IMC 2018

OTHER: RS 2018, NFPA 704 SPRINKLER SYSTEM

PROJECT DESCRIPTION

AREA: 208 SQ. FT. TOTAL LIVING PER UNIT
378 SQ. FT. TOTAL COVERED PER UNIT

RECORDS: 4 RECORDS

GARAGE: 2 CAR

FRAME: WOOD FRAME

STORIES: 4 STORY

BATHS: 4 BATHS

REARFACE: 40" PREPARED DIRECT VENT

EXTERIOR: STUCCO/STONE & 1/2" SHARD BOARD

NOTES:

1. FINISH SLAB HEIGHT TO BE A MIN. OF 12" HIGHER THAN THE CROWN OF THE STREET.

2. CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR TEMPORARY UTILITIES TO THE CONSTRUCTION SITE.

3. ALL ROOF PENETRATIONS (E.G. PLUMBING AND GAS VENTS, ETC.) ARE TO BE RESTRICTED TO THE REAR ROOF AREA ONLY. NO ROOF PENETRATIONS SHALL BE MADE AT ROOF PENETRATIONS AT THE ROOF FACING THE STREET.

4. ALL SITE WORK INCLUDING LOCATION OF THE TRASH DUMPSTER, TEMPORARY TOILET FACILITIES, TEMPORARY FENCING, CONSTRUCTION, CLEARING PROCEDURES, GRADING AND DRAINAGE, ETC. SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON GUIDELINES.

5. LOT SHALL BE GRADED TO PROVIDE A POSTING DRAINAGE PATH AWAY FROM THE FOUNDATION. THE FALL SHALL BE A MINIMUM OF 1/4" PER FOOT (2% SLOPE).

6. THE FOUNDATION SHALL EXTEND ABOVE THE GUTTER OR DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2%.

SWALE DETAIL

7 DRAINAGE NOTES

IMPERVIOUS AREA CALCULATIONS FOR LOT A

STRUCTURE	879 SQ. FT.
DRIVEWAY	285 SQ. FT.
SIDEWALK/PATIO	31 SQ. FT.
TOTAL IMPERVIOUS AREA	1201 SQ. FT.
AREA OF LOT	2083 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	(1201/2083) X 100 = 57%

8 IMPERVIOUS CALCULATIONS

LOT SIZE AND COVERAGE TABLE

LOT NO.	LOT SIZE (SQ. FT.)	BUILDING COVERAGE (SQ. FT.)	% COVERAGE (SQ. FT.)
UNIT A	2083.00	879.00	42%
UNIT B	1937.00	879.00	57%
UNIT C	1803.00	879.00	54%

AJL SH	ADJUSTABLE SHELF	J.T.	JOINT
AC	AIR CONDITION	JST	JOIST
ALT.	ALTERNATE	LAM PL	LAMINATED PLASTIC
ANGLE	STEEL ANGLE	L.L.	LIVE LOAD
AWN	AWNING	M.O.	MASONRY OPENING
BR	BRICK	M/L	MATERIAL
BM	BEAM	M.C. OR MED. CAB.	MEDICINE CABINET
BRG.	BEARING	MET.	METAL
CMBT	CASEMENT	N.T.S.	NOT TO SCALE
CLS.	CEILING	O.C.	ON CENTER
<	CENTER LINE	OPNG	OPENING
S.C.	STEEL CHANNEL	O.H.	OVERHEAD
CLO.	CLOSET	P.C.	PIECES
C.P.	CLOTHES POLE	PL	PLATE
COL.	COLUMN	PLYWD. OR P.W.	PLYWOOD
COMP.	COMPOSITION	P.S.F.	POUNDS PER SQUARE FOOT
CONC.	CONCRETE	P.S.I.	POUNDS PER SQUARE INCH
CONSTR.	CONSTRUCTION	REIN.	REINFORCING
C.J.	CONSTRUCTION JOINT	R.	RIERS
CONT.	CONTINUOUS	R.O.	ROUGH OPENING
C.	COURSES	R.S.	ROUGH SHOWN
D.L.	DEAD LOAD	SH	SHELF
DET.	DETAIL	SH. OR SHING.	SHINGLE
DIA. OR -	DIAMETER	SM	SIMILAR
DM.	DIMENSION	SL. GL. DR.	SLIDING GLASS DOOR
D.W.	DISH WASHER	S.R.O.	SHEET ROCK OPENING
D.H.	DOUBLE HUNG	STD.	STANDARD
D.S.	DRAIN SPOUT	STL.	STEEL
EA	EACH	TEMP.	TEMPERED
EQ.	EQUAL	Thld.	THRESHOLD
EXP.	EXPANSION	TAG	TONGUE & GROOVE
EXT.	EXTERIOR	TR.	TREADS
FIN.	FINISHED	U.C.	UNDER CABINET
F.P.	PRELACE	W.C.	WATER CLOSET
FL.	FLOOR	W.H.	WATER HEATER
F.D.	FLOOR DRAIN	W.P.	WEATHERPROOF
FTG.	FOOTING	W.F.	WEATHERSTRIPPING
FN.	FOUNDATION	W.S.	WIDE FLANGE
GLV. OR G.I.	GLASS/UNGLAZED	WD.	WOOD
GL.	GLASS	WL	WROUGHT IRON
QVP. BD.	GYPSUM BOARD	WTR.	WATER
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
INS.	INSULATED		
INT.	INTERIOR		

ARCHITECTURE • PLANNING • DEVELOPMENT

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NEW SINGLE FAMILY RESIDENCE

2917 ISABELLA STREET
UNITS A & B
HOUSTON, TEXAS 77004

PROFESSIONAL SEAL

MARK	DATE	DESCRIPTION
1	06 MARCH 15	ISSUED FOR PERMIT

PROJECT NO.	15088
CAD DRAWING FILE:	issued_for_permit.dwg
DRAWN BY:	CR
CHECKED BY:	JMM

SCALE
SHEET TITLE

SITE PLAN, GENERAL NOTES & PROJECT DATA	
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A1.00
SHEET 1 OF 14 TOTAL SHEETS



1 FRONT ELEVATION
1/4" = 1'-0"

2 LEFT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

1. ALL PLATE HTS. MEASURED FROM FINISHED FLOOR.
2. GUTTERS AND DOWNSPOUTS PER SPECIFICATIONS

3 ELEVATION NOTES



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NEW SINGLE FAMILY
RESIDENCE
2917 ISABELLA STREET
UNITS A & B
HOUSTON, TEXAS 77004

PROFESSIONAL SEAL



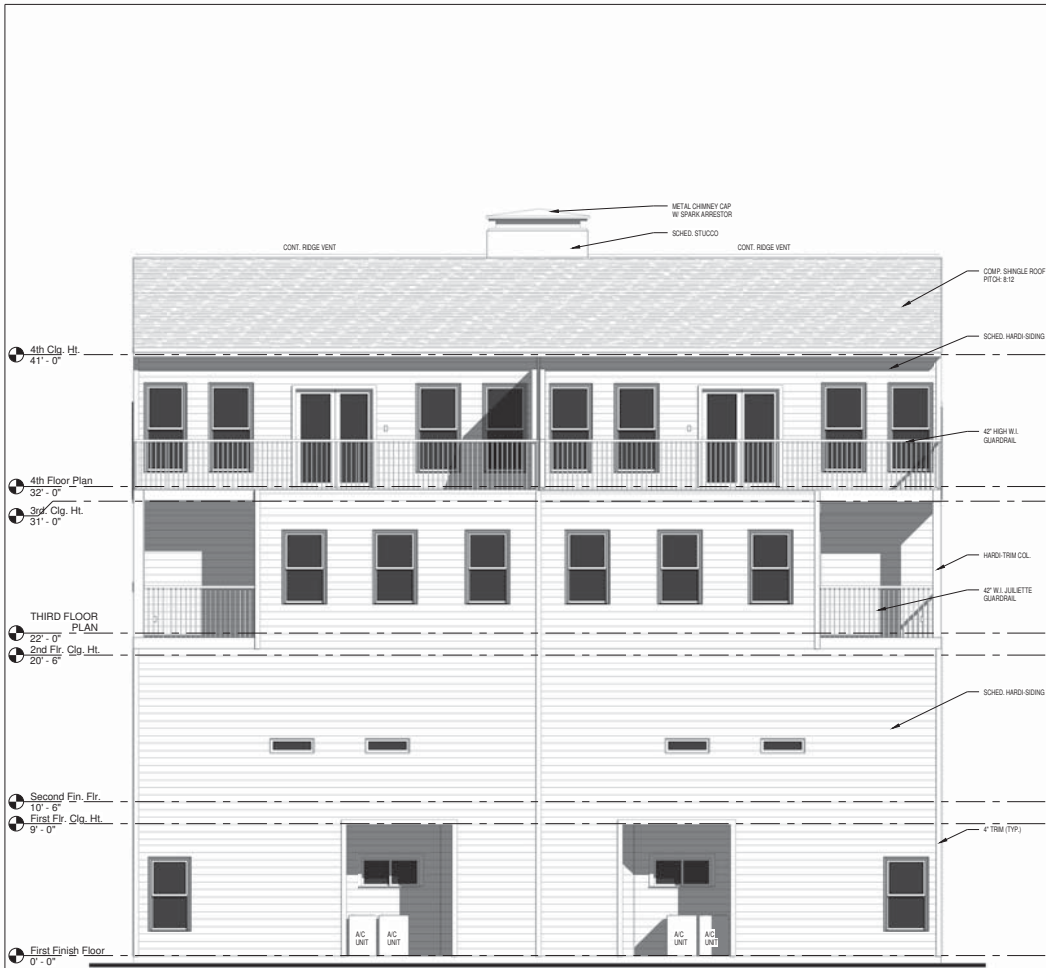
MARK	DATE	DESCRIPTION
1	30 MARCH 15	ISSUED FOR PERMIT

PROJECT NO.	110899
CAD DRAWING FILE:	IsabellaTownHousePermit.dwg
DRAWN BY:	CR
CHECKED BY:	JAM

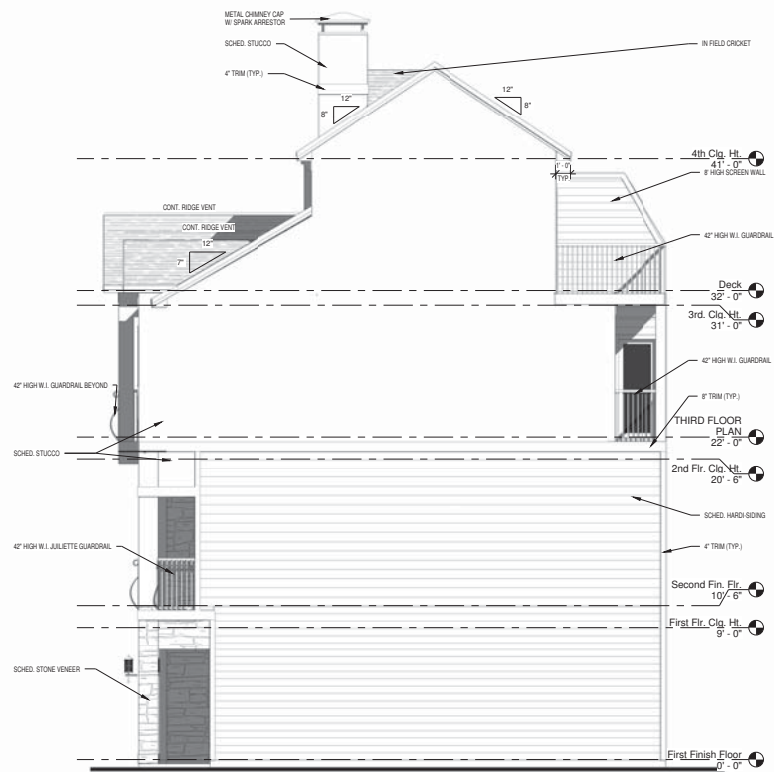
SCALE	
SHEET TITLE	

EXTERIOR ELEVATIONS & NOTES

SHEET	5	OF	14	TOTAL SHEETS
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2 REAR ELEVATION
1/4" = 1'-0"



3 RIGHT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

1. ALL PLATE HTS. MEASURED FROM FINISHED FLOOR.
2. GUTTERS AND DOWNSPUTS PER SPECIFICATIONS

1 ELEVATION NOTES.



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NEW SINGLE FAMILY RESIDENCE 2917 ISABELLA STREET UNITS A & B HOUSTON, TEXAS 77004

PROFESSIONAL SEAL



MARK	DATE	DESCRIPTION
1	30 MARCH 15	ISSUED FOR PERMIT

PROJECT NO.	110899
CAD DRAWING FILE:	Isabella2TownHousePermit.dwg
DRAWN BY:	CR
CHECKED BY:	JVM

SCALE
SHEET TITLE

EXTERIOR ELEVATIONS & NOTES

SHEET	6	OF	14	TOTAL SHEETS
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A3.01



Application Number: 2015-0231

Plat Name: Washington Terrace partial replat no 2

Applicant: PRIME TEXAS SURVEYS, LLC

Date Submitted: 02/06/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

The purpose of this variance is to obtain a 5' building line along a section of Isabella Street at the corner of Isabella and Ennis. We are proposing to reduce the building line along the west side of the property. The remaining front and back sections of the property are to remain at the required building line. We are also proposing the construction of three single family homes on the existing lot. Our intent is to be able to utilize the lot in a more suitable manner. By adjusting the building line we are able to build additional units on this lot that are similar in size. Impervious coverage does exceed 75 percent on either lot. There will not be a shared driveway as each home is proposed to front Ennis Street and maintain the original building line designated by the City of Houston. Isabella Street is a local collector street that will not supply an additional entry into the property. We are requesting this based on other properties in the area with similar building lines. We feel this is a more suitable use for the property.

Chapter 42 Section: 42-156 (b)

Chapter 42 Reference:

42-156: Collector and local streets – Single-family residential b) Except as otherwise required or authorized by this chapter, the building line requirement for a lot restricted to single-family residential use along a local street that is not an alley shall be: (1) 20 feet along the front of a lot and ten feet along the back and side of a lot adjacent to a local street; or (2) 10 feet if the subdivision plat contains a typical lot layout and the subdivision plat contains plat notations that reflect the requirements of this section.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

We are requesting a special variance request to utilize the property in a more suitable manner. The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land due to the fact that the 10' set back on Isabella Street does not allow the above mentioned proposed single family residence to utilize the corner lot in a suitable manner. The proposed development is located on a corner lot with a 50' R.O.W with current city improvements (signage/walkways) in place. Existing sidewalks will be replaced with updated 5' sidewalks and original garage set back of 17' will be maintained.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The configuration of the lot does not allow for an appropriate amount of buildable space if the variance is not granted with the requested setbacks for three comparable lots. Allowing the proposed setbacks will provide the builder an opportunity to build their standard home construction plan for the lot. In an effort to provide quality housing and increase the number of working professionals and young families into the area, for the area we are proposing to construct these homes in a blighted area where there is a shortage of new construction homes. Allowing this variance will not obstruct or interfere with the flow of traffic along Isabella nor have an effect on the visibility at the corner. Ennis is a well light street in the Third Ward area that provides a safe turn from the street into the property which is not the case for Isabella Street. Using a shared driveway along the backside of the property the fronts Isabella will reduce the living space and change the overall design of the homes. This would also cause a reduction in the amount of ground floor living space on each home.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and purpose of Chapter 42 will be preserved and maintained because the proposed development, while not providing a shared driveway, will remain consistent with other new developments around the neighborhood. The proposed variance will not impact traffic and will not allow entrance into the property off of Isabella Street. Each structure will front Ennis Street and maintain the required setback from the street according to Chapter 42 section 156(2) for Ennis Street. Additional landscape will be added along the front and side of the property to enhance the beautification of the neighborhood. 4' wood fencing will be around each property.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting this variance will not affect visibility along Isabella Street for vehicular or pedestrian traffic. By allowing the setback of 5' for the proposed structure we are planning to continue the same pattern of architectural style to accommodate this transitioning neighborhood. Based on recent development approvals, many other new developments in the area are located approximately five foot from building line proving this variance will be consistent and harmonious with neighboring properties. Its proposed proximate location to the nearby green space is consistent with the City of Houston's policy of promoting walkability and pedestrian friendly environments. Approval of this variance will be consistent with sound public policy and conducive to health, safety and public welfare.

(5) Economic hardship is not the sole justification of the variance.

The requested variance will satisfy the intent of Chapter 42, including Section 42-156 (as discussed above). Approving this variance for the residence is consistent with the City of Houston's evolving policies of promoting walkable, pedestrian friendly environments and projects with urbanistic building designs on smaller footprints, thus making this a viable buildable piece of land.



Application No: 2015-0231

Agenda Item: 115

PC Action Date: 05/28/2015

Plat Name: Washington Terrace partial replat no 2

Applicant: PRIME TEXAS SURVEYS, LLC

Staff Recommendation: Deny the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 42-156 (b)

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

The purpose of this variance is to obtain a 5' building line along a section of Isabella Street at the corner of Isabella and Ennis. We are proposing to reduce the building line along the west side of the property. The remaining front and back sections of the property are to remain at the required building line. We are also proposing the construction of three single family homes on the existing lot. Our intent is to be able to utilize the lot in a more suitable manner. By adjusting the building line we are able to build additional units on this lot that are similar in size. Impervious coverage does exceed 75 percent on either lot. There will not be a shared driveway as each home is proposed to front Ennis Street and maintain the original building line designated by the City of Houston. Isabella Street is a local collector street that will not supply an additional entry into the property. We are requesting this based on other properties in the area with similar building lines. We feel this is a more suitable use for the property. ;

Basis of Recommendation:

Subject site is located at the intersection of Ennis and Isabella St. Purpose of the replat is to create 3 single family lots. The applicant is requesting a variance to allow 5' BL along Isabella St instead of the required 10'BL.

Isabella St is a local street with all homes set back atleast 10' or more on this block. The applicant could achieve 5' BL along Isabella St with a shared driveway configuration and eliminate two additional driveway cuts preserving on street parking space. A similar subdivision plat exists on the same block at the intersection of Isabella and Delano St with a 10' BL along Isabella St.

Therefore, it is staff's opinion that the applicant has failed to articulate a hardship and this variance is design related.

Review by legal department indicates that the plat does not violate any restrictions on the face of the plat or those filed separately.

Staff's recommendation is to deny the requested variance and approve the plat subject 10' BL along Isabella St.

We have received calls opposing this project.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

Strict application of the ordinance will not create any undue hardship for the applicant of the reasonable use of land. A similar subdivision plat exists on the same block at the intersection of Isabella and Delano St with a 10' BL along Isabella St.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The hardship is design related and the applicant could achieve 5' BL along Isabella St with a shared driveway configuration and eliminate two additional driveway cuts preserving on street parking space.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purpose of this chapter will not be preserved as the buildings will be closer to the street and it will be out of character along the block.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting of the variance will bring the homes closer to the street when all other homes are setback atleast 10' and create public safety issues.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is the sole justification of this variance as the applicant could achieve 5' BL along Isabella St with a shared driveway configuration.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item:	116	Staff Recommendation:	Grant the requested
Action Date:	05/28/2015		special exception(s) and
Plat Name:	Adara Pointe GP		Approve the plat subject to
Developer:	Telephone Investment, Inc.		the conditions listed
Applicant:	LJA Engineering, Inc.- (West Houston Office)		
App No/Type:	2015-0865 GP		

Total Acreage:	156.1560	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77493	445E	ETJ

Conditions and Requirements for Approval

045. The alignment and width of all major thoroughfares within or adjacent to the proposed General Plan shall conform to the requirements of the most recent Major Thoroughfare and Freeway Plan. (24)

046. General Plan approval is for street patterns as shown on the plat only. (24)

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

Proposed drill site and multi family component along western boundary does not have public street access.
Provide ROW dimensions and record information for Porter Rd and Clay Rd - both designated MTFs with ultimate ROW of 100'. Dedication of ROW for widening may be required for both streets with future sections.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS PROVIDED

Harris Engineer: The following is required to be addressed prior to recordation with HCED.
Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)
Coordinate with HCFCD regarding relocating proposed Flood Control easements. (HC)
Coordinate alignment of Southern NW street with street in Marcello Lake GP south of Clay Rd. -Per HC Traffic
Coordinate with HC Traffic regarding TIA's and LTL's prior to plat approval of future sections. -Per HC Traffic
ROW dedications consistent with 100 ft. ultimate ROW width shall be provided along Clay Road and Porter Road. -Per HC Traffic
Call out property south of Clay Rd. (HC)
If the "Variance(s)" meet with the City's approval, Harris County interposes no objection. (HC)

Houston Planning Commission

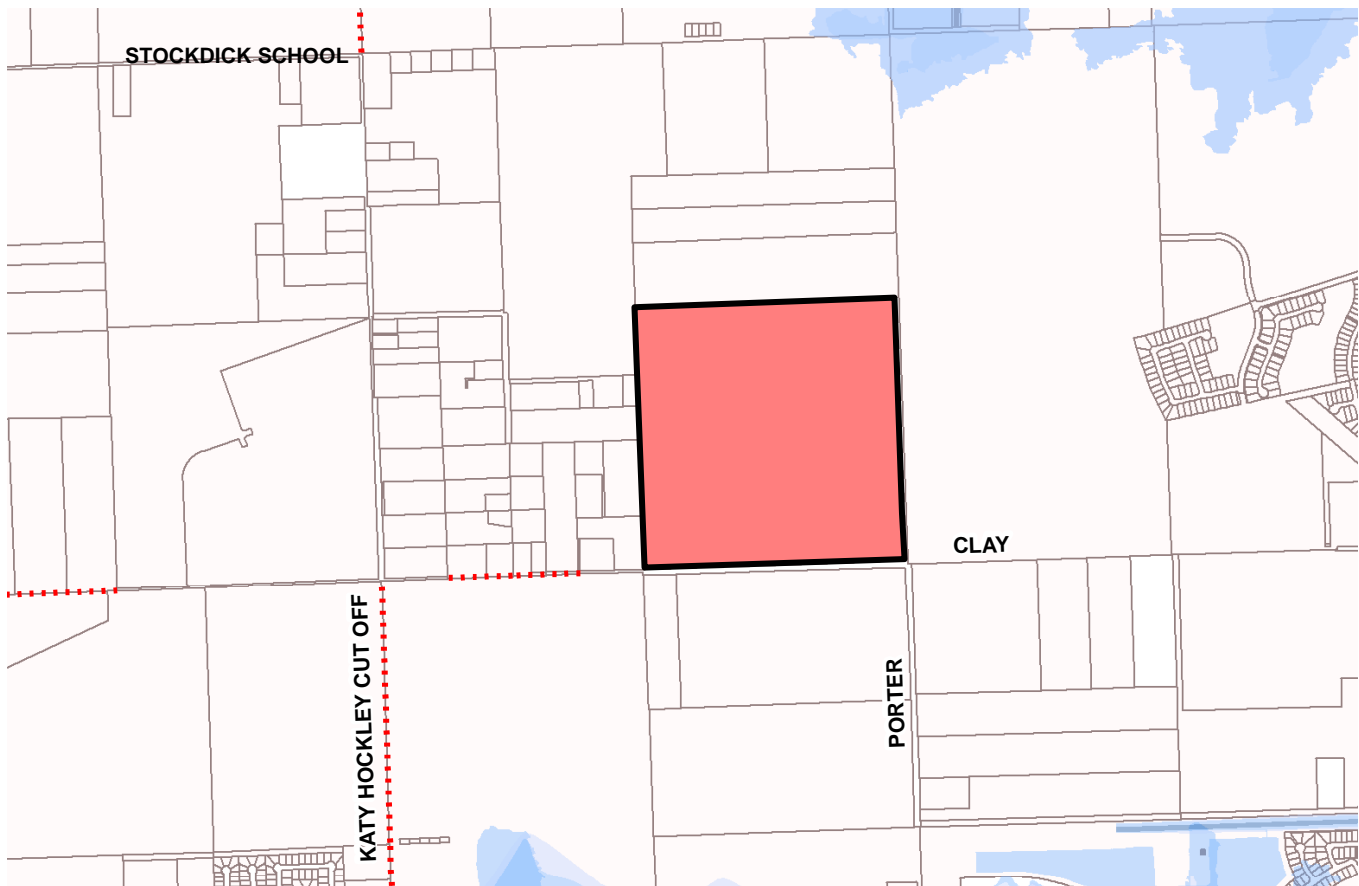
ITEM: 116

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Adara Pointe GP (DEF2)

Applicant: LJA Engineering, Inc.



D – Variances

Site Location

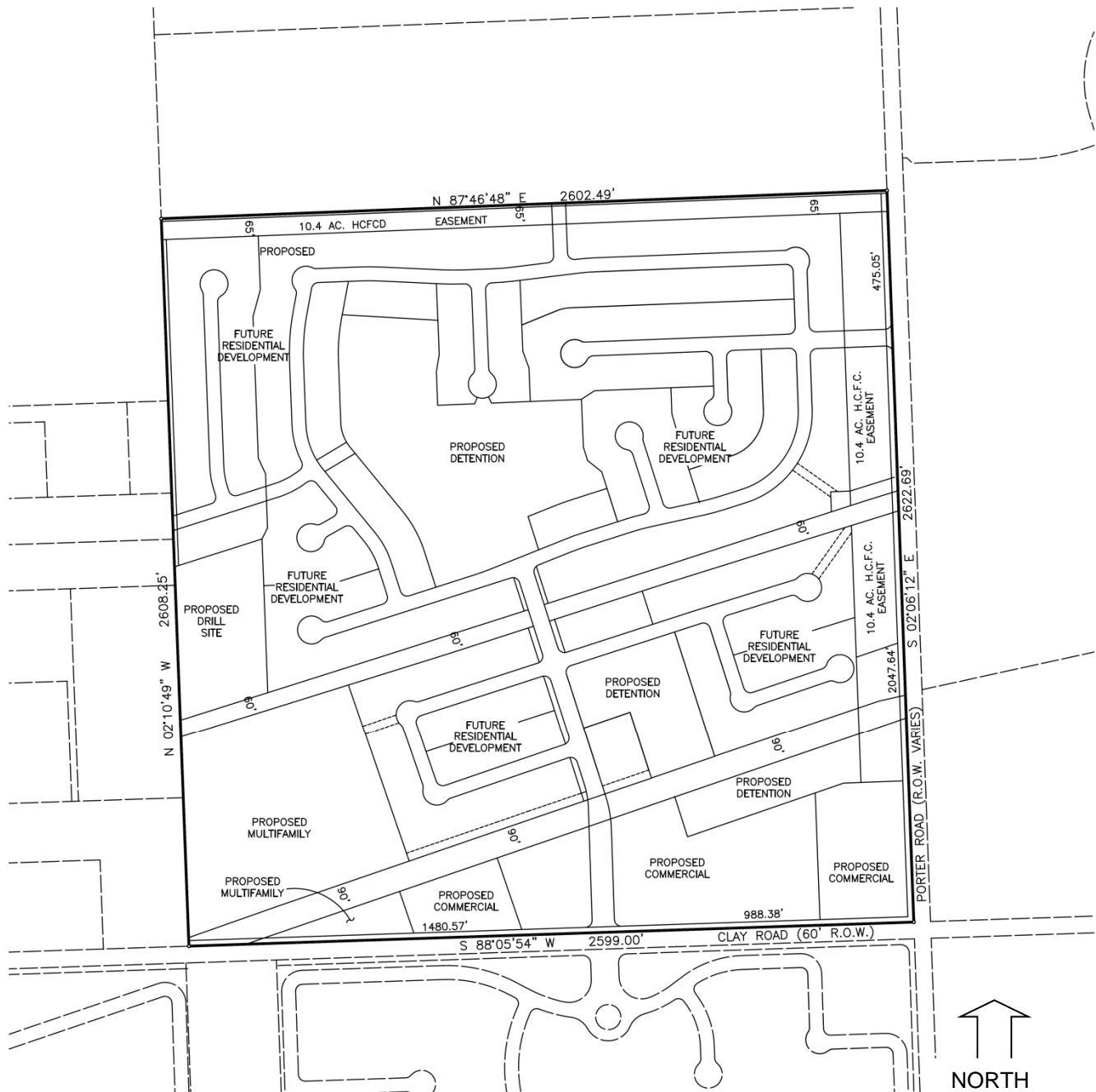
Houston Planning Commission ITEM: 116

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Adara Pointe GP (DEF2)

Applicant: LJA Engineering, Inc.



D – Variances

Subdivision

Houston Planning Commission

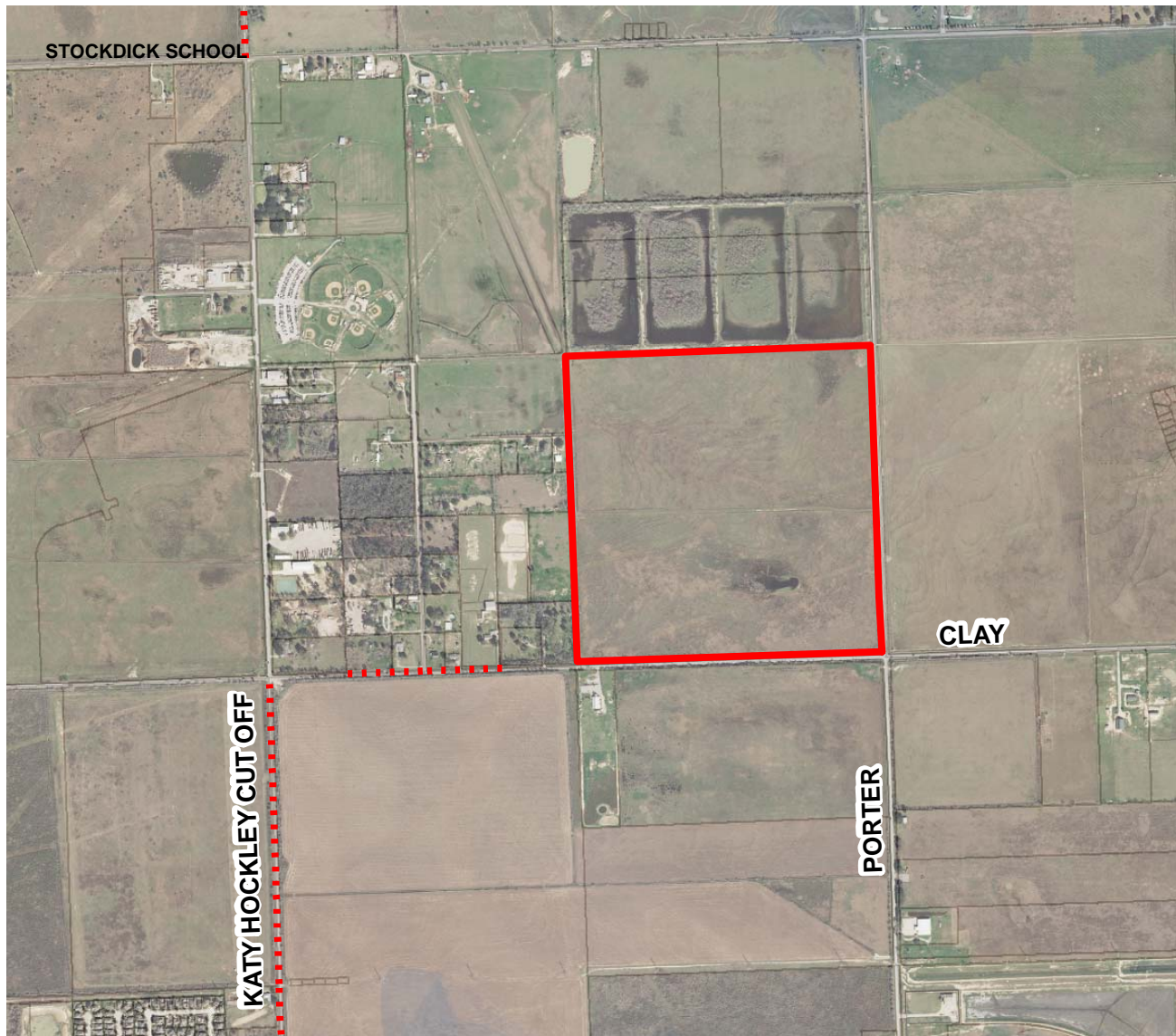
ITEM: 116

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Adara Pointe GP (DEF2)

Applicant: LJA Engineering, Inc.



D – Variances

Aerial



SPECIAL EXCEPTION Request Information Form

Application Number: 2015-0865

Plat Name: Adara Pointe GP

Applicant: LJA Engineering, Inc.- (West Houston Office)

Date Submitted: 04/20/2015

(Sec. 42-48 and Sec. 42-82)

Specific requirement for which the special exception is being sought:

Allow Intersection spacing of less than 600' along Major thoroughfare Porter Rd.

Chapter 42 Section: 42-127

Chapter 42 Reference:

42-127 Intersection of local streets, Part (a).

Statement of Facts

(1) Special circumstances exist that are unique to the land or the proposed subdivision or development and that are not generally applicable to all other land, subdivision for development in the city or its extraterritorial jurisdiction that justify modification of the standards that would otherwise apply;

Adara Pointe GP is a development of 156 acres in west Harris county. The property is bounded by Porter Road to the east and Clay Road to the south. To the north/east lies Ventana Lakes General Plan which a street dedicated about 500' north of the east/west street that is being proposed by Adara Pointe GP. The variant difference between the minimum intersection spacing of 600' and the 500' we're providing is 16.7% which is within the 30% to regard this as a special exception. The special circumstance that exists is that there is a street dedication across from Porter Road that is on the southern boundary of Ventana Lakes. Adara Pointe will have four access points within the subdivision so that only a portion of the vehicle traffic generated from this development will actually utilize Porter Road.

(2) The proposed special exception will achieve a result contemplated by the standard in article III of Chapter 42 (Planning Standards);

The proposed special exception is within the 30% variant that is allowed to make this a special exception and not a variance. Originally, the plat was submitted about 350' from the proposed street in Ventana Lakes but the developer has been able to move the street down an additional 150' to create a separation of 500'. The 500' of separation will allow the traffic along Porter Road the necessary room to make turns in and out of both subdivisions.

(3) The modification of the standard requested is not disproportionate to the requirement of the standard;

The modification of the standard is 16.7% which is within the allowed percentage to be a special exception. This modification is not disproportionate to the requirement.

(4) The intent and general purposes of this chapter will be preserved and maintained;

Adara Pointe is a subdivision with mixed use including single family residential, mutli-family, drill site, commercial, and open space. The development proposes an interior vehicle circulation that enhances the neighborhood along with the proposed amenities. The special exception and other proposed variances allow for good vehicle circulation without making the project all about roads. The intent of this special exception is so that the vehicles entering this part of the subdivision do not shine their lights into the backyards of the homes. The intent and general purpose of this chapter is preserved in allowing the community to be planned in a way that minimizes unneeded lights.

(5) The granting of the special exception will not be injurious to the public health, safety or welfare.

The granting of the special exception will not be injurious to the public health and safety by allowing the development to be platted in a way that reduces unneeded lights and traffic away from the subdivision.



SPECIAL EXCEPTION Request Information Form

Application Number: 2015-0865

Plat Name: Adara Pointe GP

Applicant: LJA Engineering, Inc.- (West Houston Office)

Date Submitted: 04/20/2015

(Sec. 42-48 and Sec. 42-82)

Specific requirement for which the special exception is being sought:

To allow a street intersection spacing of 1490' between the southern boundary of Adara Pointe GP and the proposed street that stubs into the western property boundary.

Chapter 42 Section: 42-128a

Chapter 42 Reference:

Sec. 42-128. Intersections of local streets. (a)(1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1400 feet; or

Statement of Facts

(1) Special circumstances exist that are unique to the land or the proposed subdivision or development and that are not generally applicable to all other land, subdivision for development in the city or its extraterritorial jurisdiction that justify modification of the standards that would otherwise apply;

This is a special exception request to allow a street intersection spacing of 1490' between the southern boundary of Adara Pointe GP and the proposed street that stubs into the western property boundary. Adara GP is a 156 acre development whose southern boundary is Clay Road and whose Eastern boundary is Porter Road (both Major thoroughfares). The north/south distance of the property is 2600 feet in length. The reason that the street is at 1490' instead of centered in the middle of the property (at 1400') is that the distance between the southern boundary and the existing drill site lease on the property is about 1400'. The drill site is north of a pipeline that runs east/west in a northerly direction. The proposed drill site and 60' pipeline measures about 610' in length thereby making it difficult to place a street exactly 1400' from the southern boundary of the plat.

(2) The proposed special exception will achieve a result contemplated by the standard in article III of Chapter 42 (Planning Standards);

The proposed special exception will achieve a result as contemplated by the standard in Chapter 42 because the variant is only 6.5% over the 1400' maximum intersection spacing that is allowed. The existing condition of the drill site lease which the developers are setting aside as drill site makes having a street centered at 1400' difficult to do.

(3) The modification of the standard requested is not disproportionate to the requirement of the standard;

The modification of the standard is not disproportionate to the requirement of the standard 42-128. A modification of a measureable standard by 10 percent or less shall be presumed to not be disproportionate as per Sec 42-82. The proposed modification is 6.5% therefore the modification is not disproportionate.

(4) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter are preserved in that the modification is only 6.5%. The modification is proposed to avoid being directly adjacent to a drill site that may not be suitable for a single family residential neighborhood.

(5) The granting of the special exception will not be injurious to the public health, safety or welfare.

The granting of the special exception will not be injurious to the public health and safety of the area. This general plan provides good vehicular access in that four access points are provided and overall circulation has been maintained.



Application No: 2015-0865
Agenda Item: 116
PC Action Date: 05/28/2015
Plat Name: Adara Pointe GP
Applicant: LJA Engineering, Inc.- (West Houston Office)

Staff Recommendation: Grant the requested special exception(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 42-127; 42-128a

Specific requirement for which the special exception is being sought: (Sec. 42-48 and Sec. 42-82)

Allow Intersection spacing of less than 600' along Major thoroughfare Porter Rd.;

To allow a street intersection spacing of 1490' between the southern boundary of Adara Pointe GP and the proposed street that stubs into the western property boundary. ;

Basis of Recommendation:

The site is located in Harris County at the north-west corner of Clay Road and Porter Road, south of Stockdick School Road. The General Plan encompasses approximately 156 acres. The application initially contained variances to exceed 1,400' block length along the northern and western boundaries, and a special exception request along Porter Road. However, the applicant has since revised the plat and the variances are no longer required. Presented for the Commission's consideration today are two special exception requests 1) to allow an intersection spacing of 500' along Porter Road between the site's eastern entrance and Ventana Meadows Drive, and 2) to allow an intersection spacing of 1490' along the plat's western boundary. Staff is in support of both requests.

With respect to the first request, the 500' spacing represents a modification of 16.7% of the standard. The second request represents a modification of 6.4% of the standard, which is not disproportionate. The development proposes entrances to both adjacent major thoroughfares- Porter and Clay Roads and features a circular loop street pattern for internal traffic circulation and two future opportunities for street connections to the north and west.

Harris County Engineers Office has voiced no objection to the requested exceptions. The applicant will be required to coordinate improvements along Porter Road with Harris County Traffic Division with respect to ROW widening and turn lanes along the major thoroughfares.

Staff would also like the Commission to know that the applicant has coordinated with the development to the south – Marcello GP, to centerline the Clay Road entrances to both sites.

Staff recommends the Planning Commission grant the requested special exceptions, and approve the plat subject to the CPC 101 form conditions.

Staff Evaluation

(1) Special circumstances exist that are unique to the land or the proposed subdivision or development and that are not generally applicable to all other land, subdivision for development in the city or its extraterritorial jurisdiction that justify modification of the standards that would otherwise apply;

The development is affected by two pipeline easements that run diagonally across the site, HCFC easements and a drill site along the western plat boundary.

(2) The proposed special exception will achieve a result contemplated by the standard in article III of Chapter 42 (Planning Standards);

The development proposes entrances to both adjacent major thoroughfares- Porter and Clay Roads and features a circular loop street pattern for internal traffic circulation and two future opportunities for street connections to the north and west. The applicant will be required to coordinate improvements along Porter Road with Harris County Traffic Division with respect to ROW widening and turn lanes along the major thoroughfares.

(3) The modification of the standard requested is not disproportionate to the requirement of the standard;

With respect to the first request, the 500' spacing represents a modification of 16.7% of the standard. The second request represents a modification of 6.4% of the standard, which is not disproportionate.

(4) The intent and general purposes of this chapter will be preserved and maintained;

The development proposes entrances to both adjacent major thoroughfares- Porter and Clay Roads and features a circular loop street pattern for internal traffic circulation and two future opportunities for street connections to the north and west.

(5) The granting of the special exception will not be injurious to the public health, safety or welfare.

The granting of the special exception will not be injurious to the public health, safety or welfare. The applicant will be required to coordinate improvements along Porter Road with Harris County Traffic Division with respect to ROW widening and turn lanes along the major thoroughfares.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 117
Action Date: 05/28/2015
Plat Name: Albion partial replat no 1
Developer: Texas Intownhomes, LLC
Applicant: Vernon G. Henry & Associates, Inc.
App No/Type: 2015-0873 C2R

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	1.2590	Total Reserve Acreage:	0.0200
Number of Lots:	29	Number of Multifamily Units:	0
COH Park Sector:	8	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77025	532W	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

127. Provide Visibility Triangle plat note: The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle. This area shall assure adequate visibility sight lines for vehicular traffic approaching the intersection. (162)

185. Appendix A: Owners Acknowledgement is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

189. Appendix E: Certificate for Engineer or Surveyor is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

190. Appendix F: Certification for Planning Commission is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Provide 5' sidewalk, 3" caliper trees.

Any fencing must be semi-opaque/ wrought iron in nature with a max height of 8'.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 117

Action Date: 05/28/2015

Plat Name: Albion partial replat no 1

Developer: Texas Intownhomes, LLC

Applicant: Vernon G. Henry & Associates, Inc.

App No/Type: 2015-0873 C2R

Staff Recommendation:

Grant the requested variance(s) and Approve the plat subject to the conditions listed

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION IS REQUIRED

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

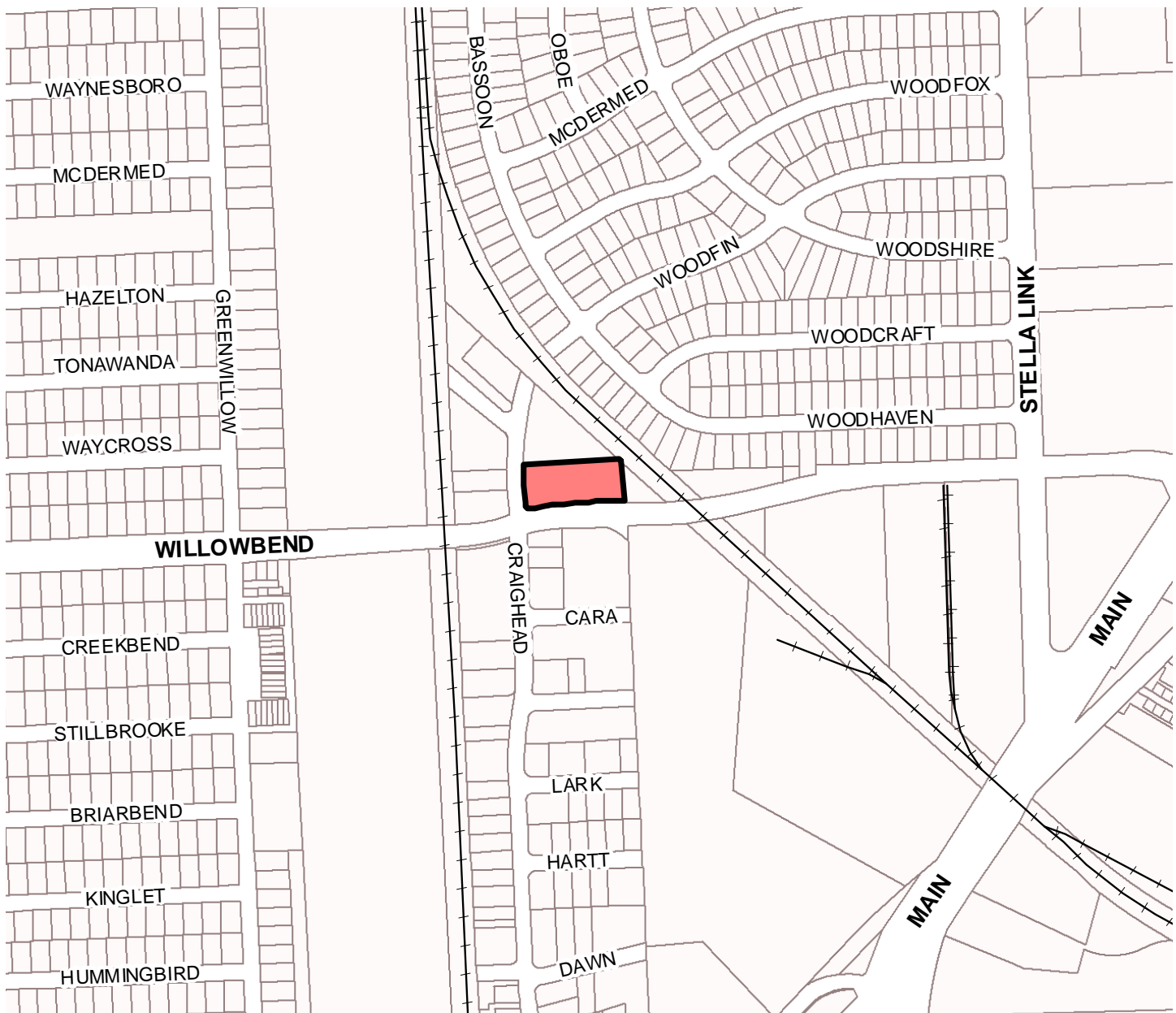
Houston Planning Commission ITEM: 117

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Albion partial replat no 1 (DEF1)

Applicant: Vernon G. Henry & Associates, Inc.



D – Variances

Site Location

Meeting Date: 05/28/2015

Applicant: Vernon G. Henry & Associates, Inc.



Subdivision

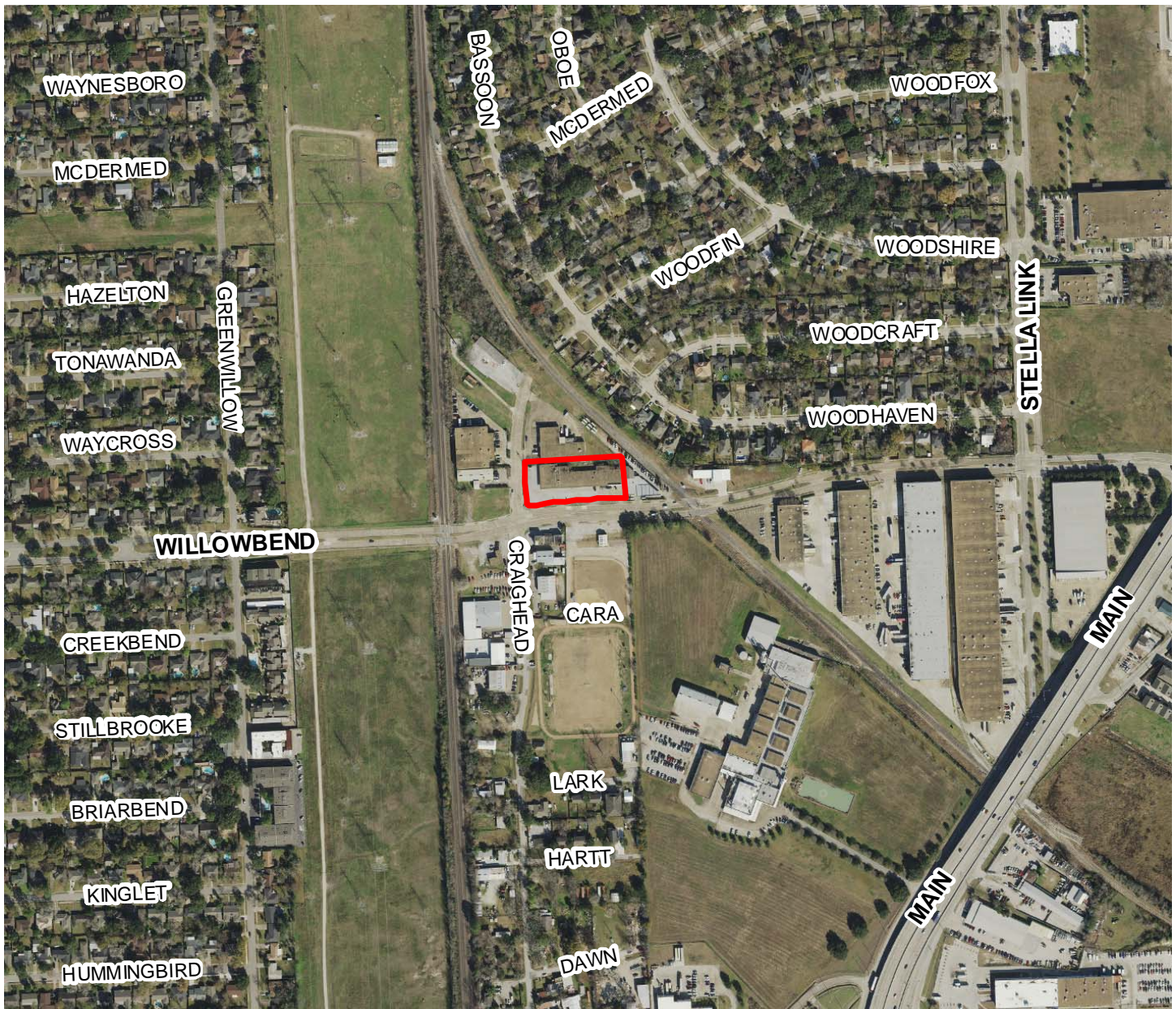
Houston Planning Commission ITEM: 117

Planning and Development Department

Meeting Date: 05/28/2015

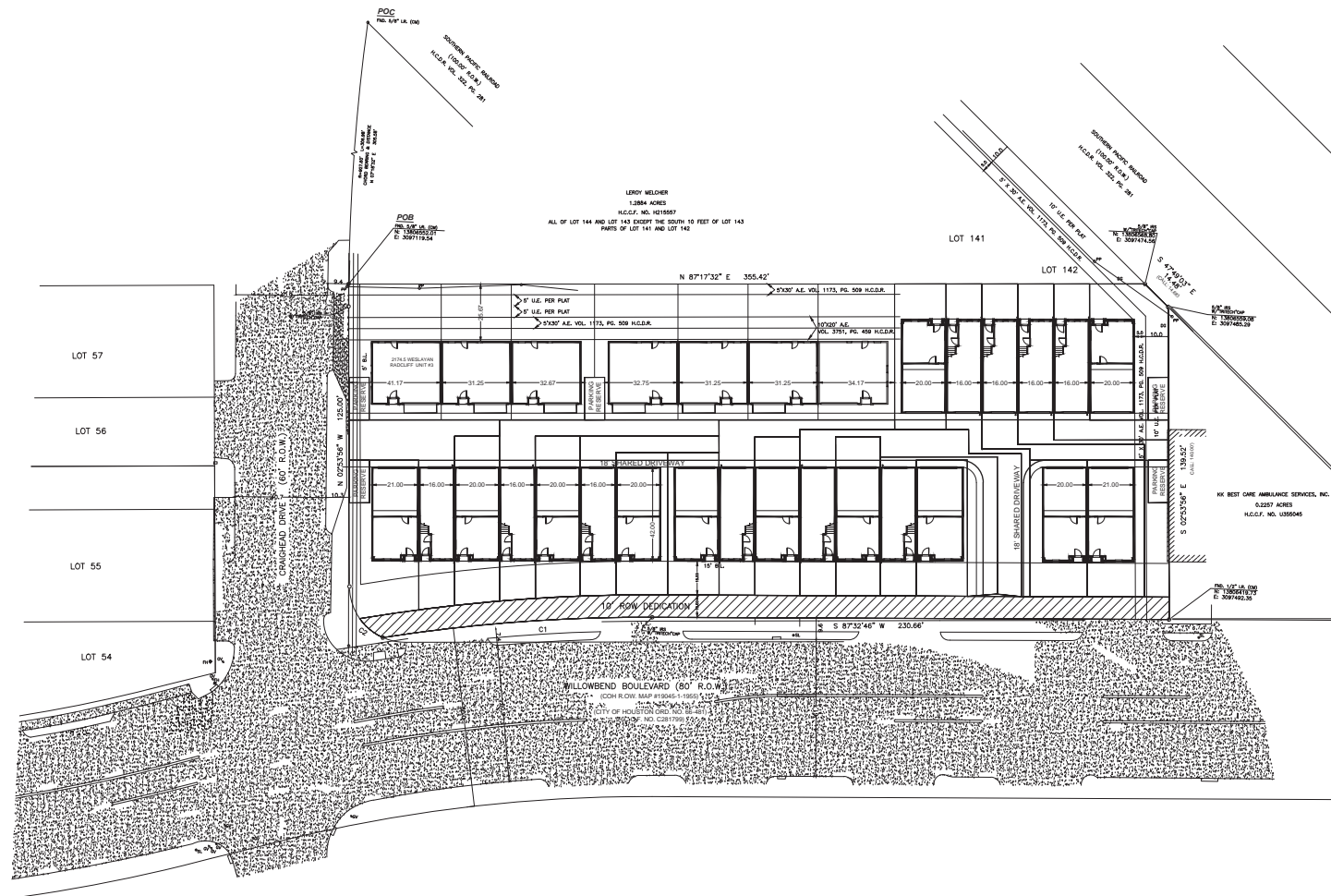
Subdivision Name: Albion partial replat no 1 (DEF1)

Applicant: Vernon G. Henry & Associates, Inc.



D – Variances

Aerial





Application Number: 2015-0873

Plat Name: Albion partial replat no 1

Applicant: Vernon G. Henry & Associates, Inc.

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

1) To allow a 15' setback rather than 25' along Willowbend, a designated Major Thoroughfare. 2) To allow shared driveway to extend farther than 200' from public right of way.

Chapter 42 Section: 152,145

Chapter 42 Reference:

Sec. 42-145. General layout and arrangement for all shared driveways. (a) A subdivision plat within the city may provide for a lot that takes access from a shared driveway within the same subdivision plat as the lot in accordance with the following requirements: (2) The total length of the shared driveway shall be 200 feet or less as measured along the centerline of the shared driveway starting from the intersection with the public street, provided however that a shared driveway may be more than 200 feet in length if all lots that take access from the shared driveway have frontage in the amount of the minimum lot width required by section 42-185 of this Code on a public street that is not an alley and that contains a roadway; Sec. 42-152. Building line requirement along major thoroughfares. (a) The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This property is made up of the northern portions of lots left after the City acquired the southern portions for the right-of-way of Willowbend. Albion subdivision was platted with lots in 1940. Most of this property was platted a lots that faced onto what was called Sevin Avenue. After the subdivision was developed, the City adopted a Major Thoroughfare Plan. Willowbend Blvd. was aligned through the subdivision in the 1960's the City incorporated Sevin Ave. into the alignment for Willowbend and widened the Sevin right-of-way by acquiring portions of the adjacent lots to make a total of 80', then constructed the street. Now an additional 10' of widening is required by the adopted Major Thoroughfare Plan off each side to bring the right-of-way to 100'. These proposed new townhomes will have front doors facing the street and will replace an older shopping center. The face of the townhomes will be 34.9' from the existing curb. The garages will take access from an internal shared driveway. By allowing the shared driveway to extend farther than 200 feet from the public right of way in each direction, it will allow the development to be more unified. The total length of the driveway will not exceed 400'. It will also allow all residents to use both entrances to the development.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The designation, acquisition, and construction of a Major Thoroughfare after the platting of the subdivision, as well as the subsequent requirement for widening and a 25' setback, has created a hardship for the redevelopment of this property. '

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent is to create an adequate city-wide transportation network with sufficient light, air, and open space adjacent.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting the variance will maintain adequate light, air and open space. Safety will be enhanced by making the driveway access to residences from the rear, with a single driveway opening to a local street.

(5) Economic hardship is not the sole justification of the variance.

The existing conditions of the site and the desire to create a unified project are the justifications for the variance.



Application No: 2015-0873

Agenda Item: 117

PC Action Date: 05/28/2015

Plat Name: Albion partial replat no 1

Applicant: Vernon G. Henry & Associates, Inc.

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 152,145

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

1)To allow a 15' setback rather than 25' along Willowbend, a designated Major Thoroughfare. 2)To allow shared driveway to extend farther than 200' from public right of way.;

Basis of Recommendation:

The site is located within the City limits, outside Loop 610 on the northeast corner of Willowbend Boulevard and Craighead Drive. The applicant is proposing a 18' shared driveway development with twenty (29) single family lots and five (5) parking reserves and is requesting two variances, 1) to allow a 15' building line along Willowbend Boulevard- a designated major thoroughfare, and 2) to allow shared driveways to exceed 200'. Staff is in support of both variance requests.

Staff has received protest from adjacent property owners who have concerns regarding the future residents and guests parking on Craighead Drive, the density of the proposed project and its effect on property values of existing homes in the area. Staff has informed the applicant of all the protests and concerns received to date.

Granting of the requested building line will allow for an improved pedestrian environment along Willowbend Boulevard. The distance from the back of curb to the existing property line is approximately 9.6', and the applicant is dedicating the required 10' ROW for the widening of the major thoroughfare. Should the Commission grant the requested 15' BL there will be approximately 34.6' from the vehicular travel lanes to the proposed residential structures.

The applicant is utilizing the lot width averaging standards per Sec 42-185 (b). The applicant is providing 5 additional parking spaces per the ordinance on site. With the proposed shared driveway configuration, the development will have access to both public streets – Craighead and Willowbend which would improve internal traffic circulation and distribution.

As a condition of approval the applicant will be required 5' sidewalk, 3" caliper trees. Any fencing must be semi-opaque/ wrought iron in nature with a max height of 8'.

The Department of Public Works and Engineering has voiced no objection to the request.

Staff recommends the Planning Commission grant the requested variances and approve the plat subject to the CPC 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Granting of the requested building line will allow for an improved pedestrian environment along Willowbend Boulevard. The distance from the back of curb to the existing property line is approximately 9.6', and the applicant is dedicating the required 10' ROW for the widening of the major thoroughfare. Should the Commission grant the requested 15' BL there will be approximately 34.6' from the vehicular travel lanes to the proposed residential structures. The applicant is utilizing the lot width averaging standards per Sec 42-185 (b). The applicant is providing 5 additional parking spaces per the ordinance on site. With the proposed shared driveway configuration, the development will have access to both public streets – Craighead and Willowbend which would improve internal traffic circulation and distribution. As a condition of approval the applicant will be required 5' sidewalk, 3" caliper trees. Any fencing must be semi-opaque/ wrought iron in nature with a max height of 8'.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Granting of the requested building line will allow for an improved pedestrian environment along Willowbend Boulevard. The distance from the back of curb to the existing property line is approximately 9.6', and the applicant is dedicating the required 10' ROW for the widening of the major thoroughfare. Should the Commission grant the requested 15' BL there will be approximately 34.6' from the vehicular travel lanes to the proposed residential structures. With the proposed shared driveway configuration, the development will have access to both public streets – Craighead and Willowbend which would improve internal traffic circulation and distribution.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Should the Commission grant the requested 15' BL the intent and general purposes of this chapter will be preserved. The distance from the back of curb to the existing property line is approximately 9.6', and the applicant is dedicating the required 10' ROW for the widening of the major thoroughfare. With a 15' BL there will be approximately 34.6' from the vehicular travel lanes to the proposed residential structures.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting of the requested building line will allow for approximately 34.6' from the vehicular travel lanes to the proposed residential structures. With the proposed shared driveway configuration, the development will have access to both public streets – Craighead and Willowbend which would improve internal traffic circulation and distribution.

(5) Economic hardship is not the sole justification of the variance.

Granting of the requested building line will allow for an improved pedestrian environment along Willowbend Boulevard. With the proposed shared driveway configuration, the development will have access to both public streets – Craighead and Willowbend which would improve internal traffic circulation and distribution.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 118
Action Date: 05/28/2015
Plat Name: Albion partial replat no 2
Developer: Texas Intownhomes LLC
Applicant: Vernon G. Henry & Associates, Inc.
App No/Type: 2015-0874 C2R

Staff Recommendation:
 Grant the requested
 variance(s) and Approve
 the plat subject to the
 conditions listed

Total Acreage:	0.4980	Total Reserve Acreage:	0.0040
Number of Lots:	12	Number of Multifamily Units:	0
COH Park Sector:	8	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77025	532W	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

185. Appendix A: Owners Acknowledgement is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

189. Appendix E: Certificate for Engineer or Surveyor is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

190. Appendix F: Certification for Planning Commission is incomplete. Reference Recordation Dedicatory Acknowledgements and Certifications for requirements. (Record.doc)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Provide 5' sidewalk, 3" caliper trees.

Any fencing must be semi-opaque/ wrought iron in nature with a max height of 8'.

Coordinate with Union Pacific Railroad regarding the line of sight available for southbound train traffic with the proposed development.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 118

Action Date: 05/28/2015

Plat Name: Albion partial replat no 2

Developer: Texas Intownhomes LLC

Applicant: Vernon G. Henry & Associates, Inc.

App No/Type: 2015-0874 C2R

Staff Recommendation:

Grant the requested variance(s) and Approve the plat subject to the conditions listed

PWE Utility Analysis: A Wastewater capacity Reservation letter is required.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION IS REQUIRED AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission ITEM: 118

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Albion partial replat no 2 (DEF1)

Applicant: Vernon G. Henry & Associates, Inc.



D – Variances

Site Location

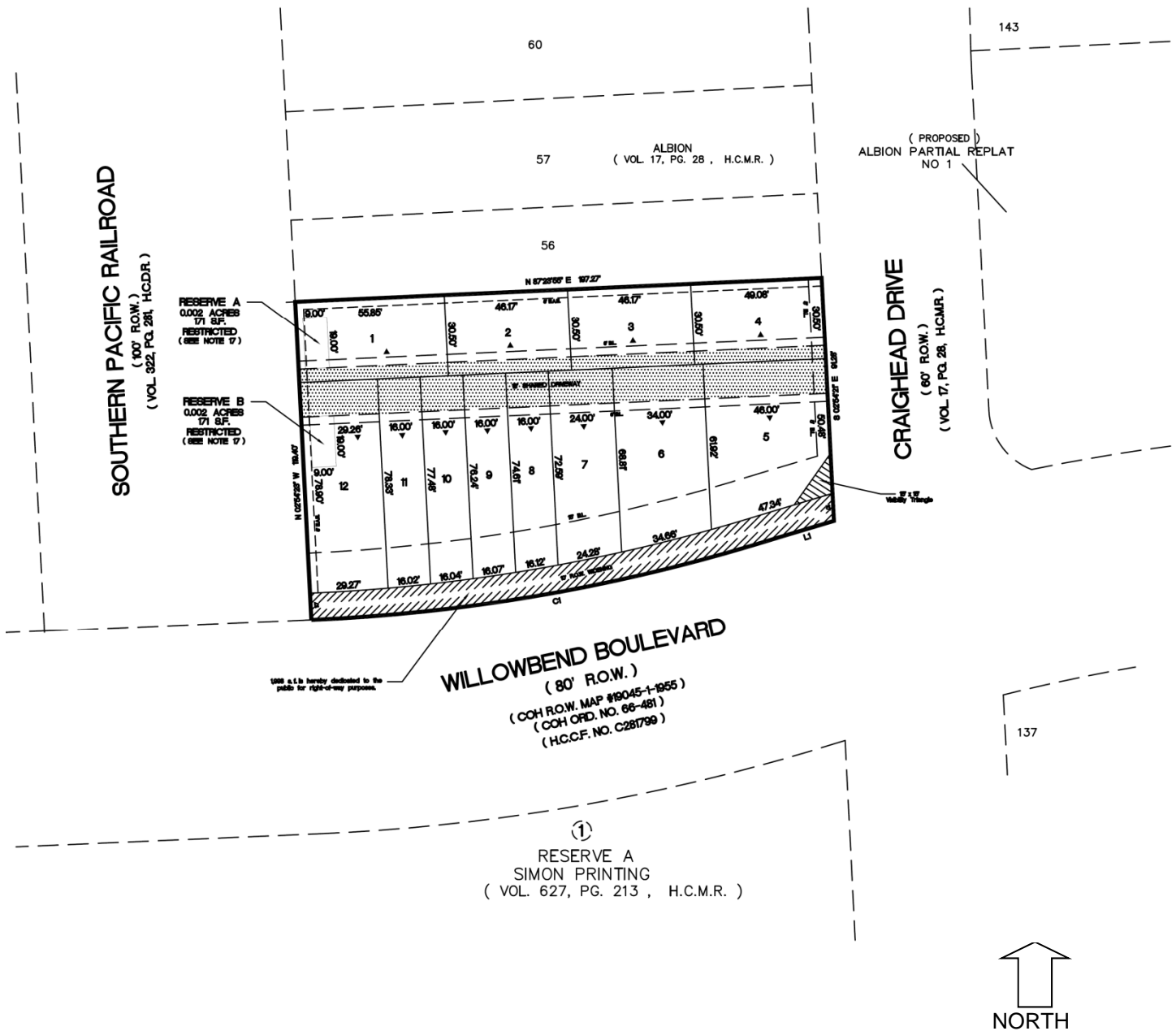
Houston Planning Commission ITEM: 118

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Albion partial replat no 2 (DEF1)

Applicant: Vernon G. Henry & Associates, Inc.



D – Variances

Subdivision

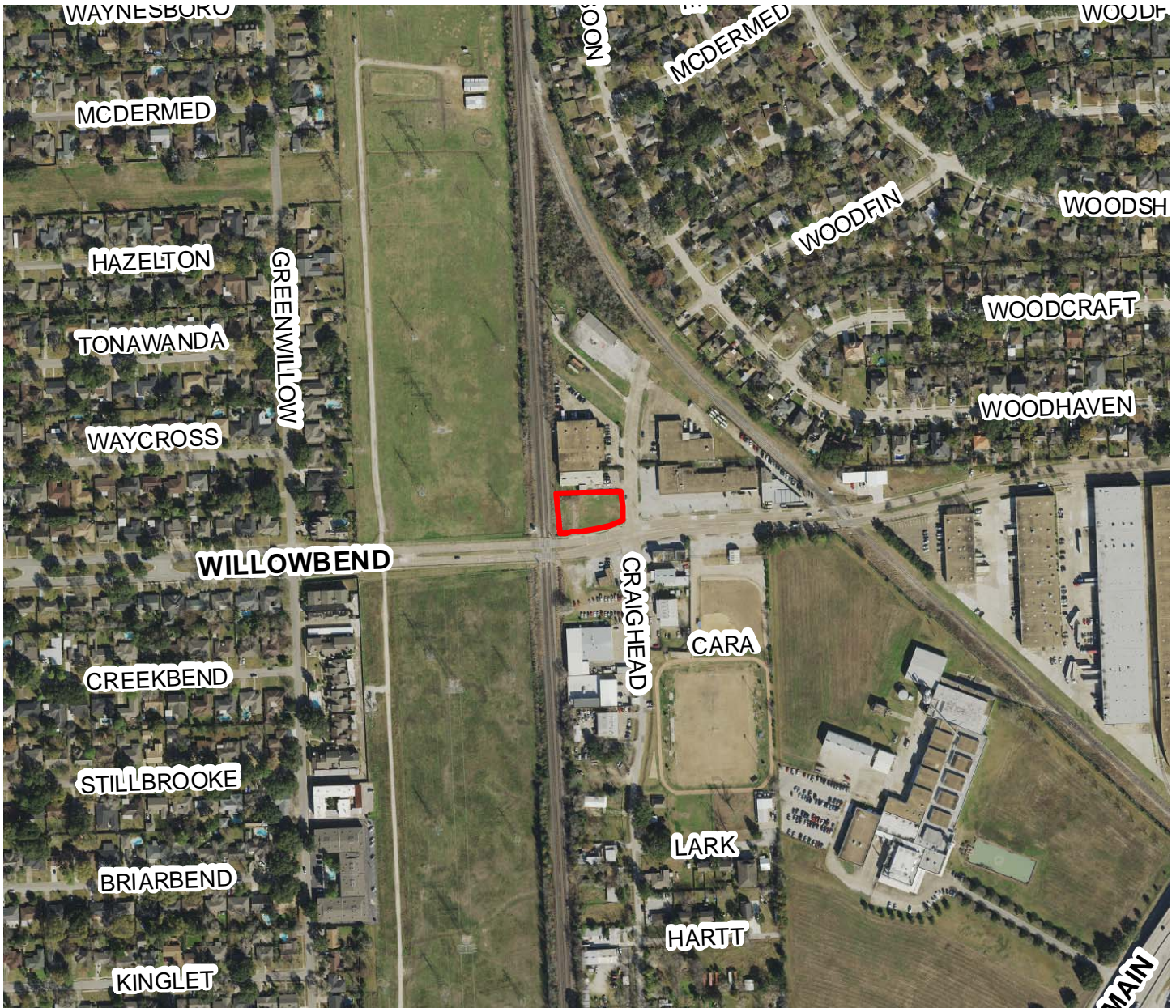
Houston Planning Commission ITEM: 118

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Albion partial replat no 2 (DEF1)

Applicant: Vernon G. Henry & Associates, Inc.



D – Variances

Aerial

LOT SURVEY

1" IPF
POINT OF REFERENCE
POINT OF CURVATURE
OF 0.3387 ACRE TRAC
H.C.C.F. NO. R224836

LEROY MELCHER
 1.2884 ACRES
 H.C.C.F. NO. H215557

LOT 142

LOT 5

I. H. BROCHSTEIN
0.3387 ACRES
VOL. 7891, PG. 243 H.C.D.R.
H.C.C.F. NO. R224836

REMAINDER OF LOT 50

N 87°05'39" E 197.20

PO

W/ TRITECH C
N: 13806375.9
E: 3097068.3

FND. 1° I.P. (CM)
N: 13806458.1
E: 3096866.63

STRUCTURE

1st floor 12' plate
overhang 2nd
and 3rd floor

1st floor 12' plate
overhang 2nd
and 3rd floor

1st floor 12' plate
overhang 2nd
and 3rd floor

1st floor 12' plate
overhang 2nd
and 3rd floor

18' SHARED DRIVEWAY

132 WILLOWBEND	413
LOUHOUSE	ROI
UNIT #1	UNI
514 SQ. FT.	132

4132 WILLOWBEND	41
ROWHOUSE	Re
UNIT #2	LR
1394 SQ. FT.	12

4132 WILLOWBEND
ROWHOUSE
UNIT #4
1393 SQ. FT. 43.50

4132 WILLOWBEND
ROWHOUSE
UNIT #5
1315 SQ. FT.

ROWBEND	4132 WILL
E	ROWHOU
T.	UNIT #6
	1727 SQ. F

Diagram showing a cross-section of a wellbore. A horizontal line represents the wellbore wall. A vertical line represents the wellbore axis. A dimension line indicates a diameter of 3.00 inches.

4132 WILLOWBEND TOWNHOMES UNIT #1 2222 SQ. FT.	31.00
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3733
2 WILLOWBEND
WHOMES
T #2
5 SQ. FT.

8.67

4

5' B.L., VOL. 1173, PG. 509, H.C.D.R.

25" B.I.L. PER PLAT

H.C.C.F. NO. D052016

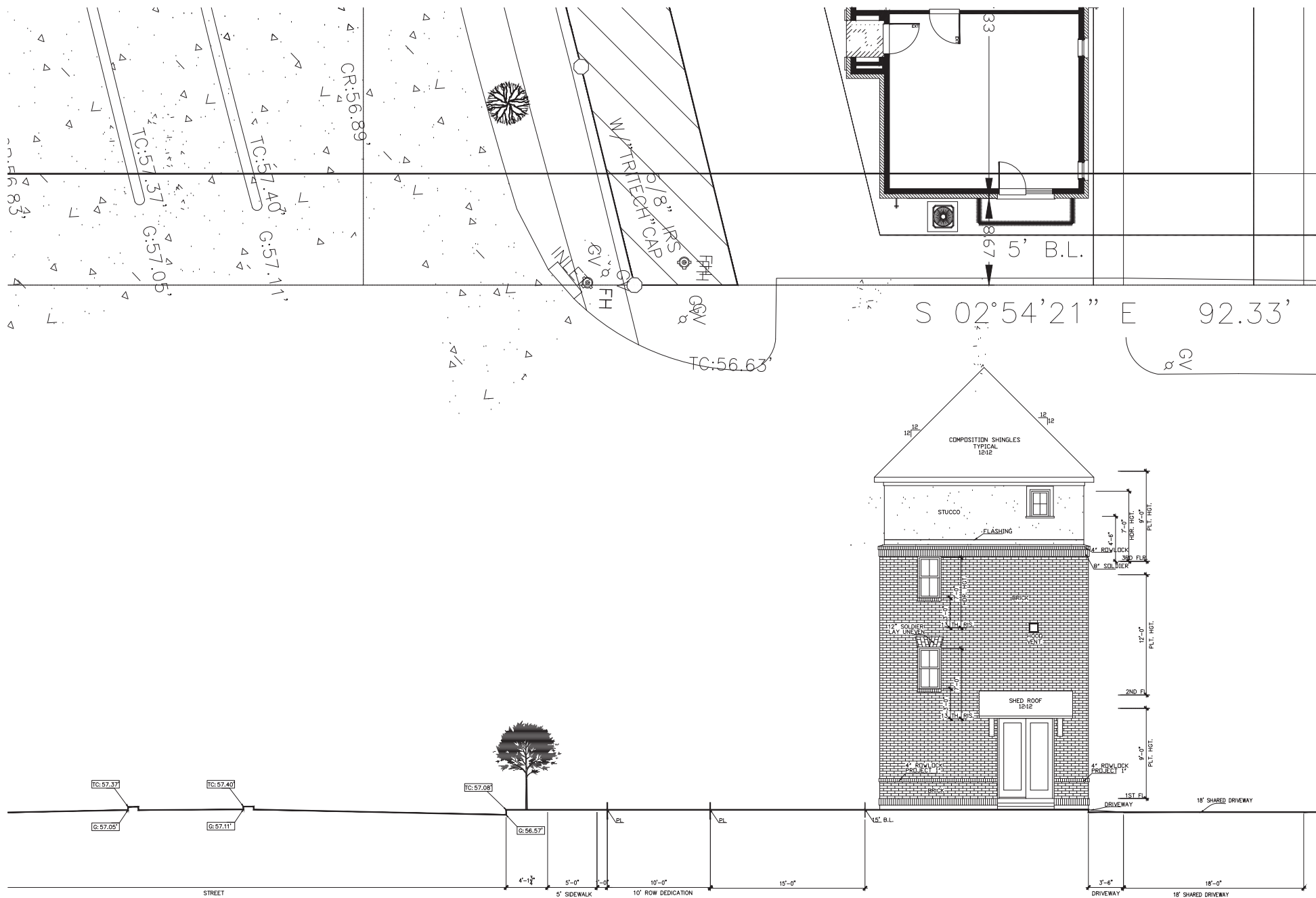
25' B.L. PER PL

HOUSTON LIGHTING AND POWER COMPANY

(100.00' R.O.W.)

UCD 8 VOL 322 PG 281

00



A
4

section

SCALE: 3/16" = 1'-0"



Application Number: 2015-0874

Plat Name: Albion partial replat no 2

Applicant: Vernon G. Henry & Associates, Inc.

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a 15' setback rather than 25' along Willowbend, a designated Major Thoroughfare

Chapter 42 Section: 42-152

Chapter 42 Reference:

Sec. 42-152. Building line requirement along major thoroughfares. (a) The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Albion subdivision was platted with lots in 1940. Most of this property was platted a lots that faced on Craighead Drive. After the subdivision was developed, the City adopted a Major Thoroughfare Plan and Willowbend Blvd. was aligned through the subdivision. In the 1960's the City incorporated Sevin Ave. into the alignment for Willowbend and purchased lots and parts of Lot 54 on the east side of Craighead for the right-of-way of 80', then constructed the street. Now an additional 10' of widening is required by the Plan off each side to bring the right-of-way to 100'. The 25' building setback line was not established until 1982. These proposed new townhomes will have front doors facing the street and are an appropriate use in this location. The will be located 35' from the curb on Willowbend. The garages will have access from an internal shared driveway, not from Willowbend.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The designation, acquisition, and construction of a Major Thoroughfare after the platting of the subdivision, as well as the subsequent requirements for widening and a 25' setback, has created a hardship for the redevelopment of this property.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent is to create an adequate city-wide transportation network with sufficient light, air, and open space adjacent.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting the variance will maintain adequate light, air and open space. Safety will be enhanced by making the driveway access to residences from the rear, with a single driveway opening to a local street.

(5) Economic hardship is not the sole justification of the variance.

The existing conditions and imposition of new requirements after the subdivision was platted and the property originally developed is the justification for the variance.



Application No: 2015-0874

Agenda Item: 118

PC Action Date: 05/28/2015

Plat Name: Albion partial replat no 2

Applicant: Vernon G. Henry & Associates, Inc.

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 42-152

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To allow a 15' setback rather than 25' along Willowbend, a designated Major Thoroughfare;

Basis of Recommendation:

The site is located within the City limits, outside Loop 610 on the northwest corner of Willowbend Boulevard and Craighead Drive. The applicant is proposing a 18' shared driveway development with twelve (12) single family lots and two (2) parking reserves and is requesting a variance to allow a 15' building line along Willowbend Boulevard- a designated major thoroughfare. Staff is in support of the requested variance.

Staff has received protest from adjacent property owners who have concerns regarding the future residents and guests parking on Craighead Drive, the density of the proposed project and its effect on property values of existing homes in the area. Staff has also received a call from the Union Pacific Railroad with concerns regarding the line of sight available for southbound train traffic with the proposed development. Staff has informed the applicant of all the protests and concerns received to date.

Granting of the requested building line will allow for an improved pedestrian environment along Willowbend Boulevard. The distance from the back of curb to the existing property line is approximately 10', and the applicant is dedicating the required 10' ROW for the widening of the major thoroughfare. Should the Commission grant the requested 15' BL there will be approximately 35' from the vehicular travel lanes to the proposed residential structures.

As a condition of approval the applicant will be required 5' sidewalk, 3" caliper trees. Any fencing must be semi-opaque/ wrought iron in nature with a max height of 8'.

The applicant is utilizing the lot width averaging standards per Sec 42-185 (b). The applicant is provided the 2 additional parking spaces per the ordinance on site.

The Department of Public Works and Engineering has voiced no objection to the request.

Staff recommends the Planning Commission grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Granting of the requested building line will allow for an improved pedestrian environment along Willowbend Boulevard. The distance from the back of curb to the existing property line is approximately 10', and the applicant is dedicating the required 10' ROW for the widening of the major thoroughfare. Should the Commission grant the requested 15' BL there will be approximately 35' from the vehicular travel lanes to the proposed residential structures. As a condition of approval the applicant will be required 5' sidewalk, 3" caliper trees. Any fencing must be semi-opaque/ wrought iron in nature with a max height of 8'. The applicant is utilizing the lot width averaging standards per Sec 42-185 (b). The applicant is provided the 2 additional parking spaces per the ordinance on site.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Granting of the requested building line will allow for an improved pedestrian environment along Willowbend Boulevard. The distance from the back of curb to the existing property line is approximately 10', and the applicant is dedicating the required 10' ROW for the widening of the major thoroughfare. Should the Commission grant the requested 15' BL there will be approximately 35' from the vehicular travel lanes to the proposed residential structures.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Should the Commission grant the requested 15' BL the intent and general purposes of this chapter will be preserved. The distance from the back of curb to the existing property line is approximately 10', and the applicant is dedicating the required 10' ROW for the widening of the major thoroughfare. With a 15' BL there will be approximately 35' from the vehicular travel lanes to the proposed residential structures.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Should the Commission grant the requested 15' BL there will be approximately 35' from the vehicular travel lanes to the proposed residential structures. As a condition of approval the applicant will be required 5' sidewalk, 3" caliper trees. Any fencing must be semi-opaque/ wrought iron in nature with a max height of 8'.

(5) Economic hardship is not the sole justification of the variance.

Granting of the requested building line will allow for an improved pedestrian environment along Willowbend Boulevard.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 119
Action Date: 05/28/2015
Plat Name: Aldine Westfield Business Park
Developer: KM Aldine Westfield
Applicant: Town and Country Surveyors
App No/Type: 2015-0581 C2

Staff Recommendation:
Withdraw

Total Acreage:	18.0500	Total Reserve Acreage:	18.0500
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Combination
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Montgomery	77386	253S	ETJ

Conditions and Requirements for Approval

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

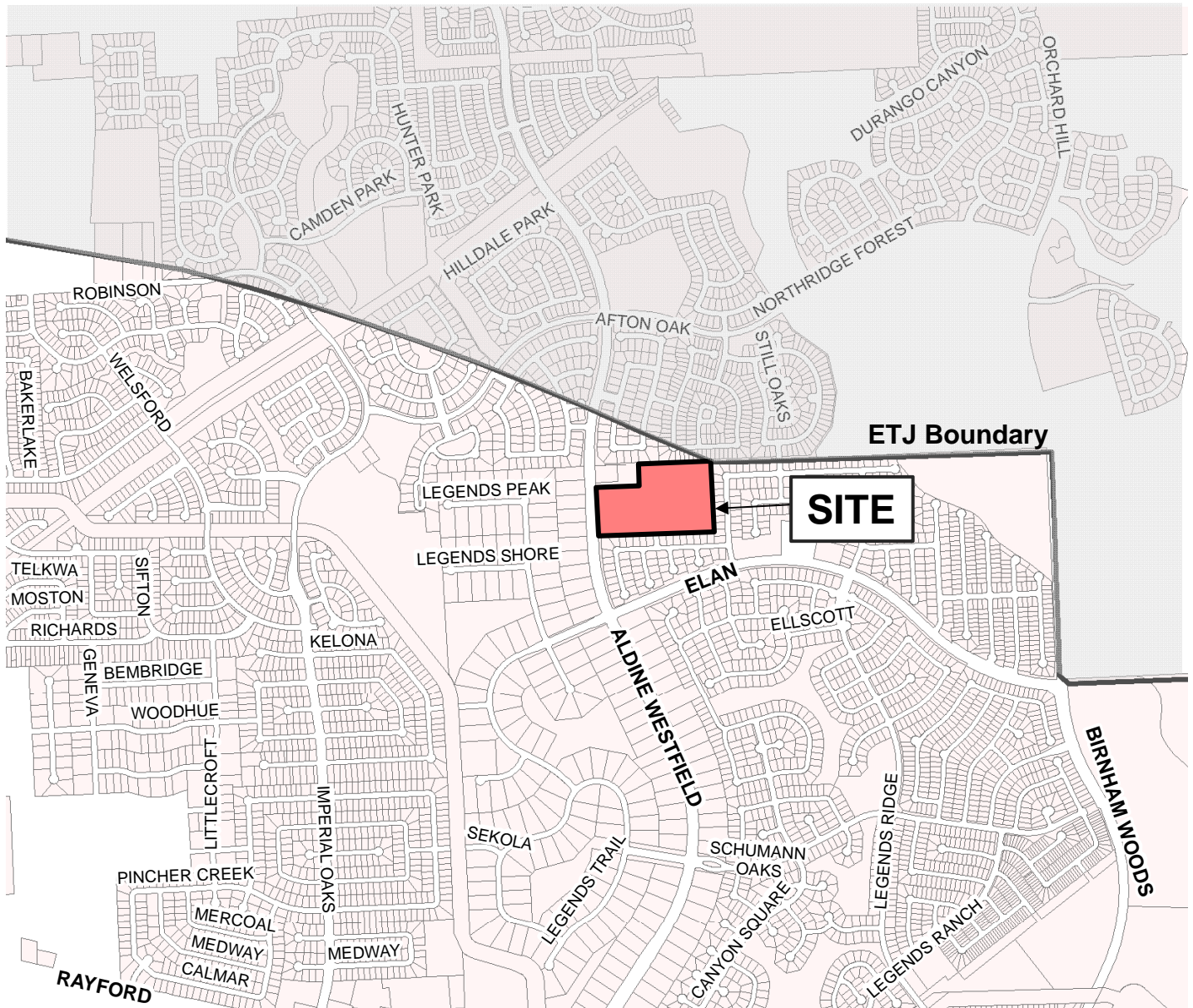
Houston Planning Commission ITEM: 119

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Aldine Westfield Business Park (DEF2)

Applicant: Town and Country Surveyors



D – Variances

Site Location

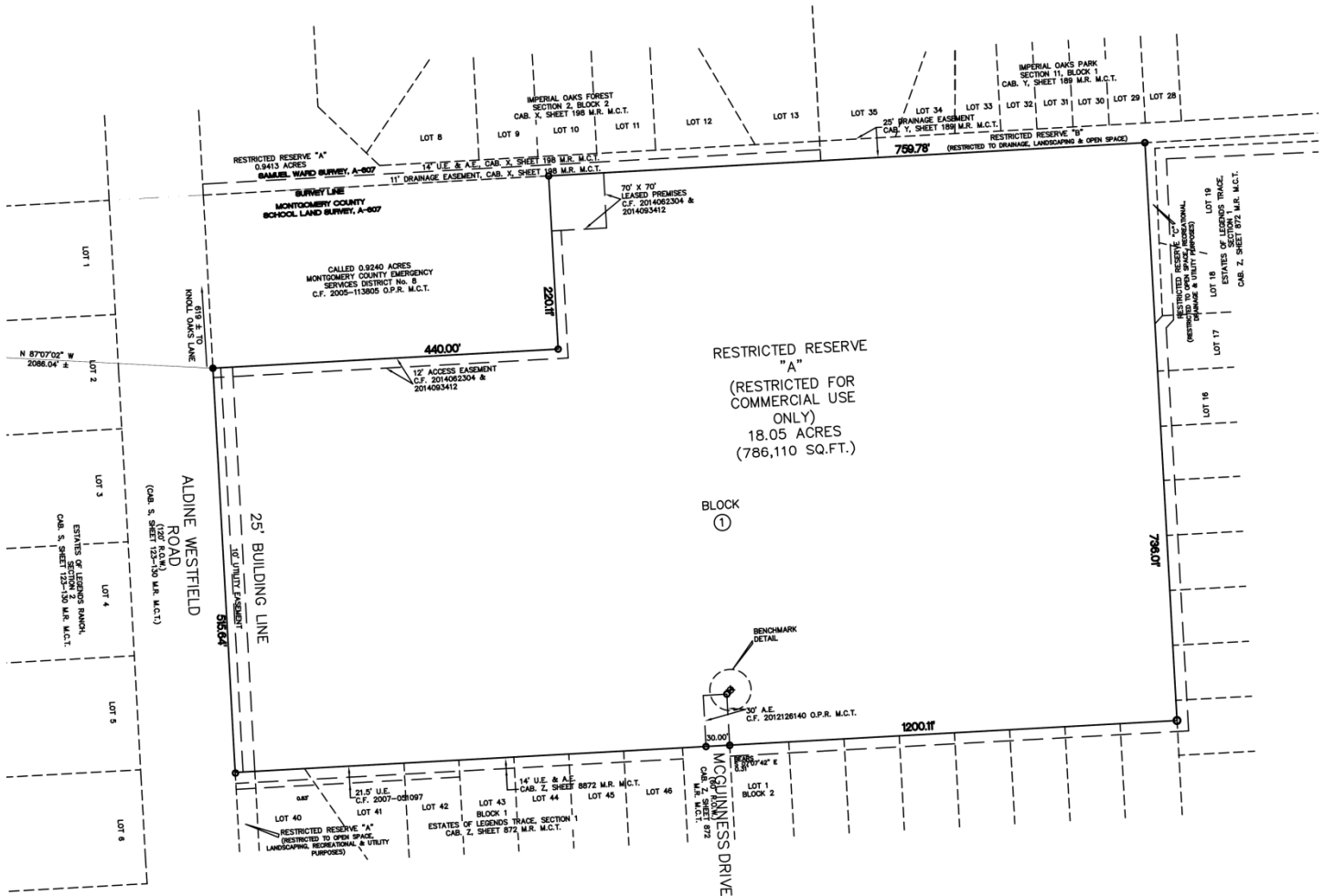
Houston Planning Commission ITEM: 119

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Aldine Westfield Business Park (DEF2)

Applicant: Town and Country Surveyors



D – Variances

Subdivision

Houston Planning Commission ITEM: 119

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Aldine Westfield Business Park (DEF2)

Applicant: Town and Country Surveyors



D – Variances

Aerial



PLANNING &
DEVELOPMENT
DEPARTMENT

VARIANCE
Request Information Form

Application Number: 2015-0581

Plat Name: Aldine Westfield Business Park

Applicant: Town and Country Surveyors

Date Submitted: 03/21/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Sec. 42-135. Street extension We would like to request a Variance not to continue McGuinness Drive. McGuinness Drive is currently a 285 feet in length and is only in the Estates of Legends Trace. At the current time it Runs North from Rose Trace Drive and serves only the McGuinness Homestead tract, which currently has access by a 30 foot wide access easement beyond McGuinness Drive. When the Commercial Tract is developed the McGuinness Homestead will have access directly to Aldine Westfield.

Chapter 42 Section: 135

Chapter 42 Reference:

Sec. 42-135. Street extension

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The configuration of the properties in the area make extending the collector impractical as it brings will bring commercial traffic into a residential subdivision.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The variance is not requested do to a hardship but because of configuration of all the tracts in the area make it impractical.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent of the ordinance is to provide traffic collection and flow but there is very little need in this area.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Not putting in a public road will not have any affect on the public health, safety or welfare. A new road will provide minimal if any additional traffic flows.

(5) Economic hardship is not the sole justification of the variance.

This Plat is being developed as a commercial tract and does not need more access than it currently has or will have with the proposed cul-de-sac.



Application Number: 2015-0581

Plat Name: Aldine Westfield Business Park

Applicant: Town and Country Surveyors

Date Submitted: 03/21/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Sec. 42-128. Intersections of Collector Streets The developer requests that no local street be required running east and west through proposed plat.

Chapter 42 Section: 128

Chapter 42 Reference:

Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet;

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The configuration of the properties in the area make putting a collector at this point unnecessary. It would not be in the interest of the public to create a public road where one is not necessary.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The variance is not requested do to a hardship it is asked for because of configuration of all the tracts in the area, and because a public road through the tract will serve no purpose.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent of the ordinance is to provide traffic collection and flow but there is very little need in this area.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Since the adjoining properties are already developed a public street through the property will not not provide any additinional access.

(5) Economic hardship is not the sole justification of the variance.

The configuration of the existing development and the surrounding properties do not justify the need for an additional collector road.



Application No: 2015-0581

Agenda Item: 119

PC Action Date: 05/28/2015

Plat Name: Aldine Westfield Business Park

Applicant: Town and Country Surveyors

Staff Recommendation: Withdraw

Chapter 42 Sections: 128; 135

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

Sec. 42-128. Intersections of Collector Streets The developer requests that no local street be required running north and south through proposed plat.;

Sec. 42-135. Street extension We would like to request a Variance not to continue McGuinness Drive. McGuinness Drive is currently a 285 feet in length and is only in the Estates of Legends Trace. At the current time it Runs North from Rose Trace Drive and serves only the McGuinness Homestead tract, which currently has access by a 30 foot wide access easement beyond McGuinness Drive. When the Commercial Tract is developed the McGuinness Homestead will have access directly to Aldine Westfield.;

Basis of Recommendation:

This item has been withdrawn by the applicant.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

N/A

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

N/A

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

N/A

(3) The intent and general purposes of this chapter will be preserved and maintained;

N/A

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

N/A

(5) Economic hardship is not the sole justification of the variance.

N/A



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 120
Action Date: 05/28/2015
Plat Name: Kubricht White
Developer: N/A
Applicant: E.I.C. Surveying Company
App No/Type: 2015-0798 C2R

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	0.4591	Total Reserve Acreage:	0.4591
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77006	493T	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Show Visibility Triangle at the corner of Smith Street and Rosalie Street per markup

Provide Dual building line and Site Visibility Plat Note: 'Any additional structures or additions must adhere to the building line and site visibility triangle as shown on this plat. In addition, if existing structure(s) is ever demolished, then any replacement structure(s) shall adhere to the building line and site visibility triangle shown on this plat.'

Coordinate with planning staff to confirm parking prior to recordation.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

PWE Traffic: No comment.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission ITEM: 120

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Kubricht White (DEF1)

Applicant: E.I.C. Surveying Company

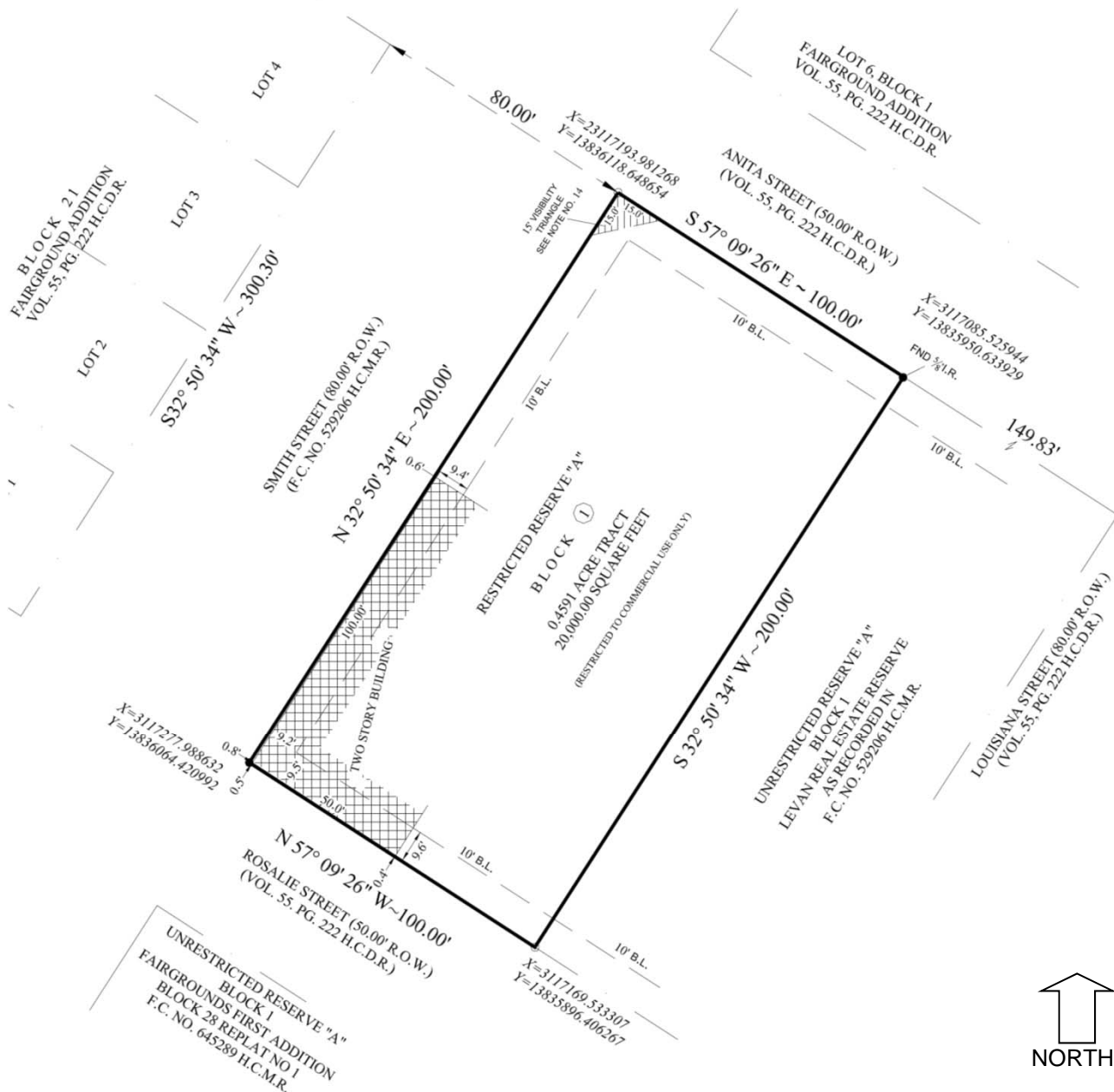


D – Variances

Site Location

Meeting Date: 05/28/2015

Applicant: E.I.C. Surveying Company



Subdivision

Houston Planning Commission ITEM: 120

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Kubricht White (DEF1)

Applicant: E.I.C. Surveying Company



D – Variances

Aerial



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0798

Plat Name: Kubricht White

Applicant: E.I.C. Surveying Company

Date Submitted: 04/17/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Not to have a Visibility Triangle at the intersection of Smith Street and Rosalie Street

Chapter 42 Section: 161

Chapter 42 Reference:

The building line for property adjacent to two intersecting streets shall not encroach into visibility triangle to assure adequate visibility sight lines for vehicular traffic approaching the intersection.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Since the existing building as placed on the ground have not caused objection from the neighbors or anyone else in the community. The owners believe that strict application would make this project infeasible due to the existence of unusual physical characteristics that effect the property in question.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The Existing building was built in 1950 and is only between 0.6'-0.8' set back from the property line along Smith Street, and 0.4-0.5' set back line along Rosalie Street. (see attached Boundary Survey) and Aerial). So the circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The Owners of the proposed subdivision will fully support the intent and general purposes of this chapter will be preserved and maintained. If the existing restaurant building ever to be demolished, any replacement structures for the restaurant shall show the 15'X15' Visibility Triangle at the intersection of Smith Street and Rosalie Street.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Since the existing building, as placed on the ground been there since 1950 have not caused objection from the neighbors or anyone else in the community. The owners believe that granting of the variance will not be injurious to the public health, safety or welfare.

(5) Economic hardship is not the sole justification of the variance.

The owners believe that this letter, the pictures, the boundary survey have proven that economic hardship is not the sole justification of the variance.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0798

Plat Name: Kubricht White

Applicant: E.I.C. Surveying Company

Date Submitted: 04/17/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Dual Building Line 0.00 feet building line where the existing building is and 10 feet building line.

Chapter 42 Section: 150

Chapter 42 Reference:

42-150 Building Line requirement: Collector and local street- Not single Family Residential- 10 feet.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The owners of the proposed subdivision Kubricht White want to build an outside elevator on their property the side of building along Lot 7 to go from the first floor to the second floor of the two story existing restaurant building that was built in 1950 on this property. It is only between 0.6'-0.8' set back from the property line along Smith Street and is only 0.4'-0.5' set back from the line along Rosalie Street (see attached Boundary survey and Aerial). Also see Levan Real Estate Reserve as recorded under Film Code # 529206 of the Map Records of Harris County and Fairgrounds First Addition Block 28 Replat no 1 as recorded under Film code #645289 of the Map Records of Harris County. For this reason strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The subdivision of Fairgrounds as recorded in Volume 55, Page 222 Harris County Deed Records and situated in O. Smith Survey, A-696. City Of Houston, Harris County, Texas was established in 1871. The building was built in 1955 and is only between 0.6'-0.8' set back from the property line along Smith Street and is only 0.4'-0.5' set back from the line along Rosalie Street (see attached Boundary survey and Aerial). For this reason the circumstances supporting the granting of the variance are not the result of hardship created or imposed by the applicant.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The owners of the proposed subdivision will fully support the intent and general purposes of this chapter will be preserved and maintained. If the existing restaurant building ever to be demolished, any replacement structures for the restaurant shall adhere to the 10' building line along Smith Street and Anita Street and Rosalie Street.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Since the existing building was built in 1950, as placed on the ground have not caused objection from the neighbors or anyone else in the community. The owners of the proposed subdivision Damian believe that granting of the variance will not be injurious to the public health, safety or welfare.

(5) Economic hardship is not the sole justification of the variance.

This letter, the pictures, the boundary survey attached that the current owners found themselves at no fault of their own have proven that economic hardship is not the sole justification for granting the variance.



Application No: 2015-0798

Agenda Item: 120

PC Action Date: 05/28/2015

Plat Name: Kubricht White

Applicant: E.I.C. Surveying Company

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 161; 150

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

Not to have a Visibility Triangle at the intersection of Smith Street and Rosalie Street;
Dual Building Line 0.00 feet building line where the existing building is and 10 feet building line.;

Basis of Recommendation:

The site is located in Midtown, along Smith Street between Rosalie Street and Anita Street. The applicant is requesting two variances, 1) not to have a Visibility Triangle at the intersection of Smith Street and Rosalie Street, and 2) to allow a dual building line along Smith Street and Rosalie Street, for the existing structure (Damien's). Staff is in support of both variances for the life of the existing structure only.

The applicant is proposing to construct an elevator along the building's northern façade, which will not result in any further encroachment into the property line. The main structure was built in 1950 and predates the ordinance. Since this is an existing condition, staff is in support of the both variances for the life of the existing structure only. If the structure is ever demolished, any replacement must adhere to all building lines and visibility triangles as shown of the plat.

Certificates of Occupancy have been issued for both floors (total of 10,000 sq. ft.) as early as 1991 and that the proposed elevator will replace 2 striped spaces. These 2 spaces have to be accounted for/relocated, and as a whole the parking must conform to the ordinance requirements. Staff will be working with the applicant to confirm the parking prior to the recordation of this plat.

Staff recommends the Planning Commission grant the variances to allow the existing structure to encroach into the 10' building lines and visibility triangle along Smith Street and Rosalie Street, and approve the plat subject to the CPC 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The applicant is proposing to construct an elevator along the building's northern façade, which will not result in any further encroachment into the property line. The main structure was built in 1950 and predates the ordinance. Since this is an existing condition, staff is in support of the both variances for the life of the existing structure only. If the structure is ever demolished, any replacement must adhere to all building lines and visibility triangles as shown of the plat.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The main structure was built in 1950 and predates the ordinance. Since this is an existing condition, staff is in support of the both variances for the life of the existing structure only

(3) The intent and general purposes of this chapter will be preserved and maintained;

Since this is an existing condition, staff is in support of the both variances for the life of the existing structure only. If the structure is ever demolished, any replacement must adhere to all building lines and visibility triangles as shown of the plat.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The main structure was built in 1950 and predates the ordinance. Staff is in support of the both variances for the life of the existing structure only. If the structure is ever demolished, any replacement must adhere to all building lines and visibility triangles as shown of the plat. The applicant is proposing to construct an elevator along the building's northern façade, which will not result in any further encroachment into the property line.

(5) Economic hardship is not the sole justification of the variance.

The existing structure was built in 1950 and predates the ordinance.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 121
Action Date: 05/28/2015
Plat Name: Polk Avenue Landing
Developer: Cityside Homes, LLC
Applicant: Total Surveyors, Inc.
App No/Type: 2015-1034 C2

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	0.8138	Total Reserve Acreage:	0.0157
Number of Lots:	19	Number of Multifamily Units:	0
COH Park Sector:	11	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77003	494S	City

Conditions and Requirements for Approval

047. Make minor corrections and additions as indicated on the marked file copy.

049.2. Subdivision plat must include State Plane Coordinates in NAD 83; and NAVD 1988 with 2001 adjustment.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

059.1. Acreage in title and on plat must match at recordation.

060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 121
Action Date: 05/28/2015
Plat Name: Polk Avenue Landing
Developer: Cityside Homes, LLC
Applicant: Total Surveyors, Inc.
App No/Type: 2015-1034 C2

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Provide 3" caliper street trees along Polk Avenue and Velasco Street pursuant to Chapter 33 splices and space requirements.

Provide a 6' side walk along Polk Avenue and a 6' side walk connect the proposed 1 shared driveway with the bike trail as indicated on the marked file copy.

Provide semi-opaque iron fence along Polk Avenue and Velasco Street.

On Lot 1 and Lot 19, provide a door facing Washington Avenue and a pedestrian walkway is required to connect the door and the pedestrian gate as indicated on the site plan.

The minimum width of Reserve C is 10'.

Address the d center point note.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION IS REQUIRED AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION

PWE Traffic: No comment.

Parks and Recreation: To be corrected on the general notes on face of plat: This property(s) is located in Park Sector number 11. 2) The then-current fee in lieu of dedication shall be applied to this number (19 units) of dwelling units.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 121

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Polk Avenue Landing

Applicant: Total Surveyors, Inc.



D – Variances

Site Location

Houston Planning Commission

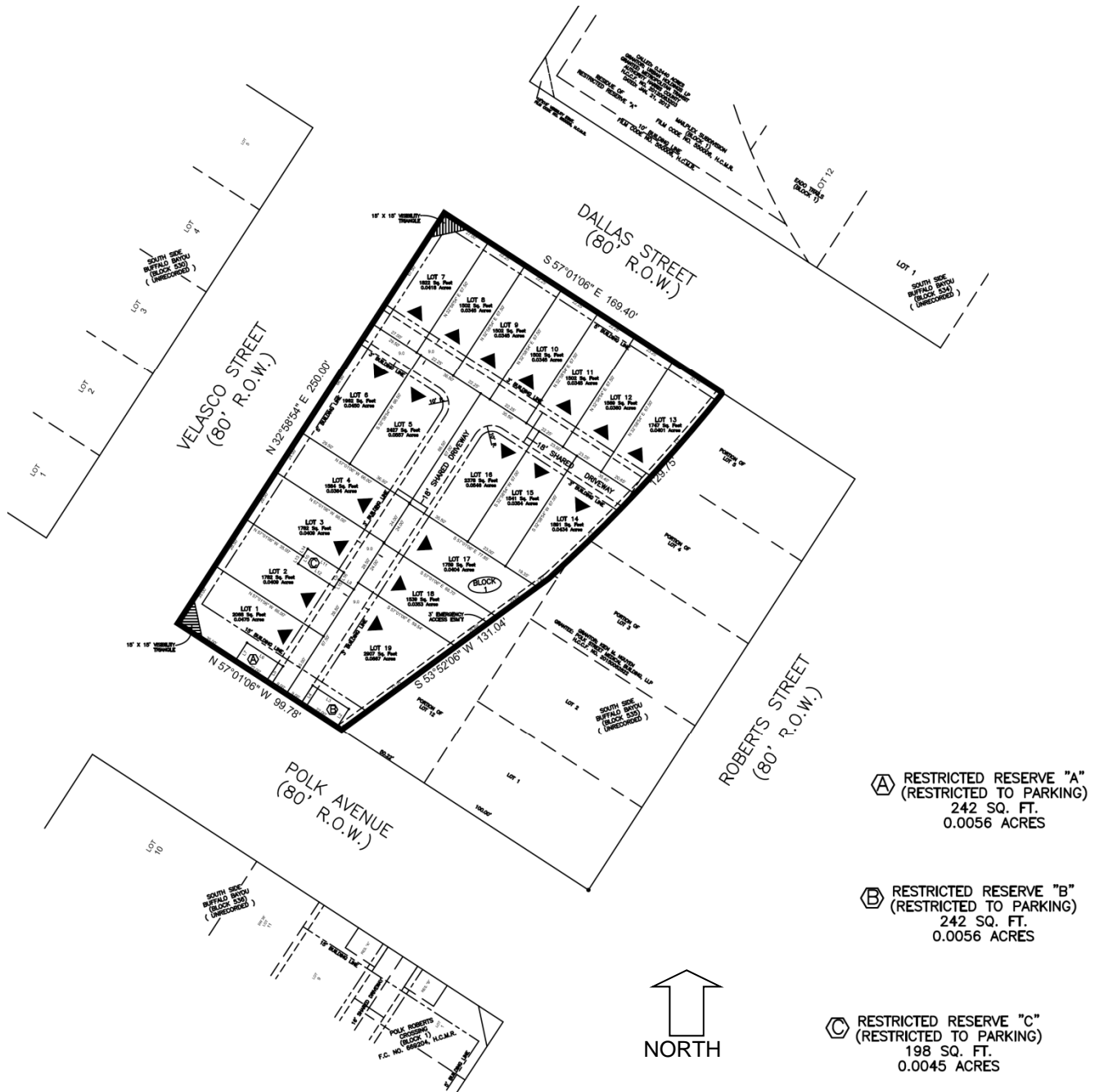
ITEM: 121

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Polk Avenue Landing

Applicant: Total Surveyors, Inc.



D – Variances

Subdivision

Houston Planning Commission

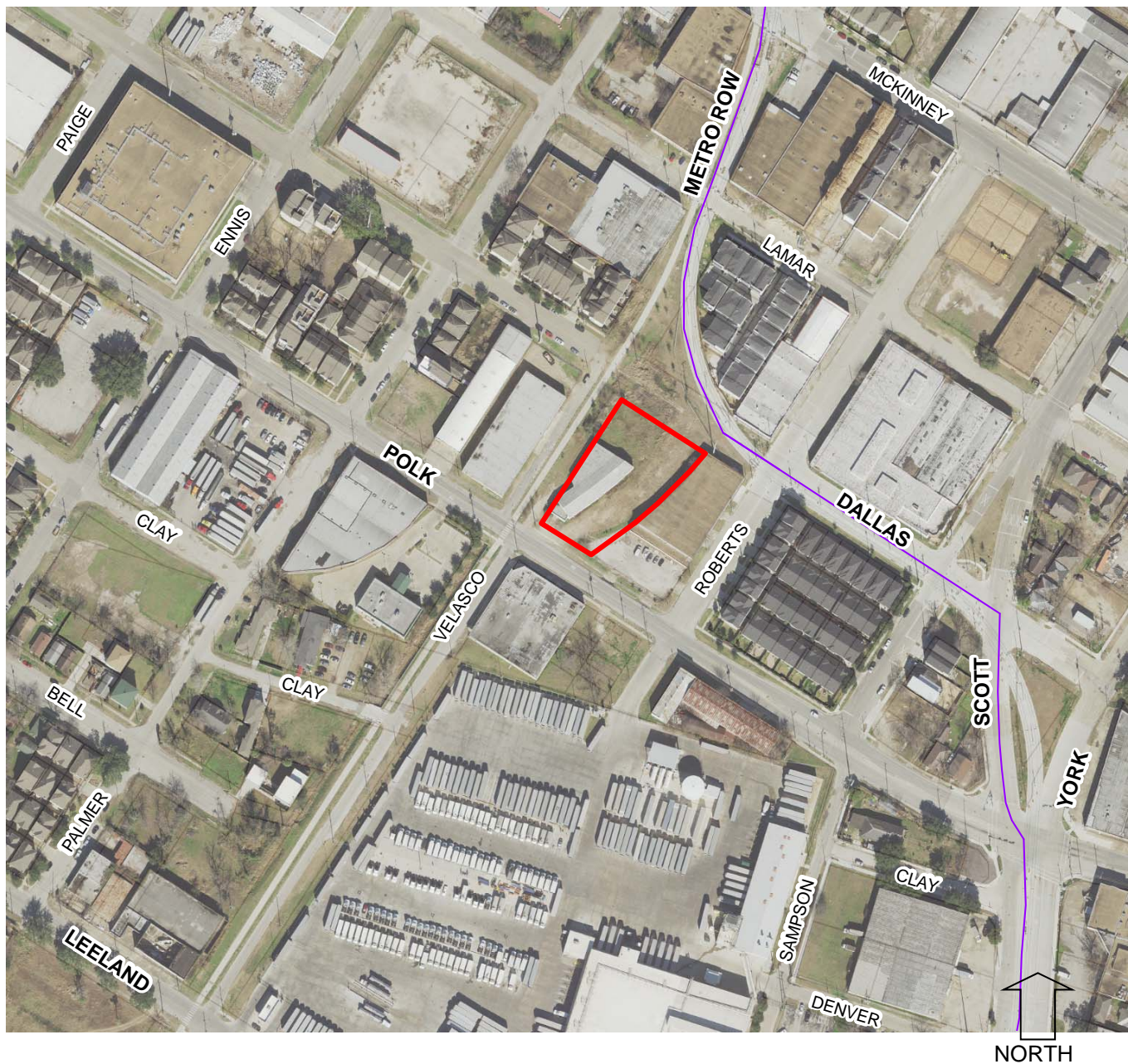
ITEM: 121

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Polk Avenue Landing

Applicant: Total Surveyors, Inc.



D – Variances

Aerial



10778 VINECREST
DRIVE SUITE 101
HOUSTON, TX 77066
PH. 281-569-8816

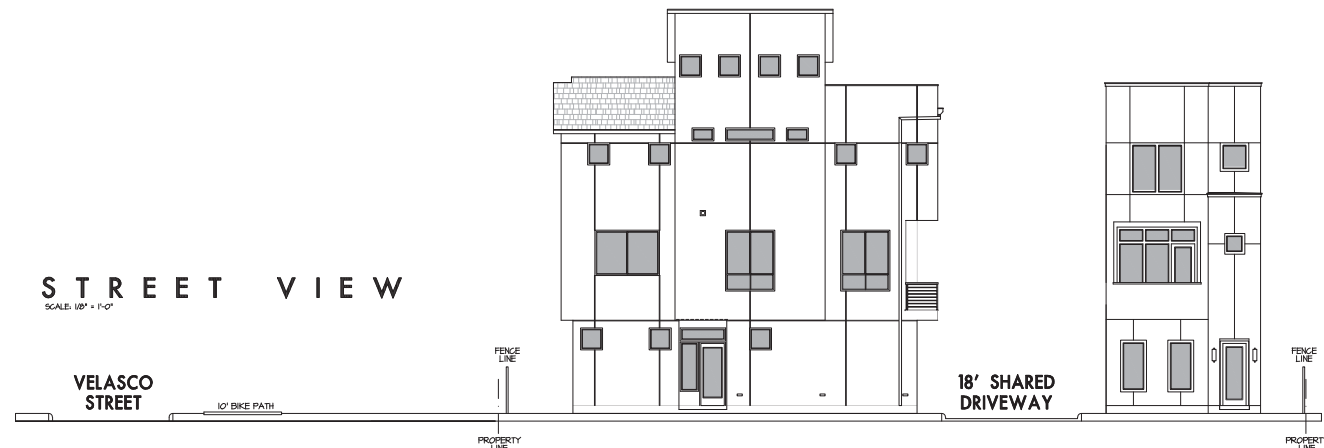
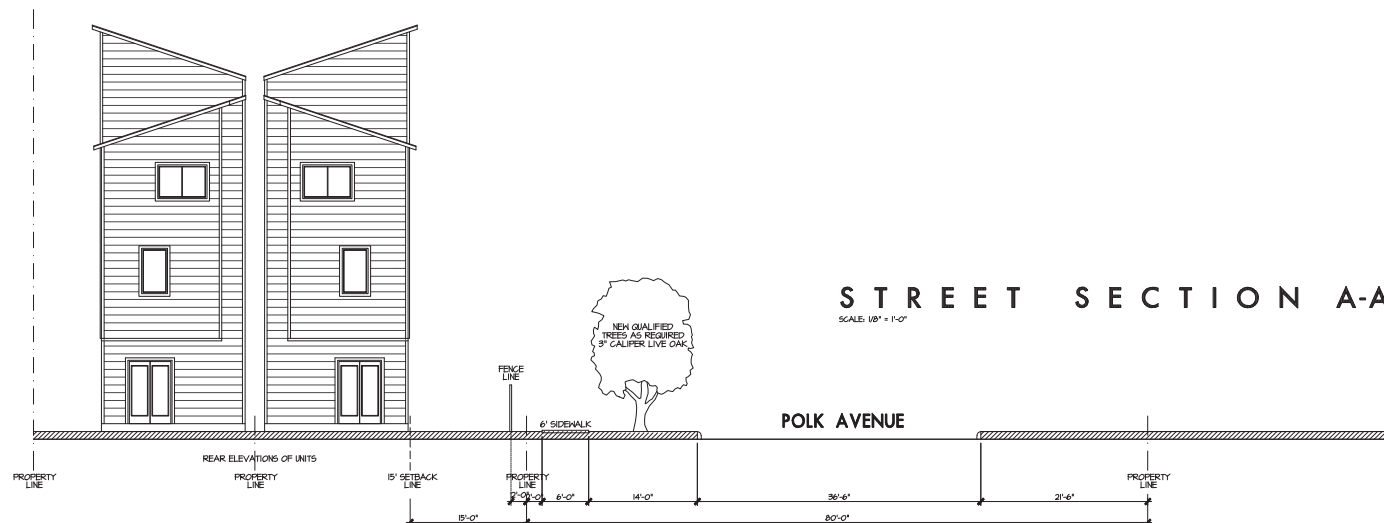
CITYDESIGN
LAND PLANNING RESIDENTIAL DESIGN
WEBSITE: DWELLEDDESIGNED.COM



ECITYSIDE HOMES
LOT: 2 BLOCK: 2 LUCILLE PLACE
1603 NEVADA STREET
PROJECT FILE: E:\CAD DWG FILES\2015 DRAWING FILES\U020-CPOLK\U020-CPOLK-SITE

B020

PLOT DATE:
27-May-15
REVIEW SET
SAVE DATE
27-May-15
PLAN #
8020-CS-POLK-SITE
A2.1
1 OF 2



3D REPRESENTATION OF PROPOSED UNITS

STATUS:	
START	5/2/15
SCHEMATIC	
PERMITTING	
CONSTRUCTION	
POST-CONSTRUCTION	
DEED RESTRICTIONS:	
NO	
HEIGHT	FRONT REAR SIDES
15'	15' 15' 15'
REVISIONS:	
NO	
ENGINEER:	
NAME	
EXPIRATION	1-01-01-01-01-01
REVISED	
PERMIT:	
NUMBER	01
EXPIRATION	01-01-01-01-01-01
REDRAW OF:	
NO	

10778 VINECREST
DRIVE SUITE 101
HOUSTON, TX 77066
PH. 281-569-8816

CITYDESIGN
LAND PLANNING RESIDENTIAL DESIGN
WEBSITE: DWELDESIGNED.COM



CITYSIDE HOMES
LOT: 2 BLOCK: 2 LUCILLE PLACE
1603 NEVADA STREET
PROJECT FILE: E:\ACAD DWG RES\2015 DRAWING RES\B020-CS-POLK-SITE

B020

PLOT DATE:	
27-May-15	
REVIEW SET	
SAVE DATE	
27-May-15	
PLAN #	
B020-CS-POLK-SITE	
A2.2	
2 OF 2	



Application Number: 2015-1034

Plat Name: Polk Avenue Landing

Applicant: Total Surveyors, Inc.

Date Submitted: 05/17/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a 15 foot building line, along a major throughfare, for the subject property.

Chapter 42 Section: 42-152

Chapter 42 Reference:

(a) The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This tract of land is located within the South Side of Buffalo Bayou, an unrecorded subdivision that is original to initial layout of the City of Houston. At that time the streets surrounding this site were created with 80 foot wide right-of-ways. The subject tract of land is located along the northerly right-of-way line of Polk Avenue, and is currently vacant, with multiple commercial buildings on each side built out to the right-of-way line of Polk Avenue. The proposed homes, adjacent to Polk Avenue would sit approximately 36 feet from the existing back of curb line of the travel lanes of Polk Avenue. All of the homes along Polk Avenue will take vehicular access from a Shared Driveway and the homes along Polk will have the front doors facing Polk Avenue. With the required 25' building line the new homes would be set back 46 feet from the existing curb line and that is extremely inconsistent with the development pattern that the City of Houston has promoted along Polk Avenue. By allowing the 15' building line the proposed houses would be set approximately 36 feet from the curb line of Polk Avenue and would continue the pedestrian friendly atmosphere currently being developed along Polk Avenue. There have been multiple projects approved with various building lines, from 5' to 15', along Polk Avenue, many of which were approved without a variance. This particular development will create three on-site parking spaces within its limits. The proposed subdivision is located in middle of an area that is quickly transitioning to high density residential developments. By allowing a 15' building line, it would keep this proposed site consistent with the development pattern currently established along Polk Avenue. All of the residences would take vehicular access from a shared driveway from Polk Avenue and the fronting units would take front door pedestrian access from Polk Street. To promote a pedestrian friendly environment the developer intends to install 6' sidewalks, lush landscaping, larger caliper trees and iron fencing surrounding the project. By installing the upgraded landscaping, fencing and pedestrian improvements combined with the front elevation of the proposed homes, this block face would continue to improve the look and feel of the current redevelopment in the East Downtown area.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The pattern of development was established several years prior to this developer owning the site. This variance request is based on the development pattern surrounding this site and the desire to be consistent with the nearby developments.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and purposes of Chapter 42 include the establishment of building setbacks appropriate to an area and situation, recognizing the differences in design framework of various areas, encouraging the efficiency of land development patterns. The 15' building line proposed for this property is consistent with all of these purposes.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The variance will not be injurious to public health, safety or welfare. The vehicular access to the proposed homes will be from an internal shared driveway system, accessing Polk Street. This will promote safe pedestrian use of the sidewalks along Polk Avenue, by limiting the number of driveway crossings.

(5) Economic hardship is not the sole justification of the variance.

The justification of this variance is to obtain approval through the planning commission of a desirable residential project consistent with the character and circumstances of its surroundings. The existing conditions and structures surrounding the property are the justification of the variance.



Application Number: 2015-1034

Plat Name: Polk Avenue Landing

Applicant: Total Surveyors, Inc.

Date Submitted: 05/17/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a shared driveway in excess of 200 feet, for the subject property.

Chapter 42 Section: 42-145(a)(2)

Chapter 42 Reference:

The total length of the shared driveway shall be 200 feet or less as measured along the centerline of the shared driveway starting from the intersection with the public street.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This tract of land is located within the South Side of Buffalo Bayou, an unrecorded subdivision that is original to initial layout of the City of Houston. At that time the streets surrounding this site were created with 80 foot wide right-of-ways. There are three public right-of-ways surrounding this site. On the north is Dallas Street, which is an unimproved right-of-way for a portion of the frontage, but also has a portion of the East Houston transit railway within it. This makes the improvement of the roadway impractical due to the fact that there is no way to provide a full width paving section with a turnaround in it. On the west is Velasco Street, which does have a 16' wide asphalt street on the far west side of the right-of-way. Between the subject tract and the existing asphalt street lies a 10' wide concrete hike and bike trail that is surrounded by metal bollards, which limits the ability for vehicular access. And on the south side of the project lies Polk Street, which is improved with a 36.5' wide asphalt street. The project will take vehicular access entirely from this public right-of-way. This site is unique in the fact that it is surrounded by multiple right-of-ways, but only one point of true access. The shared driveway from Polk Street is approximately 182.5' long, to its intersection with a shared driveway from Velasco Street that is approximately 156.5' long. Under normal circumstances, based on the pattern of developed streets near this project, this project would not require a variance. But due to the fact that there is a hike and bike trail limiting the access to the paving section in Velasco Street, we must request a variance for this development. A major determining factor in the length of a shared driveway is the ability to fight a fire. This site does have two fire hydrants located in close proximity. There is a fire hydrant along Polk Avenue across the street from the shared driveway entrance, well within 100 feet. This would allow a fire truck to hook on by hose and provide adequate fire protection to the site. Secondly there is another fire hydrant at the intersection of Velasco Street and Dallas Street. Although we do not have the ability to take vehicular access from Velasco Street, we do propose to install a 911 gate at the end of the shared driveway, at its termination with Velasco Street. This would give the ability to fight any fire from this direction as well. We also propose to install a pe

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The pattern of street development that was established many years ago, combined with the construction of the light rail system, within the Dallas Street right-of-way has created the hardships for this tract. This variance request is based on the fact that there is only one true point of vehicular access, being Polk Street.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and purposes of Chapter 42 will be preserved and maintained through the ability to adequately fight any fires, as well as preserve the Public Safety.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The variance will not be injurious to public health, safety or welfare. Through the close proximity of the existing fire hydrants and the installation of a 911 gate, the public safety and welfare will be maintained at all times.

(5) Economic hardship is not the sole justification of the variance.

The justification of this variance is to obtain approval through the planning commission of a desirable residential project consistent with the character and circumstances of its surroundings. The existing conditions and structures surrounding the property are the justification of the variance.



Application No: 2015-1034

Agenda Item: 121

PC Action Date: 05/28/2015

Plat Name: Polk Avenue Landing

Applicant: Total Surveyors, Inc.

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 42-152 ; 42-145(a)(2)

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To allow a 15 foot building line, along a major throughfare, for the subject property.;

To allow a shared driveway in excess of 200 feet, for the subject property.;

Basis of Recommendation:

The site is located east of Velasco Street, north of Polk Avenue and south of Dallas Street. The applicant requests two variances: 1. to allow a 15' building line along Major Thoroughfare Polk Avenue; 2. to allow the proposed shared driveway longer than 200'. Staff supports both of the requested variances.

The site is located adjacent to three public streets, Polk, Velasco and Dallas. Polk Avenue is an 80' Major Thoroughfare. The applicant proposes to develop a shared driveway project with 19 lots. The current paving section on Polk Avenue is about 36'. The distance between the back of curb and the property line is about 21'. Should the Commission grant the requested variance there will be approximately 36' from the back of curb to the proposed residential structures. The applicant will accommodate a 6' sidewalk and landscape improvement along the major thoroughfare. Granting of the requested variance will allow for an enhanced pedestrian environment along the major thoroughfare.

Even though the site has frontage on three public street, the only practical access to the site is from Polk Avenue. Velasco Street is an 80' public right-of-way with a 10' wide hike and bike trail adjacent to the subject property. It would be unsafe to have the proposed shared driveway to cross the bike trail to access Velasco Street. Dallas Street is an 80' public right-of-way as well. However, Dallas Street east of Velasco Street is an unimproved right-of-way with East Houston transit railway within it. With this unique condition, it is impractical to have the proposed shared driveway take access from Dallas Street. Considering the unusual physical characteristics surrounding the tract, strict application of the ordinance will create an impractical development on the site.

Therefore, staff recommends granting both of the requested variances and approving the plat subject to CPC 101 Form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Even though the site has frontage on three public street, the only practical access to the site is from Polk Avenue. Velasco Street is an 80' public right-of-way with a 10' wide hike and bike trail adjacent to the subject property. It would be unsafe to have the proposed shared driveway to cross the bike trail to access Velasco Street. Dallas Street is an 80' public right-of-way as well. However, Dallas Street east of Velasco Street is an unimproved right-of-way with East Houston transit railway within it. With this unique condition, it is impractical to have the proposed shared driveway take access from Dallas Street. Considering the unusual physical characteristics surrounding the tract, strict application of the ordinance will create an impractical development on the site.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The main justification for granting the requested variances are based on the unusual physical characteristics surrounding the tract.

(3) The intent and general purposes of this chapter will be preserved and maintained;

.Should the Commission grant the requested variance there will be approximately 36' from the back of curb to the proposed residential structures. The applicant will accommodate a 6' sidewalk and landscape improvement along the major thoroughfare. Granting of the requested variance will allow for an enhanced pedestrian environment along the major thoroughfare.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare.

(5) Economic hardship is not the sole justification of the variance.

The main justification for granting the requested variances are based on the unusual physical characteristics surrounding the tract.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 122
Action Date: 05/28/2015
Plat Name: Rosine Gardens
Developer: Sandcastle Homes, Inc.
Applicant: The Interfield Group
App No/Type: 2015-0659 C2

Staff Recommendation:
Deny the requested
variance(s) and
Disapprove the plat

Total Acreage:	1.2100	Total Reserve Acreage:	0.0000
Number of Lots:	21	Number of Multifamily Units:	0
COH Park Sector:	14	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77019	492M	City

Conditions and Requirements for Approval

012.2.As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution. Coordinate utility easements with CenterPoint Energy and provide a letter of support.

146. Provide 7.5' widening for Rosine Street and Identify, dimension and provide square footage for all right-of-way dedications. "xx s.f. are hereby dedicated to the public for right-of-way purposes.

206. Staff recommendation is disapproval for the following reasons.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

PWE Utility Analysis: A wastewater capacity reservation letter is required for replat.

CenterPoint: As required by law, safe working and permanent clearances are to be maintained. The proposed development would not meet said clearances as indicated on the proposed plat and developer/applicant must coordinate with CenterPoint Energy for adherence and resolution.

City Engineer: DETENTION IS REQUIRED

AND NEED 7.5' STREET DEDICATION ON ROSINE ST.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

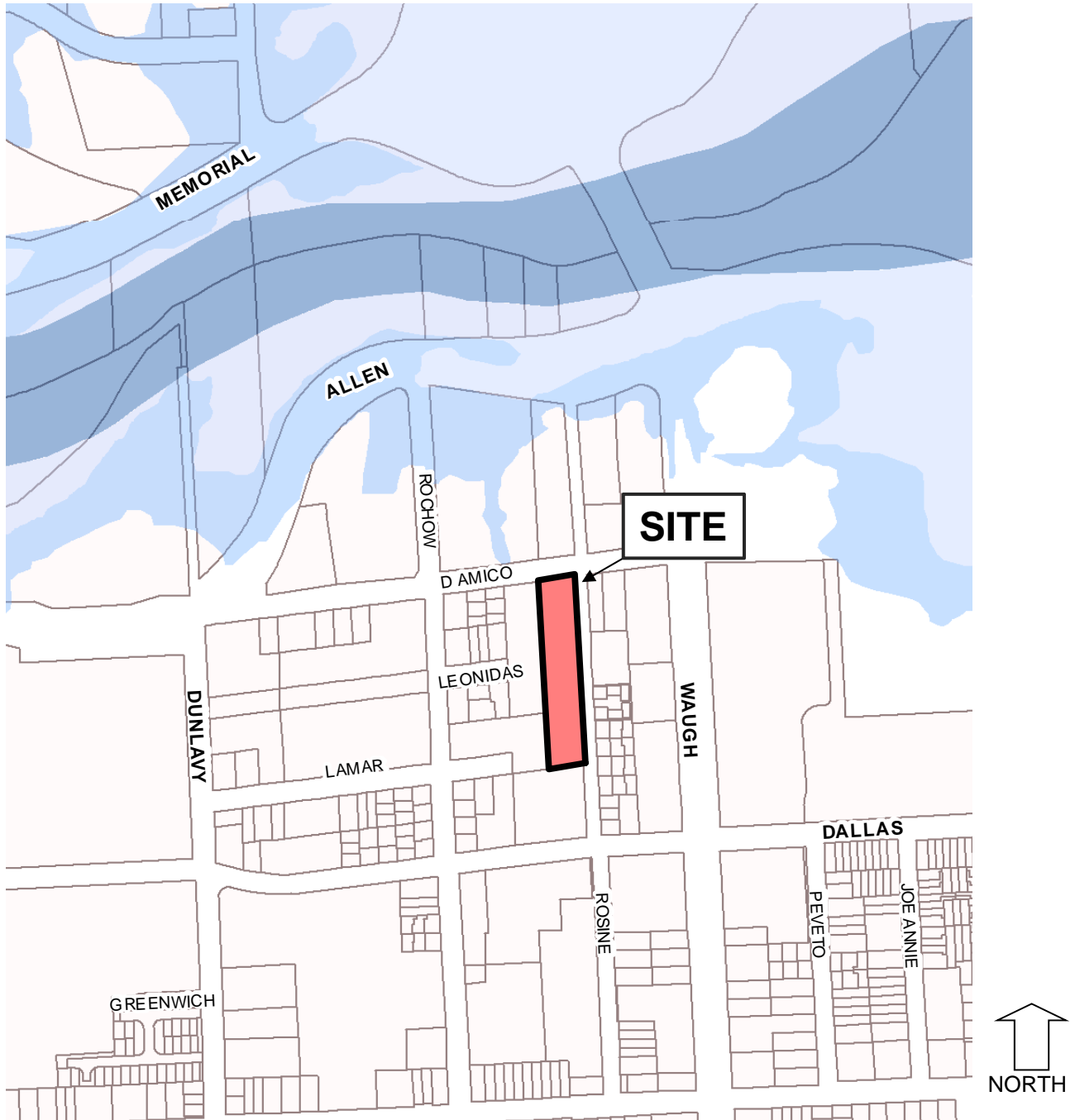
Houston Planning Commission ITEM: 122

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Rosine Gardens (DEF1)

Applicant: The Interfield Group

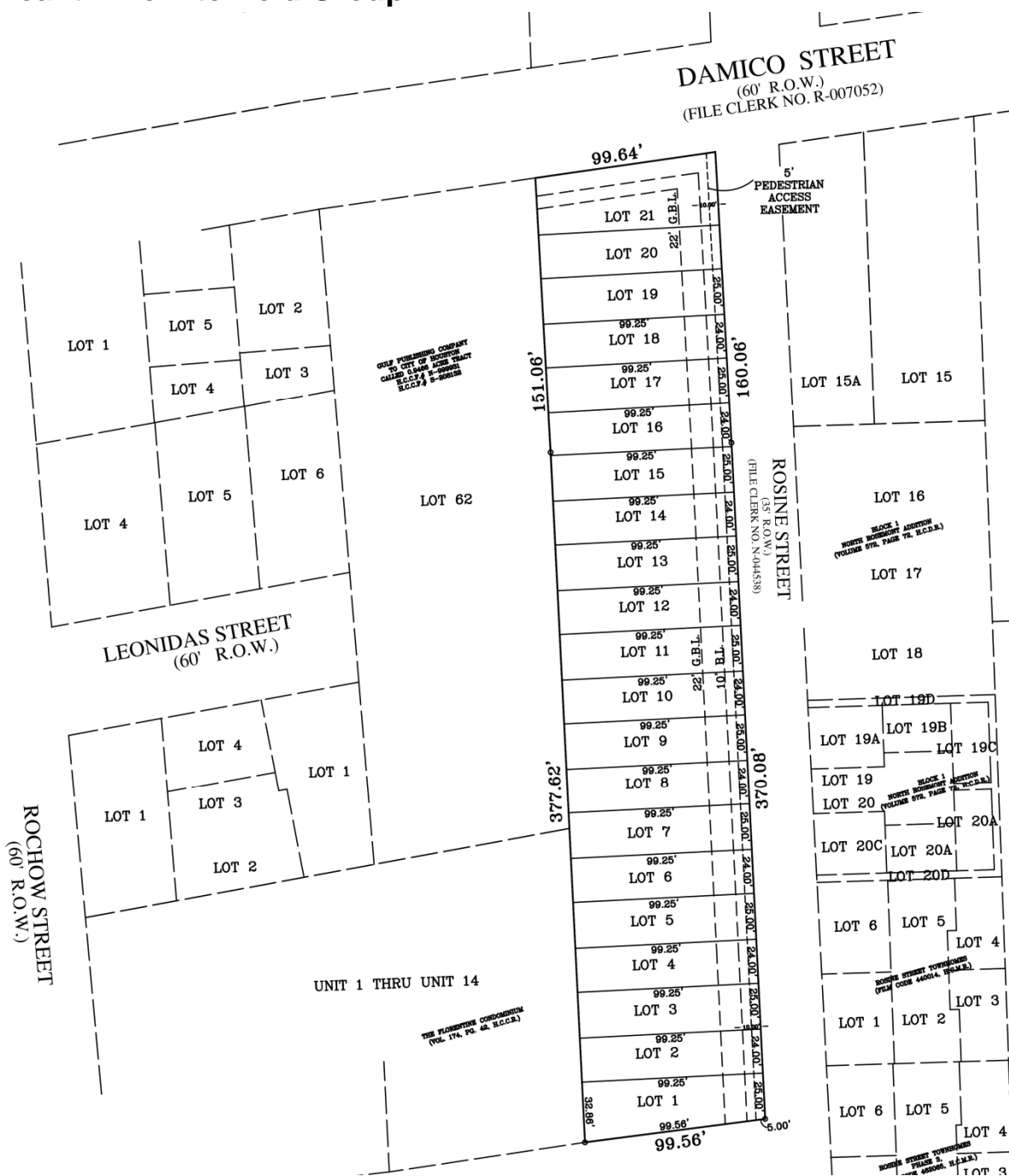


D – Variances

Site Location

Meeting Date: 05/14/2015

Applicant: The Interfield Group



Subdivision

Houston Planning Commission

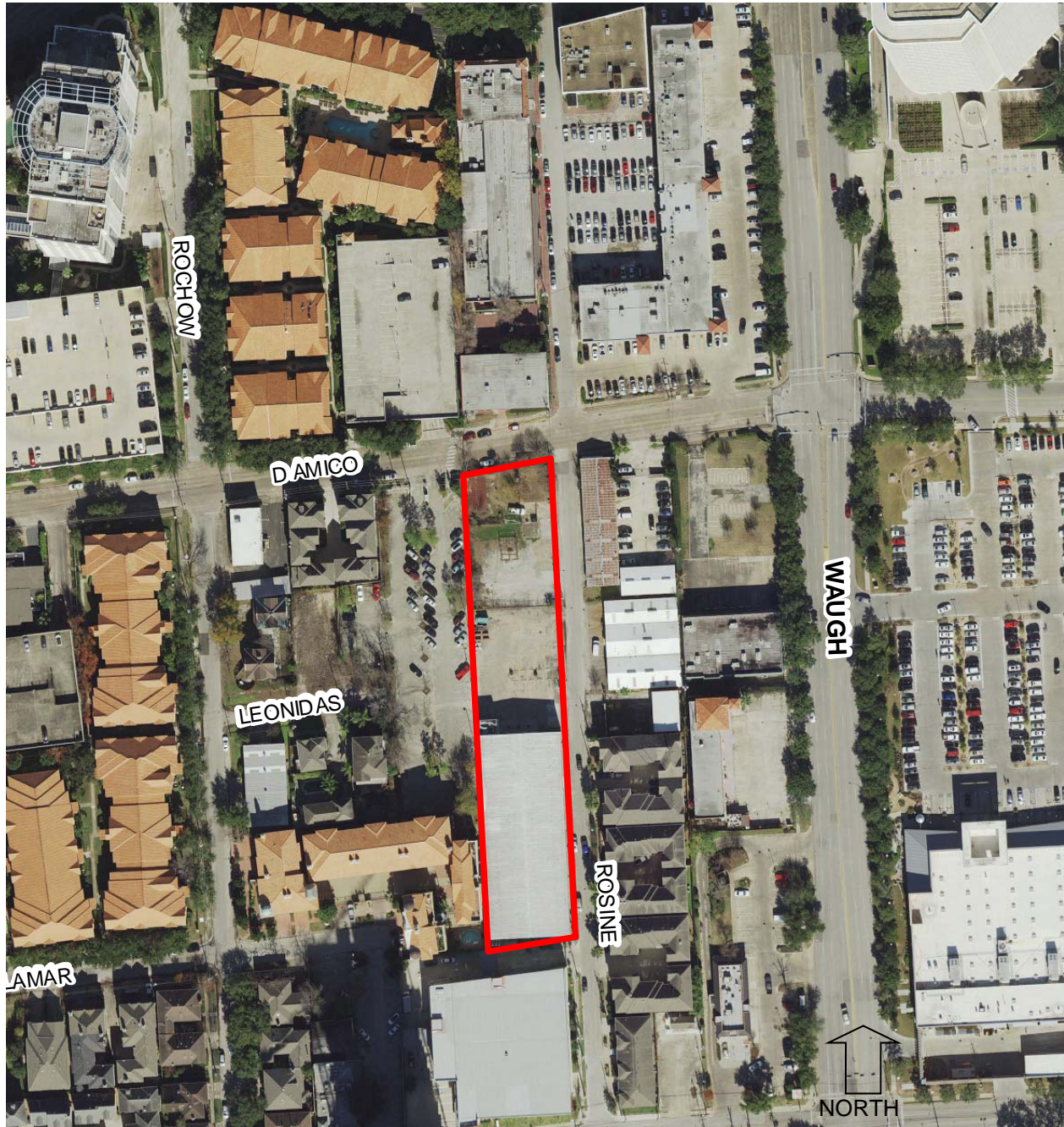
ITEM: 142

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Rosine Gardens (DEF1)

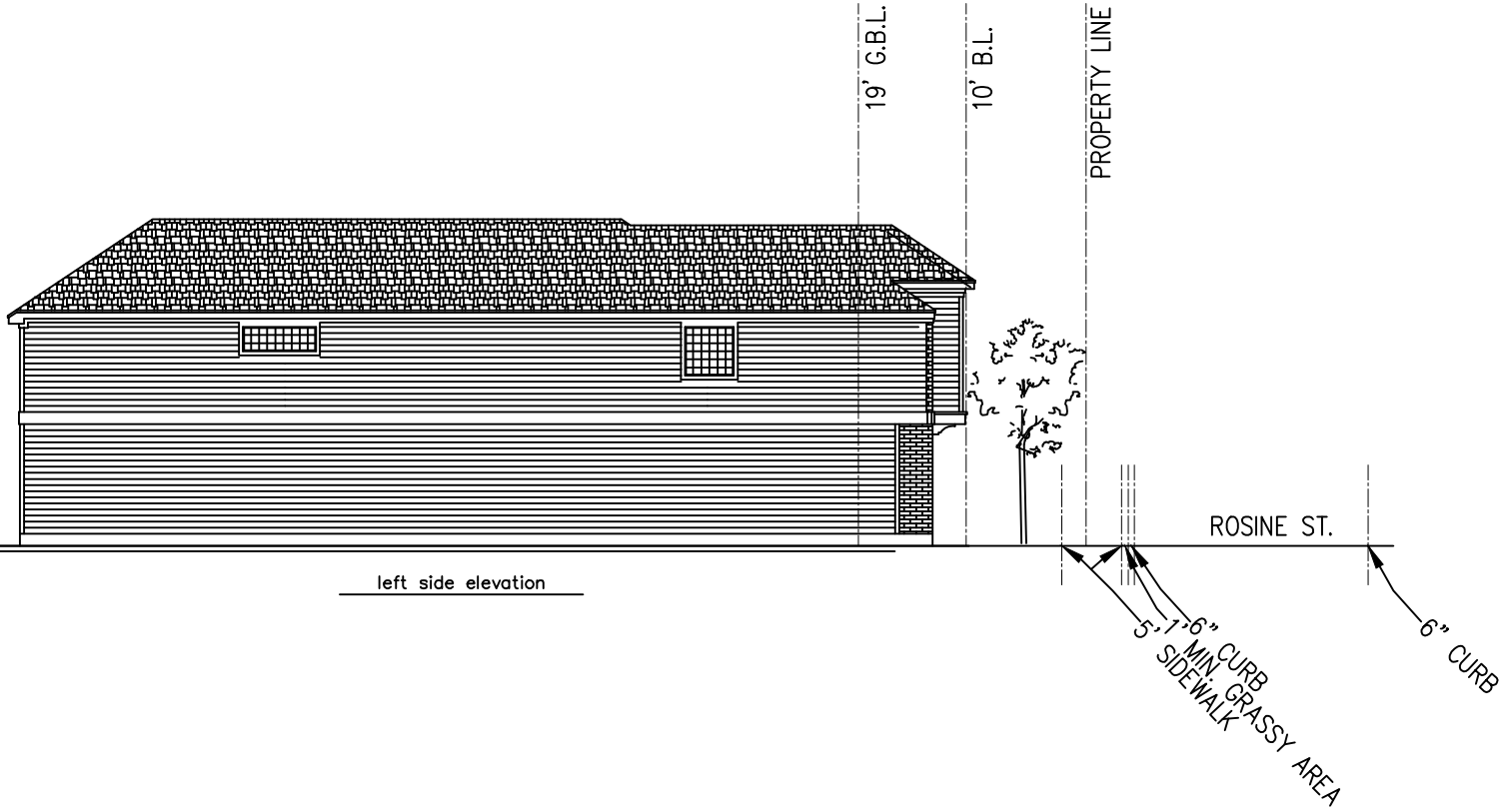
Applicant: The Interfield Group



D – Variances

Aerial

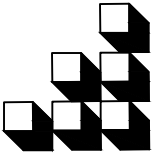
A ROSINE ST. LEFT ELEVATION
SCALE: 1/16"=1'-0"



THE INTERFIELD GROUP
ARCHITECTURE / PLANNING / ENGINEERING

401 STUDEWOOD, SUITE 300
HOUSTON, TEXAS 77007

TEL. (713) 780-0909
TBAE REG. NO. F-5611
TBAE REG. NO. BR741



TITLE
PROPOSED ELEVATIONS

PROJECT
800 ROSINE

DATE: 04/03/15 JOB #: 15024.00

DRAWN BY: OG

CHECKED BY: MFQ

SHEET NO.

SK3



PLANNING & DEVELOPMENT DEPARTMENT

VARIANCE Request Information Form

Application Number: 2015-0659

Plat Name: Rosine Gardens

Applicant: The Interfield Group

Date Submitted: 03/23/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Specific variance is being sought and extent to allow no street widening dedication along Rosine Street.

Chapter 42 Section: 122

Chapter 42 Reference:

42-122 – Right-of-Way Widths – Local Streets Local streets (1) 50 feet if adjacent to exclusively single-family residential lots; or

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Rosine Gardens is located west of Rosine Street, south of Damico Street, east of Rochow Street, north of West Dallas Street. Chapter 42 requires a residential development to front on a 50' right-of-way. In the case of Rosine Patio Homes, the right-of-way of Rosine Street appears to be a recorded as 35'; therefore, owner is required to dedicate one-half the land needed for the right-of-way. In 2000, Rosine Street Townhomes Phase 3, recorded in Harris County Film Code No. 462065, identified Rosine Street as a 60' right-of-way and did not dedicate any of the land needed for street widening purposes. In 2000, Rosine Street Townhomes, recorded in Harris County Film Code No. 440014, identified Rosine Street as a 60' right-of-way and did not dedicate any of the land needed for street widening purposes. Tracts of land north of Rosine Street Townhomes are identified out of North Rosement Addition, and not out of a recent platted subdivision, nor does it appear that any additional right-of-way dedication was provided, in addition to the right-of-way dedication shown in the map of North Rosement Addition, recorded in Volume 572, Page 72 of the Harris County Deed Records. According to the recent survey of subject tract, the front property lines of these lots appear to line up with those of Rosine Street Townhomes to the south. These developments were recently constructed. While life expectancy of a home depends on the quality of construction, there are many known structures that have held up well over the typical life expectancy of a home. Typical industry standards, is to design a home with a life expectancy of a minimum of 50 years. With this said, it is highly unlikely that these recent developments will be re-platted and provide the needed right-of-way for street widening purposes. There would also be the possibility that the land would not be re-platted, with any new construction being built on existing lots. Rosine Gardens will be an asset to the area. It will provide newly constructed residences with adequate landscaping and a new 5-foot sidewalk located within a dedicated sidewalk easement along the front property line. The garage opening of each unit will be setback 22 feet, so as to avoid any cars blocking the sidewalk. This most likely will enhance the pedestrian experience for new and existing nearby residents. We are of the opinion that it would be in the public's interest to have the option of a more family-friendly 2-st

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

No hardship created or imposed by the applicant is used as a basis to support the request for this variance. Variance request is based on factors of nearby surrounding developments, and to be consistent with land use in immediate adjacent properties.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purpose of Chapter 42 will be preserved and maintained, due to the following considerations: a. Proposed development will include a new 5-foot sidewalk located within a dedicated sidewalk easement along the front

property line of Rosine Street. b. Development will be landscaped and will preserve and enhance the general character of the community

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare. Development will enhance public welfare, without any way compromising public health or safety.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance, which is being requested on the basis of a reasonable assessment of prior and nearby prevailing conditions.



Application No: 2015-0659

Agenda Item: 122

PC Action Date: 05/28/2015

Plat Name: Rosine Gardens

Applicant: The Interfield Group

Staff Recommendation: Deny the requested variance(s) and Disapprove the plat

Chapter 42 Sections: 122

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

Specific variance is being sought and extent to allow no street widening dedication along Rosine Street.;

Basis of Recommendation:

The site is located south of Allen Parkway between Dunlavy and Waugh Drive. The applicant is requesting a variance to not provide the required 7.5' of right-of-way widening for Rosine Street. Staff is not in support of the variance. The applicant is proposing 21 single family lots to have direct driveway access to Rosine Street, resulting in 21 driveways along this narrow street.

Rosine Street is a north-South Street between Clay and Allen Parkway. This project lies between W Dallas and Damico Streets. In this block of Rosine, there is commercial and residential development. The planning commission had previously granted a variance for the property south of the proposed plat- Bullseye Storage for allowing 5' ROW widening instead of the 7.5' required.

At the past two commission meetings, several citizens raised their opposition to this project. The majority of them related to the narrow paving section and the lack of sidewalk along Rosine Street. Pictures on the screen show pedestrians walking on the street.

Due to the sub-standard paving section there is no room for traffic to move due to bottle neck during trash collection days. Staff would like to show the commission the existing condition on Rosine Street. There are currently 21- 3 story townhomes on the east side of the street.

The current sub-standard paving section varies from 19' to the south and 22' to the north. The on street parking is limited along the west side of the street and is restricted between 4PM- 7PM. 13 of these on-street parking spaces will be lost with this development.

Applicant's justification for this project is solely based on economic hardship. As presented at the last PC, the developer intends to redevelop this 3 acre site as 21 two story townhomes.

Staff collected some pictures of the two story townhomes from the developer's website and believes that there is not much difference in height or character of a two story townhome vs a three story structure.

Moreover, the character of the existing street is already set by the townhomes development across the street which is three stories.

Allowing the addition of 21 continuous driveways would negatively impact the street character. On your screens is an example of a different street showing both head in driveways vs rear driveway and how the development impacts the streetscape. In this example the street ROW is sufficient width of 50', however, the proposed site will create similar driveway configuration on a much narrow street with the ROW of only 35'.

Staff would also like the commission to see a depiction of the existing ROW, drive lanes and the pedestrian area along Rosine Street.

This slide shows the existing ROW of 35' and approximately two drive lanes with 20' paving section. If the planning commission grants the variance, the room that would be left for utilities, landscaping and sidewalk would be approximately 4' on the west side and is existing 10' on the east side. When reconstructed per Rebuild Houston there is not sufficient ROW to allow for a complete street.

If the variance is denied and a 5' widening is required Rosine street could be improved to allow for 2- 11' drive lanes with 8' pedestrian area from the back of the curb. This would meet the requirements for a complete street. Also, from this slide you can see that visually there is not much difference between the impacts of a 2 story home and a 3 story.

If the variance is denied and a 7.5' widening is required, the street could be improved to complete street standards, with adequate drive lanes, parking lane and improved pedestrian area.

Staff recommendation today is to deny the variance and disapprove the plat. The applicant would need to redesign the site meeting the ordinance by either providing a shared driveway at the back or a second option would be to mirror the existing town home style.

As requested by the commission, staff intended to meet with the applicant to come up with a recommendation, however,

due to weather condition the applicant had to cancel the meeting. The applicant is here for any questions the commission may have.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

n/a

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

n/a

(3) The intent and general purposes of this chapter will be preserved and maintained;

n/a

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

n/a

(5) Economic hardship is not the sole justification of the variance.

n/a



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 123
Action Date: 05/28/2015
Plat Name: Saudi Arabia Royal Consulate
Developer: Kingdom of Saudi Arabia
Applicant: Studio Red Architects
App No/Type: 2015-1049 C2R

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	3.5000	Total Reserve Acreage:	3.5000
Number of Lots:	1	Number of Multifamily Units:	0
COH Park Sector:	18	Street Type (Category):	Combination
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77042	489Y	City

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

049.2. Subdivision plat must include State Plane Coordinates in NAD 83; and NAVD 1988 with 2001 adjustment.

049.3. Add the following plat note for plats located in Harris, Fort Bend and Waller counties: The Coordinates shown hereon are Texas South Central Zone no. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale *****.

063. All appropriate engineering and surveying data shall be shown. (42 & 44)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

100. If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

Address Center Point Note.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 123
Action Date: 05/28/2015
Plat Name: Saudi Arabia Royal Consulate
Developer: Kingdom of Saudi Arabia
Applicant: Studio Red Architects
App No/Type: 2015-1049 C2R

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

City Engineer: DETENTION IS REQUIRED AND MAKE SURE THAT 10' CLEARANCE BETWEEN PUBLIC UTILITY TO THE BUILDING FOUNDATION

Parks and Recreation: To be added to general notes on face of plat:

1) If this plat is proposed to be multi-family residential, it is subject to the Parks and Open Space requirements of 42-251. A fee per unit will be assessed at the time of permitting at the then-current fee rate. If a private park is to be proposed or public park land is to be dedicated, park land reserves or land dedication must be shown on the face of plat at this time.

2) This property(s) is located in Park Sector number 18.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

ITEM: 123

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Saudi Arabia Royal Consulate

Applicant: Studio Red Architects



D – Variances

Site Location

Houston Planning Commission

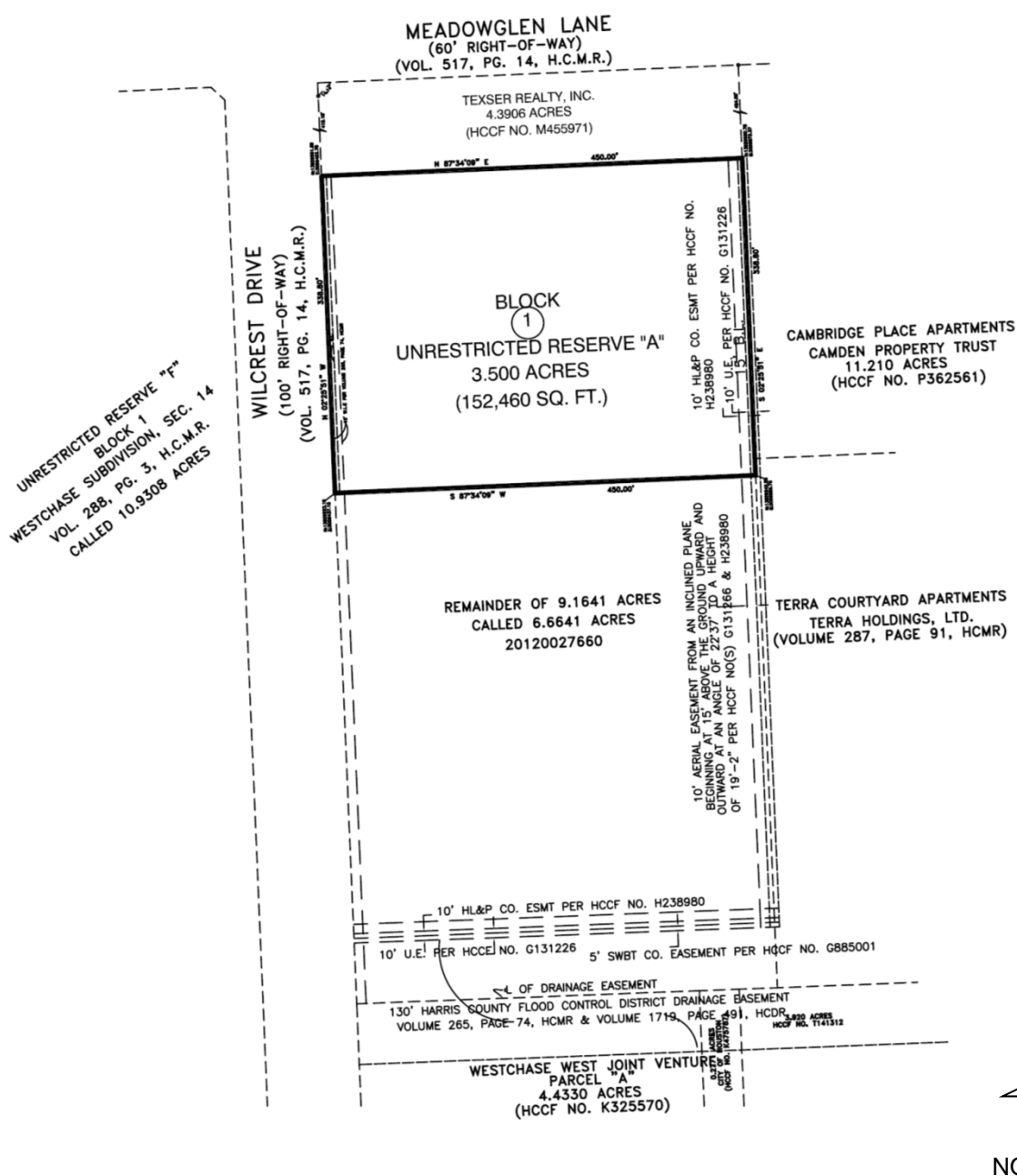
ITEM: 123

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Saudi Arabia Royal Consulate

Applicant: Studio Red Architects



D – Variances

Subdivision

Houston Planning Commission

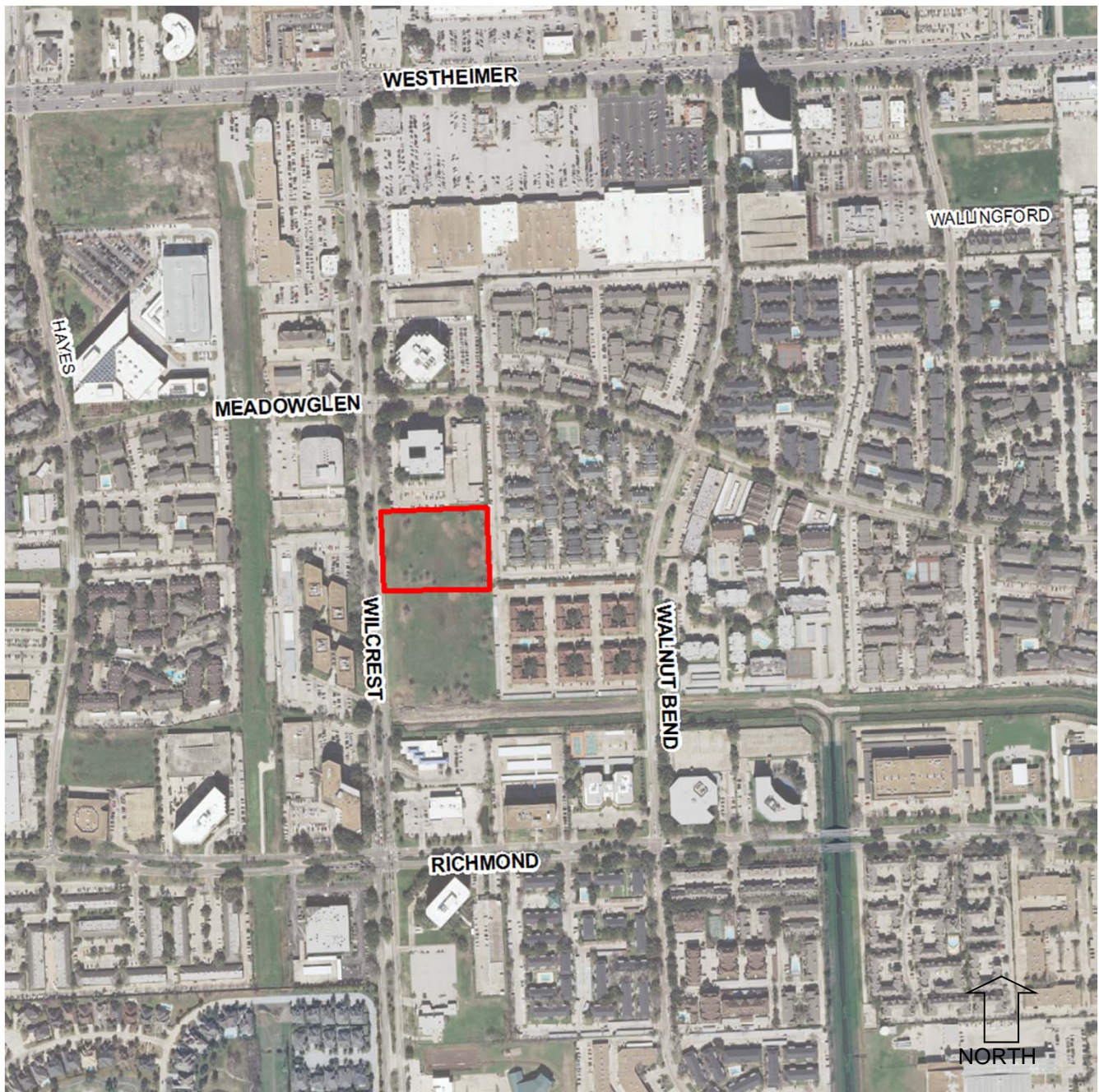
ITEM: 123

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Saudi Arabia Royal Consulate

Applicant: Studio Red Architects



D – Variances

Aerial

SAUDI ARABIA GENERAL CONSULATE OF HOUSTON

ISSUE FOR PLANNING COMMISSION APPROVAL
APRIL 20, 2015



Saudi General Consulate Office Building and Staff Housing; Houston, Texas
April 20, 2015

Legend

- (A) Concrete Sidewalk, 4 1/2" Thick
- (B) Granite Cobble, Cambrian Black - Natural, 4" x 4" (IN), 4" (IN) Thick
- (C) Granite Paver Field, Cambrian Black - Flamed, 30" x 30" (IN), 3 cm Thick
- (D) Granite Paver Curb, Cambrian Black - Flamed
- (E) Granite Paver Parking Striping, Cambrian Black - Hammered, 4" x 4" (IN), 3 cm Thick
- (F) Granite Paver Crosswalk, Kashmir Cream - Flamed, 30" x 30" (IN), 3 cm Thick
- (G) Granite Paver Accent Band, Cambrian Black - Hammered, 6" x 6" (IN), 3 cm Thick
- (H) Granite Paver Accent Band, Walnut Dark - Polished, 4" x 4" (IN), 3/4" (IN) Thick
- (I) Granite Paver Field, Kashmir Cream - Flamed, 30" x 30" (IN), 3 cm Thick
- (J) Sandstone Paver Field, Sahara Fleuri - Hammered, 30" x 30" (IN), 3 cm Thick
- (K) Concrete Unit Paver Banding, Limestone, 6" x 12" (IN), 8 cm Thick
- (L) Concrete Unit Paver Field, Dark Brown, 6" x 12" (IN), 8 cm Thick
- (M) Roof Terrace Concrete Unit Paver Field, Hanover M1983 Tudor Finish, 24" x 24" (IN), 2" (IN) Thick
- (N) Planter, to be Selected by L.A.
- (O) Planter Edging, Quartzite - 'Bianco Mist'
- (P) Raised Planter, Architectural Concrete Wall and Cap to be White Quartzite - 'Bianco Mist' - Sand Blasted
- (Q) Retaining Wall, Architectural Concrete Wall with Cap to be Quartzite - 'Bianco Mist'
- (R) Weir Water Feature, Pebble Sheen White Diamond and Waterline Tile to be Quartzite - 'Bianco Mist', Breakfront 1' x 1" (IN)
- (S) Weir Water Feature Steps, Veneer to be Quartzite Slab - 'Bianco Mist'
- (T) Reflection Pool, Pebble Sheen - Ocean Blue Reflection Pool Coping, Sandstone, Sahara Fleuri - Natural Finish
Reflection Pool Waterline Tile, Dark Brown Glass
Reflection Pool Bottom Accent Tile, Brown Glass
- (U) Reflection Pool Steps, Stone to be Quartzite Bianco Mist Slab
- (V) Water Wall Surround, Veneer to be Midnight Chocolate - Polished
Water Wall Accent, San Mai Blend, Prairie/Oro, Honed/Glass, or San Mai Blend, Black and Gold/Copper, Claf/Natural
- (W) Screen Wall, Architectural Concrete. Cap to be Quartzite 'Bianco Mist'
- (X) Decomposed Granite with 6" (IN) Concrete Edging
- (Y) Raised Pool Planter, Sandstone Veneer and Cap to be Sahara Fleuri

Tree Legend

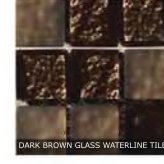
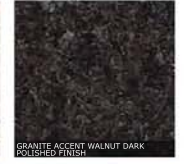
- (Live Oak)
- (Mexican Sycamore)
- (Japanese Blueberry Tree)
- (Bald Cypress)
- (Crape Myrtle)
- (Medjool Palm)

Materials Plan

Scale: 1" = 20' - 0"

Date: October 2014

WILCREST DRIVE



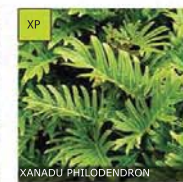
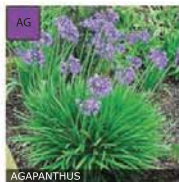
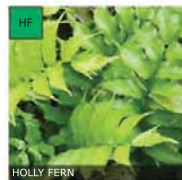
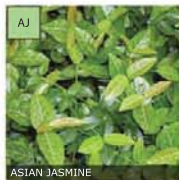
Saudi General Consulate

StudioRED Architects



Landscape Architects
7135 Old Katy Road
Suite 270
Houston, Texas 77024
713-869-6907

HOUSTON - SAN ANTONIO



Planting Plan

Scale: 1"= 20'-0"

Date: October 2014

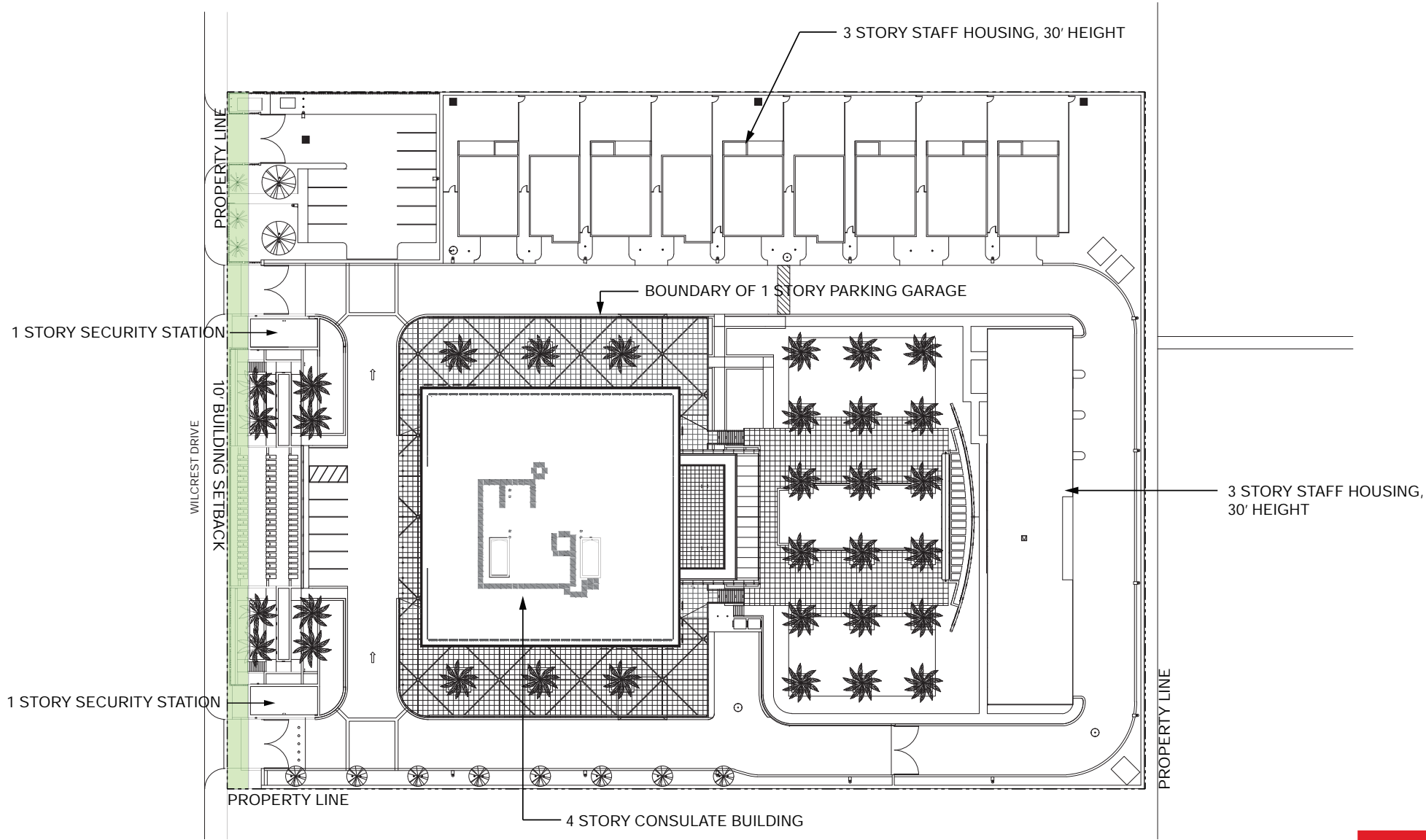
Saudi General Consulate

StudioRED Architects



Landscape Architects
7135 Old Katy Road
Suite 270
Houston, Texas 77024
713-860-6907

HOUSTON - SAN ANTONIO



Annotated Site Plan Diagram
Saudi General Consulate Office Building and Staff Housing; Houston, Texas
April 20, 2015





Sidewalk Condition
Saudi General Consulate Office Building and Staff Housing; Houston, Texas
April 20, 2015



Exterior View - Main Entrance
Saudi General Consulate Office Building and Staff Housing; Houston, Texas
April 20, 2015



Exterior View - Reflecting Pool
Saudi General Consulate Office Building and Staff Housing; Houston, Texas
April 20, 2015



Exterior View - Villas
Saudi General Consulate Office Building and Staff Housing; Houston, Texas
April 20, 2015



Exterior View- Reflecting Pool
Saudi General Consulate Office Building and Staff Housing; Houston, Texas
April 20, 2015



Application Number: 2015-1049

Plat Name: Saudi Arabia Royal Consulate

Applicant: Studio Red Architects

Date Submitted: 05/18/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To reduce the minimum required building line setback from 25 feet to 10 feet.

Chapter 42 Section: 152

Chapter 42 Reference:

Sec. 42-152. Building line requirement along major thoroughfares. (a) The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

As a Diplomatic Mission of the Kingdom of Saudi Arabia, the Royal Consulate in Houston is an extension of the Royal Embassy in Washington, DC; one of only three in the United States. As such, the consulate represents the KSA in conducting official state business, overseeing minor diplomatic issues and economic outreach, facilitating trade relationships, and administering tourist and nationalization matters. With this context, this project has the unique obligation to comply with City of Houston codes and ordinances as well as the security standards established by the Ministry of Foreign Affairs in the KSA. Specifically, the Ministry's Technical Security Requirements strictly dictates that access to the site be controlled at the property line by means of a perimeter barrier, a Security Station and a security checkpoint for vehicles accessing the property. Because this requirement would not provide adequate space for a vehicle in queue at the gate to pull completely out of the lane of traffic on Wilcrest Drive, it is not reasonably feasible to meet this provision. As such, we have located the Security Stations at 10 feet from the property line to provide adequate access for vehicles and pedestrians and maintain a reasonable security perimeter. The remaining structures on the property including the Consulate Building and associated parking garage are located no closer than 40 feet from the property line. Thus, we are requesting a variance for a 10 foot building line setback from Wilcrest Drive for the Security Stations only. The 10 foot building line setback would be in lieu of the 25 foot building setback line required by Section 42-150.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

N/A

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Given the nature of its function as a Diplomatic entity, the Consulate is a symbol of the Saudi government and will be a publically recognizable building. The mere presence of foreign governments can serve as an impetus for negative attention and can draw potential threats from any source. Coincidentally, users of the Consulate include diplomats such as the Saudi Ambassador, the Consul General and other Ministry officials, Consulate Staff, Public Officials such as the Mayor of Houston or City Council Members, and the general public of both Saudi and Americans citizenry. A threat to the building would be a threat to the users of the building as well as the general public in and around the area. As such, security of the property and buildings is a serious matter to the Ministry and is intended to protect all users and the general public as well as deter from potential threats. The provision of security starts with screening all who enter the property at the Security Station before they enter the compound. Additionally, an act of violence or unwarranted intrusion onto the property may be seen as a violation of the sanctity of sovereign land. Therefore, it is difficult for the Consulate to maintain vigilance if portions of the property are not within the perimeter boundary. Thus, the Ministry feels it is paramount to include as much of the compound within the secured boundary as possible.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purpose of Chapter 42 will be preserved and maintained while providing a reasonable accommodation for security. As dictated by the Security Protocol set forth by the Ministry of Foreign Affairs in the KSA, a secure perimeter must be provided at the property line. This includes the location of Security Stations, access gate and retractable bollards. As referenced previously, locating the Security Station as directed by the Ministry creates a hardship for queuing vehicles at the security checkpoint which is not only dangerous to the drivers on Wilcrest but also counterproductive maintaining the safety of visitors and staff. Therefore, the Ministry has already compromised on this issue and granted this project a waiver from this requirement, allowing the Security Station and checkpoint be located 10 feet from the property line. In doing so, the Consulate wishes to be respectful of the local planning guidelines without making unreasonable concessions on security to the property and its inhabitants.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The need for a high level of security to protect the diplomats, employees and visitors to the complex is of the upmost importance to the Consulate. High level diplomats and public officials from not only the KSA, but also the United States and other countries are regular visitors to the Consulate. Per standard practice by the Ministry, the Consulate will employ a dedicated, 24/7 security force to oversee the safety and security of all staff and visitors as well as the structures on the site. The facility is under constant surveillance both digitally and via personnel. The Security Station is more than a guard shack; the two space houses up to 3 staff people each who process pedestrian visitors, screen vehicles, monitor the security of the perimeter, monitor traffic moving within the site, screen for weapons and explosives, and greet visitors to the Consulate. The security checkpoints includes a vehicular access gate and an area separated by retractable bollards which accommodates a single vehicle to be processed before entering the Consulate grounds. Vehicles are screened in the queue before being allowed to proceed into the Consulate grounds. The spacing of the access gate and retractable bollards are located 10 feet away from the property line to provide adequate space for a car pull completely off the street to wait in queue without obstructing the lanes of traffic on Wilcrest Drive. The design of the security screening areas would accommodate one car in screening and one in queue for a total of two cars, both out of the lane of traffic. The Security Stations are vital components of the network of security and monitoring employed within the compound in addition to being the front line of defense. Their presence also allows them to monitor the external environment beyond the property for potential threats to safety and security. Further, the proposed 10 foot setback would not impact the currently recorded 10 foot water line easement running along Wilcrest Drive and would provide adequate access for maintenance to the water line. Therefore, granting this variance would be advantageous to the public health, safety or welfare.

(5) Economic hardship is not the sole justification of the variance.

As a Diplomatic entity, the Consulate is a symbol of the Saudi government and will be a publically recognizable building. As such, the Consulate has a duty to protect all users and the general public from potential threats as well as deter such threats from happening. The Consulate cannot adequately achieve this without an adequate security barrier and processing area for visitors and vehicles. As such, the Ministry has developed an extensive Security Protocol outlining specific requirements for such matters which this project has taken great strife to follow. On the matter of the setback, the Ministry has already made concessions to allow the 10 foot setback in order to respect the existing water line easement and local planning guidelines without making unreasonable concessions on security to the property and its inhabitants. Therefore we think it is reasonable that such a variance be approved.



Application No: 2015-1049

Agenda Item: 123

PC Action Date: 05/28/2015

Plat Name: Saudi Arabia Royal Consulate

Applicant: Studio Red Architects

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 152

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

To reduce the minimum required building line setback from 25 feet to 10 feet. ;

Basis of Recommendation:

The site is located east of Wilcrest Drive, north of Richmond Avenue and south of Westheimer Road. The applicant requests a variance to allow a 10' instead of the required 25' building line along Major Thoroughfare Wilcrest Drive. Staff supports the requested variance.

The applicant proposes to construct a Royal Consulate for the Kingdom of Saudi Arabia (KSA). The proposed Royal Consulate is for the Diplomatic Mission purpose. It is an extension of the Royal Embassy in Washington, DC; and is one of only three in the United States. The consulate represents the KSA in conducting official state business, overseeing minor diplomatic issues and economic outreach, facilitating trade relationships, and administering tourist and nationalization matters. Also, the consulate is a symbol of the Saudi government and will be a publically recognizable building. This project has the unique obligation to comply with City of Houston codes and ordinances as well as the highly sophisticated security standards established for all Saudi Arabia consulates by the Ministry of Foreign Affairs in the Saudi Arabia. Specifically, the Ministry's Technical Security Requirements strictly dictates that access to the site be controlled at the property line by means of a perimeter barrier, a Security Station, retractable barcade bollards and a 24 hour manned security checkpoint for vehicles accessing the property.

As such, the applicant has located the Security Stations at 10 feet from the property line to provide adequate access for vehicles and pedestrians and maintain a reasonable security perimeter. The dedicated 24 hour 7 days a week security force has developed ingress/egress procedures related to queuing for single or multiple vehicles through the security checkpoint quickly, efficiently and safely. Their procedures take into account moving traffic outside their consulates on public streets like Wilcrest. The Security Station is more than a guard shack. At the two station location, up to 3 staff people each would process pedestrian visitors, screen vehicles, monitor the security of the perimeter, monitor traffic moving within the site, screen for weapons and explosives, and greet visitors to the Consulate. The remaining structures on the property including the Consulate Building and associated parking garage are located no closer than 40 feet from the property line. Considering the highly sophisticated security standards required for the proposed Royal Consulate, strict application of the ordinance will create an undue hardship for the applicant.

Therefore, staff recommends granting the requested variance and approving the plat subject to CPC 101 Form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Considering the highly sophisticated security standards required for the proposed Royal Consulate, strict application of the ordinance will create an undue hardship for the applicant.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The main justification for granting the requested variance is based on the unique use of the site and the highly sophisticated security standards required for the proposed Royal Consulate.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter will be preserved and maintained.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare.

(5) Economic hardship is not the sole justification of the variance.

The main justification for granting the requested variance is based on the unique use of the site and the highly sophisticated security standards required for the proposed Royal Consulate.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 124
Action Date: 05/28/2015
Plat Name: Thrustmaster Sec 2
Developer: THIRD COAST GENERAL CONTRACTORS
Applicant: The Pinnell Group, LLC
App No/Type: 2015-0989 C2

Staff Recommendation:
Grant the requested
variance(s) and Approve
the plat subject to the
conditions listed

Total Acreage:	22.1515	Total Reserve Acreage:	22.1515
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Combination
Water Type:	Private Well	Wastewater Type:	Septic Tank
Drainage Type:	Combination	Utility District:	
County	Zip	Key Map ©	City / ETJ
Harris	77041	409N	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

064. Provide all dedication acknowledgements and certificates on the face of the plat. (42 & 44)

203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)

204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

City Engineer: DETENTION IS REQUIRED

Harris Engineer: The following is required to be addressed prior to recordation with HCED:

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

Provide complete recording information for recorded plat just north of proposed plat.(HC)

Harris County has no objections to variance request. (HC)

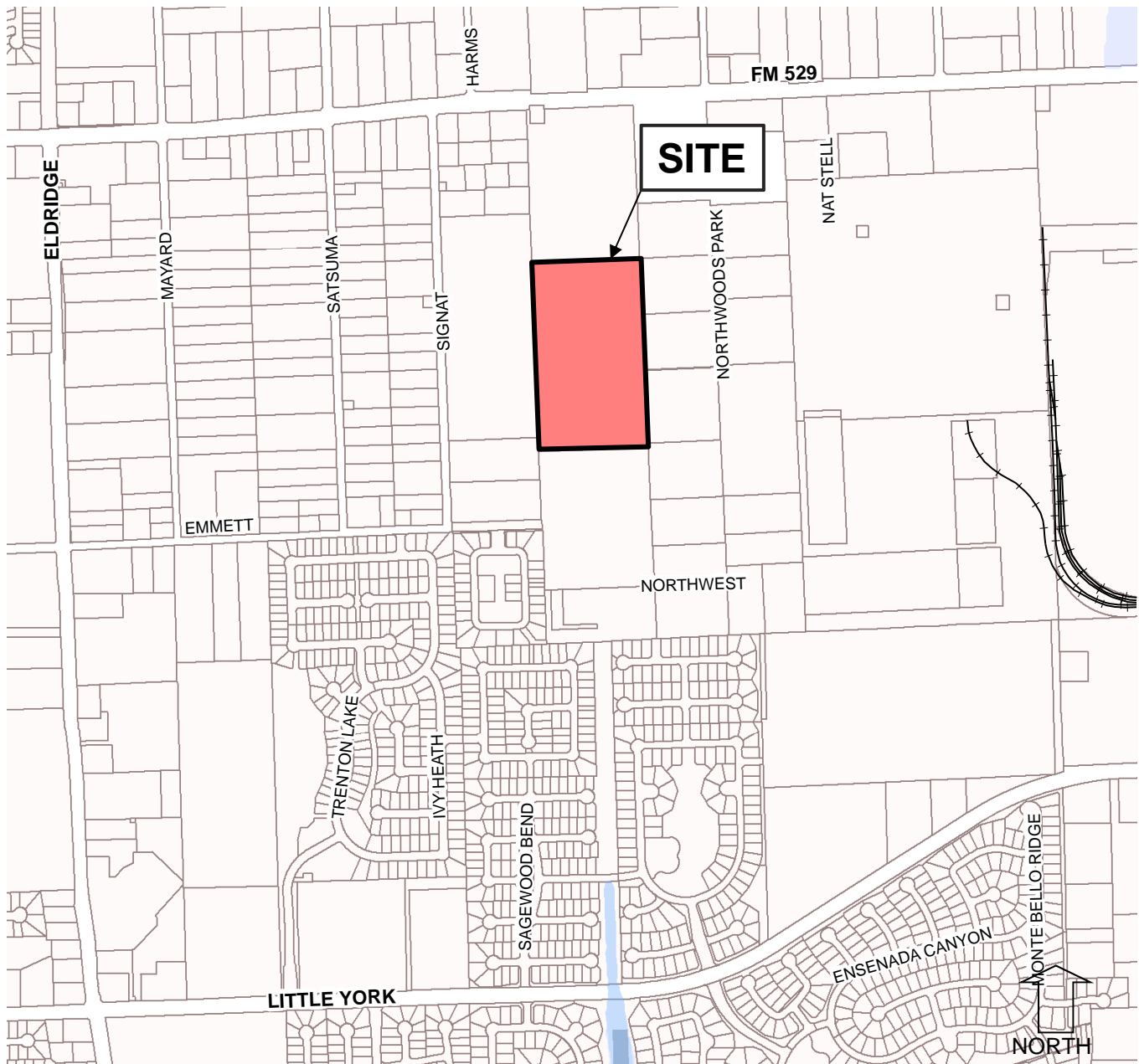
Houston Planning Commission ITEM: 124

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Thrustmaster Sec 2 (DEF 1)

Applicant: The Pinnell Group, LLC

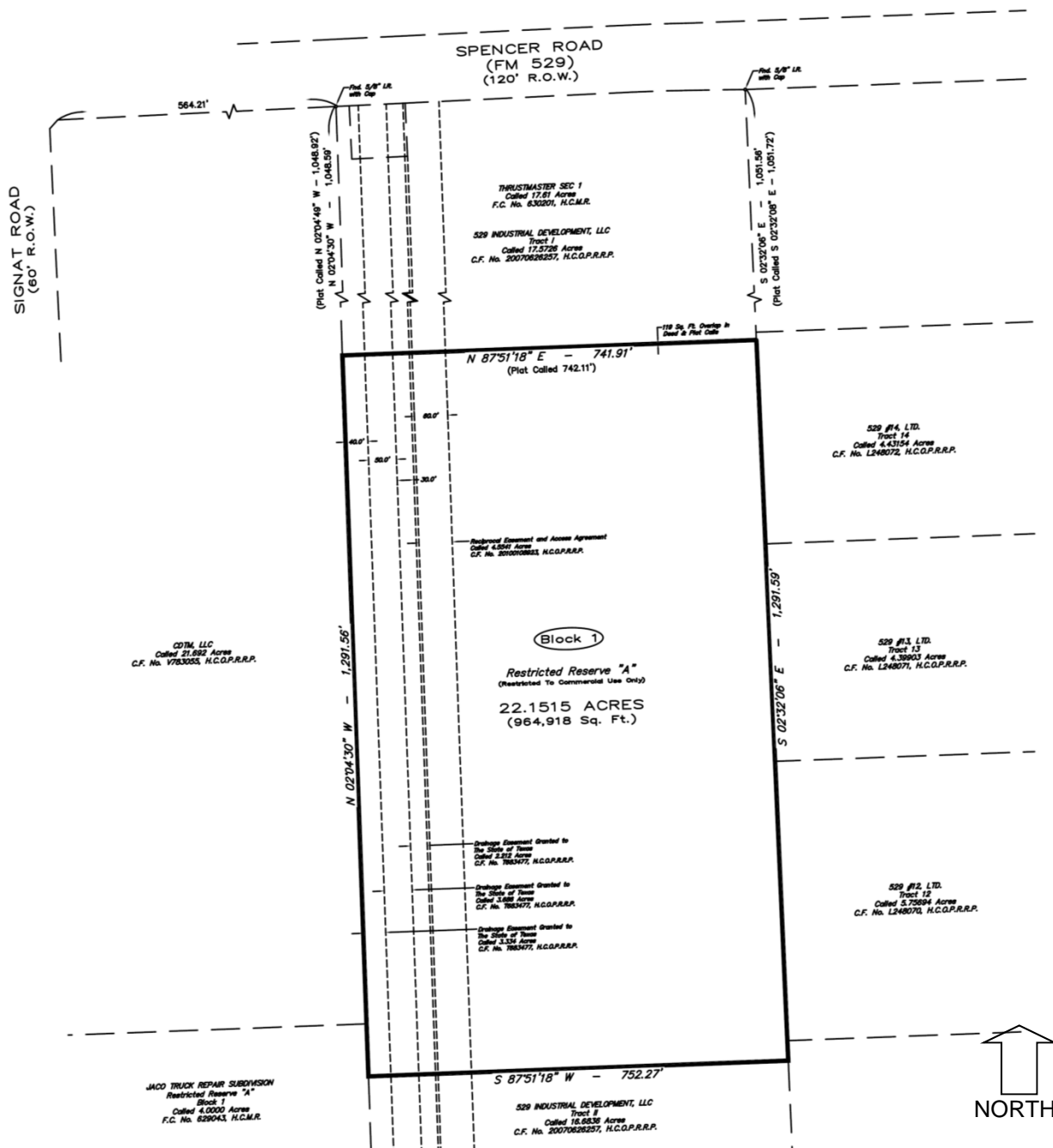


D – Variances

Site Location

Meeting Date: 05/28/2015

Applicant: The Pinnell Group, LLC



Subdivision

Houston Planning Commission ITEM: 124

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Thrustmaster Sec 2 (DEF 1)

Applicant: The Pinnell Group, LLC



D – Variances

Aerial



Application Number: 2015-0989

Plat Name: Thrustmaster Sec 2

Applicant: The Pinnell Group, LLC

Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Not to provide a north/south road through THRUSTMASTER SEC 1 and the subject plat (THRUSTMASTER SEC 2), creating a 4,800' distance along F.M. 529, from Signat Drive to Melendy Lane, thus exceeding the 2600' intersection spacing requirement and to gain access through an existing easement instead of a 60' public street.

Chapter 42 Section: 127, 190

Chapter 42 Reference:

Sec. 42-127. Intersections of major thoroughfares. (a) A major thoroughfare shall intersect with a public local street, a collector street or another major thoroughfare at least every 2,600 feet. Sec 42-190 Unrestricted reserve 5,000 sq. ft. public street 60 feet (50 feet in a street width exception area) 60 feet

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The owner of this property intends on constructing a light industrial building and must plat the property in order to receive building permits from Harris County. The property is out of a 56.43 acre General Plan called THRUSTMASTER, and is the northerly portion of 32.38 acres shown as Reserve A, Section 2 on said General Plan. The General Plan shows a proposed 60' right-of-way along the westerly side of Section 1 and Section 2; However, when Section 1 was submitted, a variance was granted to not dedicate the 60' right-of-way through the property, thus leaving the remainder of the property shown on the general plan separated from any public street. There is currently a "recorded" 60' reciprocal access easement running north and south through Section 1 and Section 2, from F.M. 529 to the south line of Section 2 of the General Plan (3,300'), which provides legal access to the subject property and the adjoining 16.6836 acres to the south. The adjoining landowners wish to keep this 60' easement and driveway private and NOT dedicate a road to the public for the county to maintain. Furthermore, the owners of the subject tract can't initiate a replat of the adjoining tract to the north to extend a dedicated street to FM 529. A dedicated public street on the subject tract would only be accessible to the owners of the adjoining tracts to the north and south unless the owners of Section 1 replat their property and extend the street to FM 529. Another reason for not dedicating a north/south road through the property is that the road would eventually terminate at the southerly line of Section 2 of the General Plan and never extend beyond that line, due to an existing building presently being constructed 80 feet south of the termination point. The "future" road would have to curve around that building, then cross a 100' wide Harris County Flood Control Ditch, then extend through residential homes into a residential subdivision called Villages at Lakepointe, Section 6. Creating what would be a dead-end public road through this tract will not enhance area circulation and is contrary to sound public policy. The residents of Villages at Lakepointe, Section 6 would not appreciate commercial vehicles and 18-wheelers driving through their neighborhood and potentially damaging their roads.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

A variance was granted to not dedicate the road in Section 1 and the same precedence should be followed in Section 2. Dead end roads do not enhance traffic circulation.

(3) The intent and general purposes of this chapter will be preserved and maintained;

For the most part, the area surrounding this property is developed as commercial and light industrial, and traffic circulation currently utilizes F.M. 529, North Eldridge Parkway, West Little York Road and U.S. 290. The residential

areas currently have sufficient access and suitable traffic circulation, and the commercial and light industrial areas currently utilize private access easements.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will be in harmony with the current development and surrounding commercial and light industrial properties. There will be no increase traffic flow at the entrance to this property and will not cause any safety issues along F.M. 529.

(5) Economic hardship is not the sole justification of the variance.

The justification for the variance is that a public street through this property would be a dead-end, not adding to area mobility, and is contrary to sound public policy.



Application No: 2015-0989

Agenda Item: 124

PC Action Date: 05/28/2015

Plat Name: Thrustmaster Sec 2

Applicant: The Pinnell Group, LLC

Staff Recommendation: Grant the requested variance(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 127, 190

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

Not to provide a north/south road through THRUSTMASTER SEC 1 and the subject plat (THRUSTMASTER SEC 2), creating a 4,800' distance along F.M. 529, from Signat Drive to Melendy Lane, thus exceeding the 2600' intersection spacing requirement and to gain access through an existing easement instead of a 60' public street.;

Basis of Recommendation:

The site is located east of Eldridge and south of FM 529. The applicant is requesting a variance for excessive intersection spacing along FM 529 and to gain access for the subject site through an existing easement instead of a 60' public street. Staff and Harris County are in support of the variances.

Subject site is the second section of Thrustmaster General plan approved in 2008 with a variance not to extend Emmet Rd and a condition not to require a north-south public street through the GP.

Sec 1 was recorded in 2009 with a 60' reciprocal access easement to serve sections to the south.

Both Sec 1 and the proposed Sec 2 are platted as commercial reserves. If the applicant had platted both the sections together as one plat fronting on FM 529 and then subdivide by metes and bounds it would be the same outcome as granting the variance.

All the property to the east of subject site is not platted but developed. In future there may be possibility of getting a street connection to FM 529 through those tracts.

Therefore, staff's recommendation is to grant the requested variances and approve the plat subject to cpc 101 form conditions.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Strict application of the ordinance would make this project infeasible as Sec 1 is already recorded and developed.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not a result of hardship created by the applicant. It is due to the conditions placed on the GP.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purpose of this chapter will be preserved as all the property to the east of subject site is not platted but developed. In future there may be possibility of getting a street connection to FM 529 through those tracts.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting of the variance will not be injurious to public health and safety. If the applicant had platted both the sections together as one plat fronting on FM 529 and then subdivide by metes and bounds it would be the same outcome as granting the variance.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification. In 2008 Planning Commission granted a variance not to extend Emmet Rd on the GP with a condition not to require a north-south public street through the GP.



Agenda Item: 125
Action Date: 05/28/2015
Plat Name: Willowcreek Ranch GP
Developer: CC Telge Road, L.P. - A Texas Limited Partnership
Applicant: EHRA
App No/Type: 2015-1075 GP

Staff Recommendation:
 Defer Additional
 information reqd

Total Acreage:	684.8900	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Type 1 PAE
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Open Ditch	Utility District:	Harris County MUD 416
County	Zip	Key Map ©	City / ETJ
Harris	77377	288S	ETJ

Conditions and Requirements for Approval

208. Staff requests a two week deferral to allow time for the applicant to provide revised information before noon next Wednesday.

Only 300 lots with a Type 1 PAE development are allowed to take one point of access as approved by 2011-0466.

The alignment of Holderrieth must enter and exit the GP boundary at the points illustrated in the current MTFP. Coordinate the alignment of Holderrieth with the development with Willow Creek Industrial Park to the east.

Continue to coordinate with Grand Parkway Association and TxDOT regarding the alignment of Grand Parkway right-of-way.

Extend the north-south street to the northern property boundary as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Grand Parkway Assn: grand parkway ROW is inaccurately referred to as 200'. it is 400' wide.

Harris Engineer: If the "Variance(s)" meet with the City's approval, Harris County interposes no objection. (HC)

The following is required to be addressed prior to recordation with HCED.

Make corrections and additions as indicated by Harris County's marked file copy on City of Houston's plat tracker. (HC)

HCFCFCD will need additional ROW dedicated in fee. HCFCFCD will need 320' of ROW centered on the channel as it crosses all portions of the Plat. -Per HCFCFCD

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Harris County Flood Control District: This plat requires a 'Plat Release Letter' from HCFCFCD.

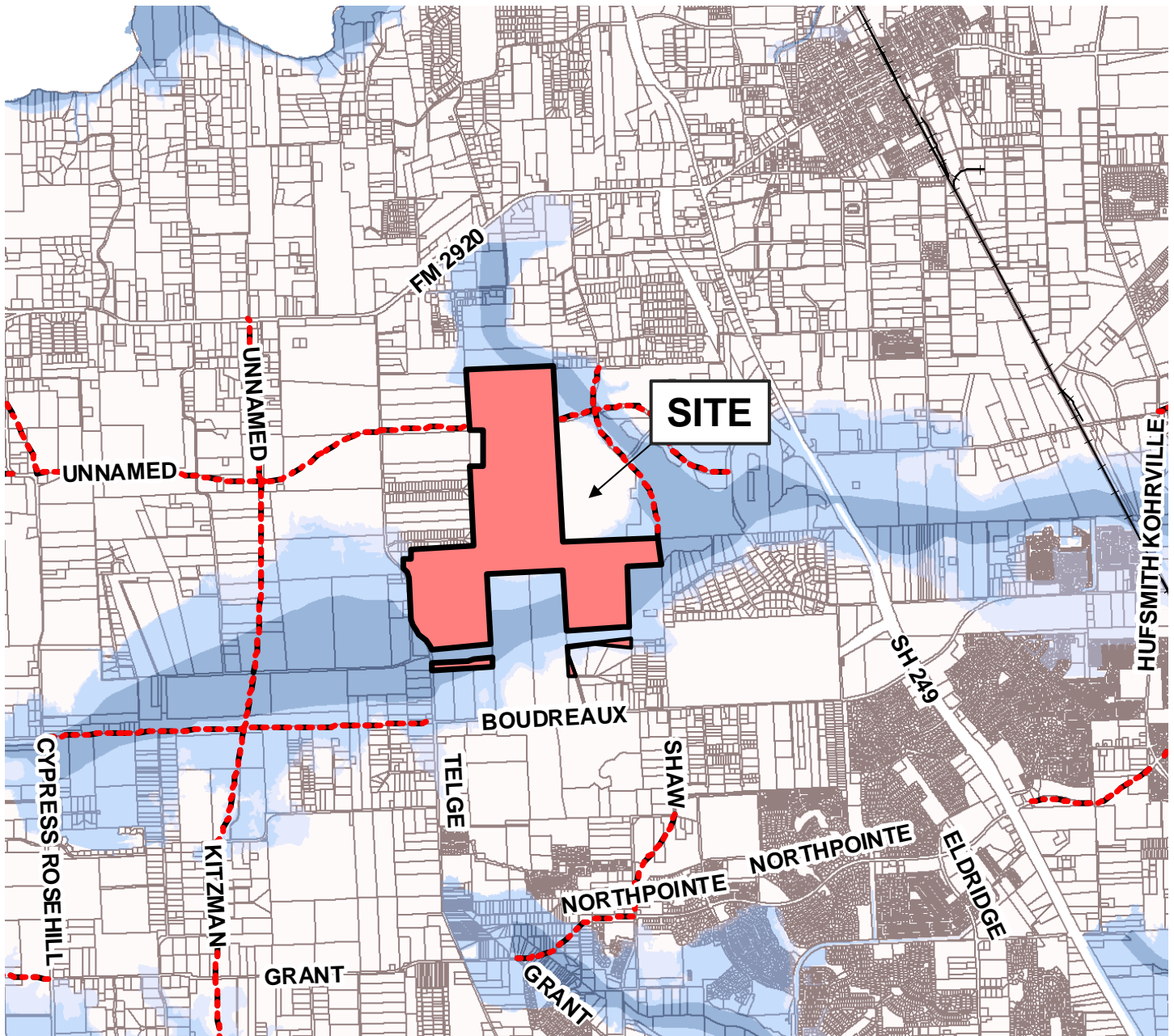
Houston Planning Commission ITEM: 125

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Willowcreek Ranch GP

Applicant: EHRA

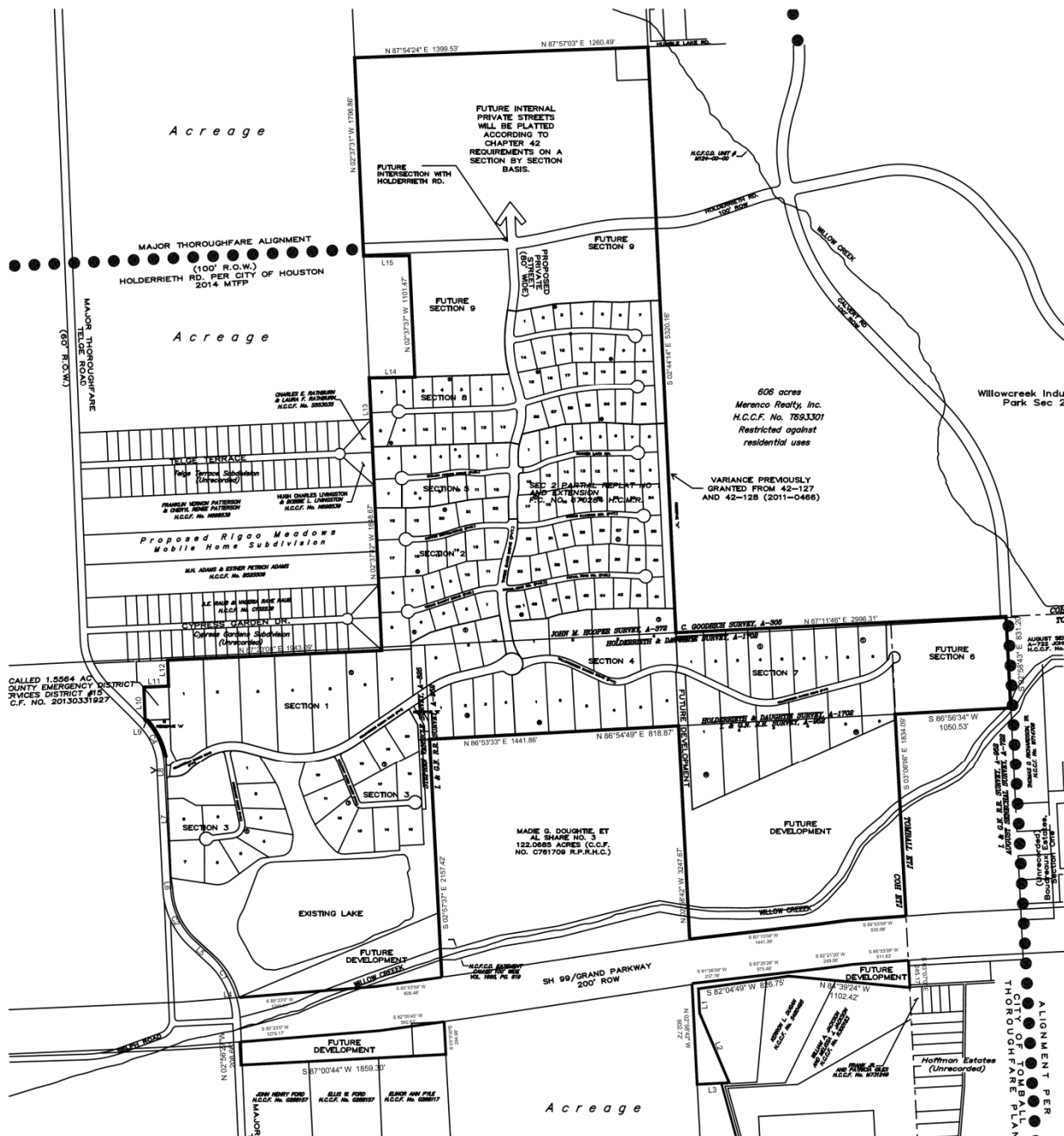


D – Variances

Site Location

Meeting Date: 05/28/2015

Applicant: EHRA



Subdivision

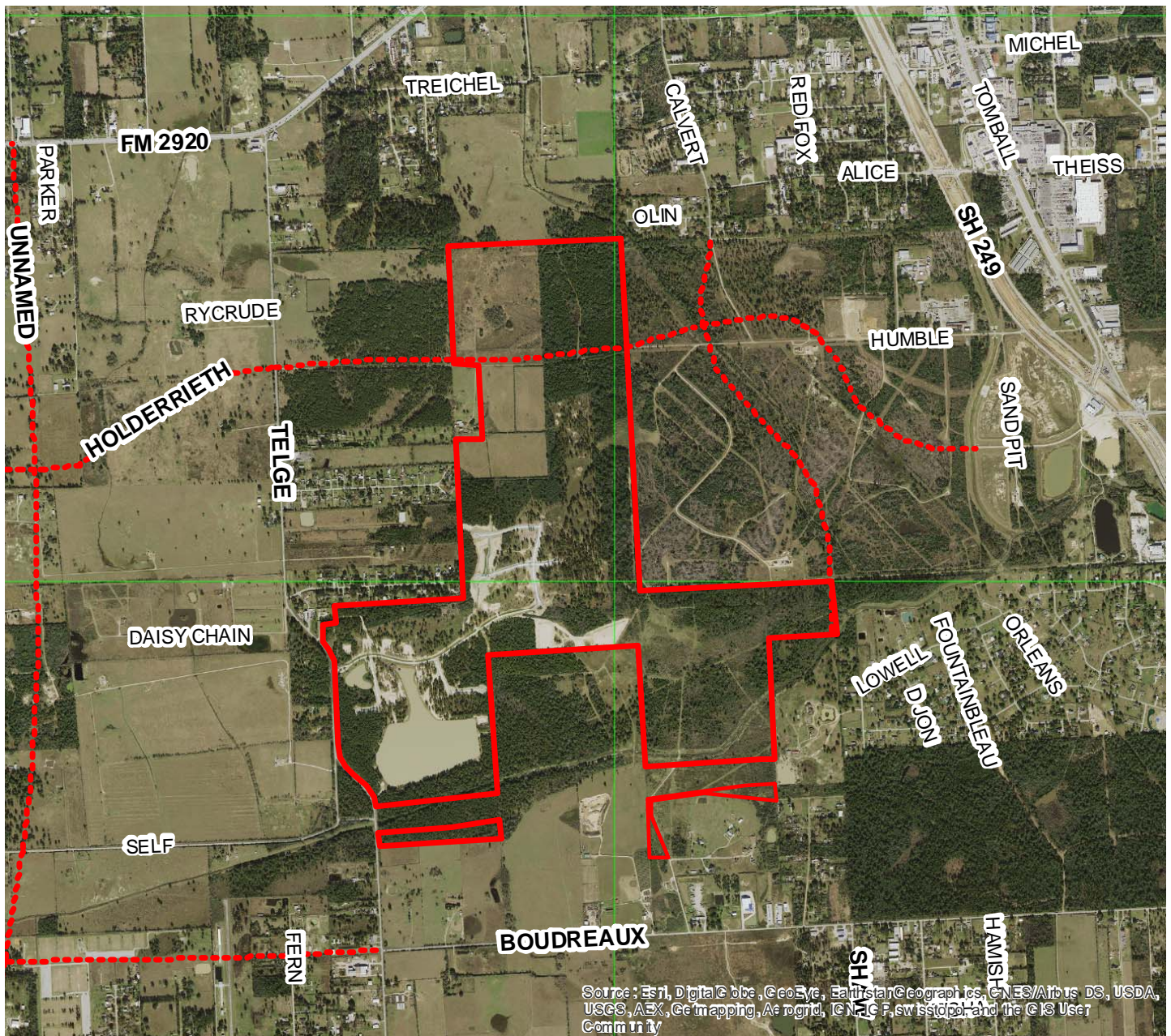
Houston Planning Commission ITEM: 125

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Willowcreek Ranch GP

Applicant: EHRA



D – Variances

Aerial



PLANNING & DEVELOPMENT DEPARTMENT

VARIANCE Request Information Form

Application Number: 2015-1075

Plat Name: Willowcreek Ranch GP

Applicant: EHRA

Date Submitted: 05/18/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Variance to allow a maximum of 350 lots to take access from a private street system.

Chapter 42 Section: 42-189

Chapter 42 Reference:

Any subdivision that includes more than 150 lots shall have at least two points of access separated from each other by a distance of at least 250 feet to a public street outside the boundaries of the subdivision.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Willowcreek Ranch is a gated community catering to large acreage home sites, many over several acres in size. The development is designed with equestrian trails throughout the site and includes an equestrian stable as well. In 2011, a Willowcreek Ranch GP (2011-0466) was granted a variance to allow a maximum of 300 lots to take access from a single existing public street intersection on Telge Road provided that a second point of access would be constructed once Holderrieth Road is also constructed. Subsequent GP submittals on this tract make reference to the fact that crossing the 300 lot threshold may require additional variances. Thus, this GP application is seeking to add an additional 50 lots to the maximum number of lots which can be platted in Willowcreek Ranch through this variance request. It is understood that the original 300 lot threshold was also due to a concern by the City of Houston Planning Department that the collector roads within Willowcreek Ranch are private streets. The overall size of the tract would have required multiple public street collectors but the large lot sizes within the development limit the number of vehicle trips. This fact gave the Department the ability to approve the variance request since overall traffic impact is considerably less on this tract than if the same acreage were developed in a more typical single family lot size.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The original tract boundaries as acquired by the developer dictated the variance request for private streets and the 300 lot threshold in 2011. It is now possible that the developer can acquire additional acreage connected to the Willowcreek Ranch GP which would otherwise be landlocked or infeasible to develop because of the extensive floodplain and floodway in the Willow Creek watershed. Raising the maximum lot count by 50 lots would give the developer the ability to add acreage to the tract and increase future connectivity to public streets while maintaining internal private streets.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Chapter 42 requires multiple access points for subdivisions based on vehicle trips and thus dictates the total number of lots. Once completed, Willowcreek Ranch will have multiple public street access to Telge Road and Holderrieth Road. The only difference (and the need for this variance) is that the connectivity within the subdivision is via private streets rather than public streets. The requirement for a second point of access after platting 150 lots will still be met – only the maximum total number of lots allowed within the completed subdivision is being requested to be raised to 350.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Public health, safety and welfare are not negatively impacted by granting this variance since the completed subdivision is well within the allowable number of lots and will provide appropriate points of access.

(5) Economic hardship is not the sole justification of the variance.

Justification for the variance is the fact that additional acreage available to the developer is potentially landlocked and must take access through Willowcreek Ranch. Thus, additional developed lots will increase the total lot count and cross the previously approved threshold.



Application No: 2015-1075

Agenda Item: 125

PC Action Date: 05/28/2015

Plat Name: Willowcreek Ranch GP

Applicant: EHRA

Staff Recommendation: [Defer Additional information reqd](#)

Chapter 42 Sections: [42-189](#)

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

[Variance to allow a maximum of 350 lots to take access from a private street system.;](#)

Basis of Recommendation:

The site is located east of Telge Road, north of Boudreaux Road and south of FM 2920. The applicant requests a variance to allow 350 lots to take access from one point of access through a private street system. Staff recommends deferring this application two weeks to allow applicant time to submit additional information by noon next Wednesday.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

.

(3) The intent and general purposes of this chapter will be preserved and maintained;

.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

.

(5) Economic hardship is not the sole justification of the variance.

.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 126

Action Date: 05/28/2015

Plat Name: Sendero Tract GP

Developer: Meritage Homes

Applicant: BGE|Kerry R. Gilbert Associates

App No/Type: 2015-1051 GP

Staff Recommendation:

Grant the requested special exception(s) and Approve the plat subject to the conditions listed

Total Acreage:	256.6000	Total Reserve Acreage:	0.0000
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Fort Bend County MUD 132
County	Zip	Key Map ©	City / ETJ
Fort Bend	77406	524M	ETJ

Conditions and Requirements for Approval

045. The alignment and width of all major thoroughfares within or adjacent to the proposed General Plan shall conform to the requirements of the most recent Major Thoroughfare and Freeway Plan. (24)

046. General Plan approval is for street patterns as shown on the plat only. (24)

046.1. Approval of the General Plan shall remain in effect for four years from the date of the Commission approval. Renewal of the GP shall occur when a section meeting the requirements of 42-24 (f) is recorded.

Coordinate with Fort Bend County Engineer's Office regarding the street geometry as indicated on the marked file copy.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: Schedule development meeting with Fort Bend County to discuss general land plan

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

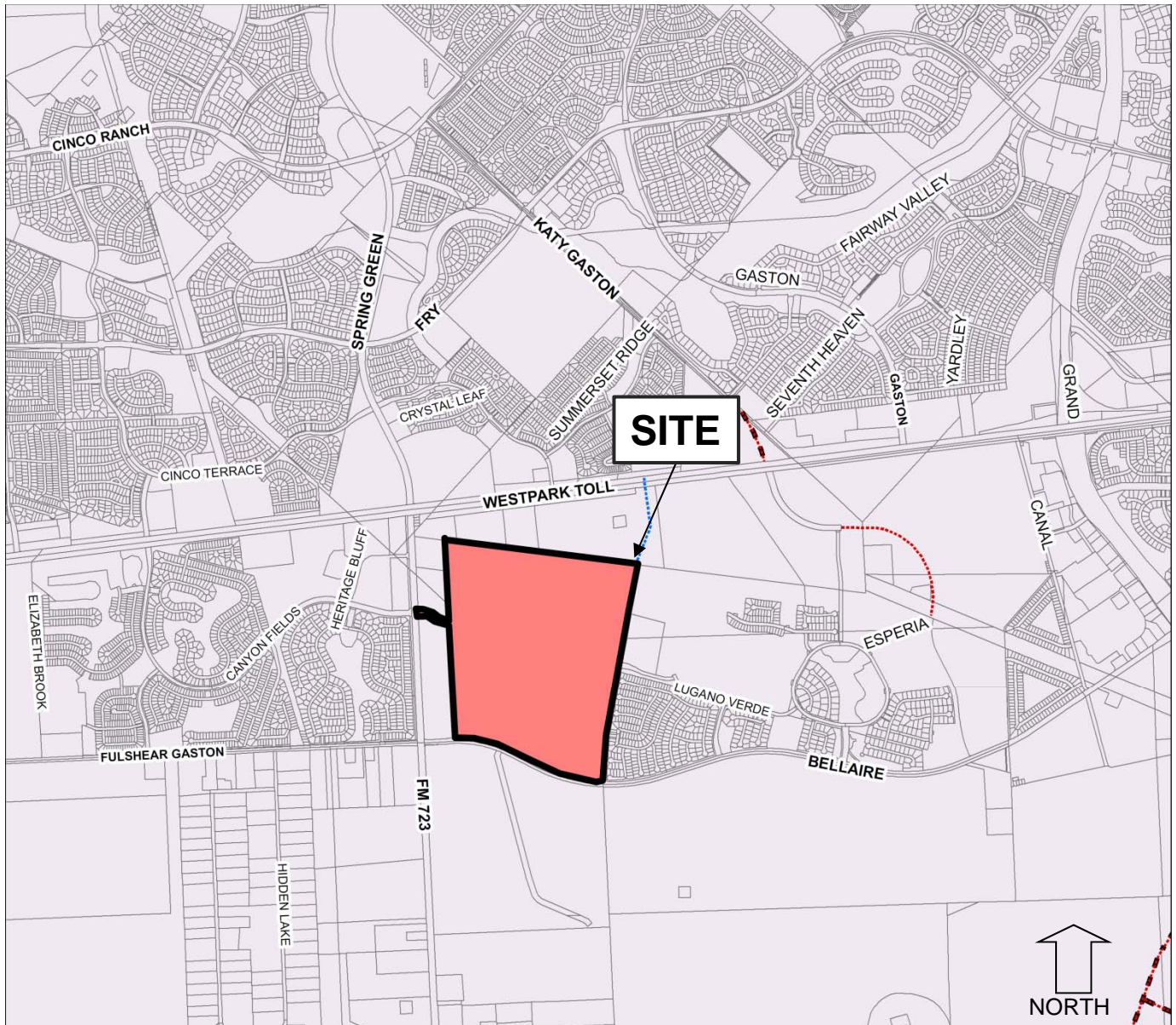
Houston Planning Commission ITEM: 126

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Sendero Tract GP

Applicant: BGE | Kerry R. Gilbert Associates



D – Variances

Site Location

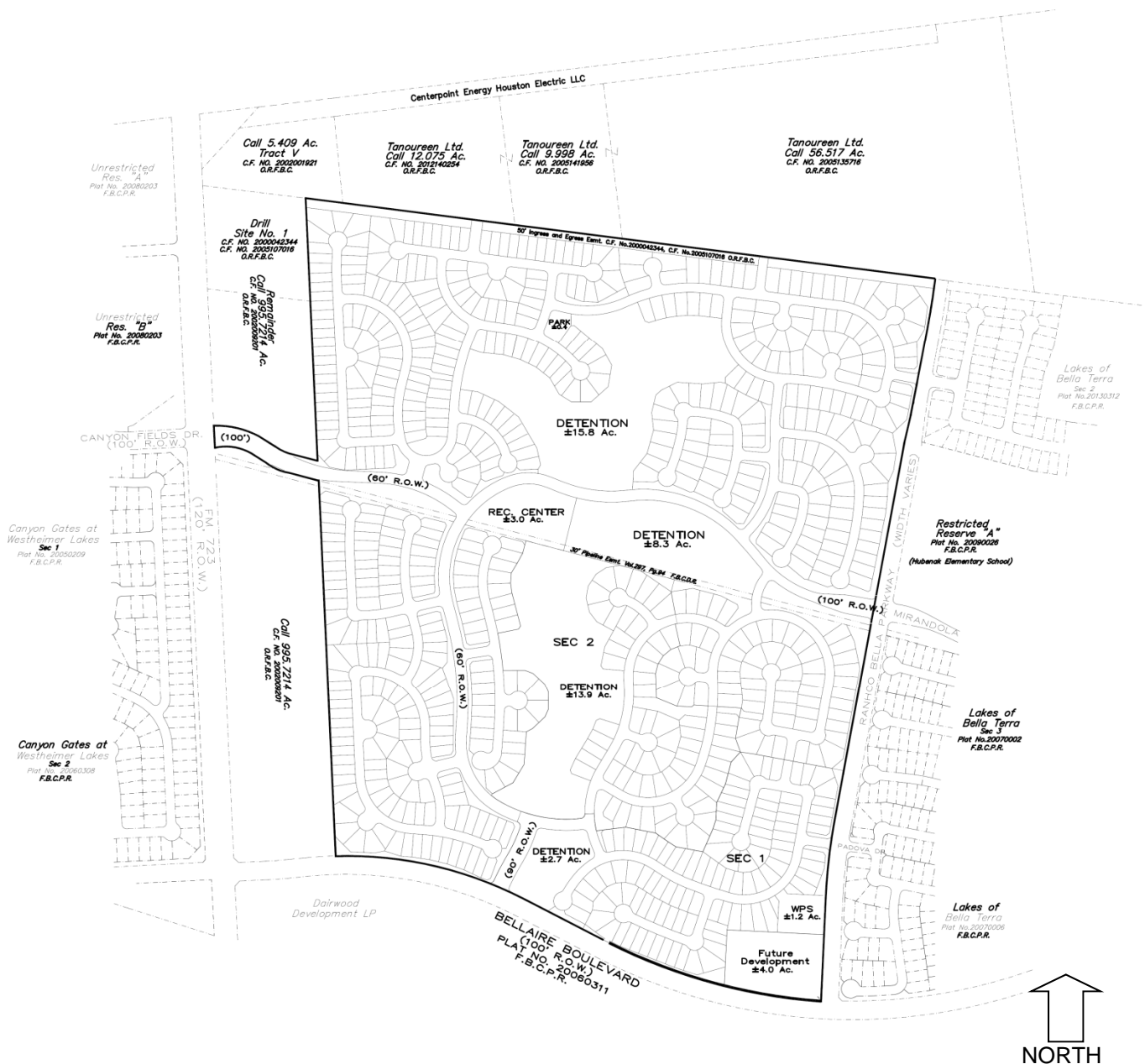
Houston Planning Commission ITEM: 126

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Sendero Tract GP

Applicant: BGE | Kerry R. Gilbert Associates



D – Variances

Subdivision

Houston Planning Commission

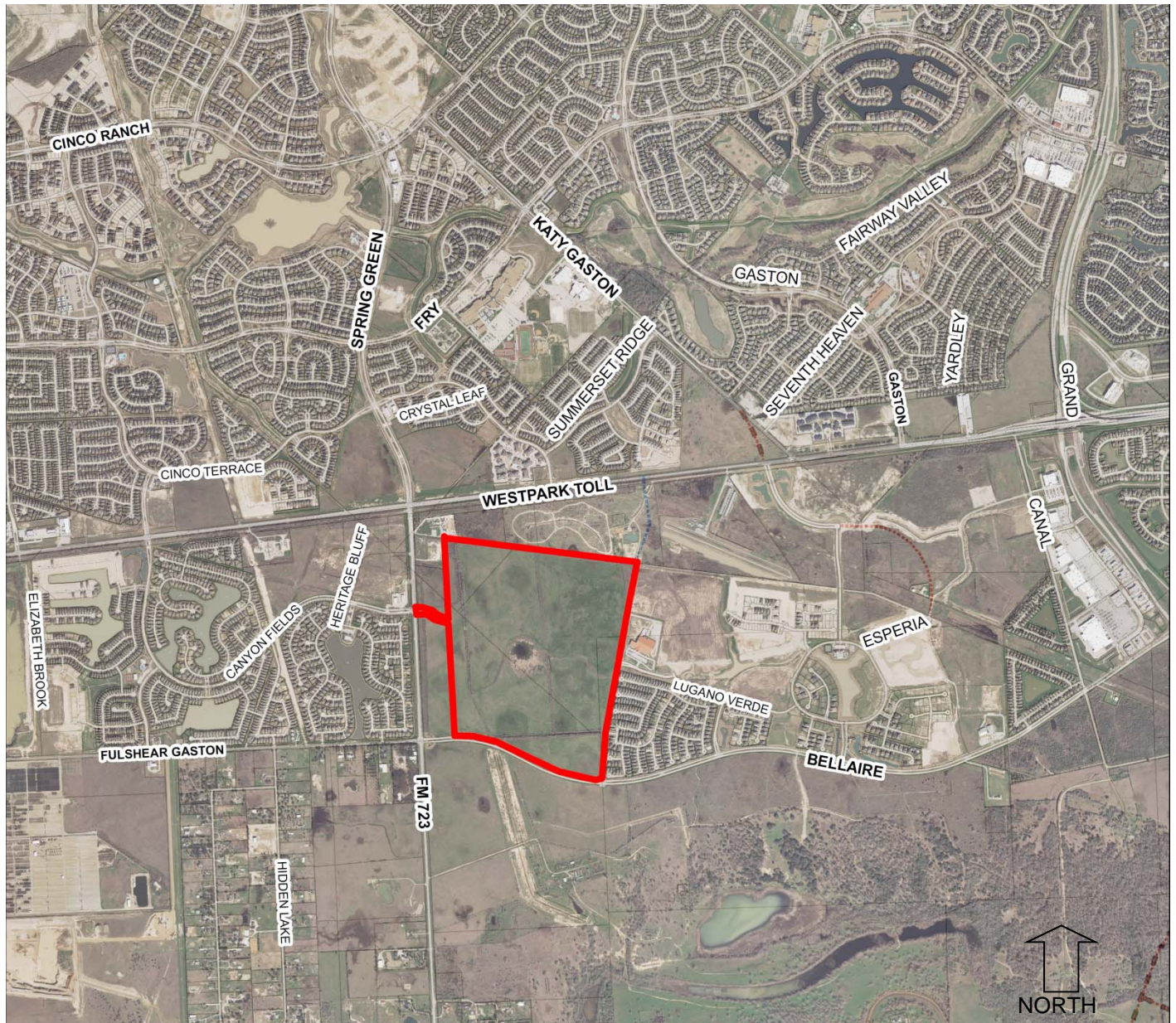
ITEM: 126

Planning and Development Department

Meeting Date: 05/28/2015

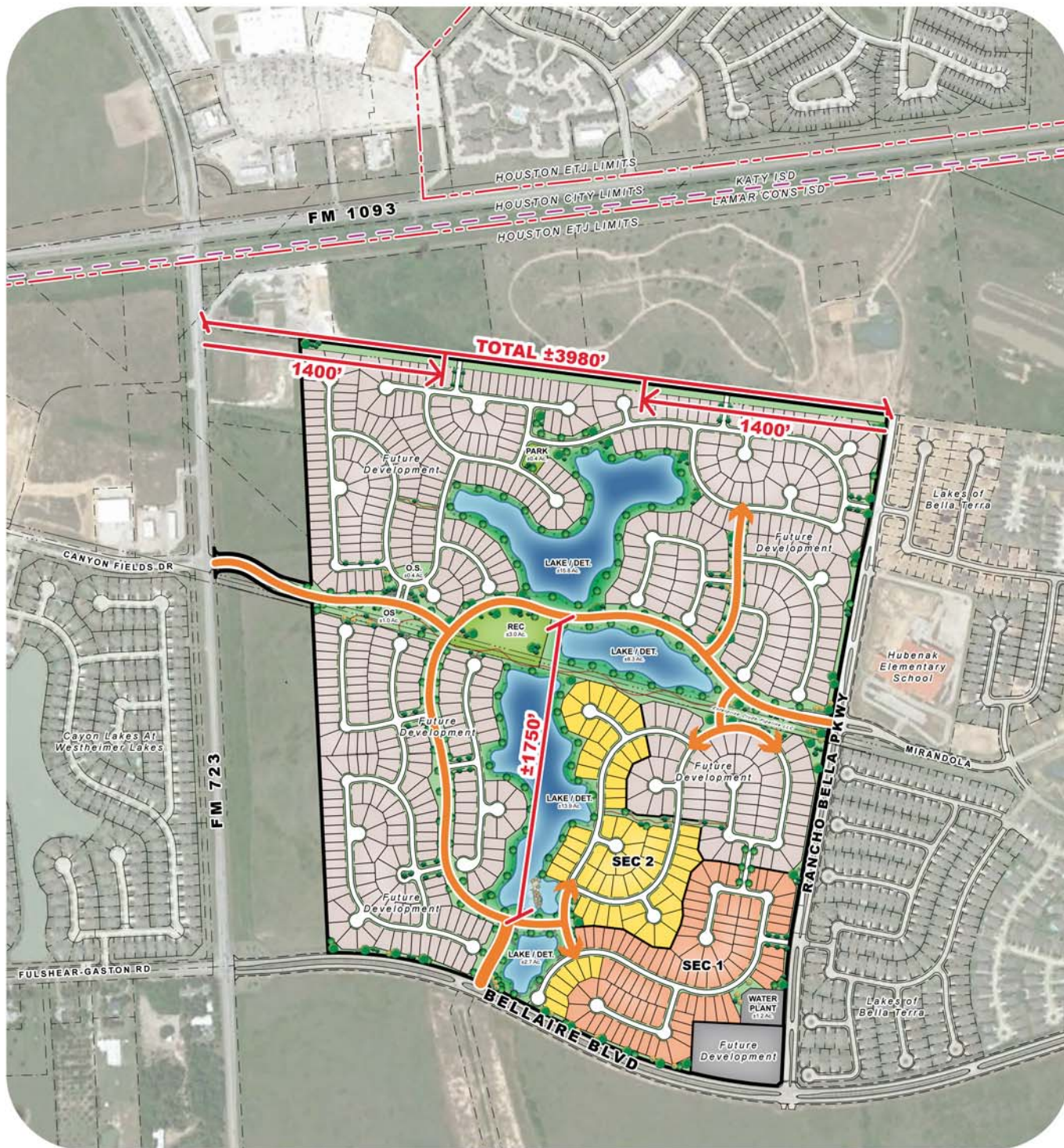
Subdivision Name: Sendero Tract GP

Applicant: BGE | Kerry R. Gilbert Associates



D – Variances

Aerial



a special exception exhibit for
SENDERO TRACT GP
± 256.4 ACRES OF LAND
prepared for
MERITAGE HOMES



~ Land Planning Consultants ~
23501 Cinco Ranch Blvd., Suite A-250
Katy, Texas 77494

7000 North Mopac, Suite 330
Austin, TX 78731
2595 Dallas Parkway, Suite 204
Frisco, TX 75034

Tel: 281-579-0340

SCALE
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MAY 18, 2015
KGA #23003

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PLANNING & DEVELOPMENT DEPARTMENT

SPECIAL EXCEPTION Request Information Form

Application Number: 2015-1051

Plat Name: Sendero Tract GP

Applicant: BGE|Kerry R. Gilbert Associates

Date Submitted: 05/18/2015

(Sec. 42-48 and Sec. 42-82)

Specific requirement for which the special exception is being sought:

To allow a block length (intersection spacing) of 1750' between local streets across an internal lake / detention facility.

Chapter 42 Section: 127

Chapter 42 Reference:

Sec. 42-127. Intersections of local streets. (a) Each class III plat and each general plan that shows local streets shall provide for internal circulation by meeting either of the following requirements: (1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet; or (2) One or more collector streets within the class III plat or general plan shall connect with another collector street or major thoroughfare at a minimum of two points.

Statement of Facts

(1) Special circumstances exist that are unique to the land or the proposed subdivision or development and that are not generally applicable to all other land, subdivision for development in the city or its extraterritorial jurisdiction that justify modification of the standards that would otherwise apply;

The Sendero Tract is a ±256-acre single-family residential community located southwest of central Houston on Bellaire Blvd at Rancho Bella Parkway, south of FM 1093 and slightly west of the Grand Parkway (TX-99). The community is immediately west of the Lakes of Bella Terra development and near to the Canyon Gate at Westheimer Lakes development on FM 723. The property is encumbered by a pipeline easement running east-west through the center of the development. The overall plan for the Sendero Tract includes an internal collector loop street with connections out to the three major roads surrounding the project: FM 723 on the west, Bellaire Blvd on the south, and Rancho Bella Parkway, which is a designated collector street forming the eastern project boundary. Each primary entry includes a view corridor across the central detention lakes that are looped by the collector street system. The collector loop provides multiple access points to the surrounding single-family residential pods and allows traffic to circulate within the development and move out to the three surrounding major roads with ease. This configuration provides both superior internal circulation and an enjoyable amenity for the residents and visitors of the community. The proposed distance across the central lake / detention facility within the collector loop is approximately ±1750' measured north-to-south. This distance is a 25% deviation from the standard.

(2) The proposed special exception will achieve a result contemplated by the standard in article III of Chapter 42 (Planning Standards);

The special exception will allow for a superior circulation system via an internal collector loop street, thereby achieving the results contemplated by the standards of this Chapter.

(3) The modification of the standard requested is not disproportionate to the requirement of the standard;

The modification is a 25% deviation from the standard.

(4) The intent and general purposes of this chapter will be preserved and maintained;

The proposed collector loop street and connections to exterior major roads will provide superior circulation, which will preserve and maintain the intent and general purposes of this chapter.

(5) The granting of the special exception will not be injurious to the public health, safety or welfare.

The granting of the special exception will allow for a superior circulation system contemplated by the standards of this Chapter, and is therefore not injurious to the public health, safety, or welfare.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**SPECIAL EXCEPTION
Request Information Form**

Application Number: 2015-1051

Plat Name: Sendero Tract GP

Applicant: BGE|Kerry R. Gilbert Associates

Date Submitted: 05/18/2015

(Sec. 42-48 and Sec. 42-82)

Specific requirement for which the special exception is being sought:

To allow for excessive block lengths (aka intersection spacing) of 1500' and 1550' between stub streets along the northern project boundary.

Chapter 42 Section: 127

Chapter 42 Reference:

Sec. 42-127. Intersections of local streets. (a) Each class III plat and each general plan that shows local streets shall provide for internal circulation by meeting either of the following requirements: (1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet; or (2) One or more collector streets within the class III plat or general plan shall connect with another collector street or major thoroughfare at a minimum of two points.

Statement of Facts

(1) Special circumstances exist that are unique to the land or the proposed subdivision or development and that are not generally applicable to all other land, subdivision for development in the city or its extraterritorial jurisdiction that justify modification of the standards that would otherwise apply;

The Sendero Tract is a ±256-acre single-family residential community located southwest of central Houston on Bellaire Blvd at Rancho Bella Parkway, south of FM 1093 and slightly west of the Grand Parkway (TX-99). The community is immediately west of the Lakes of Bella Terra development and near to the Canyon Gate at Westheimer Lakes development on FM 723. The property is encumbered by a pipeline easement running east-west through the center of the development. Along the northern project boundary, the total distance between FM 723 and Rancho Bella Parkway is approximately ±3980'. This overall distance requires two stub streets along the northern project boundary to satisfy the 1400' intersection spacing requirement. Two stub streets are provided, however the proposed locations are slightly off-center from the 1400' standard, with one much smaller offset and two slightly larger separations of approximately ±1500' and ±1550'. These distances are respectively 7% and 11% deviations from the standard.

(2) The proposed special exception will achieve a result contemplated by the standard in article III of Chapter 42 (Planning Standards);

The proposed special exception will only slightly shift the location of the two required stub streets, while still providing the required connections, thereby achieving the results contemplated by the standards of this Chapter.

(3) The modification of the standard requested is not disproportionate to the requirement of the standard;

The modifications are a 7% and 11% deviation from the standard.

(4) The intent and general purposes of this chapter will be preserved and maintained;

The stub streets are being provided as required for improved connectivity and internal circulation, which will preserve and maintain the intent and general purposes of this chapter.

(5) The granting of the special exception will not be injurious to the public health, safety or welfare.

The granting of the special exception will only slightly shift the locations of the required stub streets, and is therefore not injurious to the public health, safety, or welfare.



Application No: 2015-1051
Agenda Item: 126
PC Action Date: 05/28/2015
Plat Name: Sendero Tract GP
Applicant: BGE|Kerry R. Gilbert Associates

Staff Recommendation: Grant the requested special exception(s) and Approve the plat subject to the conditions listed

Chapter 42 Sections: 127; 127

Specific requirement for which the special exception is being sought: (Sec. 42-48 and Sec. 42-82)

To allow a block length (intersection spacing) of 1750' between local streets across an internal lake / detention facility.;
To allow for excessive block lengths (aka intersection spacing) of 1500' and 1550' between stub streets along the northern project boundary.;

Basis of Recommendation:

The site is located north of Bellaire Boulevard, east of FM 723 and west of Rancho Bella Parkway. The applicant requests two special exceptions: 1. to allow a 1750' block length along the proposed internal loop street. 2. to allow excessive block lengths along the northern property boundary. Staff supports both of the special exceptions.

Sendero Tract is a ±256-acre single-family residential community adjacent to three major roads. The applicant proposes a collector loop street system to provide multiple access points for the community. The proposed loop street will allow traffic to circulate within the development and move out to the three surrounding major roads. The proposed block length along the internal loop street is about 1750'. The excessive block lengths along the northern boundary are 1500' and 1550' respectively. The modifications are less than 30%, and are not disproportionate. Traffic circulation in the overall area will be addressed by the proposed and existing street pattern in the adjacent area.

Therefore, staff recommends granting the special exceptions and approving the plat subject to CPC 101 Form conditions.

Staff Evaluation

(1) Special circumstances exist that are unique to the land or the proposed subdivision or development and that are not generally applicable to all other land, subdivision for development in the city or its extraterritorial jurisdiction that justify modification of the standards that would otherwise apply;

The proposed loop street will allow traffic to circulate within the development and move out to the three surrounding major roads. The proposed block length along the internal loop street is about 1750'. The excessive block lengths along the northern boundary are 1500' and 1550' respectively. The modifications are less than 30%, and are not disproportionate. Traffic circulation in the overall area will be addressed by the proposed and existing street pattern in the adjacent area.

(2) The proposed special exception will achieve a result contemplated by the standard in article III of Chapter 42 (Planning Standards);

The proposed loop street will allow traffic to circulate within the development and move out to the three surrounding major roads.

(3) The modification of the standard requested is not disproportionate to the requirement of the standard;

The modifications are less than 30%, and are not disproportionate.

(4) The intent and general purposes of this chapter will be preserved and maintained;

Traffic circulation in the overall area will be addressed by the proposed and existing street pattern in the adjacent area.

(5) The granting of the special exception will not be injurious to the public health, safety or welfare.

The granting of the special exception will not be injurious to the public health, safety or welfare.



Houston Planning Commission

Meeting CPC 101 Form

Platting Approval Conditions

Agenda Item: 127

Action Date: 05/28/2015

Plat Name: Aliana Sec 45

Developer: Aliana Development

Applicant: LJA Engineering, Inc.- (West Houston Office)

App No/Type: 2015-0993 C3P

Staff Recommendation:

Defer Applicant request

Total Acreage:	58.5480	Total Reserve Acreage:	29.3110
Number of Lots:	95	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Fort Bend County MUD 134 B
County	Zip	Key Map ©	City / ETJ
Fort Bend	77407	567A	ETJ

Conditions and Requirements for Approval

043. All existing easements and/or fee strips must show record information. Identify all existing easements listed in the title commitment.

047. Make minor corrections and additions as indicated on the marked file copy.

058. Identify adjacent areas, lots, blocks and reserves with building lines, drainage ways, acreage, easements and pipelines. When applicable include record information for these areas. (41)

209. Applicant has requested that this item be deferred for two weeks.

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

Fort Bend Engineer: Change radius to 30' for all streets intersectiong Noval Gardens Avenue including at West Airport Blvd

Add 10' Landscape Reserve along West Airport Blvd

City Engineer: MAKE SURE THAT THE SUBDIVISION HAS DETENTION

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

Houston Planning Commission

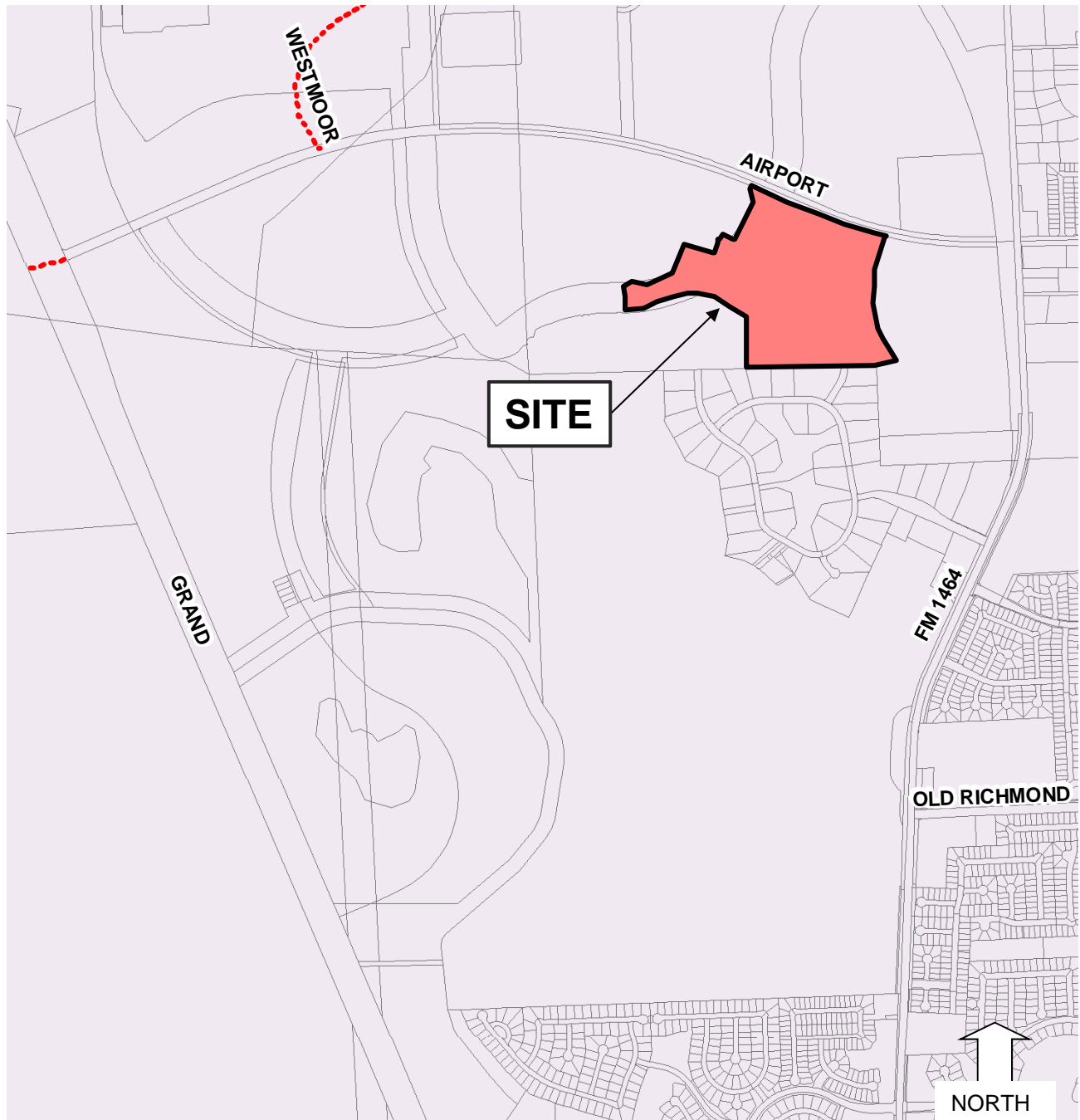
ITEM: 127

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Aliana Sec 45 (DEF 1)

Applicant: LJA Engineering, Inc.



F – Reconsideration of Requirements

Site Location

Houston Planning Commission

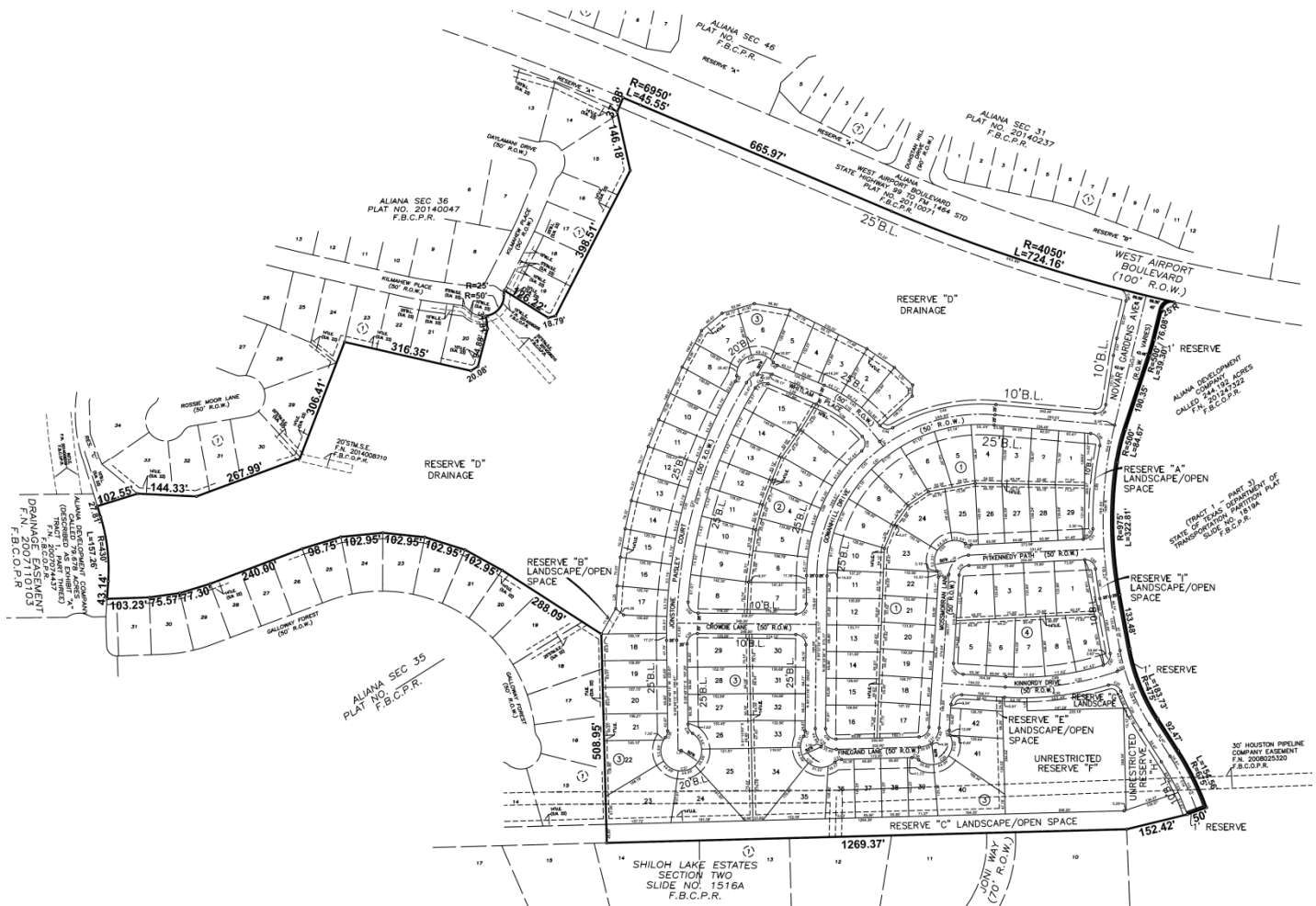
ITEM: 127

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Aliana Sec 45 (DEF 1)

Applicant: LJA Engineering, Inc.



F – Reconsideration of Requirements

Subdivision

Houston Planning Commission

ITEM: 127

Planning and Development Department

Meeting Date: 05/28/2015

Subdivision Name: Aliana Sec 45 (DEF 1)

Applicant: LJA Engineering, Inc.



F – Reconsideration of Requirements

Aerial



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**RECONSIDERATION OF REQUIREMENT
Request Information Form**

Application No: 2015-0993
Plat Name: Aliana Sec 45
Applicant: LJA Engineering, Inc.- (West Houston Office)
Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific requirement or condition being sought:

42-127b Allow an intersection of less than 600' between two streets along a major thoroughfare

Chapter 42 Section: 127(b)

Chapter 42 Reference:

Sec. 42-127. Intersections of major thoroughfares. (b) Intersections along a major thoroughfare shall be spaced a minimum of 600 feet apart.

If this request requires a variance or special exception, the applicant must comply with the Plat Submittal Requirements and provide a completed Variance Request Information Form or Special Exception Information Form.

STATEMENT OF FACTS:

A variance is being submitted to address the minimum of 600' intersection spacing.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0993

Plat Name: Aliana Sec 45

Applicant: LJA Engineering, Inc.- (West Houston Office)

Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

42-127(b). To allow a street intersection spacing of less than 600' along a major thoroughfare.

Chapter 42 Section: 127(b)

Chapter 42 Reference:

Sec. 42-127. Intersections of major thoroughfares. (b) Intersections along a major thoroughfare shall be spaced a minimum of 600 feet apart.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Aliana Section 45 is south of West Airport and west of FM 1464 in Fort Bend County. This proposed plat has 58.5 acres of land and includes 95 lots and 29 acres of reserve most of which is for drainage. Novar Gardens Avenue is a street on the eastern end of the plat. This street is as far east from Dunstan Hill Drive in Aliana Sec 31 as is possible. Dunstan Hill Drive (on the north end of West Airport Boulevard) and Novar Gardens Avenue are 500' apart. Aliana Section 31 is recorded so this street can not move. The proposed Novar Gardens Avenue has been pushed to the eastern boundary of the plat and can not move any further.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstance supporting the granting of the variance is that the entire northern boundary of Aliana Section 45 is restricted to drainage (Reserve D) and the 95 lots proposed in Section 45 will have a second point of access in the future. The impact of the 500' length is somewhat minimized by 90' ROW where Novar Gardens Avenue intersects with West Airport Boulevard.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter will be preserved and maintained as Aliana Section 45 will have two points of access. Additionally the 90' ROW will allow for a turning radius into the proposed subdivision. The subdivision allows for good vehicular access into the area and the 500' distance should allow for the safety of the area.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to public, health and safety as the distance is 500' and the lots in this section will have two points of access. The granting of this variance will allow the developers to provide the surrounding master planned community to provide the area with the drainage and recreation that is needed.

(5) Economic hardship is not the sole justification of the variance.

Feasibility is the hardship and not economic. The existing Dunstan Hill Drive makes providing a ROW greater than 600' from it impossible within the proposed subdivision. Novar Gardens Avenue is as far to the east as possible.



Application No: 2015-0993

Agenda Item: 127

PC Action Date: 05/28/2015

Plat Name: Aliana Sec 45

Applicant: LJA Engineering, Inc.- (West Houston Office)

Staff Recommendation: [Defer Applicant request](#)

Chapter 42 Sections: [127\(b\)](#)

Specific variance is being sought and extent of variance: (Sec. 42-47 and Sec. 42-81)

[42-127\(b\). To allow a street intersection spacing of less than 600' along a major thoroughfare.;](#)

Basis of Recommendation:

Subject site is located along and south of Airport Blvd and west of FM 1464. The applicant is requesting a variance to allow less than 600' intersection spacing along a major thoroughfare.
Staff's recommendation is to defer the plat per applicant's request.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

[N/A](#)

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

[N/A](#)

(3) The intent and general purposes of this chapter will be preserved and maintained;

[N/A](#)

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

[N/A](#)

(5) Economic hardship is not the sole justification of the variance.

[N/A](#)



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 128
Action Date: 05/28/2015
Original Action Date: 06/26/2014
Plat Name: Briscoe Falls Sec 5
Developer: Jones & Carter, Inc.
Applicant: Jones & Carter, Inc.
App No : 2014-1516
App Type: C3P

Staff Recommendation:
Approve

Total Acreage:	9.2367	Total Reserve Acreage:	0.0000
Number of Lots:	44	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	

County	Zip	Key Map ©	City / ETJ
Fort Bend	77406	524Q	ETJ

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 129
Action Date: 05/28/2015

Staff Recommendation:
Approve

Original Action Date: 05/29/2014

Plat Name: DNA Properties

Developer: Hovis Surveying Company Inc.

Applicant: Hovis Surveying Company Inc.

App No : 2014-1195

App Type: C2R

Total Acreage:	0.9133	Total Reserve Acreage:	0.9133
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	

County	Zip	Key Map ©	City / ETJ
Harris	77379	330K	ETJ

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

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**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 130
Action Date: 05/28/2015
Original Action Date: 07/10/2014

Staff Recommendation:
Approve

Plat Name: East End on the Bayou Sec 2
Developer: Asakura Robinson Co.
Applicant: Asakura Robinson Co.
App No : 2014-1400
App Type: C3N

Total Acreage:	1.4608	Total Reserve Acreage:	0.0600
Number of Lots:	36	Number of Multifamily Units:	0
COH Park Sector:	11	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	

County	Zip	Key Map ©	City / ETJ
Harris	77003	494J	City

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

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**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 131
Action Date: 05/28/2015
Original Action Date: 06/12/2014
Plat Name: Foley Road Ranch
Developer: South Texas Surveying Associates, Inc.
Applicant: South Texas Surveying Associates, Inc.
App No : 2014-0956
App Type: C2R

Staff Recommendation:
Approve

Total Acreage:	8.0020	Total Reserve Acreage:	0.4560
Number of Lots:	5	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	

County	Zip	Key Map ©	City / ETJ
Harris	77532	379N	ETJ

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 132
Action Date: 05/28/2015
Original Action Date: 06/26/2014
Plat Name: Greenwood Plaza
Developer: South Texas Surveying Associates, Inc.
Applicant: South Texas Surveying Associates, Inc.
App No : 2014-1513
App Type: C2

Staff Recommendation:
Approve

Total Acreage:	2.2401	Total Reserve Acreage:	2.0857
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Combination	Utility District:	Greenwood Utility District

County	Zip	Key Map ©	City / ETJ
Harris	77044	456C	ETJ

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

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**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 133
Action Date: 05/28/2015
Original Action Date: 05/29/2014
Plat Name: Hidden Oaks replat no 2 partial replat no 1 and extension
Developer: Brown & Gay Engineers, Inc.
Applicant: Brown & Gay Engineers, Inc.
App No : 2014-0941
App Type: C3N

Staff Recommendation:
Approve

Total Acreage:	16.2900	Total Reserve Acreage:	16.2500
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	9	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Storm Sewer	Utility District:	

County	Zip	Key Map ©	City / ETJ
Harris	77056	491L	City

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

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**PLANNING &
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Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 134
Action Date: 05/28/2015
Original Action Date: 05/29/2014
Plat Name: Lakecrest Village Sec 5
Developer: EHRA
Applicant: EHRA
App No : 2014-1257
App Type: C3F

Staff Recommendation:
Approve

Total Acreage:	3.1271	Total Reserve Acreage:	0.0000
Number of Lots:	20	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County MUD 65

County	Zip	Key Map ©	City / ETJ
Harris	77493	444R	ETJ

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

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**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 135
Action Date: 05/28/2015
Original Action Date: 05/29/2014

Staff Recommendation:
Approve

Plat Name: Pine Trace Sec 6
Developer: Hovis Surveying Company Inc.
Applicant: Hovis Surveying Company Inc.
App No : 2014-1281
App Type: C3F

Total Acreage:	10.0110	Total Reserve Acreage:	0.0000
Number of Lots:	61	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Storm Sewer	Utility District:	Harris County Utility District 16

County	Zip	Key Map ©	City / ETJ
Harris	77073	333W	ETJ

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

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**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 136
Action Date: 05/28/2015

Staff Recommendation:
Approve

Original Action Date: 05/29/2014

Plat Name: Pros Drywall

Developer: Hovis Surveying Company Inc.

Applicant: Hovis Surveying Company Inc.

App No : 2014-1228

App Type: C2R

Total Acreage:	0.1336	Total Reserve Acreage:	0.1336
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:		Street Type (Category):	Public
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	

County	Zip	Key Map ©	City / ETJ
Harris	77032	373U	ETJ

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Meeting CPC 101 Form

Extension of Approval Approval Conditions

Agenda Item: 137
Action Date: 05/28/2015

Staff Recommendation:
Approve

Original Action Date: 05/29/2014

Plat Name: WPW Management Corporation

Developer: Hovis Surveying Company Inc.

Applicant: Hovis Surveying Company Inc.

App No : 2014-1204

App Type: C2

Total Acreage:	3.5090	Total Reserve Acreage:	3.5090
Number of Lots:	0	Number of Multifamily Units:	0
COH Park Sector:	0	Street Type (Category):	Combination
Water Type:	Existing Utility District	Wastewater Type:	Existing Utility District
Drainage Type:	Combination	Utility District:	Prestonwood Forest Utility District

County	Zip	Key Map ©	City / ETJ
Harris	77070	369H	City/ETJ

Extension of Approval Notes:

Per Sec 42-80 (b): Approval of the plats shall be valid for a period of 12 months from the date on which the Director or Commission, as applicable, approved the plat. The Director shall extend the period of validity of a plat approved by the Commission for not more than 12 months from the original expiration date.

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.

CITY OF HOUSTON

HOUSTON PLANNING COMMISSION
PLANNING & DEVELOPMENT DEPARTMENT

Planning Commission
Meeting Date: 05/28/15

ITEM: 138

Applicant: REINA AND JOHN REED

Contact Person: JOHN C. REED

Location	File No.	Zip	Lamb. No.	Key Map	City/ ETJ
SOUTH OF: FM 1314 EAST OF: LOOP 494	15-1053	77365	5771	296-M	ETJ

ADDRESS: 24254 Kelly Road

ACREAGE:

LEGAL DESCRIPTION: LOT THIRTY-ONE (31) OF ADAMS OAKS, SECTION 2, AN UNRECORDED SUBDIVISION IN THE J.M. EVERETT SURVEY, A-197, MONTGOMERY COUNTY, TEXAS.

PURPOSE OF REQUEST: Residence

STAFF REPORT

STAFF RECOMMENDATION: Approve

BASIS OF RECOMMENDATION: Application meets all criteria for a certificate of compliance

ADDITIONAL INFORMATION :

CERTIFICATE OF COMPLIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to planning.variances@houstontx.gov prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at www.houstonplanning.com.

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Brettza More Design	Michael McEnany	713-213-8344	michael.mcenany@gmail.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
768 East 16 TH Street	15044101	77008	5359	453W	C

HCAD ACCOUNT NUMBER(S):	0542970000021
PROPERTY LEGAL DESCRIPTION:	LT 21 BLK 5 Pinelawn
PROPERTY OWNER OF RECORD:	Michael S McEnany
ACREAGE (SQUARE FEET):	5000 SF
WIDTH OF RIGHTS-OF-WAY:	Studewood Street 90' ROW; East 16 th Street 60' ROW
EXISTING PAVING SECTION(S):	Studewood Street 35'; East 16 th Street 27'
OFF-STREET PARKING REQUIREMENT:	Two
OFF-STREET PARKING PROVIDED:	Two
LANDSCAPING REQUIREMENTS:	Complies
LANDSCAPING PROVIDED:	Complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	Residential Single Family: 1,721 SF
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	Residential Single Family: 2,250 SF

PURPOSE OF VARIANCE REQUEST: Request a variance to encroach the 25' ordinance building line along Studewood. To allow a portion of the proposed habitable structure to be located at 10'-9" from the ROW of Studewood and the garage to be located at 20'-10" from the ROW of Studewood.

CHAPTER 42 REFERENCE(S): **Sec. 42-152 Building Line Requirement Along Major Thoroughfares:** The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25'.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

The variance request proposes an encroachment into the current 25' building line along Studewood St in order to align the proposed housing addition with the existing house. The proposed structure will not encroach beyond the existing structure. The variance request proposes a building line of 10'-9" from the property line for the habitable space and 20'-10" for the garage. The existing garage is being replaced and the existing curb cut will remain and be reused and unmodified. Also, a new T-turnaround will be provided with-in property line boundaries.

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@houstontx.gov.

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or

(1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The purpose of this project is to maximize the land for single-family residential use, while preserving the historical quality of the existing 1930s structure. An existing Centerpoint aerial easement along the south property line (and partially over the existing garage structure) makes an addition directly over the garage unfeasible. In order to accomplish the primary goals of this project 1) safely maintain the required aerial easement offset, 2) preserve the existing historical structure, and 3) maximize the living space of the structure, utilizing a portion of the area within the 25' setback is necessary. The proposed housing addition will not encroach beyond the building line of the existing housing structure, in order to minimize impact to the Chapter 42 setback requirement.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The existing Centerpoint aerial easement & required setback presents the hardship on the subject property.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Other than the 25' building line encroachment, all other requirements in Chapter 42 will be maintained.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting of the variance will not be injurious to the public health, safety or welfare. All City of Houston safety requirements will be followed.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance. The justification of the variance is to safely maintain the required Centerpoint aerial easement offsets, while preserving the historical nature of the existing structure and maximize living space.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

LOCATON MAP



DEVELOPMENT PLAT VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 139

Meeting Date: 05.28.15

Houston Planning Commission

AERIAL MAP

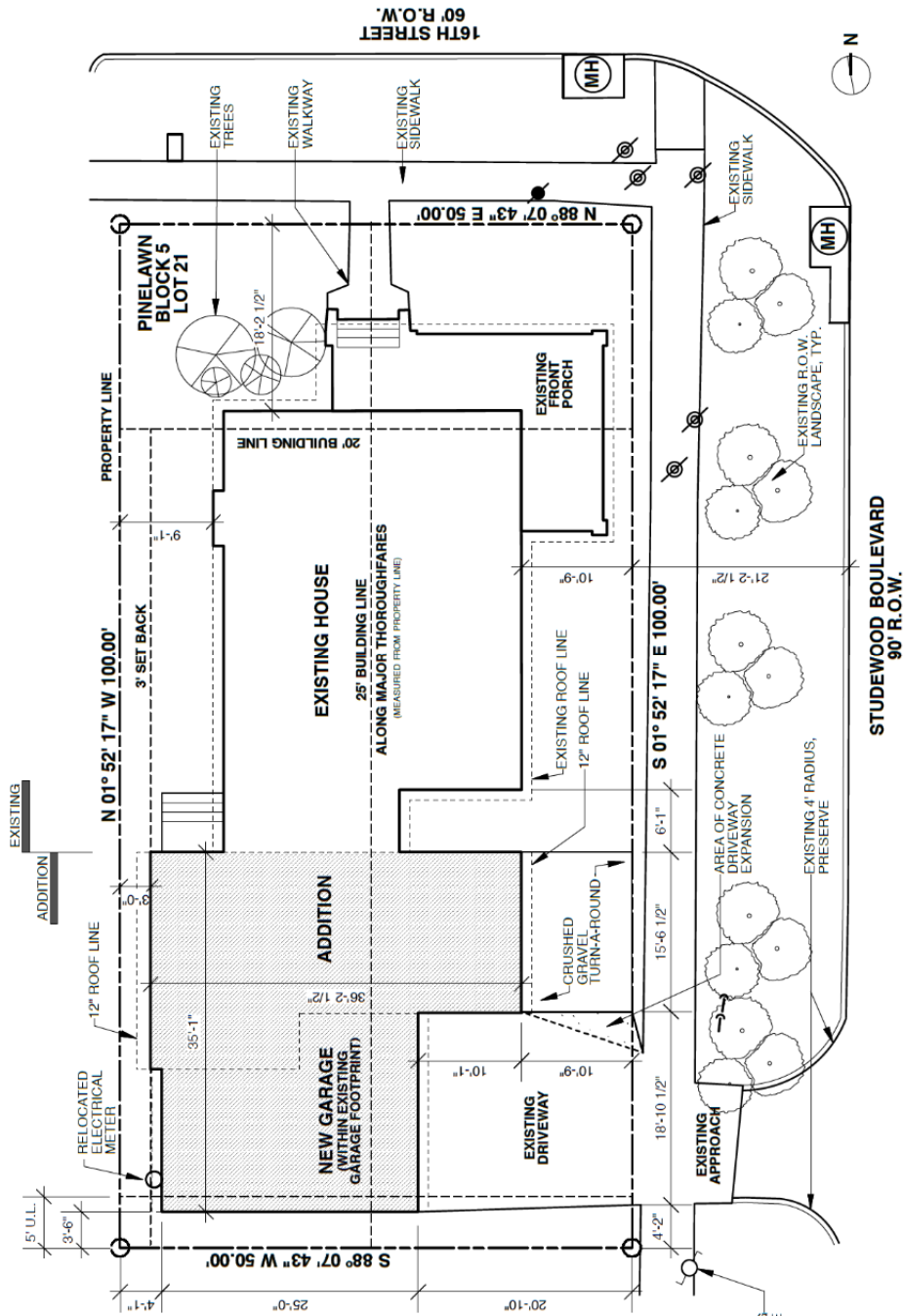


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

SITE PLAN



DEVELOPMENT PLAT VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 139

Meeting Date: 05.28.15

Houston Planning Commission

ELEVATIONS



A EAST ELEVATION (STUDEWOOD BLVD.)



B NORTH ELEVATION (E. 16TH ST.)

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

STAFF REPORT

Staff Recommendation: Approve

Basis of Staff Recommendation: 768 East 16th Street. The site is located at the northwest intersection of East 16th Street and Studewood Street, west of North Main Street and east of Heights Blvd. The applicant is requesting two variances: 1) to allow a garage to be built at 20' 10" instead of the required 25' setback and 2) to allow an addition to a single family home to be built at 10' 9" from the major thoroughfare Studewood Street. Staff is in support of both requests.

The corner lot was platted with the Pinelawn subdivision in 1923 and site has a 20' deed restricted building line along East 16th Street, a 5' utility easement located from the southern property line and a 3' deed restricted building line from the site's western boundary.

The existing home, which was constructed in 1930 according to HCAD, sits 10' 9" from the ROW of Studewood. The applicant is proposing an addition to the home that will include a master bedroom and a family room; however the portion of the home that will encroach into the required setback will predominately be the staircase and a balcony. The addition will align with the footprint of the existing home and it will sit approximately 32' from the back of curb on Studewood.

The property has an existing driveway curb cut onto Studewood Street which will be maintained and utilized by the applicant. The applicant is also providing a 3 point T turnaround on the site and the garage door will sit approximately 42 feet from the back of curb from the major thoroughfare. Studewood is sufficient in width and the proposed garage will adhere to the footprint of the existing garage. Requiring a 25' setback will unreasonably restrict the applicant's buildable area and the reduced building line will suit the neighborhood character and the site context.

Therefore, staff's recommendation is to grant the requested variances for a 20' 10" garage building line and a 10' 9" building line for the addition to the existing single family home. The applicant will need to provide a consent of encroachment from Centerpoint Energy for the garage at the permitting stage.

PLANNING COMMISSION ACTION:

BASIS OF PLANNING COMMISSION ACTION: (SEE ABOVE STAFF EVALUATION)

ADDITIONAL FINDINGS BY PLANNING COMMISSION:

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

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APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Zohreh Mossanna	Zohreh Mossanna	832-875-5667	suziemossanna@yahoo.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
12819 Hansel Lane	14117822	77024	4957	489G	G

HCAD ACCOUNT NUMBER(S):	087070000003
PROPERTY LEGAL DESCRIPTION:	Lot 3 Blk 10, Memorial Bend Sec 2
PROPERTY OWNER OF RECORD:	Zohreh Mossanna
ACREAGE (SQUARE FEET):	9600 SF
WIDTH OF RIGHTS-OF-WAY:	Hansel Road-60' ROW; Beltway 8- 300'
EXISTING PAVING SECTION(S):	Hansel Road-21' ROW; Beltway 8- varies
OFF-STREET PARKING REQUIREMENT:	complies
OFF-STREET PARKING PROVIDED:	complies
LANDSCAPING REQUIREMENTS:	complies
LANDSCAPING PROVIDED:	complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	3075 SF
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	402 SF- Addition

PURPOSE OF VARIANCE REQUEST: Above mentioned addition is encroaching the building line from the feeder road of the beltway. The addition is already constructed by a general contractor without a permit and the home owner was not aware of the situation.

CHAPTER 42 REFERENCE(S): 42-152 - The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

I am asking planning commission to please allow me to complete the conversion of my outside patio for a living room space so I could take care of my grandchildren. I assure the commission that this addition will not harm the health and the safety of the citizen of this great city that I have been living for many years and more to come

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@houstontx.gov.

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or

(1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The addition to the living area has been completed by a General Contractor not applying for a building permit and not knowing anything about the Building Line.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The applicant did not know that the contractor has not pull a building permit for the addition until She was notified by the association. The contractor has left the site/structure (project) as-is (unfinished) and has not returned to the job site. The association has no objection to the structure but having a City's building permit.

(3) The intent and general purposes of this chapter will be preserved and maintained;

There has been no building line enforcement from the beltway 8 feeder road site until the road improvement. There are several residence either new or addition also have encroach the building line along the feeder road.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

In no way the conversion of my patio to a living space for my 5 grandchildren will be causing any harm to health and safety of the public.

(5) Economic hardship is not the sole justification of the variance.

The uncompleted structure has created an unsafe access from the outside to the residence because is an open structure and easy to break in.

DEVELOPMENT PLAT VARIANCE



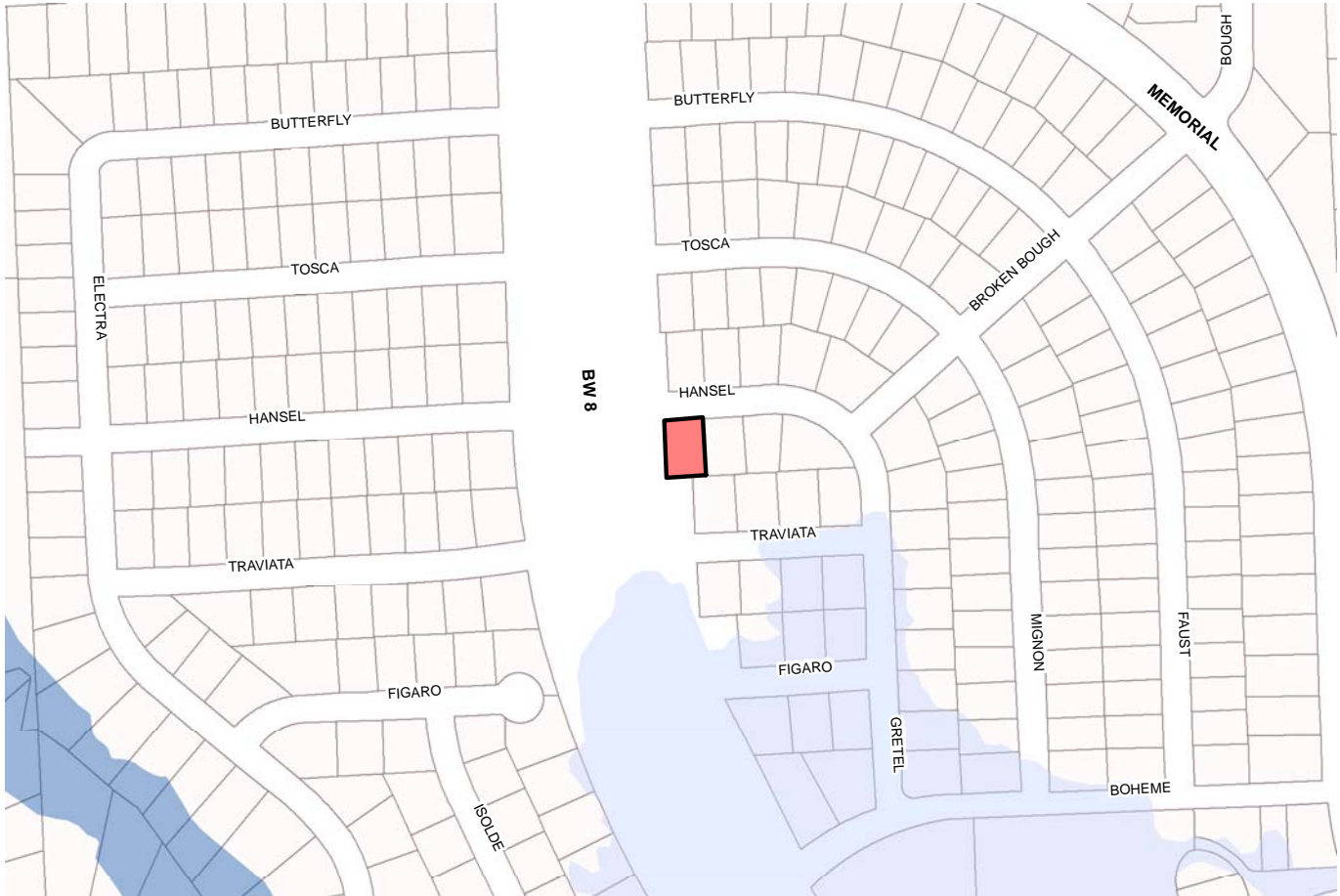
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 140

Meeting Date: 05.28.15

Houston Planning Commission

LOCATION MAP



DEVELOPMENT PLAT VARIANCE



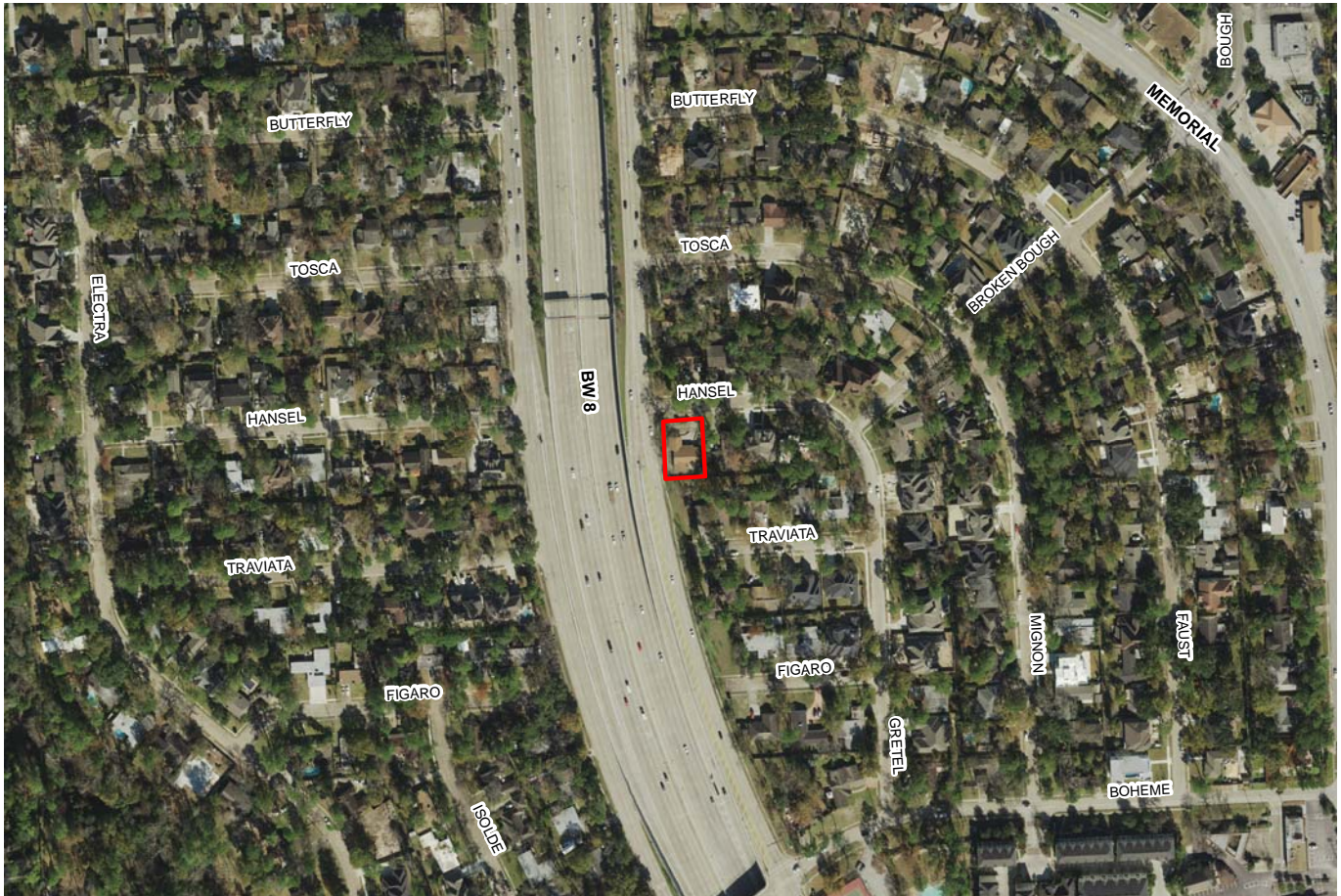
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 140

Meeting Date: 05.28.15

Houston Planning Commission

AERIAL MAP



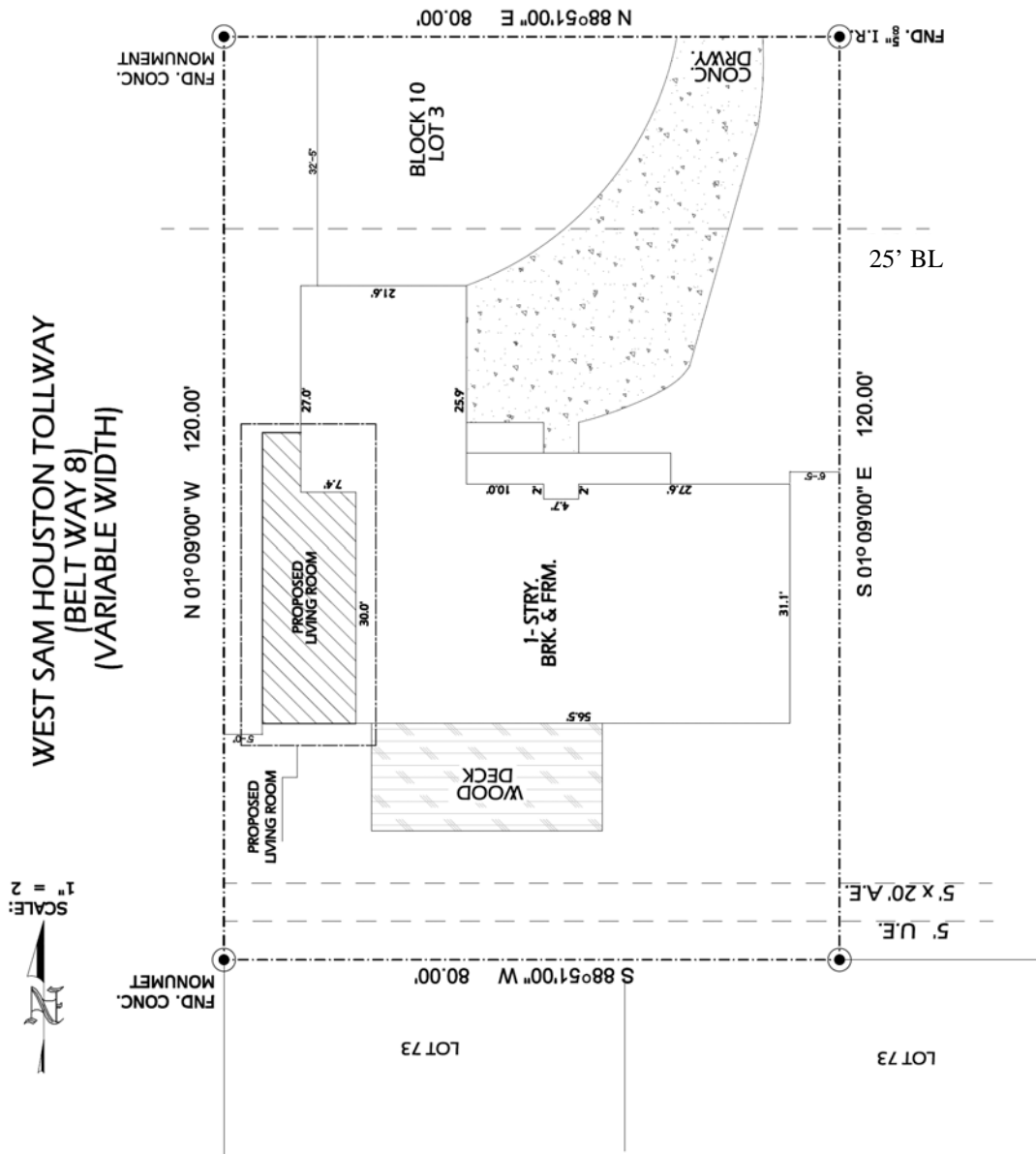
DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

SITE PLAN

HANSEL LANE 60' ROW

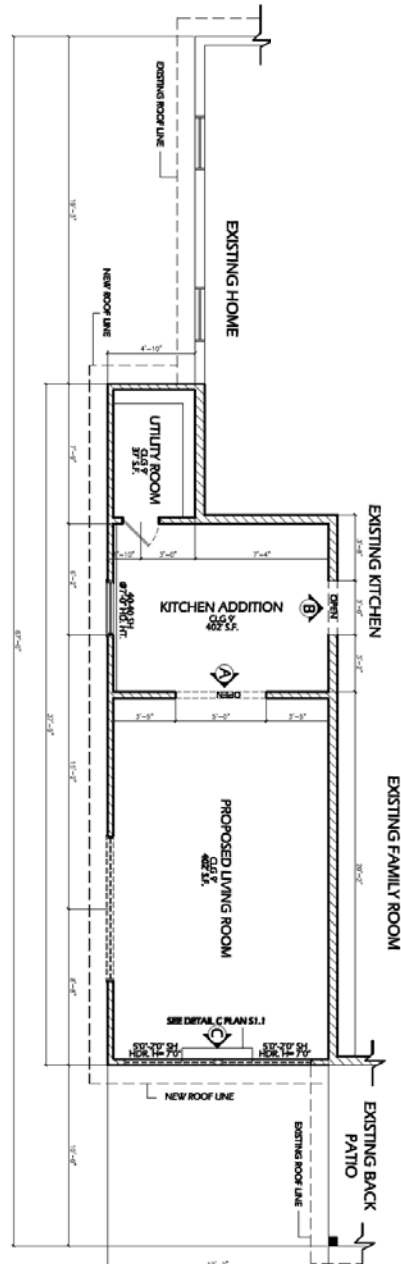


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

FLOOR PLAN



DEVELOPMENT PLAT VARIANCE

April 28, 2005

Christa Stoneham (Via e-mail christa.stoneham@houston.tx.gov)
City of Houston Planning & Development Department
611 Walker, 6th Floor
Houston, Texas 77002

Re: Protest of Variance Request

Project Address: 12819 Hansel Lane
Reference Number: 14117822
Property Owner: Zohreh Mossanne aka Zohreh Mossanna
Public Hearing scheduled for April 30, 2015

Dear Ms. Stoneham:

The undersigned and this law firm represent the *Memorial Bend Civic Association, Inc.* (Association). The property at the above-referenced Project Address is under the jurisdiction of the Association. For the reasons stated below, this letter is written on behalf of the Association to request that the above-referenced variance request be denied by the Houston Planning Commission because the project violates the applicable *restrictive covenants* (Restrictions).

- 1) The Property Owner has misrepresented the Association's position with regard to the project. The Association objects to the addition. Despite the requirement in the *Memorial Bend Architectural Guidelines* (Guidelines) that the project be submitted to the Association for approval, the Property Owner has not, despite repeated requests from the Association, submitted her project to the Association for approval.
- 2) The project violates the five foot side property line setback requirement contained in the Restrictions. Article V, Sec. 5.7 of the Declaration of Covenants Restrictions and Conditions (copy attached) states that no building shall be located nearer to five feet to either side property line. Article II, Sec. 2.01(e)(i)(a) of the Guidelines (copy attached) states that the five foot side lot setback requirement includes overhangs. We have attached photographs evidencing the side property line setback violation.
- 3) The Association's *Board of Directors* (Board) has informed this office that the Property Owner has misrepresented that there are other residences that encroach into the building line along the Beltway 8 feeder road. The Board is not aware of any other residence that encroaches into the building line on the feeder road.

- 4) The project may violate the Permissible Coverage limitation in Article I, Sec. 1.05 of the Guidelines. The provision prohibits the building, impermeable, paved areas and garage from having a footprint covering more than 70% of the buildable area of the lot as calculated from the area within the building setbacks. Because the owner has failed and refused to submit her project to the Association for approval as required by the Guidelines, the Association has been unable to determine if the addition has resulted in a violation of this provision.

For these reasons, the Association requests that the Houston Planning Commission deny the variance requested by the Property Owner.

Thank you for your cooperation in this matter. Please contact me at 713/780-4135 if you have any questions or require additional information

Respectfully,

ROBERTS MARKEL WEINBERG BUTLER HAILEY PC



Cliff Davis

cc: Arva Howard
City of Houston Legal Department
arva.howard@houstontx.gov

13218-00001

Stoneham, Christa - PD

From: Cliff Davis <cdavis@rmwbhlaw.com>
Sent: Tuesday, May 26, 2015 11:46 AM
To: Stoneham, Christa - PD; Howard, Arva L. - LGL
Cc: Griffin Vance; 'mbacc@gmail.com'; Clinton F. Brown
Subject: 13218-00001 - City Reference 14117822 - Mossanna - 12819 Hansel Lane - Memorial Bend Civic Association

Follow Up Flag: Follow up
Flag Status: Flagged

Christa,

This e-mail is to inform you that the Memorial Bend Civic Association will be denying the application submitted by the property owner requesting approval for her violation of the 5' side setback line contained in the applicable restrictive covenants. Ms. Mossana allowed several members of the Association to inspect her property on 05/23/15. The Association confirmed that the roof overhang of the structure at issue violates the 5' setback requirement in violation of the Association's Architectural Guidelines which are on file with Harris County, Texas and are considered restrictive covenants that encumber the property under Sec. 202.001(4) of the Texas Property Code. The Association will not approve and/or grant a variance to this violation.

In addition, the Association found that the structures on Ms. Mossanna's lot violate the Association's impervious coverage limitation. As a side note, we have been informed that there are several other structures/improvements on the property that are not reflected on the site plan submitted to the City. For example, we have been informed that what the owner represented as a wood deck on the back of the residence is actually an enclosed structure. In addition the southeast portion of the property is covered with pavers with concrete substrate.

In any event, please advise what the staff recommendation will be at this week's Planning Commission Hearing once it has been determined.

Thanks,

Roberts Markel Weinberg Butler Hailey PC is a debt collector attempting to collect a debt, and any information obtained as a result of this correspondence shall be used for that purpose.

Cliff Davis
Shareholder
cdavis@rmwbhlaw.com



Houston Planning Commission

STAFF REPORT

Staff Recommendation: Disapprove

Basis of Staff Recommendation: 12819 Hansel Lane. The site is located south of Memorial Drive, west of Gessner Road and east of Beltway 8. The applicant is requesting a variance for a 5' BL instead of the required 25' setback for an addition to the existing single family home. Staff is not in support of the requested variance; this item was deferred at the last planning commission for further study and review of separately filed deed restrictions.

The site was platted with the Memorial Bend Section Two subdivision in 1955, however when Beltway 8 was constructed the property became a corner lot. The applicant has converted an outdoor patio into an addition to the home's living room and kitchen without a building permit. Consequently, the City of Houston code enforcement department has issued the applicant 5 citations for unpermitted work between the months of September 2014 to April 2015.

Staff has coordinated with the Neighborhood Services Section of the City of Houston Legal Department and the Memorial Bend Civic Association during the deferral period. The City of Houston Legal Department and the Memorial Bend Civic Association has confirmed the applicant has violated the setback and impervious coverage limitations outlined in the of the Memorial Bend deed restrictions.

Therefore, staff's recommendation is to deny the requested variance to allow a 5' BL for an addition to an existing single family home. The applicant will be allowed to replace the exterior wall that was removed for the addition.

PLANNING COMMISSION ACTION:

BASIS OF PLANNING COMMISSION ACTION: *(SEE ABOVE STAFF EVALUATION)*

ADDITIONAL FINDINGS BY PLANNING COMMISSION:

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

An applicant seeking a variance to the Tree, Shrub and Landscape Standards of Chapter 33 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to planning.variances@houstontx.gov prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at www.houstonplanning.com.

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Studio RED Architects	Micah Simecek	713.255.8824	simecek@studioreredarchitects.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
2951 Wilcrest Drive	15053171	77042	4956-C	489-Y	F

PROJECT NAME:	General Consulate of Saudi Arabia
HCAD ACCOUNT NUMBER(S):	1127640000012 and a portion of 1127640000010
PROPERTY LEGAL DESCRIPTION:	Unrestricted Reserve B Block 2 Westchase Section 12
PROPERTY OWNER OF RECORD:	Royal Consulate General of Saudi Arabia
ACREAGE (SQUARE FEET):	3.50 Acres (152,460 square feet)
WIDTH OF RIGHTS-OF-WAY:	Wilcrest - 100' R.O.W.
EXISTING PAVING SECTION(S):	Wilcrest - 80' with 32' median
OFF-STREET PARKING REQUIREMENT:	Project complies
OFF-STREET PARKING PROVIDED:	Project Complies
LANDSCAPING REQUIREMENTS:	Project to Comply (seeking landscape variance)
LANDSCAPING PROVIDED:	Project to Comply (seeking landscape variance)
EXISTING STRUCTURE(S) [SQ. FT.]:	0 SF (Vacant)
PROPOSED STRUCTURE(S) [SQ. FT.]:	Commercial Office Building (76,887 sf); Temporary Staff Housing (45,901 sf)
PURPOSE OF VARIANCE REQUEST:	To provide a 24 foot wide driveway within the site in lieu of a 28 foot private street.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

CHAPTER 42 REFERENCE(S): 42-231 PRIVATE STREET-GENERAL STANDARDS (a) A development plat that contains a multi-family residential building shall provide at least one private street. The private street shall remain clear at all times for emergency vehicle access. No parking shall be allowed within the private street. Except as provided in section 42-235 of this Code, a private street shall comply with the requirements of this section. (b) Width: (1) The minimum right-of-way width for a private street shall be 28 feet, which is coterminous with the pavement width measured from edge-to-edge across the surface of the pavement

APPLICANT STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

As a Diplomatic Mission of the Kingdom of Saudi Arabia, the Royal Consulate in Houston is an extension of the Royal Embassy in Washington, DC; one of only three in the United States. As such, the consulate represents the KSA in conducting official state business, overseeing minor diplomatic issues and economic outreach, facilitating trade relationships, and administering tourist and nationalization matters. The Consulate itself is a compound comprising of an office building and medium-term staff housing by way of private villas and a multi-unit residential building. The residential units are reserved for the use of Diplomats and Staff who are serving a fixed-duration commission from the Ministry to visit or work in the Royal Consulate in Houston. Their functional layout, includes habitable rooms for living, sleeping, cooking and eating. Two private parking spaces are reserved for each unit and are separate from the parking provided to the Consulate for employees and visitors. These residential units are strictly not available to the general public. This Variance requests that interior access within the site be made with a 24 foot wide, one-way drive in lieu of a 28 foot wide private street. On-street parking will be prohibited and violations will be addressed quickly by the on-site security. A 24 foot wide drive would be sufficient to provide vehicular access as well as emergency access to all buildings within the site.

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@houstontx.gov.

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or

The provisions of Section 42-231 are intended for multi-family and single-family residential use and would require additional restrictions within the site. These restrictions are intended to protect the health, safety and welfare of the general public in residential uses. Because the nature of the Consulate is more commercial in nature, the additional restrictions are extraneous. The residential units are for the use of Consulate Staff and Diplomats only on a medium-term basis. These users have prior knowledge of the compound and the security protocols for access to and within the site. Unauthorized vehicles are not allowed within the site nor are vehicles parked in unauthorized areas. Because of the advanced security and surveillance provided on the site, there is a minimal likelihood that obstructions from parked cars or vehicular traffic would impede the ready access by emergency personnel to buildings within the site. Additional restrictions for wider drives and setbacks from the drive are not necessary.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

- (1b) **Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;** N/A
- (2) **The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The provisions of Section 42-231 require additional restrictions to access within the site without regard to the type and function of residential units being provided. Although the residential units are configured in single-family and multi-family configurations, they are strictly reserved for Diplomats and Consulate Staff serving medium-term commissions on behalf of the Ministry. The residential units are not available to the general public. Access to and use of the residential units is strictly governed by the Consulate under Ministry and Saudi Government requirements. These users have prior knowledge of the compound and the security protocols for access to and within the site. Unauthorized vehicles are not allowed within the site nor are vehicles parked in unauthorized areas. Consideration to the unique mix of use and function of this property is warranted in whether to apply the requirements of Section 42-231 to this project.

- (3) **The intent and general purposes of this chapter will be preserved and maintained;**

The Consulate functions to conduct official state business, oversee minor diplomatic issues and economic outreach, facilitate trade relationships, and administer tourist and nationalization matters. The Consulate is also a symbol of the Saudi government and will be a publically recognizable building. Coincidentally, users of the Consulate include diplomats such as the Consul General, Consulate Staff, Public Officials such as the Mayor of Houston or City Council Members, Saudi Ministry Officials and the general public of both Saudi and Americans citizenry. A threat to the building would be a threat to the users of the building as well as the general public in and around the area. Thus, the Consulate has a duty to secure the property and protect the safety of all users and the general public. This minimizes the likelihood of impediments to access in the event of emergency. Where Section 42-231 intends to provide additional assurances for access to residential buildings in order to preserve the health, safety and welfare of occupants so too does the Ministry's Security Protocol. Therefore, with a 24 foot interior drive, the intent and general purpose of Chapter 42 will be preserved and maintained.

- (4) **The granting of such a variance will not be injurious to the public health, safety or welfare,**

Given of the nature of this property and its use, the need for a high level of security to protect the diplomats, employees and visitors to the complex is of the utmost importance. The Consulate regularly entertains high level diplomats and public officials from not only the KSA, but also the United States and other countries. Per standard practice by the Ministry, the Consulate will employ a dedicated, 24/7 security force to oversee the safety and security of all staff and visitors as well as the structures on the site. The facility is under constant surveillance both digitally and via personnel. Security and fire alarm equipment are continuously monitored. Unauthorized vehicles are not allowed within the site vehicles parked in unauthorized areas are strictly prohibited. Such obstructions would be removed immediately because of the safety and security threat. A one-way, 24 foot drive accessing the interior of the site would be sufficient to serve as access for emergency personnel especially given the minimal likelihood for impediments to access as is consistent with other commercial developments.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

(5) Economic hardship is not the sole justification of the variance.

The Consulate functions to conduct official state business, oversee minor diplomatic issues and economic outreach, facilitate trade relationships, and administer tourist and nationalization matters. The Consulate is also a symbol of the Saudi government and will be a publically recognizable building. Coincidentally, users of the Consulate include diplomats such as the Consul General, Consulate Staff, Public Officials such as the Mayor of Houston or City Council Members, Saudi Ministry Officials and the general public of both Saudi and Americans citizenry. A threat to the building would be a threat to the users of the building as well as the general public in and around the area. Thus, the Consulate has a duty to secure the property and protect the safety of all users and the general public. This minimizes the likelihood of impediments to access in the event of emergency.

DEVELOPMENT PLAT VARIANCE



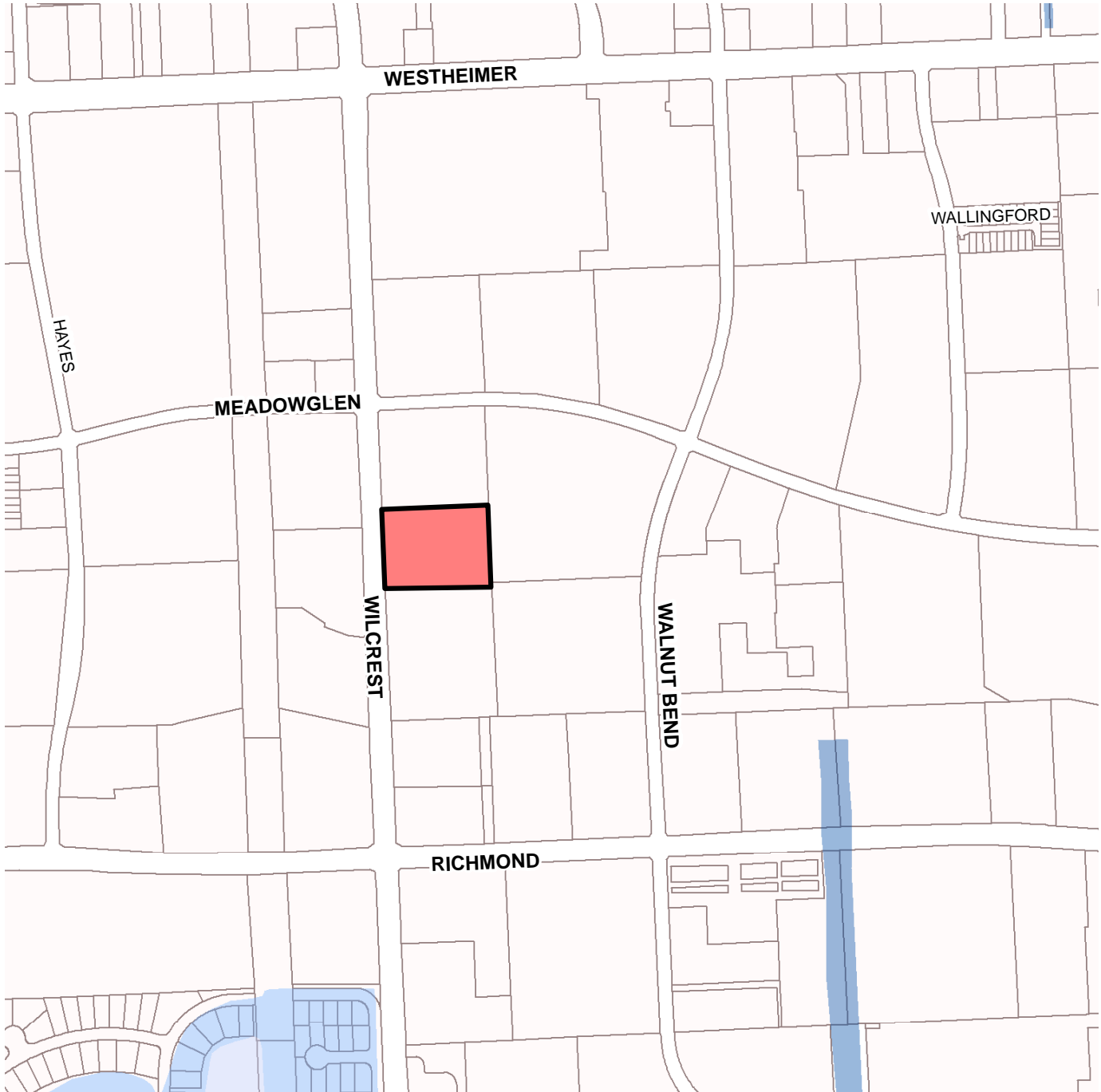
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 141

Meeting Date: 05-28-15

Houston Planning Commission

SITE MAP



DEVELOPMENT PLAT VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 141

Meeting Date: 05-28-15

Houston Planning Commission

AERIAL MAP

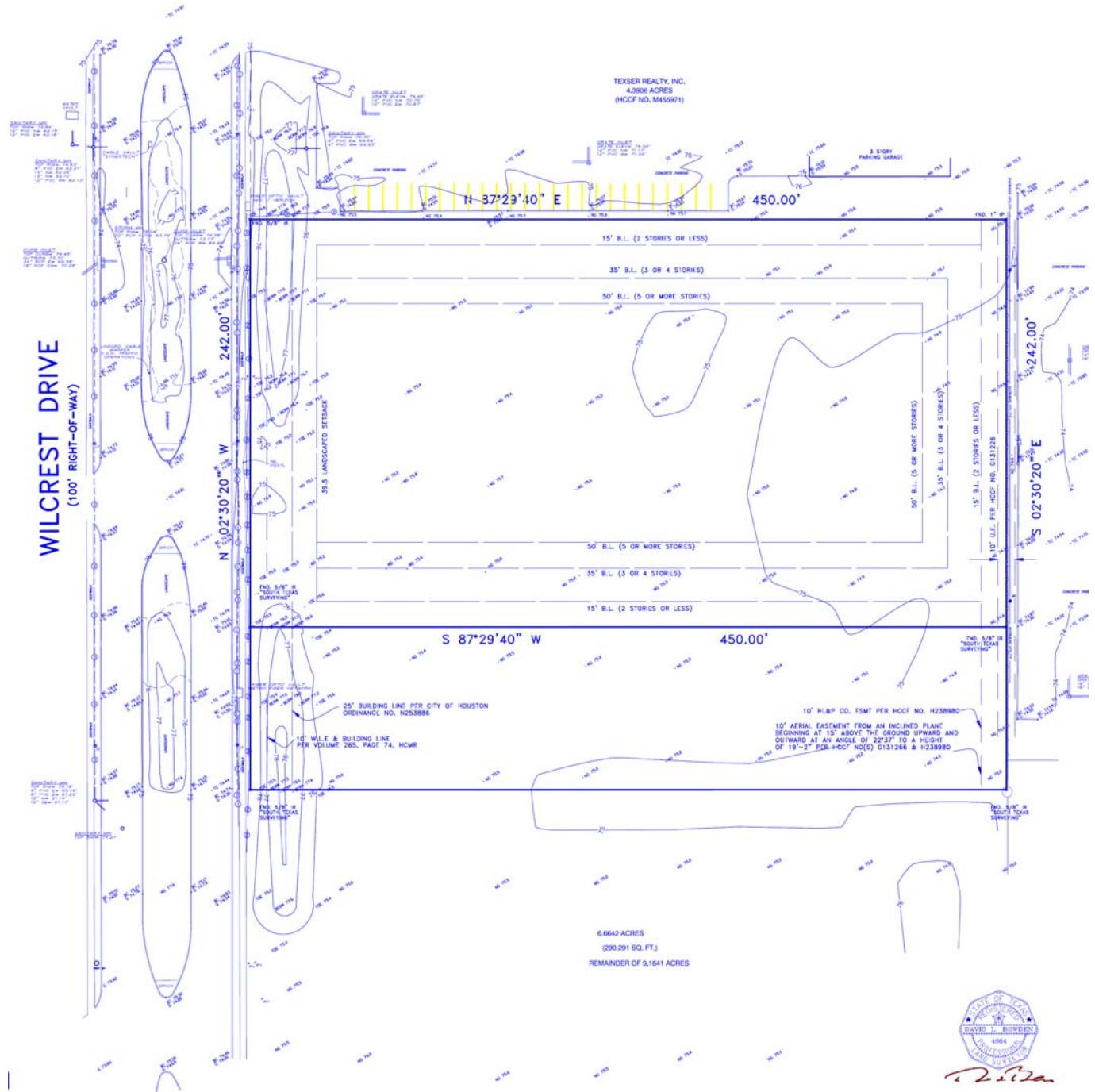


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

SURVEY

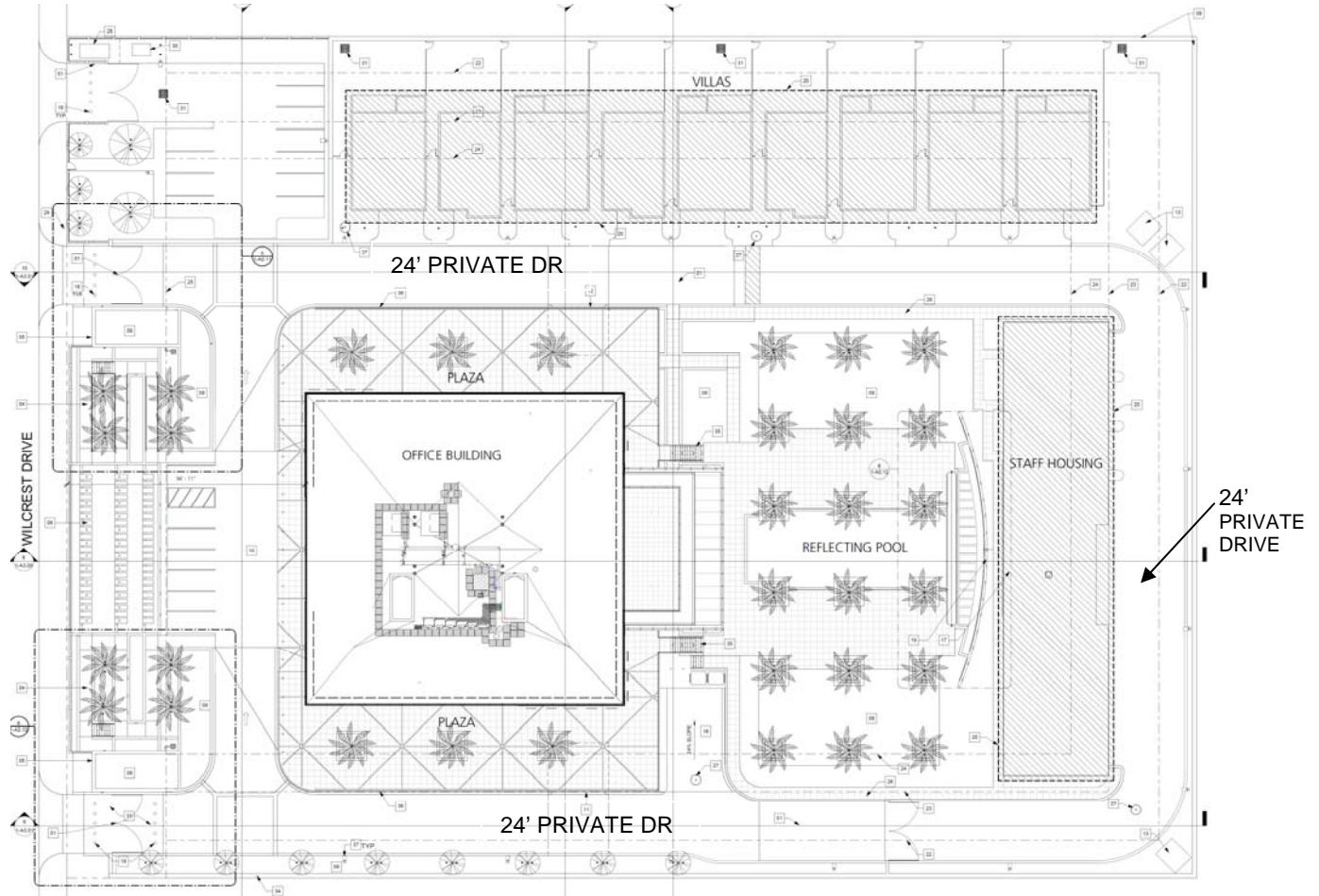


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

PROPOSED SITE PLAN



01. SECURITY GATE
02. CEREMONIAL ENTRANCE
03. VISA HALL ENTRANCE
04. SLOPED WALKWAY AND LANDSCAPING, RE: LANDSCAPE DWGS
05. GUARD HOUSE
06. WATER FEATURE
07. SIDEWALK, RE: CIVIL DRAWINGS
08. CONCRETE SECURITY WALL W/ ANTI-GRAFFITI COATING AND W/ RAZOR WIRE TOP GUARD AT PROPERTY LINE, TYP.
09. LANDSCAPING, RE: LANDSCAPE DRAWINGS
10. PAVERS, RE: LANDSCAPE DWGS
11. GARAGE ENTRY
12. GARAGE EXIT
13. TRANSFORMER, RE: ELECTRICAL DRAWINGS
14. GENERATOR, RE: ELECTRICAL DRAWINGS
15. DUMPSTERS
16. SERVICE DRIVE
17. PUMP ROOM FOR WATER FEATURES
18. RETRACTABLE BOLLARDS
19. FOUNTAIN WALL FEATURE

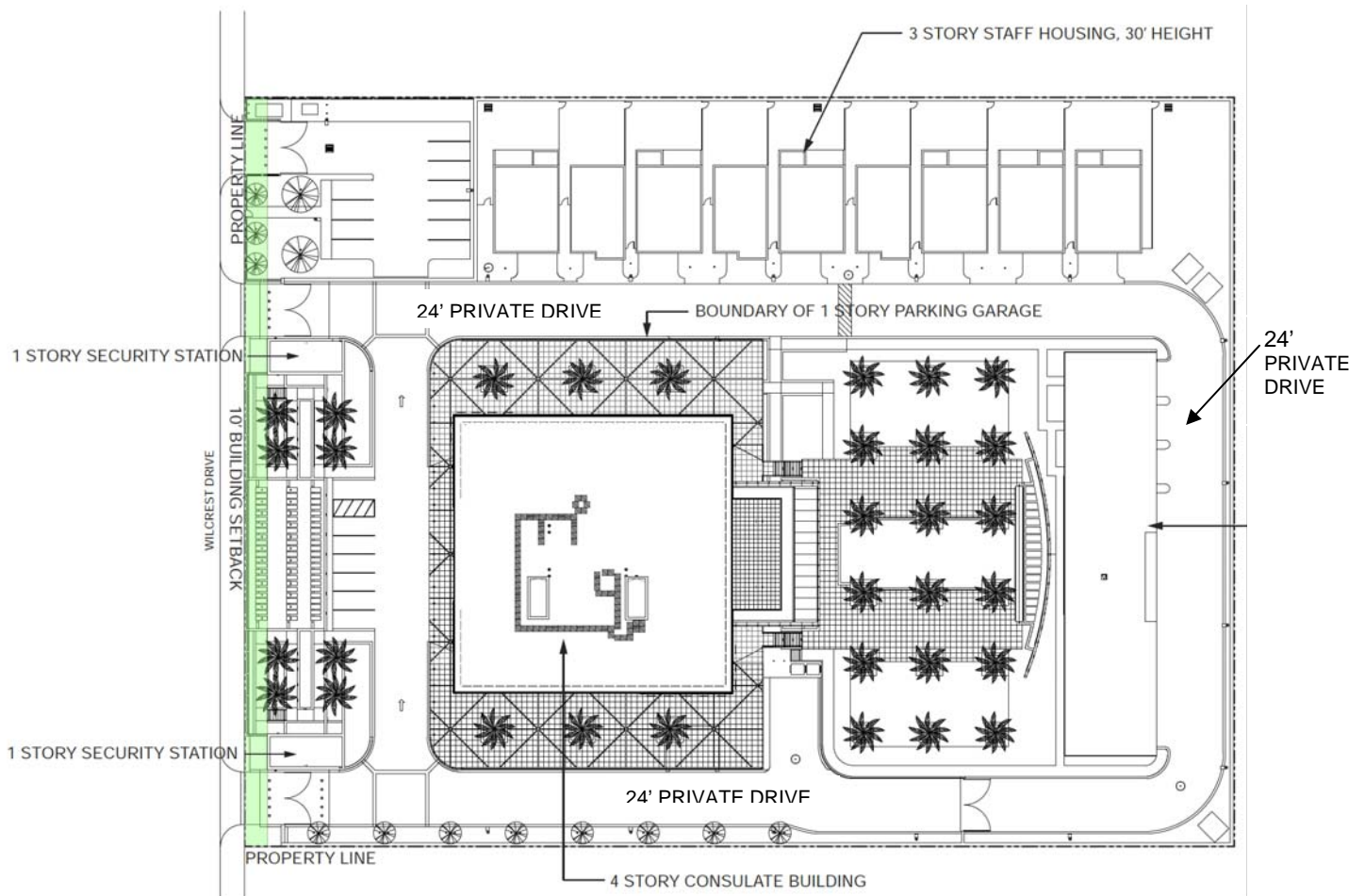
20. STAFF HOUSING SCOPE OF WORK, UNDER SEPERATE DRAWING SET
21. PEDESTRIAN CROSSWALK
22. 15' BUILDING LINE (2 STORIES OR LESS)
23. 35' BUILDING LINE (3 OR 4 STORIES)
24. 50' BUILDING LINE (5 OR MORE STORIES)
25. 39.5' LANDSCAPE SETBACK
26. SIDEWALK
27. MANHOLE, RE: CIVIL DWGS
28. WATER METER AND WATER METER EASEMENT, RE; CIVIL DWGS
29. TAP, RE: CIVIL DWGS
30. BACKFLOW PREVENTER, RE: CIVIL DWGS
31. GRATE, RE: CIVIL DWGS
32. AXLE & TIRE DESTROYER
33. UNDER-VEHICLE SURVEILLANCE SYSTEM
34. BARBED WIRE TOP GUARD ALONG TOP OF PERIMETER WALL
35. STONE-CLAD CAST-IN-PLACE CONCRETE STAIR
36. GLASS GUARDRAIL
37. EXTERIOR POLE-MOUNTED LIGHT FIXTURE, RE: ELECTRICAL DRAWINGS

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

ANNOTATED PROPOSED SITE PLAN



DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

STAFF REPORT

Staff Recommendation: Grant the requested variance

Basis of Staff Recommendation: The site is located east of Wilcrest Drive, north of Richmond Avenue and south of Westheimer Road. The applicant requests a variance to allow an internal 24' driveway instead of a 28' private street to provide access and fire protection on the site. Staff supports the requested variance.

The Diplomatic Mission of the Kingdom of Saudi Arabia (KSA), the Royal Consulate in Houston, is an extension of the Royal Embassy in Washington, DC; and is one of only three in the United States. The Consulate itself is a compound comprising of an office building and medium-term staff housing by way of private villas and a multi-unit residential building. The residential units are for the use of Consulate Staff and Diplomats only on a medium-term basis, similar to guest housing. These users have prior knowledge of the compound and the security protocols for access to and within the site. Two private parking spaces are reserved for each unit and are separate from the parking provided to the Consulate for employees and visitors.

The proposed 24' driveway is a one-way driveway forming an internal loop street within the site. The Consulate will employ a dedicated, 24/7 security force to oversee the safety and security of all staff and visitors as well as the structures on the site. The facility is under constant surveillance both digitally and via personnel. Unauthorized vehicles are not allowed within the site nor are vehicles parked in unauthorized areas. Because of the advanced security and surveillance provided on-site, there is a minimal likelihood that obstructions from parked cars or vehicular traffic would impede the ready access by emergency personnel to buildings within the site. On-street parking will be prohibited and violations will be addressed quickly by the on-site security. On-site staff will monitor fire alarm equipment continuously. Therefore, the 24' driveway will remain clear and will serve the property as well as or even better than a 28' private street with far fewer controls.

Staff's recommendation is to grant the variance to allow an internal 24' driveway instead of a 28' private street to provide access and fire protection on the site.

PLANNING COMMISSION ACTION:

BASIS OF PLANNING COMMISSION ACTION: (SEE ABOVE STAFF EVALUATION)

ADDITIONAL FINDINGS BY PLANNING COMMISSION:

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to planning.variances@houstontx.gov prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at www.houstonplanning.com.

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Richard Grothues Designs, Inc.	Rick Grothues	713.449.9191	rick@rgrothuesdesigns.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
2100 Woodhead Street	15036131	77019	5357C	492R	C

HCAD ACCOUNT NUMBER(S):	0520490160008
PROPERTY LEGAL DESCRIPTION:	Lot 8 Block 16 Hyde Park Main
PROPERTY OWNER OF RECORD:	2100 Woodhead LLC
ACREAGE (SQUARE FEET):	0.1144 acres (5,000 sf)
WIDTH OF RIGHTS-OF-WAY:	Indiana Street 60'; Woodhead Street 60'
EXISTING PAVING SECTION(S):	Indiana Street 20', Woodhead Street 30'
OFF-STREET PARKING REQUIREMENT:	Existing Condition - Meets Requirements
OFF-STREET PARKING PROVIDED:	12
LANDSCAPING REQUIREMENTS:	Existing Condition - Meets Requirements
LANDSCAPING PROVIDED:	Meets Requirements

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	Multi Family; 9,282 sf
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	Multi Family; 9,282 sf.

PURPOSE OF VARIANCE REQUEST: To extend the roof, enclose portions of the balconies to increase the living space within the 10' building line on the third floor.

CHAPTER 42 REFERENCE(S): 42-155 Building Line Requirement. Collector and Local Streets. Uses other than single-family residential (a) The building line requirement for a tract used or to be used for other than single-family residential purposes adjacent to a street that is a collector street or local street that is not an alley shall be ten feet unless otherwise required or authorized by this chapter.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE): The current building was constructed around 1964 and was built up to the property lines. The second floor abuts the property lines at Woodhead and Indiana. The third floor had open balconies and enclosed space abutting the same two streets.

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@cityofhouston.net.

- (1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or**

The current building was constructed around 1964 and was built up to the property lines. The second floor abuts the property lines at Woodhead and Indiana. The third floor had open balconies and enclosed space abutting the same two streets. At some point the balconies were covered with a metal awning and then enclosed with a screen. The request is to completely enclose the balconies and utilize this space a living space but keeping the classification of the apartment units as efficiencies.

- (1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**
- (2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The building lines were established long after the building was originally constructed. We are not extending the building past any of the original exterior walls.

- (3) The intent and general purposes of this chapter will be preserved and maintained;**

The building will be maintained as it was designed as far as the extremities of its boundary. We will preserve as much as possible of the visibility and usability of the land and respect the use and function of the public Right-of-way.

- (4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The allowance of the variance will not create any further obstructions into the public land. The sidewalks will be reconstructed and widened to allow for foot traffic in and around the property.

- (5) Economic hardship is not the sole justification of the variance.**

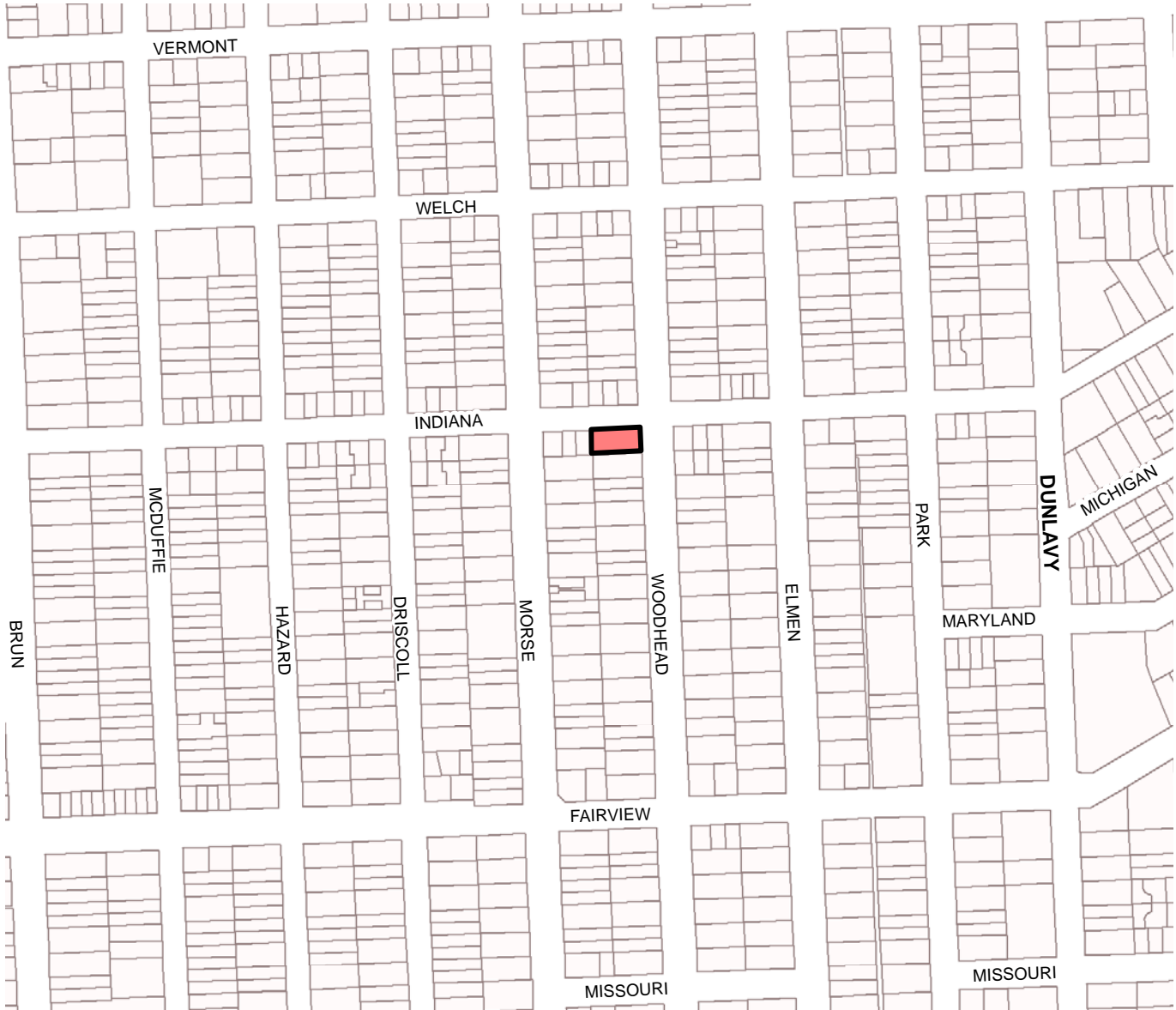
The building will remain with the same number of one bedroom and efficiency units as it was originally constructed with.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

AREA MAP



DEVELOPMENT PLAT VARIANCE



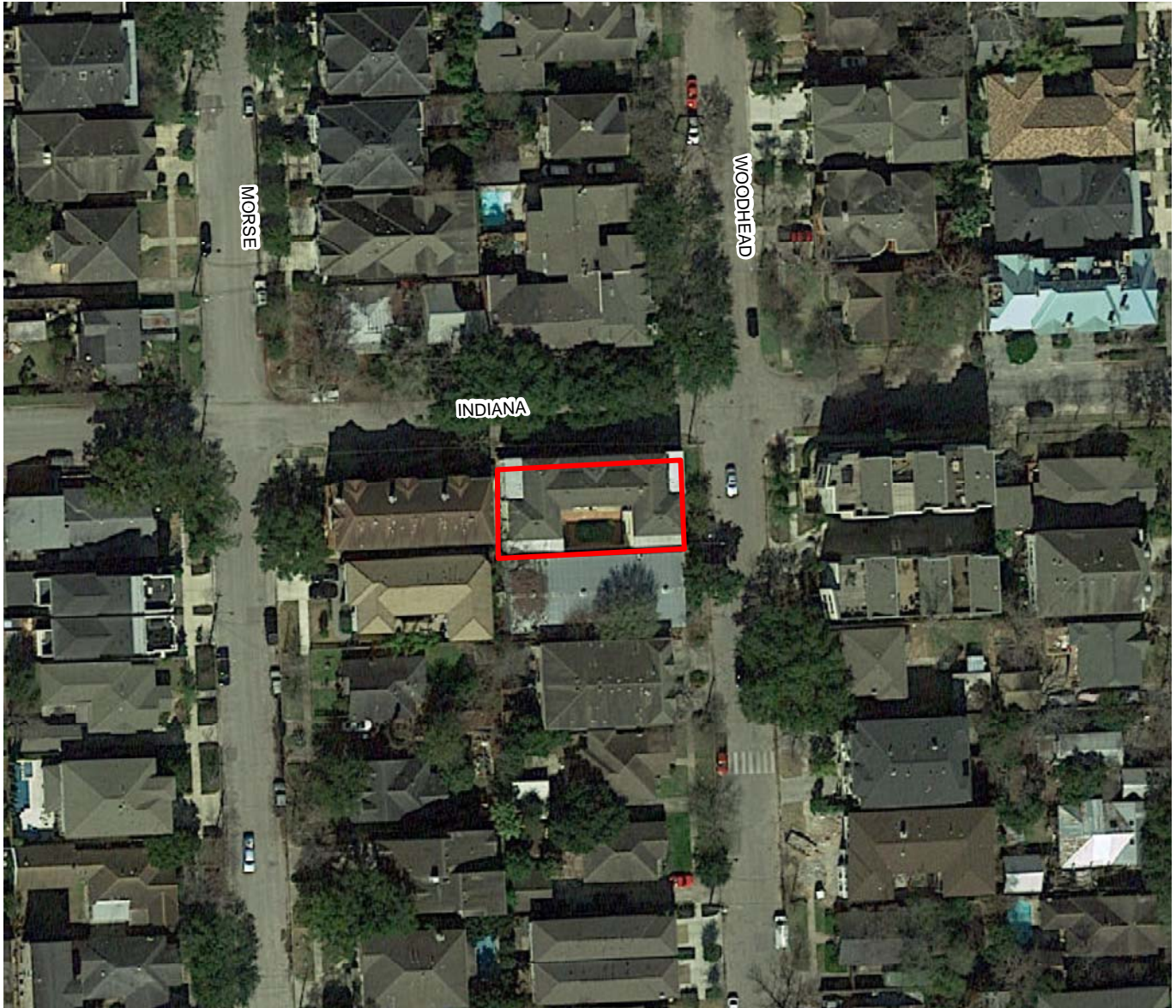
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 142

Meeting Date: 05/28/2015

Houston Planning Commission

AERIAL MAP

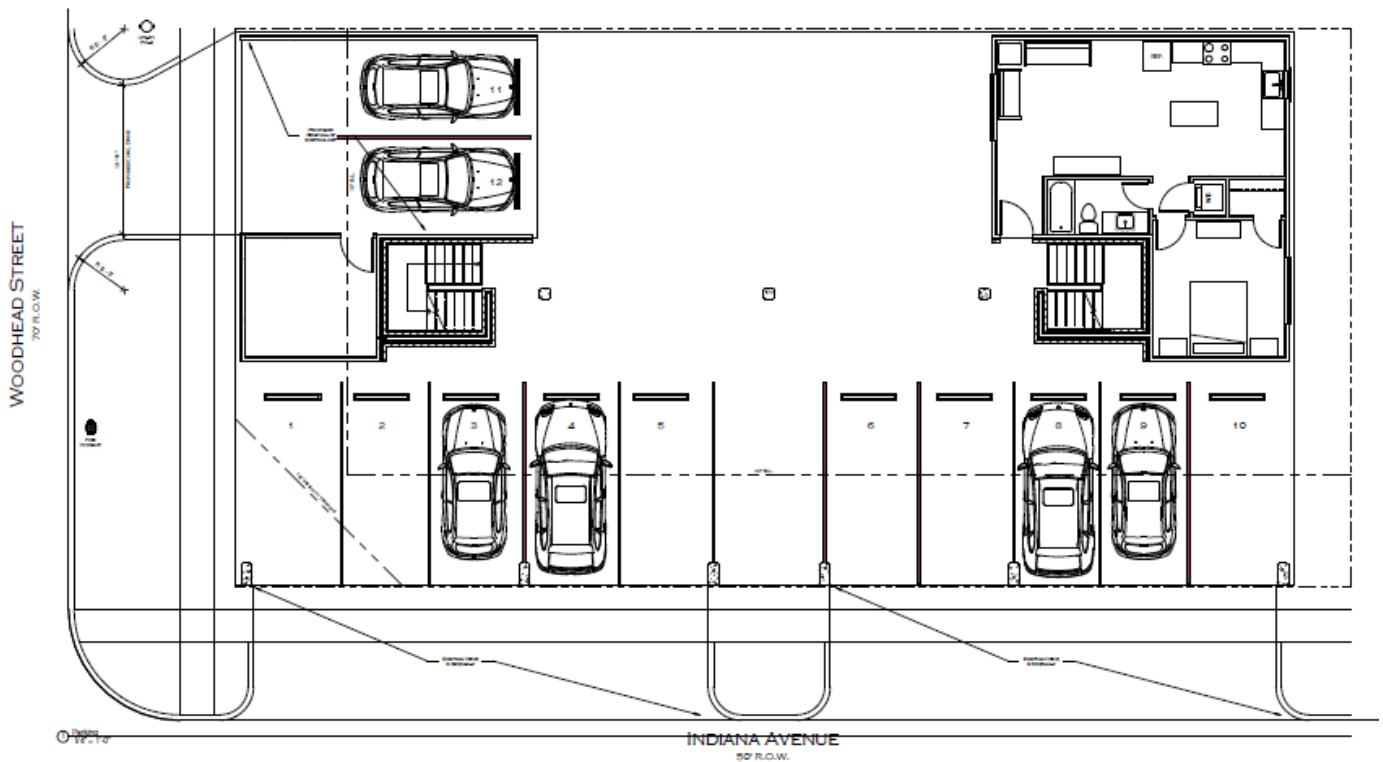


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

Site & First Floor Plan

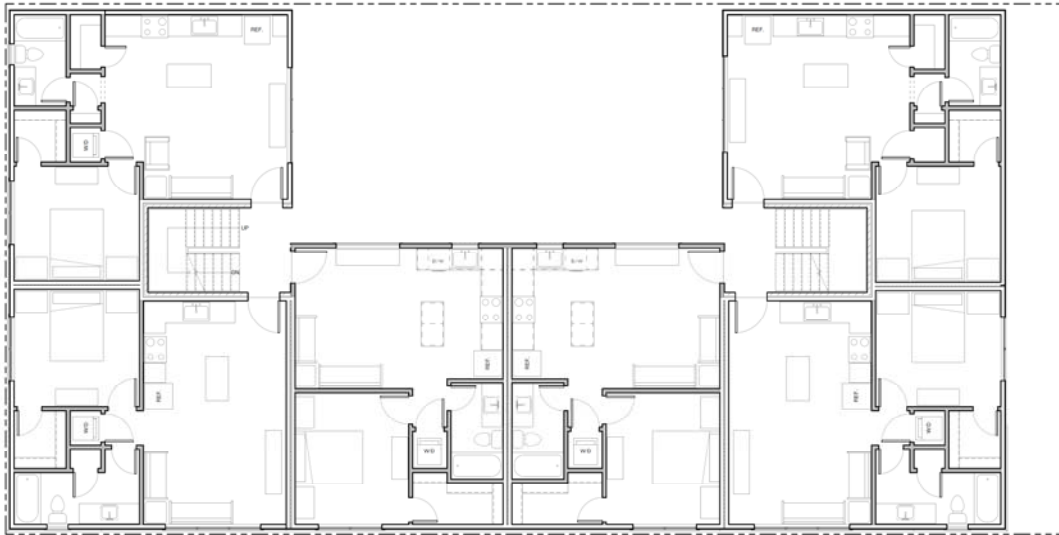


DEVELOPMENT PLAT VARIANCE



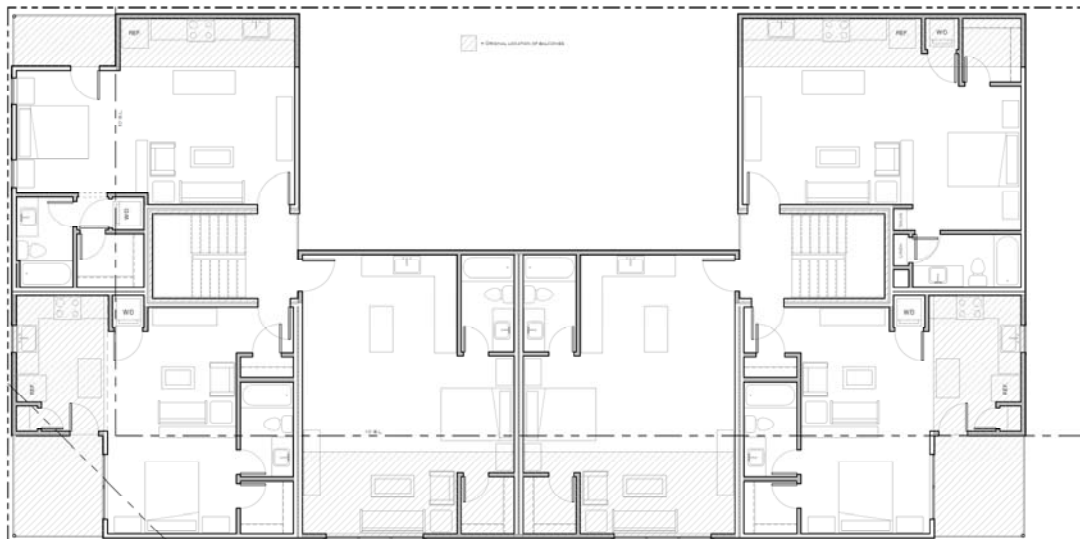
Houston Planning Commission

Second Floor Plan



1 Second Floor Plan
1/4" = 1'-0"

Third Floor Plan



1 Third Floor Plan
1/4" = 1'-0"

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

Variance Request Diagrams

- Items in yellow and green require a development plat variance.
- Items in blue do not require variance requests.
- Items in magenta are interior remodel conditions only.

Area Calculations	
Name	Area

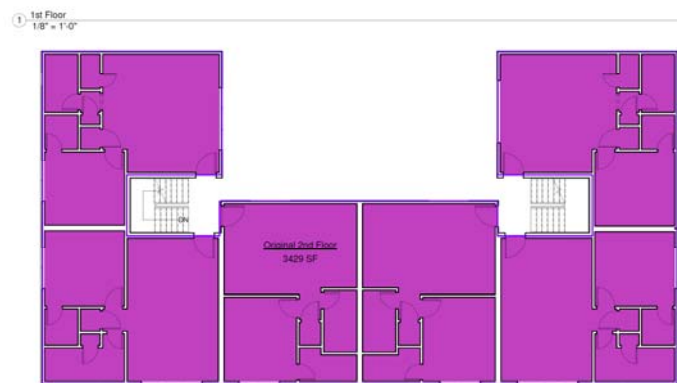
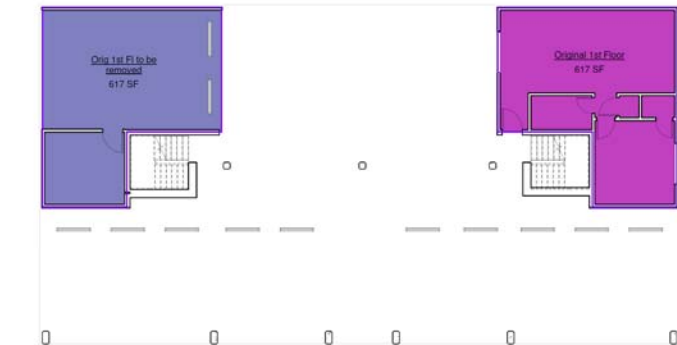
Encl 1	110 SF
Encl 2	158 SF
Encl 3	158 SF
	425 SF

Original 1st Floor	617 SF
Original 2nd Floor	3429 SF
Original 3rd Floor	2271 SF
	6317 SF

Inside BL 1	83 SF
Inside BL 2	102 SF
Inside BL 3	102 SF
Inside BL 4	109 SF
Inside BL 5	128 SF
	524 SF

Balc 1	47 SF
Balc 2	80 SF
Balc 3	79 SF
	207 SF

Orig 1st Fl to be removed	617 SF
	617 SF
	8089 SF

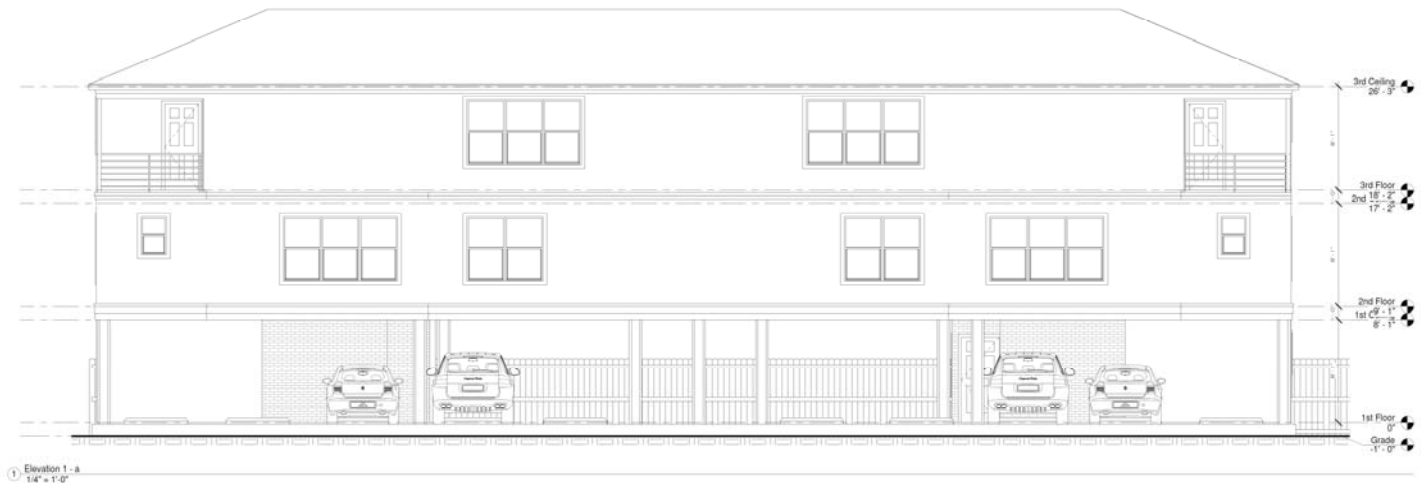


DEVELOPMENT PLAT VARIANCE

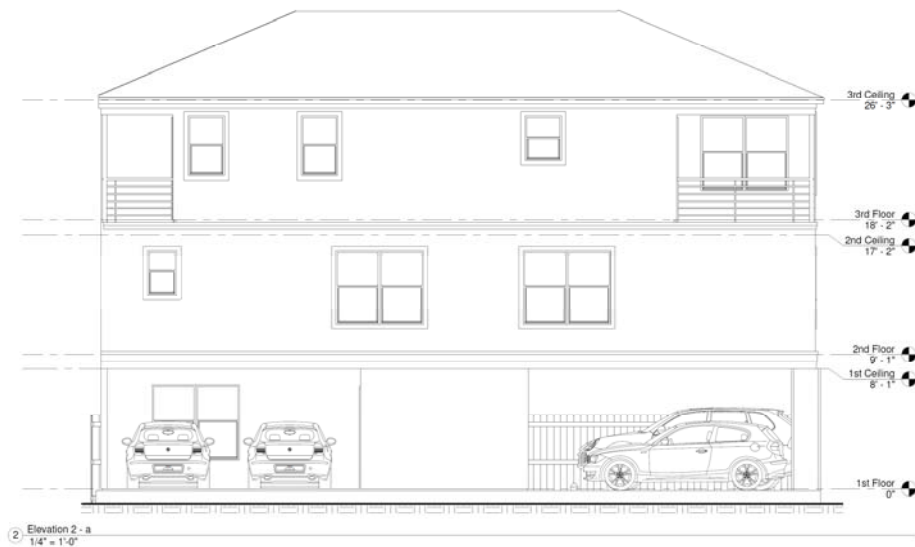


Houston Planning Commission

Building Elevations



Indiana Avenue Elevation



Woodhead Street Elevation

DEVELOPMENT PLAT VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 142

Meeting Date: 05/28/2015

Houston Planning Commission

Rendered Perspective



1 3D View 1_2
12" = 1'-0"

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

STAFF REPORT

Staff Recommendation: DENY

Basis of Staff Recommendation: The site is located at the southwest intersection of Woodhead Street and Indiana Street. The applicant is requesting a variance to extend the roof, enclose portions of the balconies to increase the living space within the 10' building line on the third floor. Staff recommendation is to deny the request.

This application was before the Planning Commission previously on March 5, 2015. The application is before you today with a new Owner and new applicant. During a renovation project to the existing apartment complex, the previous applicant removed metal roofs and a portion of the main roof over the balcony areas located on the third floor along with exterior walls around the patios located within the 10' building line area along Indiana and Woodhead Streets. This application is before you because these items were removed.

The standard rule is that during a renovation project of an existing building, if the structure of the building is not affected renovations are allowed within the building without complying with the current Chapter 42 ordinance. The initial work performed at this site did not require site plan review. The permit pulled was for a minor apartment repair and renovation which included: REPAIR ELECTRICAL, FLOOR DECKING AND REPLACE WATER DAMAGED OF EXISING FRAMING MEMEBERS. NO OTHER WORK. ALL WORK SUBJECT TO FIELD INSPECTION

This applicant is still requesting to extend the roof, enclose portions of the balconies to increase the living space within the 10' building line on the third floor. The applicant is proposing to remove one of the one bedroom units on the first floor and provide two additional parking spaces. Staff has received concerns from the neighborhood in regards to the under parking of the complex. The applicant has stated that the rooms on the third floor would not be converted to one bedrooms but would remain as efficiencies. Their request does include adding the existing patio space to these units as condition space. Staff has spoken with code enforcement and adding this space would not trigger a change from an efficiency unit.

Staff's recommendation is that the Planning Commission deny the variance request. Staff feels that the application has not changed substantially from the last meeting and feels that the applicant has not presented a hardship. During the last meeting staff did suggest that in lieu of adding condition area to the living space that the applicant be allowed to extend the roof to the property line to create covered patios. The patio area would not be included as conditioned space nor allowed to be screened in. The approval would allow the applicant to rebuild the exterior walls of the units adjacent to the patios as built in 1964. This would keep the parking and landscaping an existing condition. THE PLANNING COMMISSION DENIED THE REQUESTED VARIANCE AND STAFF'S RECOMMENDATION. THE APPLICANT WOULD HAVE TO COMPLY WITH THE CURRENT CHAPTER 42 - 10' BUILDING LINE ALONG BOTH WOODHEAD AND INDIANA STREETS.

THEREFORE STAFF RECOMMENDATION IS TO DENY THE REQUEST AND REQUIRE THAT THE APPLICANT COMPLY WITH THE CURRENT CHAPTER 42 - 10' BUILDING LINE ALONG BOTH WOODHEAD AND INDIANA STREETS.

PLANNING COMMISSION ACTION:

BASIS OF PLANNING COMMISSION ACTION: (SEE ABOVE STAFF EVALUATION)

ADDITIONAL FINDINGS BY PLANNING COMMISSION:

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

An applicant seeking a variance to the Tree, Shrub and Landscape Standards of Chapter 33 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to planning.variances@houstontx.gov prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at www.houstonplanning.com.

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Studio RED Architects	Micah Simecek	713.255.8824	simecek@studioreredarchitects.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
2951 Wilcrest Drive	15053171	77042	4956-C	489-Y	F

PROJECT NAME:	General Consulate of Saudi Arabia
HCAD ACCOUNT NUMBER(S):	1127640000012 and a portion of 1127640000010
PROPERTY LEGAL DESCRIPTION:	Unrestricted Reserve B Block 2 Westchase Section 12
PROPERTY OWNER OF RECORD:	Royal Consulate General of Saudi Arabia
ACREAGE (SQUARE FEET):	3.5 acre (152,460 square feet)
WIDTH OF RIGHTS-OF-WAY:	Wilcrest 100' ROW
EXISTING PAVING SECTION(S):	80' with 32' median
OFF-STREET PARKING REQUIREMENT:	75 Spaces
OFF-STREET PARKING PROVIDED:	79 Spaces
LANDSCAPING REQUIREMENTS:	8 Street Trees, 2 Parking Lot Trees, 80 Shrubs
OFF-STREET PARKING PROVIDED:	Requesting a landscape variance

EXISTING STRUCTURE(S) [SQ. FT.]:	(Vacant)
PROPOSED STRUCTURE(S) [SQ. FT.]:	Commercial Office Building (76,887 sf); Temporary Staff Housing (45,901 sf)

PURPOSE OF VARIANCE REQUEST:	Seeking to forgo the requirement to provide street trees along the frontage of Wilcrest Drive.
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LANDSCAPE PLAN VARIANCE



Houston Planning Commission

CHAPTER 33 REFERENCE(S): 33-126. Street Trees Required

- a) Street trees shall be planted within the public street rights-of-way or on private property within ten feet parallel and adjacent to a local street right-of-way or on private nonresidential property within 25 feet parallel and adjacent to a major thoroughfare. The number of street trees planted shall equal the total number of trees (T) required under the following formula: $T = (X/30)$, where X shall represent the length in linear feet measured along each side of the property line on the public street(s).
- b) Street trees planted in accordance with this section shall be of a species listed on the street tree list. In the case of trees planted within the public rights-of-way, trees shall be planted in a location which conforms with the requirements of section 33-129 of this division. The trees shall be planted so as not to interfere with existing utilities, roadways, sidewalks, or street lights.....
- c) The planting scheme for street trees shall be such that no street tree is planted closer than 20 feet to any other street tree (whether an existing tree or a tree planted hereunder) with the trees being spaced without extreme variation in distance across each blockface frontage taking into account existing site conditions and driveway locations.....

STANDARDS FOR VARIANCES

Sec. 33-136. Standards for variance.

(a) The commission is authorized to consider and grant variances from the provisions of this division by majority vote of those members present and voting, when the commission determines that the first four of the following conditions exist, and if applicable, the fifth condition exists:

- (1) The imposition of the terms, rules, conditions, policies and standards of this division would deprive the owner or applicant of the property of reasonable use of the land or building;
- (2) The circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant, and the general purposes of this division are observed and maintained; and
- (3) The intent of this article is preserved;
- (4) The granting of such a variance will not be injurious to the public health, safety or welfare; and
- (5) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII of chapter 33 of this Code.

LANDSCAPE PLAN VARIANCE



Houston Planning Commission

APPLICANT STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS: As a Diplomatic Mission of the Kingdom of Saudi Arabia, the Royal Consulate in Houston is an extension of the Royal Embassy in Washington, DC; one of only three in the United States. As such, the consulate represents the KSA in conducting official state business, overseeing minor diplomatic issues and economic outreach, facilitating trade relationships, and administering tourist and nationalization matters. With this context, this project has the unique obligation to comply with City of Houston codes and ordinances as well as the security standards established by the Ministry of Foreign Affairs in the KSA. Specifically, the Ministry's Technical Security Requirements strictly prohibits trees from being located within 3 meters (9'-10") of the site boundary in order to prevent unauthorized access into the property. If required to follow the standards set forth by the City of Houston Ordinance, Street Trees would be placed along the frontage of Wilcrest Drive. The specified varieties of Street Trees are large and would extend beyond the secured perimeter of the property thus compromising the security of the perimeter and exposing the Consulate staff and visitors to a potential security breach. Therefore, we are requesting variance to excuse this property from the street tree requirements per the applicable Ordinance.

APPLICANT'S STATEMENT OF FACTS:

The applicant must clearly identify how the requested variance meets the criteria in ALL items (1) through (4); and, if applicable, the fifth (5) condition. The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@houstontx.gov.

- (1) The imposition of the terms, rules, conditions, policies and standards of this division would deprive the owner or applicant of the property of reasonable use of the land or building;**

Because of the nature of this property and its use, the need for a high level of security to protect the employees and visitors to the complex is of the utmost importance. The Consulate regularly entertains high level diplomats and public officials from not only the KSA, but also the United States and other countries. Security is of the utmost importance to the Ministry and their ability to perform their Diplomatic Mission. The Security Protocol set forth by the Ministry stipulates that a secure barrier (fence) be provided at the property line to minimize the risk of intrusion. Chapter 33 stipulates the placement of street trees be located within or in close proximity to the Right of Way. To achieve this requirement, Street Trees would need to be placed within 10 feet of the secure barrier either on the property or within the Right of Way. Because the intent of the approved species included on the Street Tree list is for large trees which grow out over the street and pedestrian zone, it is inevitable that such trees would overhang the secure perimeter fence thus creating an unreasonable security risk to the Consulate.

LANDSCAPE PLAN VARIANCE



Houston Planning Commission

- (2) The circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant, and the general purposes of this division are observed and maintained;**

Given the nature of its function in conducting official state business, overseeing minor diplomatic issues and economic outreach, facilitating trade relationships, and administering tourist and nationalization matters, the Consulate is a symbol of the Saudi government and will be a publically recognizable building. Given the diplomatic climate across the globe, the mere presence of foreign governments from the Middle East can serve as an impetus for negative attention and can draw potential threats from any source. Coincidentally, users of the Consulate include diplomats such as the Consul General, Consulate Staff, Public Officials such as the Mayor of Houston or City Council Members, Saudi Ministry Officials and the general public of both Saudi and Americans citizenry. A threat to the building would be a threat to the users of the building as well as the general public in and around the area. Thus, security of the property and buildings is a serious matter to the Ministry and is intended to protect all users and the general public as well as deter from potential threats.

- (3) The intent of this article is preserved;**

The Kingdom of Saudi Arabia has, via the Ministry of Foreign Affairs, set about a plan to improve their image to the citizens and governments with which they engage in diplomatic relationships. One such way that the Ministry has chosen to achieve this is by creating an attractive and safe campuses for their embassies and consulates. Although this variance request seeks to excuse the project from the Street Tree requirement, other provisions have been made to enhance the street presence and pedestrian realm of the project far beyond the minimum requirements of Chapter 33. The front 40 feet of the property is designed with enhanced landscaping including a tiered water feature, terraced planters with lush plantings, a palisade fence (in lieu of the typical solid concrete perimeter wall), vegetated roofs on the security stations, and granite pavers for the sidewalk both in the Right of Way and along the pedestrian route within the property. Visitors to the Consulate seeking visa applications will actually access the property through this landscaped area from an adjacent parking area via the sidewalk along Wilcrest Drive thus activating this zone with pedestrians who will use these sidewalks on a daily basis. The design of this area of the property is deliberate and the effect is to create a stately presence for the building from the Street for both pedestrians as well as vehicular traffic along Wilcrest Drive. The landscaping and water feature proposed along Wilcrest will enhance the streetscape and pedestrian realm as is the intent of Chapter 33.

- (4) The granting of such a variance will not be injurious to the public health, safety or welfare,**

Granting this variance would not be injurious to the public health, safety or welfare. As is described above, we believe the request to excuse the Street Tree requirement will improve the Consulate's ability to protect the safety of Consulate Staff and Visitors by minimizing the risk of intrusion.

- (5) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII of chapter 33 of this Code.** N/A

LANDSCAPE PLAN VARIANCE



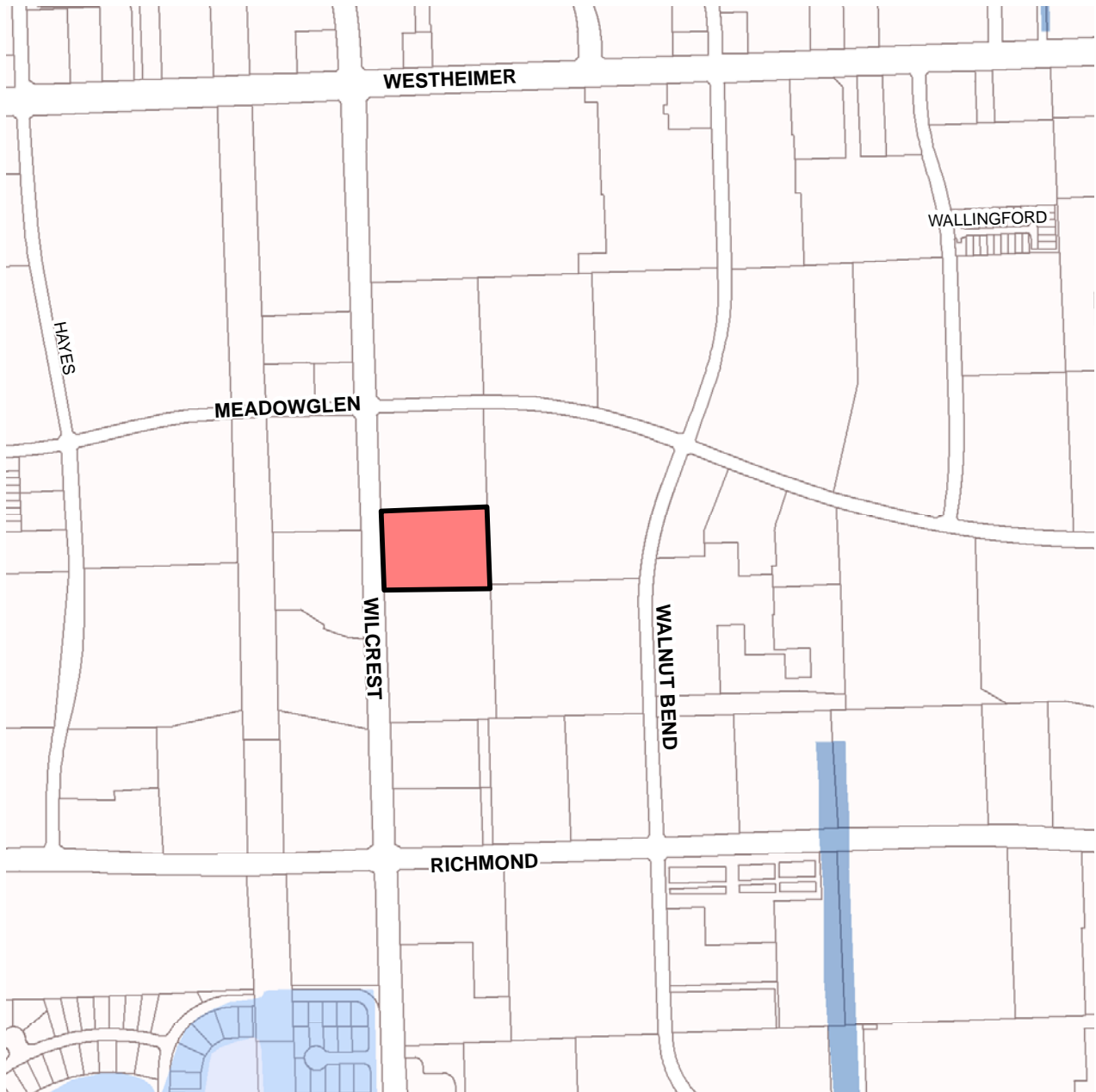
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: IV

Meeting Date: 05-28-15

Houston Planning Commission

SITE MAP



LANDSCAPE PLAN VARIANCE



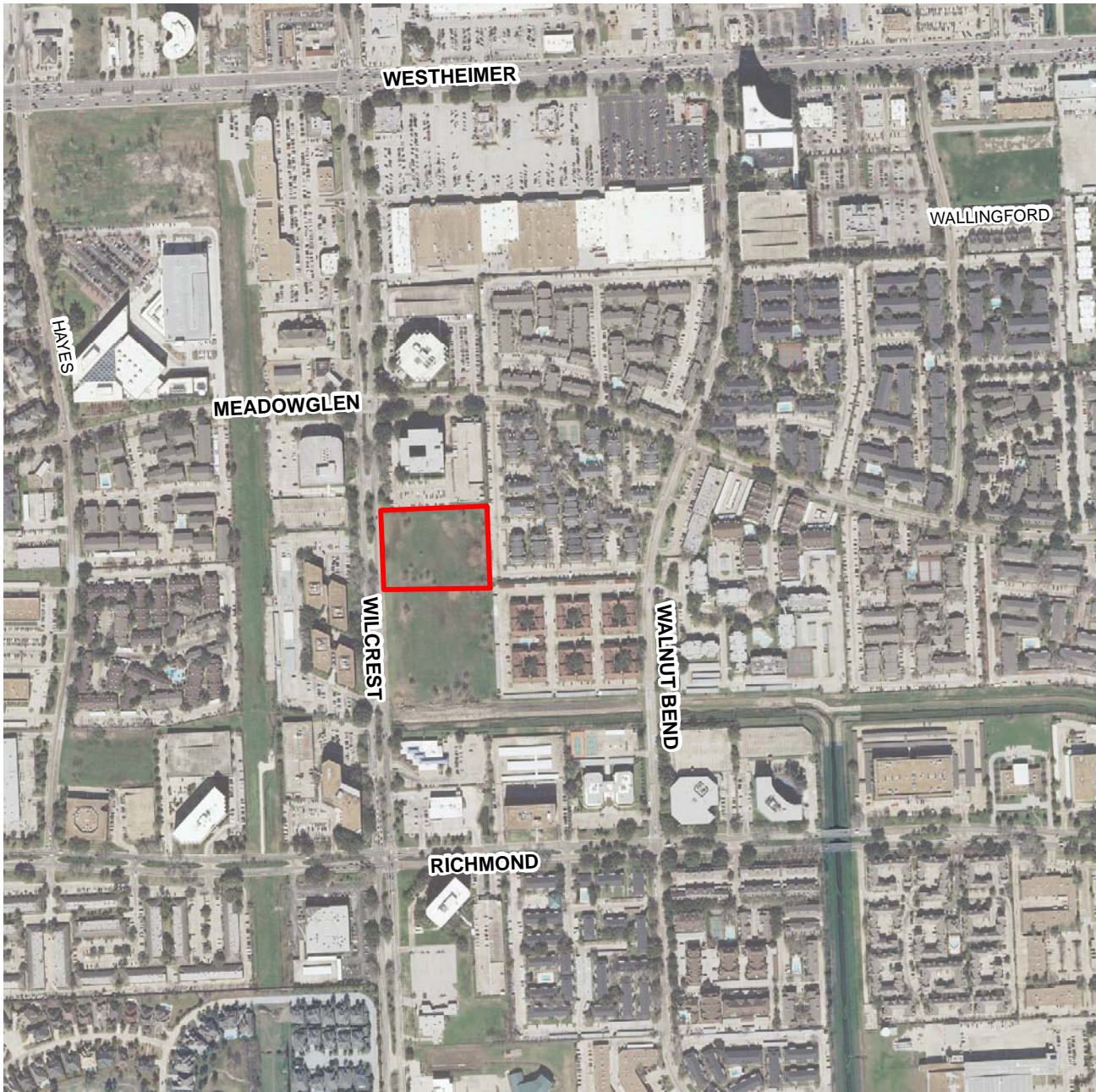
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: IV

Meeting Date: 05-28-15

Houston Planning Commission

AERIAL MAP



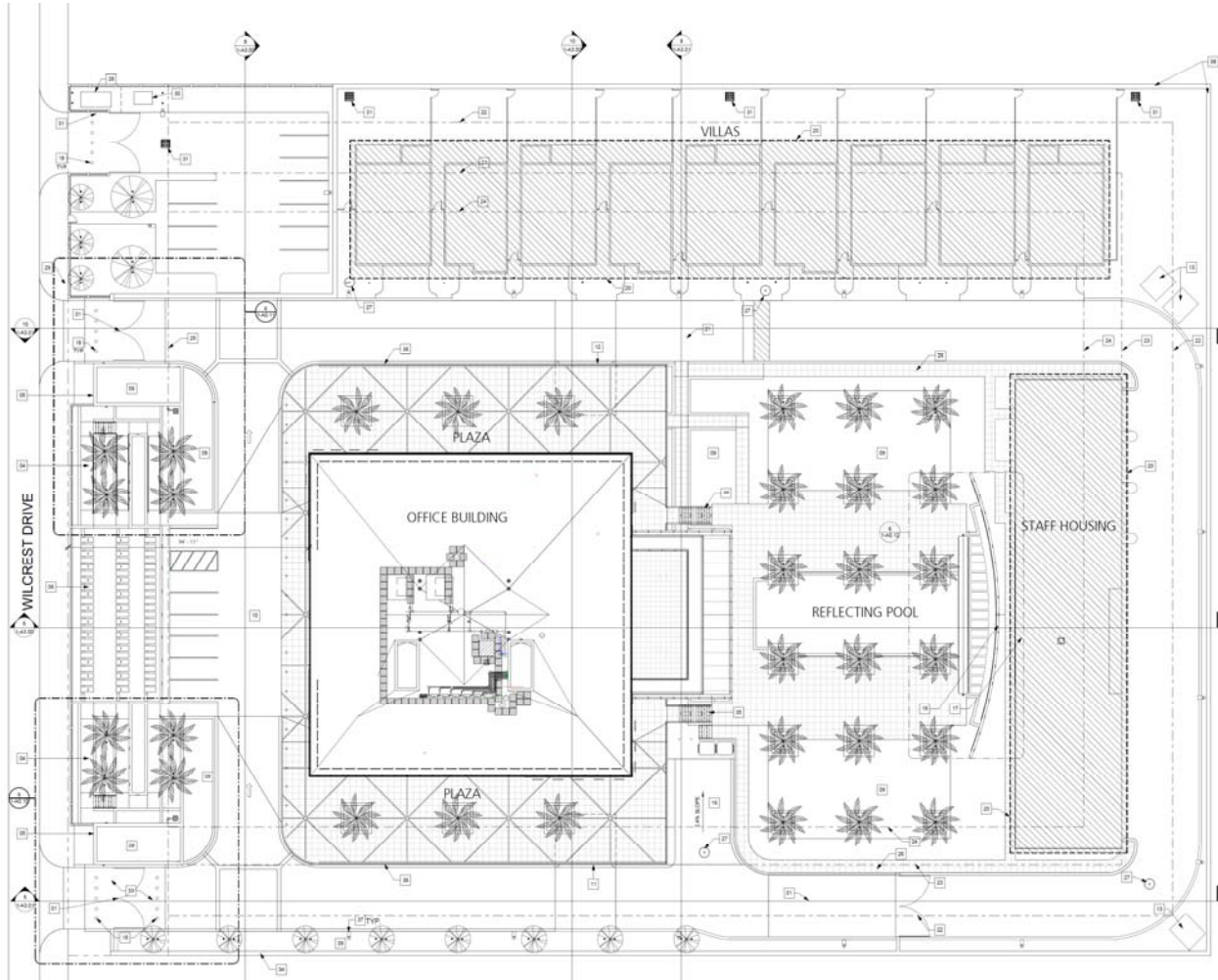
LANDSCAPE PLAN VARIANCE





Houston Planning Commission

PROPOSED SITE PLAN



- 01. SECURITY GATE
- 02. CEREMONIAL ENTRANCE
- 03. VISA HALL ENTRANCE
- 04. SLOPED WALKWAY AND LANDSCAPING, RE: LANDSCAPE DWGS
- 05. GUARD HOUSE
- 06. WATER FEATURE
- 07. SIDEWALK, RE: CIVIL DRAWINGS
- 08. CONCRETE SECURITY WALL W/ ANTI-GRAFFITI COATING AND W/ RAZOR WIRE TOP GUARD AT PROPERTY LINE, TYP.
- 09. LANDSCAPING, RE: LANDSCAPE DRAWINGS
- 10. PAVERS, RE: LANDSCAPE DWGS
- 11. GARAGE ENTRY
- 12. GARAGE EXIT
- 13. TRANSFORMER, RE: ELECTRICAL DRAWINGS
- 14. GENERATOR, RE: ELECTRICAL DRAWINGS
- 15. DUMPSTERS
- 16. SERVICE DRIVE
- 17. PUMP ROOM FOR WATER FEATURES
- 18. RETRACTABLE BOLLARDS
- 19. FOUNTAIN WALL FEATURE

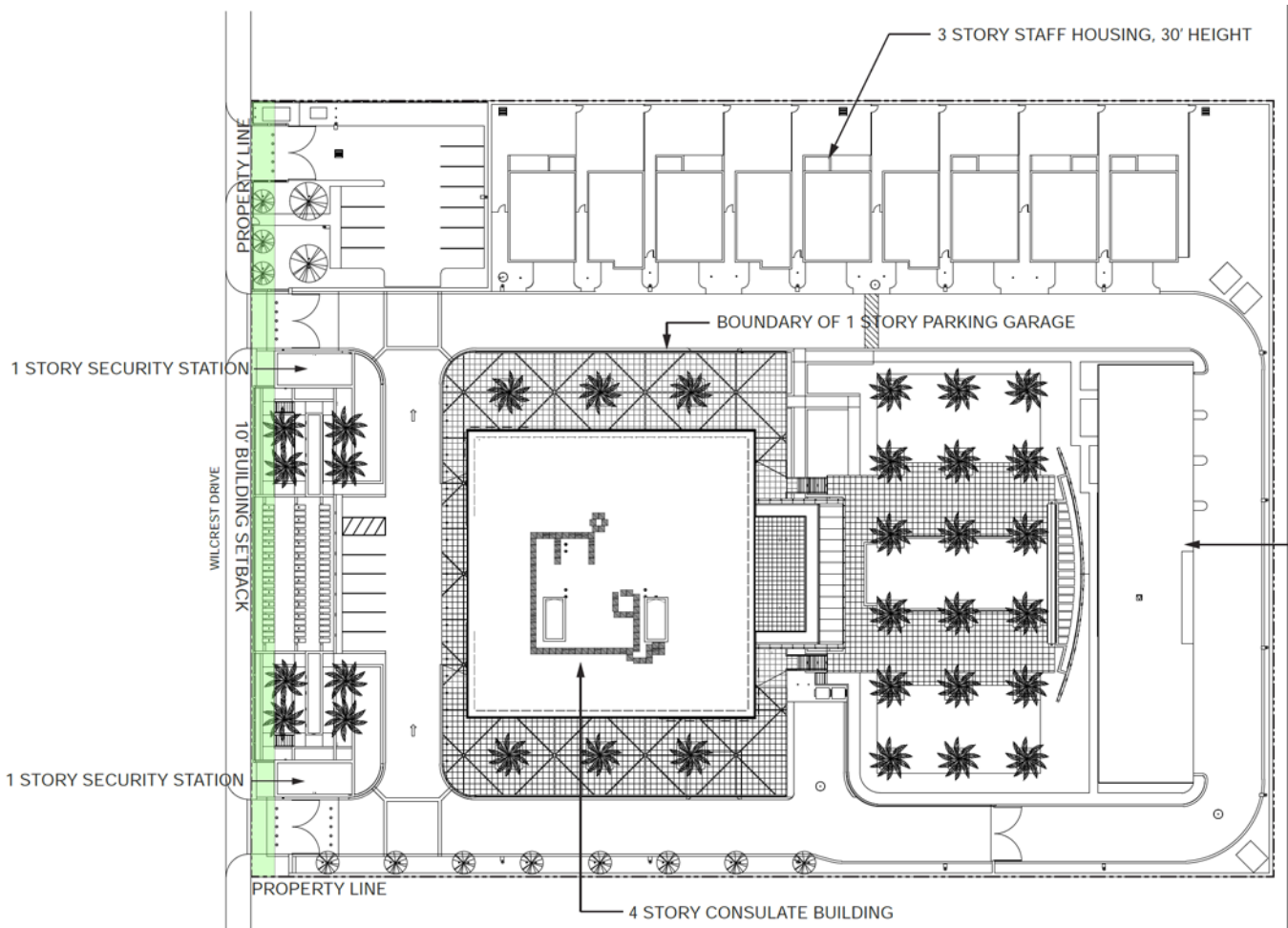
- 20. STAFF HOUSING SCOPE OF WORK, UNDER SEPERATE DRAWING SET
- 21. PEDESTRIAN CROSSWALK
- 22. 15' BUILDING LINE (2 STORIES OR LESS)
- 23. 35' BUILDING LINE (3 OR 4 STORIES)
- 24. 50' BUILDING LINE (5 OR MORE STORIES)
- 25. 39.5' LANDSCAPE SETBACK
- 26. SIDEWALK
- 27. MANHOLE, RE: CIVIL DWGS
- 28. WATER METER AND WATER METER EASEMENT, RE; CIVIL DWGS
- 29. TAP, RE: CIVIL DWGS
- 30. BACKFLOW PREVENTER, RE: CIVIL DWGS
- 31. GRATE, RE: CIVIL DWGS
- 32. AXLE & TIRE DESTROYER
- 33. UNDER-VEHICLE SURVEILLANCE SYSTEM
- 34. BARBED WIRE TOP GUARD ALONG TOP OF PERIMETER WALL
- 35. STONE-CLAD CAST-IN-PLACE CONCRETE STAIR
- 36. GLASS GUARDRAIL
- 37. EXTERIOR POLE-MOUNTED LIGHT FIXTURE, RE: ELECTRICAL DRAWINGS

LANDSCAPE PLAN VARIANCE



Houston Planning Commission

ANNOTATED PROPOSED SITE PLAN



LANDSCAPE PLAN VARIANCE



Houston Planning Commission

ITEM: IV

Meeting Date: 05-28-15

MATERIALS PLAN

Legend

- (A) Concrete Sidewalk, 4 1/2" Thick
- (B) Granite Cobble, Cambrian Black - Natural, 4"x4" (IN), 4" (IN) Thick
- (C) Granite Paver Field, Cambrian Black - Flamed, 30"x30" (IN), 3 cm Thick
- (D) Granite Paver Curb, Cambrian Black - Flamed
- (E) Granite Paver Parking Strip, Cambrian Black - Flamed, 4"x4" (IN), 3 cm Thick
- (F) Granite Paver Crosswalk, Kashmir Cream - Flamed, 30"x30" (IN), 3 cm Thick
- (G) Granite Paver Accent Band, Cambrian Black - Flamed, 4"x4" (IN), 3 cm Thick
- (H) Granite Paver Accent Band, Walnut Dark - Polished, 4"x4" (IN), 3/4" (IN) Thick
- (I) Granite Paver Field, Kashmir Cream - Flamed, 30"x30" (IN), 3 cm Thick
- (J) Serenitec Paver Field, Sahara Flare - Flamed, 30"x30" (IN), 3 cm Thick
- (K) Concrete Unit Paver Banding, Limestone, 8"x12" (IN), 8 cm Thick
- (L) Concrete Unit Paver Field, Dark Brown, 8"x12" (IN), 8 cm Thick
- (M) Roof Terrace Concrete Unit Paver Field, Hammer M193 Tudor Flare, 24"x24" (IN), 2" (IN) Thick
- (N) Planter, to be Selected by L.A.
- (O) Planter Edging, Quartzite - Bianco Mist
- (P) Raised Planter, Architectural Concrete Wall and Cap to be White Quartzite - Bianco Mist - Sand Blasted
- (Q) Retaining Wall, Architectural Concrete Wall with Cap to be Quartzite - Bianco Mist
- (R) Wet Water Feature, Polished Shown White Diamond and Waterline Tile to be Quartzite - Bianco Mist; Broadhead 1"x1" (IN)
- (S) Wet Water Feature Steps, Veneer to be Quartzite - Bianco Mist
- (T) Reflection Pool, Polished Shown - Ocean Blue Reflection Pool Coping, Sandstone, Sahara Flare - Natural Finish Reflection Pool Waterline Tile, Dark Brown Glass Reflection Pool Bottom Accent Tile, Brown Glass
- (U) Reflection Pool Steps, Stone to be Quartzite Bianco Mist
- (V) Water Wall Surround, Veneer to be Midnight Choco - Slate - Polished Water Wall Accent, San Mar Blend, Prairie/Ox, Horned Glass, or San Mar Blend, Black and Gold/Copper, Chalk/Natural
- (W) Screen Wall, Architectural Concrete, Cap to be Quartzite Bianco Mist
- (X) Decomposed Granite with 6" (IN) Concrete Edging
- (Y) Raised Inset Plenum, Sandstone Veneer and Cap to be Sahara Flare

Tree Legend

- Live Oak
- Bald Cypress
- Mexican Sycamore
- Cape Myrtle
- Japanese Blueberry Tree
- Medicinal Palm

WILCREST DRIVE



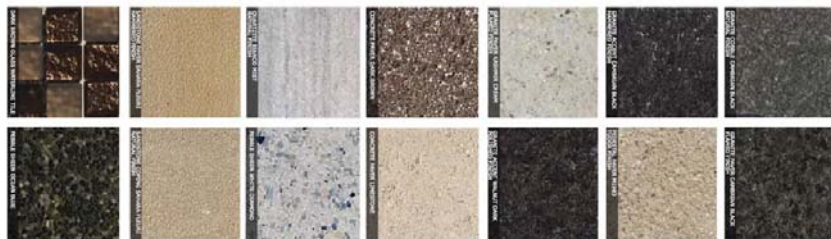
Materials Plan

Scale: 1" = 20'-0"

Date: October 2014

Saudi General Consulate

StudioRED Architects



LANDSCAPE PLAN VARIANCE



Houston Planning Commission

PLANTING PLAN



LANDSCAPE PLAN VARIANCE



Houston Planning Commission

STAFF REPORT

Staff Recommendation: Approve

Basis of Recommendation: 2951 Wilcrest Drive. The site is located along the east side of Wilcrest Drive, south of Meadowglen Street and north of Richmond Avenue. The site is proposed for the use of the General Consulate of Saudi Arabia. The applicant is requesting a variance to allow an alternative landscaping plan in lieu of the required landscaping per Chapter 33 along Wilcrest Drive and within the site. Staff is in support of the request and recommends that the Planning Commission grant the requested variance.

The consulate will be a proud symbol of the Saudi government and will be a publically recognizable building. This project has the unique obligation to comply with City of Houston codes and ordinances as well as the highly sophisticated security standards established for all Saudi Arabia consulates by the Ministry of Foreign Affairs in the Saudi Arabia. The Ministry's Technical Security Requirements strictly prohibits trees from being located within 3 meters (9'-10") of the site boundary in order to prevent unauthorized access into the property. The specified varieties of Street Trees in Chapter 33 will become large full canopy types and would if planted on this site extend beyond the secured perimeter of the property thus compromising the security of the perimeter and exposing the Consulate staff and visitors to a potential security breach.

To mitigate this requirement and to meet the intent of this article of Chapter 33 the Kingdom offers to provide enhancements to the street presence and pedestrian realm of the project far beyond the minimum requirements of Chapter 33. The front 40 feet of the property is designed with enhanced landscaping including a tiered water feature, terraced planters with lush plantings, a palisade fence (in lieu of the typical solid concrete perimeter wall), vegetated roofs on the security stations, and granite pavers for the sidewalk both in the Right of Way and along the pedestrian route within the property. Pedestrians walking along Wilcrest will be able to visually enjoy the tiered water feature, landscaping and palm trees through a semi-transparent necessary perimeter fence.

The landscape planting theme is designed to be florally reminiscent of Saudi Arabia urban landscapes that are suitable for the Houston climate conditions. A great deal of open space on-site will be provided with a large reflecting pool, water wall and fountain features, as well as decorative paving, a variety of sidewalks pavers types and colors throughout the property. Because of the high visibility of the consulate and the desire to project a very impressive image the landscaping will be routinely managed and sustained.

Staff's recommendation is to approve the requested variance and allow an alternative landscaping plan in lieu of required landscaping per Chapter 33 along major thoroughfare Wilcrest Drive and within the subject site.

PLANNING COMMISSION ACTION:

BASIS OF PLANNING COMMISSION ACTION: (SEE ABOVE STAFF EVALUATION)

ADDITIONAL FINDINGS BY PLANNING COMMISSION:

LANDSCAPE PLAN VARIANCE

AGENDA: V.

SMLSA Application No. 482: Glen Park Subdivision; all lots on blocks 1-15

BACKGROUND:

The Planning and Development Department received an application for the establishment of a Special Minimum Lot Size Area (SMLSA) for Glen Park Subdivision; all lots on blocks 1-15. Analysis shows that a minimum lot size of 5,000 square feet exists for the area. A petition was signed by the owners of 23% of the property within the proposed SMLSA. An application was filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-204. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

PROCEDURES:

Following acceptance of an initially complete application, the Planning Director notifies all owners of property within the proposed SMLSA. Any property owner who wishes to vote for or against the creation of the minimum lot size area may return the response form within thirty days. The Director shall forward a complete application to Planning Commission for public hearing and consideration upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 55% of the property within the proposed SMLSA

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSA shall contain no less than five block faces, composed of 5 lots or more on each blockface;
- at least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- the proposed SMLSA does not include a significant area developed as or restricted to a use that is not single family residential and;
- does not include a significant area that does not share a lot size character with the rest of the proposed area
- that the applicant has demonstrated sufficient support of 55% for the establishment of the proposed SMLSA;
- that the establishment of the SMLSA will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSA has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSA is enforceable for forty (40) years from the effective date of the ordinance.

STAFF ANALYSIS:

This application includes one hundred and thirty (130) properties in Glen Park Subdivision

Analysis of the application resulted in the following findings:

- *The boundaries of the proposed SMLSA must contain not less than five (5) blockfaces composed of five (5) lots or more on each blockface;*
The application contains thirty-one (31) blockfaces with at least 5 lots on 5 blockfaces
- *At least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*
Land use of the properties consists of ninety-nine (99) single-family residential properties representing 82% of the total lots.
- *The applicant has demonstrated sufficient support for the SMLSA;*
The applicant obtained 72% support from property owners in the proposed SMLSA
- *Establishment of the SMLSA will further the goal of preserving the area lot size character;*
A minimum lot size of 5,000 square feet exists on ninety-four (94) of one hundred and thirty (130) lots in the area.
- *The proposed SMLSA has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*
The subdivision was platted in 1911, and some of the homes were constructed in the 1910s and 1920s. The establishment of a 5,000 square foot minimum lot size will preserve the lot size character of the area.
- *The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*
Ninety-four (94) out of one hundred and thirty (130) lots representing 80% of the application area is at least 5,000 square feet in size.

Public notice of the public hearing was transmitted to all property owners in the area.

ATTACHMENTS:

1. Staff Analysis Summary Page
2. Map of Support
3. Map of Lots that meet SMLSA
4. Land Use Map
5. Aerial Map
6. Application
7. HCAD Map

SPECIAL MINIMUM LOT SIZE AREA YOUR SUBDIVISION

ADDRESS	Lot size (in sq ft)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
211 JESSAMINE ST	13,199	1.94%	1.94%	Y	Y	SFR
2900 MAIN ST	11,000	1.61%	3.55%			SFR
215 GOLDENROD ST	10,999	1.61%	5.17%	Y		SFR
0 HYACINTH ST	8,700	1.28%	6.44%	Y		VAC
3002 HYACINTH ST	8,499	1.25%	7.69%	Y		SFR
304 LILAC ST	8,477	1.24%	8.94%	Y		COM
313 LILAC ST	7,840	1.15%	10.09%	Y		COM
120 GLEN PARK ST	7,501	1.10%	11.19%	Y		VAC
120 GLEN PARK ST	7,501	1.10%	12.29%	Y		SFR
3210 MARIGOLD ST	7,501	1.10%	13.39%	Y		SFR
3225 MARIGOLD ST	7,022	1.03%	14.42%	Y	Y	SFR
3012 N MAIN ST	7,000	1.03%	15.45%	Y		SFR
108 GOLDENROD	7,000	1.03%	16.47%	Y		SFR
206 JESSAMINE ST	6,900	1.01%	17.49%	Y	Y	SFR
401 GOLDENROD ST	6,752	0.99%	18.48%			SFR
210 GLEN PARK ST	6,743	0.99%	19.47%			VAC
208 GOLDENROD ST	6,499	0.95%	20.42%	Y	Y	SFR
302 COSMOS ST	6,499	0.95%	21.37%	Y		SFR
3102 HYACINTH ST	6,499	0.95%	22.33%	Y		SFR
202 COSMOS ST	6,499	0.95%	23.28%	Y	Y	SFR
201 GOLDENROD ST	6,499	0.95%	24.23%	Y		SFR
219 COSMOS ST	6,499	0.95%	25.19%	Y		SFR
219 GOLDENROD ST	6,499	0.95%	26.14%	Y		SFR
314 COSMOS ST	6,499	0.95%	27.10%	Y		SFR
116 COSMOS ST	6,499	0.95%	28.05%	Y	Y	SFR
308 LILAC ST	6,251	0.92%	28.97%			SFR
313 LILAC ST	6,000	0.88%	29.85%	Y		COM
3210 HYACINTH ST	6,000	0.88%	30.73%			SFR
3210 HYACINTH ST	6,000	0.88%	31.61%			SFR
204 GOLDENROD	5,998	0.88%	32.49%	Y		SFR
206 GOLDENROD ST	5,998	0.88%	33.37%	Y		SFR
2914 N MAIN ST	5,998	0.88%	34.25%			COM
207 GOLDENROD ST	5,998	0.88%	35.13%	Y		SFR
312 COSMOS ST	5,998	0.88%	36.01%	Y		SFR
215 COSMOS ST	5,998	0.88%	36.89%	Y		SFR
212 COSMOS ST	5,998	0.88%	37.77%	Y	Y	SFR
3006 N MAIN ST	5,998	0.88%	38.65%			SFR
206 COSMOS ST	5,998	0.88%	39.53%	Y		SFR
310 COSMOS ST	5,998	0.88%	40.41%	Y		SFR
108 COSMOS ST	5,550	0.81%	41.22%	Y		SFR

Special Minimum Lot Size Area

Planning and Development Department

ADDRESS	Lot size (in sq ft)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
404 COSMOS ST	5,500	0.81%	42.03%	Y		SFR
214 GLEN PARK ST	5,498	0.81%	42.84%			COM
0 COSMOS	5,227	0.77%	43.60%	Y		EXC
303 LILAC ST	5,000	0.73%	44.34%	Y	Y	SFR
309 COSMOS ST	5,000	0.73%	45.07%	Y		SFR
315 COSMOS ST	5,000	0.73%	45.81%	Y	Y	SFR
311 COSMOS ST	5,000	0.73%	46.54%	Y		SFR
306 GOLDENROD ST	5,000	0.73%	47.27%	Y		SFR
400 GOLDENROD ST	5,000	0.73%	48.01%	Y	Y	SFR
313 LILAC ST	5,000	0.73%	48.74%	Y		COM
313 LILAC ST	5,000	0.73%	49.47%	Y		COM
313 LILAC ST	5,000	0.73%	50.21%	Y		COM
401 COSMOS ST	5,000	0.73%	50.94%	Y		SFR
406 GOLDENROD ST	5,000	0.73%	51.68%			SFR
408 GOLDENROD ST	5,000	0.73%	52.41%	Y		SFR
402 COSMOS ST	5,000	0.73%	53.14%	Y		SFR
109 GOLDENROD ST	5,000	0.73%	53.88%	Y		VAC
105 COSMOS ST	5,000	0.73%	54.61%			SFR
301 COSMOS ST	5,000	0.73%	55.34%	Y		SFR
3104 N MAIN ST	5,000	0.73%	56.08%			SFR
111 GOLDENROD ST	5,000	0.73%	56.81%	Y		SFR
207 COSMOS ST	5,000	0.73%	57.55%			SFR
315 GOLDENROD ST	5,000	0.73%	58.28%	Y	Y	SFR
315 GOLDENROD ST	5,000	0.73%	59.01%	Y	Y	SFR
301 GOLDENROD ST	5,000	0.73%	59.75%	Y		SFR
301 GOLDENROD ST	5,000	0.73%	60.48%	Y		SFR
301 GOLDENROD ST	5,000	0.73%	61.21%	Y		SFR
301 GOLDENROD ST	5,000	0.73%	61.95%	Y		SFR
210 GLEN PARK ST	5,000	0.73%	62.68%			VAC
316 GOLDENROD ST	5,000	0.73%	63.41%	Y	Y	SFR
319 COSMOS ST	5,000	0.73%	64.15%			SFR
3306 MARIGOLD ST	5,000	0.73%	64.88%	Y	Y	SFR
214 GLEN PARK ST	5,000	0.73%	65.62%			COM
302 GOLDENROD ST	5,000	0.73%	66.35%	Y		SFR
310 GOLDENROD ST	5,000	0.73%	67.08%	Y		SFR
3217 MARIGOLD ST	5,000	0.73%	67.82%	Y	Y	SFR
111 COSMOS ST	5,000	0.73%	68.55%	Y		SFR
3233 MARIGOLD ST	5,000	0.73%	69.28%	Y	Y	SFR
3100 MAIN ST	5,000	0.73%	70.02%	Y		COM
3220 MARIGOLD ST	5,000	0.73%	70.75%	Y	Y	SFR
301 LILAC ST	5,000	0.73%	71.49%	Y		COM
301 LILAC ST	5,000	0.73%	72.22%	Y		COM

Special Minimum Lot Size Area

Planning and Development Department

ADDRESS	Lot size (in sq ft)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
301 LILAC ST	5,000	0.73%	72.95%	Y		COM
3219 MARIGOLD ST	5,000	0.73%	73.69%			SFR
3301 MARIGOLD ST	5,000	0.73%	74.42%	Y	Y	SFR
3227 MARIGOLD ST	5,000	0.73%	75.15%			SFR
415 COSMOS ST	5,000	0.73%	75.89%			SFR
115 GOLDENROD ST	5,000	0.73%	76.62%	Y		SFR
314 GOLDENROD ST	5,000	0.73%	77.36%			SFR
107 COSMOS ST	5,000	0.73%	78.09%	Y		SFR
110 GLEN PARK ST	5,000	0.73%	78.82%	Y		SFR
2902 N MAIN ST	5,000	0.73%	79.56%			SFR
305 LILAC ST	5,000	0.73%	80.29%	Y	Y	SFR
0 JESSAMINE ST	4,922	0.72%	81.01%	Y		VAC
417 COSMOS ST	4,600	0.68%	81.69%			SFR
114 GOLDENROD ST	4,600	0.68%	82.36%	Y	Y	SFR
2900 MAIN ST	4,500	0.66%	83.02%			SFR
3302 MARIGOLD ST	4,500	0.66%	83.68%			SFR
404 COSMOS ST	4,500	0.66%	84.34%	Y		SFR
407 GOLDENROD ST	4,500	0.66%	85.00%	Y	Y	SFR
407 GOLDENROD ST	4,500	0.66%	85.66%	Y	Y	SFR
207 JESSAMINE ST	4,500	0.66%	86.32%	Y	Y	SFR
3210 HYACINTH ST	4,500	0.66%	86.98%			SFR
420 COSMOS ST	4,500	0.66%	87.65%			SFR
3106 N MAIN ST	4,500	0.66%	88.31%			COM
106 COSMOS ST	4,352	0.64%	88.94%	Y	Y	VAC
3116 HYACINTH ST	4,256	0.62%	89.57%	Y		SFR
313 LILAC ST	3,800	0.56%	90.13%	Y		COM
207 JESSAMINE ST	3,773	0.55%	90.68%	Y	Y	SFR
207 JESSAMINE ST	3,773	0.55%	91.23%	Y	Y	SFR
420 COSMOS ST	3,600	0.53%	91.76%			SFR
3002 N MAIN ST	3,500	0.51%	92.28%	Y		COM
3002 N MAIN ST	3,500	0.51%	92.79%	Y		COM
0 MARIGOLD ST	3,498	0.51%	93.30%			VAC
407 GOLDENROD ST	3,476	0.51%	93.81%	Y	Y	SFR
220 COSMOS ST	3,250	0.48%	94.29%		Y	SFR
3209 MARIGOLD ST	3,250	0.48%	94.77%	Y		SFR
3302 MARIGOLD ST	3,150	0.46%	95.23%			SFR
3112 HYACINTH ST	3,132	0.46%	95.69%			VAC
112 GOLDENROD ST	3,001	0.44%	96.13%	Y		SFR
419 COSMOS ST	3,001	0.44%	96.57%	Y		SFR
315 GOLDENROD ST	3,000	0.44%	97.01%	Y	Y	SFR
315 GOLDENROD ST	3,000	0.44%	97.45%	Y	Y	SFR
301 GOLDENROD ST	3,000	0.44%	97.89%	Y		SFR

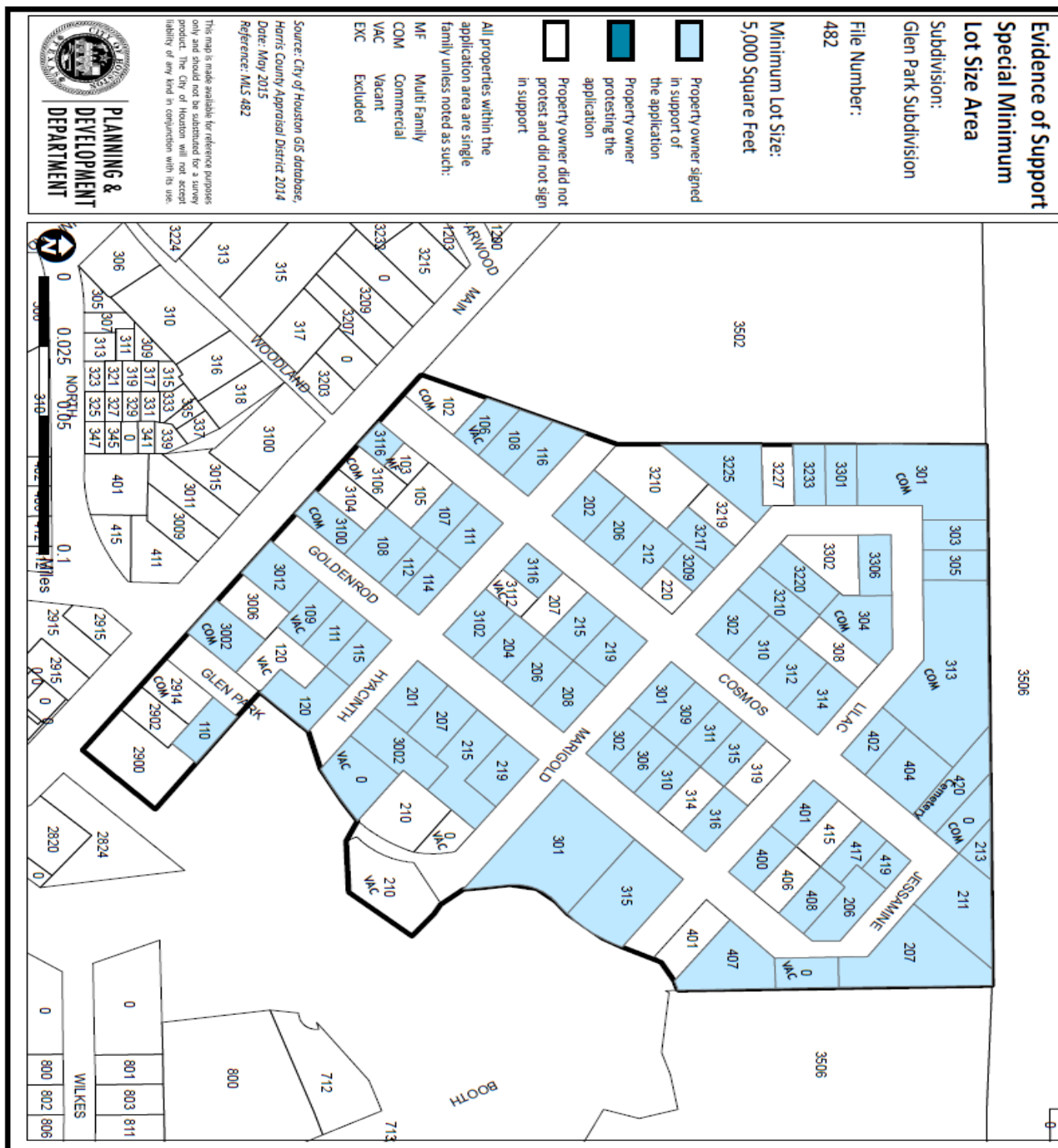
Special Minimum Lot Size Area

Planning and Development Department

ADDRESS	Lot size (in sq ft)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
301 GOLDENROD ST	3,000	0.44%	98.33%	Y		SFR
3116 N MAIN ST	2,805	0.41%	98.74%	Y	Y	SFR
103 COSMOS ST	2,696	0.40%	99.14%			MF
213 JESSAMINE ST	2,505	0.37%	99.50%	Y		COM
102 COSMOS ST	2,000	0.29%	99.80%			COM
102 COSMOS ST	1,400	0.21%	100.00%			COM

This application qualifies for a Special Minimum Lot Size of:	5,000 sq. ft.
Response forms received in support of the SMLSA:	95
Response forms received in opposition of the SMLSA:	0
Percentage of property owners in support of the SMLSA boundary: (must be at least 55%)	72.5%
Percentage of property owners signed the petition for the SMLSA application: (must be at least 10%)	23.7%

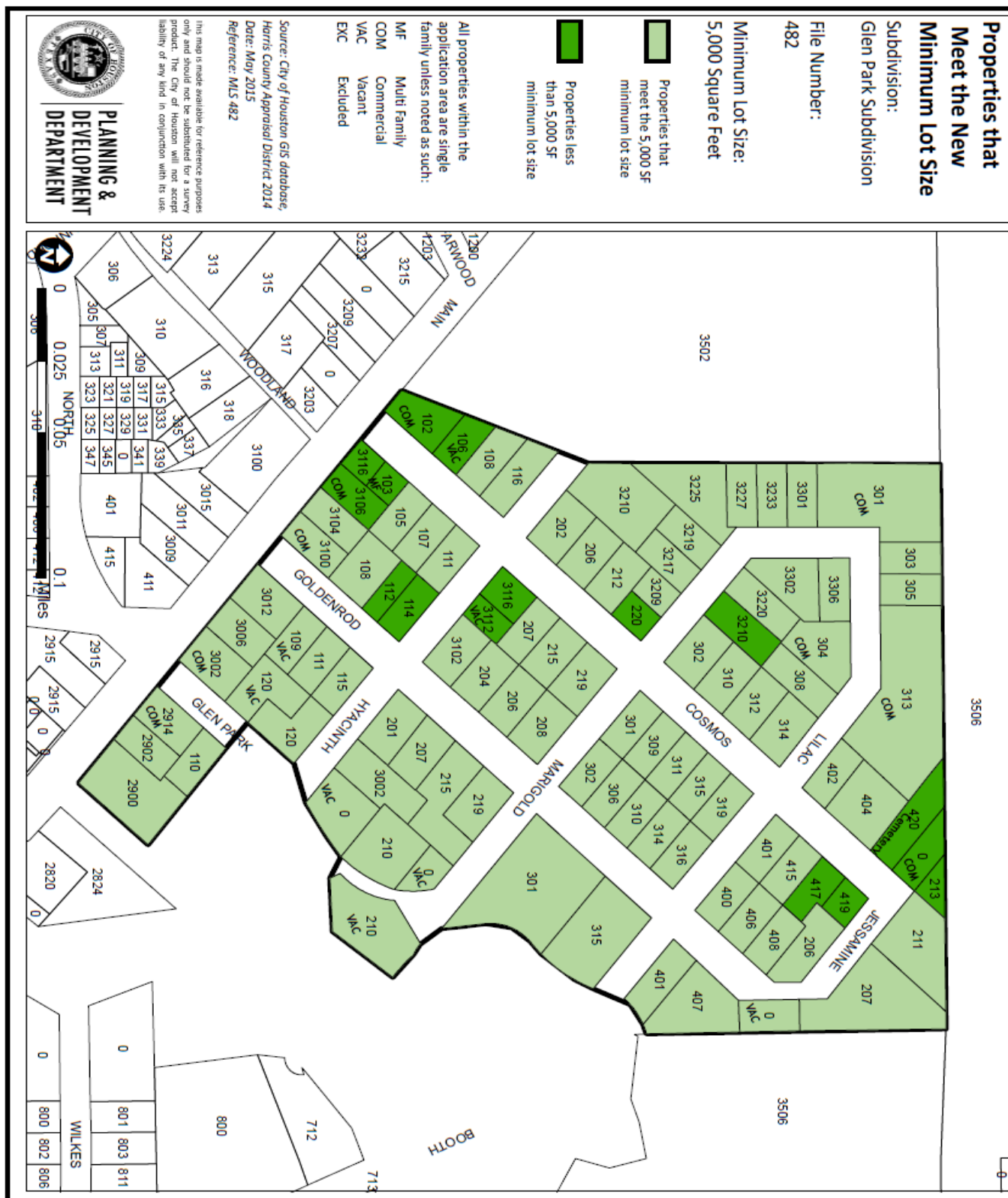
# of developed or restricted to no more than two SFR Units	99
# of Multifamily lots	1
# of Commercial lots	20
# of Vacant Lots	9
# of Excluded Lots	1
TOTAL NUMBER OF LOTS	130
Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 80%):	82%

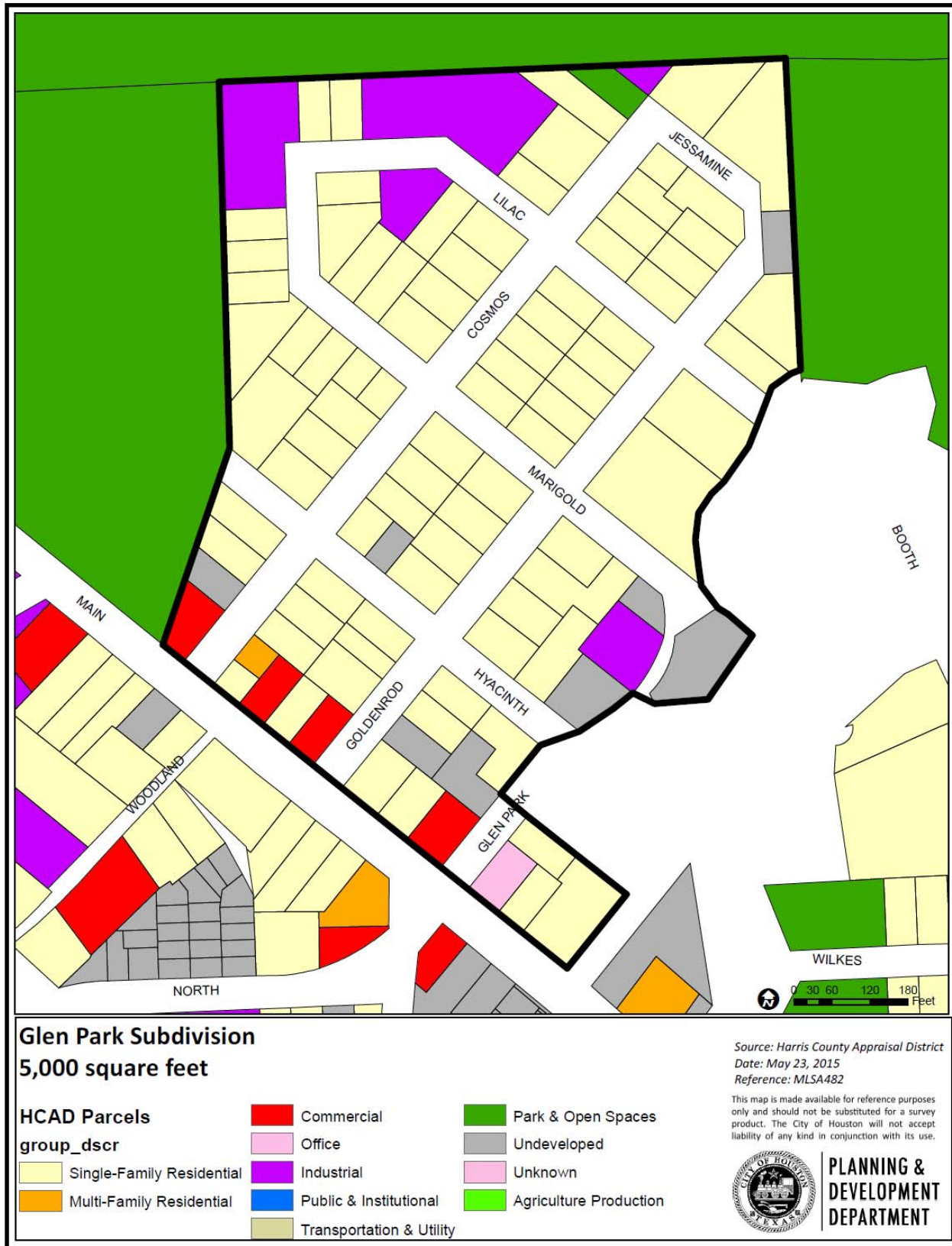


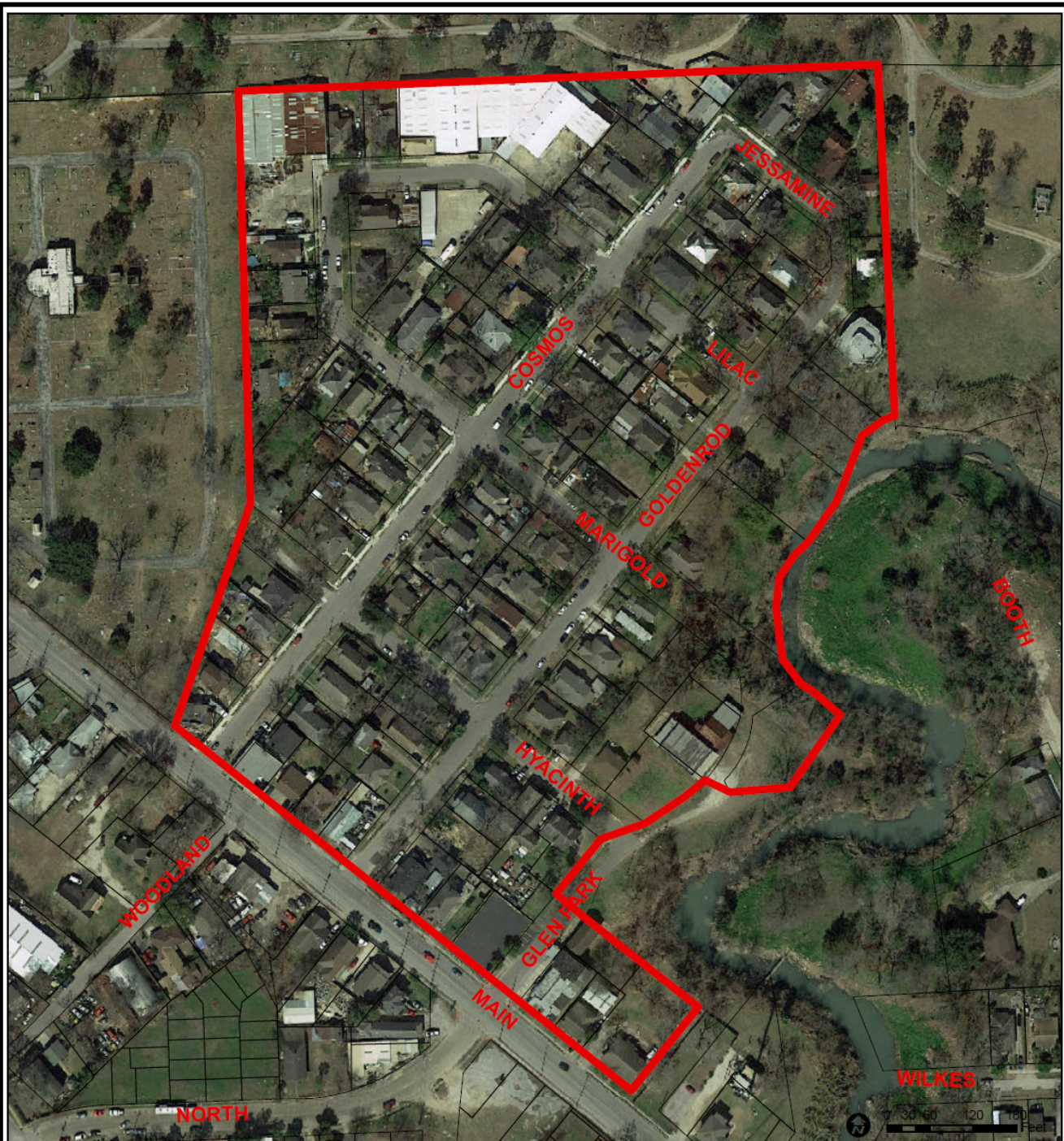
City of Houston

Special Minimum Lot Size Area


Planning Commission Staff Report
Planning and Development Department







Glen Park Subdivision
5,000 square foot
Special Minimum Lot Size Area

 Area Under Consideration

Source: Harris County Appraisal District
Date: May 23, 2015
Reference: MLSA482

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Special Minimum Lot Size Area Application

According to
Section 42-197 of Chapter 42 of the Code of Ordinances



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Please complete entire application form.

1. Location:

Area is bound on the west side by Holy Cross Cemetery, on the north side by Hollywood Cemetery, on the east side by Hollywood Cemetery, Little White Oak Bayou and by the street formerly known as Jorgueil, and on the south/southwest side by the street formerly known as Jorgueil, and by N. Main Street. This includes the even-numbered side of the 2900 block of N. Main.

Example: Blocks 15 - 19, Lots 1-37, in Cocker Spaniel Subdivision

2. Contacts:

Primary

Applicant Elizabeth Lousteau

Phone # (713) 806-0762

Address 316 Goldenrod St.

E-mail

City Houston

State TX Zip 77009

Alternate

Applicant Karen Chadwick

Phone # 713-228-5002

Address 400 Goldenrod Street

E-mail

City Houston

State TX Zip 77009

3. Project Information (Staff Use Only-Do Not Fill In):

File # 482

Key Map #

TIRZ

Lambert #

Super N'hood

Census Tract

City Council District

H

4. Submittal Requirements:

Please Check

Completed application form (this page)

☐

Signed petition signed by the applicant (page 5)

☐

Signed petition of support signed by 10% of lot owners within the boundary area (page 6)

☐

Signed deed restriction statement (page 6)

☐

Three (3) recommended locations for a community meeting (page 7)

Sample of Notification Sign (page 9)

☐

Copy of deed restrictions, if applicable

☐

Map or sketch showing the address, land use and the size of all lots within boundary area

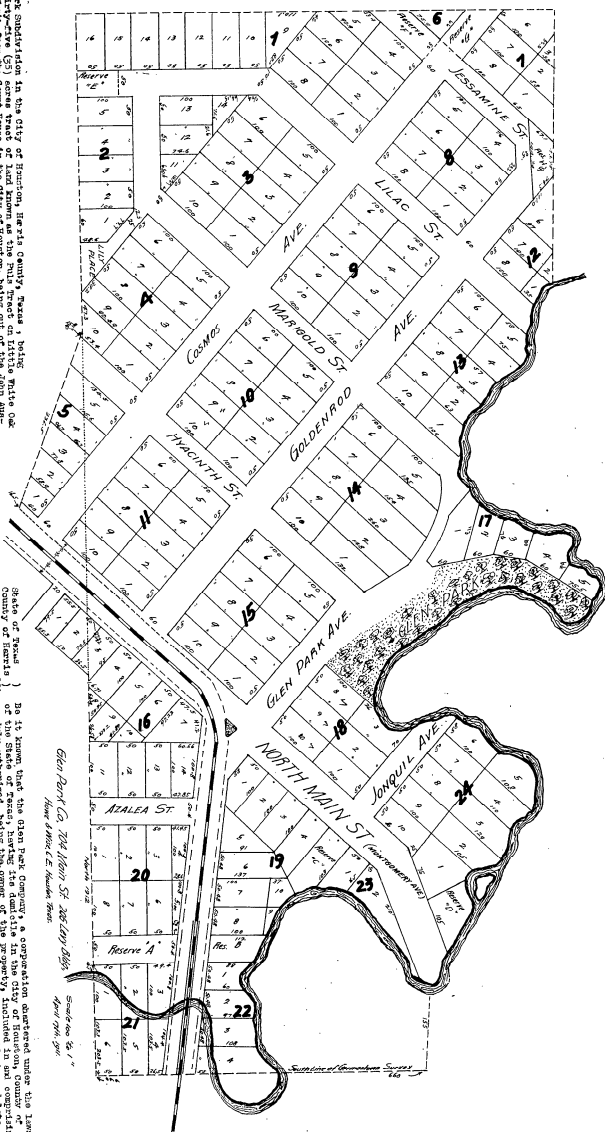
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City of Houston

Special Minimum Lot Size Area

Planning Commission Staff Report
Planning and Development Department

Glen Park Subdivision of The Rios Homestead Tract on Little Bluff Oak Bayou, San Jacinto Survey



Glen Park Subdivision in the City of Houston, Harris County, Texas, being a subdivision of the Daisy-Cree (S) area tract of land known as the Little Bluff Oak Bayou, about two miles north of the City of Houston, Texas, and the same being the subject of a certain order of the Court of Civil Appeals, State of Texas, in the case of the State of Texas, et al., vs. the State of Texas, et al., filed in the County of Harris, Texas, on the 10th day of May A.D. 1911.

I, H. H. Hays, of Town & Main, Civil Engineer, do hereby certify that the foregoing map is a true and correct map of the said subdivision, and that the same was prepared by me or under my direction, and that the same was filed in the County of Harris, Texas, on the 10th day of May A.D. 1911.

Witness my hand at Houston, Texas, this 10th day of May A.D. 1911.

H. H. Hays, of Town & Main, Civil Engineer.

State of Texas) No. 10,000
County of Harris)
I, H. H. Hays, of Town & Main, Civil Engineer, do hereby certify that the foregoing map is a true and correct map of the said subdivision, and that the same was prepared by me or under my direction, and that the same was filed in the County of Harris, Texas, on the 10th day of May A.D. 1911.

I, H. H. Hays, of Town & Main, Civil Engineer, do hereby certify that the foregoing map is a true and correct map of the said subdivision, and that the same was prepared by me or under my direction, and that the same was filed in the County of Harris, Texas, on the 10th day of May A.D. 1911.

I, H. H. Hays, of Town & Main, Civil Engineer, do hereby certify that the foregoing map is a true and correct map of the said subdivision, and that the same was prepared by me or under my direction, and that the same was filed in the County of Harris, Texas, on the 10th day of May A.D. 1911.

AGENDA: VI

SMLSA Application No. 420: Glenshire Section 2, Blocks 2, 7 and 8; Glenshire Section 4, Blocks 2, 7, 8, 10 and 11; Glenshire Section 6, Blocks 15 and 16; Glenshire Section 8, Blocks 11, 16 and 17.

BACKGROUND:

The Planning and Development Department received an application for the establishment of a special minimum lot size area for Glenshire Sections 2, 4, 6 and 8 Subdivisions. Analysis shows that a minimum lot size of 9,070 square feet exists for the area. A petition was signed by the owners of 31% of the property within the proposed Special Minimum Lot Size Area (SMLSA). An application was filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-204. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

PROCEDURES:

Following acceptance of an initially complete application, the Planning Director notifies all owners of property within the proposed SMLSA. Any property owner who wishes to vote for or against the creation of the minimum lot size area may return the response form within thirty days. The Director shall forward a complete application to Planning Commission for public hearing and consideration upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 55% of the property within the proposed SMLSA

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSA shall contain no less than five block faces, composed of 5 lots or more on each blockface;
- at least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- the proposed SMLSA does not include a significant area developed as or restricted to a use that is not single family residential and;
- does not include a significant area that does not share a lot size character with the rest of the proposed area
- that the applicant has demonstrated sufficient support of 55% for the establishment of the proposed SMLSA;
- that the establishment of the SMLSA will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSA has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSA is enforceable for forty (40) years from the effective date of the ordinance.

STAFF ANALYSIS:

This application includes two hundred and thirty (230) properties in Glenshire Section 2, Blocks 2, 7 and 8; Glenshire Section 4, Blocks 2, 7, 8, 10 and 11; Glenshire Section 6, Blocks 15 and 16; Glenshire Section 8, Blocks 11, 16 and 17.

Analysis of the application resulted in the following findings:

- *The boundaries of the proposed SMLSA must contain not less than five (5) blockfaces composed of five (5) lots or more on each blockface;*

The application contains twenty four (24) blockfaces with at least 5 lots on 5 blockfaces

- *At least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*

Land use of the properties consists of two hundred and twenty two (222) single-family residential properties representing 99% of the total lots.

- *The applicant has demonstrated sufficient support for the SMLSA;*
The applicant obtained 61% support from property owners in the proposed SMLSA
- *Establishment of the SMLSA will further the goal of preserving the area lot size character;*
A minimum lot size of 9,070 square feet exists on one hundred and thirty four (134) of two hundred and thirty (230) lots in the area.
- *The proposed SMLSA has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*

The subdivisions were platted in 1970s, and some of homes in the area were mostly constructed in the 1970s. The establishment of a 9,070 square foot minimum lot size will preserve the lot size character of the area.

- *The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*

One hundred and thirty-four (134) out of two hundred and thirty (230) lots representing 70 % of the application area is at least 9,070 square feet in size.

Public notice of the public hearing was transmitted to all property owners in the area

ATTACHMENTS:

1. Staff Analysis Summary Page
2. Map of Support
3. Map of Lots that meet SMLSA
4. Land Use Map
5. Map of Support
6. Aerial Map
7. Application
8. HCAD Map

SPECIAL MINIMUM LOT SIZE AREA- GLENSHIRE SECTION 2 , 4, 6 and 8

ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
0 S SAM HOUSTON PKY W	555228	20.02%	20.02%			EXC
8900 ABBEYDALE DR	71003	2.56%	22.58%	Y		EXC
12407 ROCKAMPTON DR	16454	0.59%	23.17%			SFR
12409 LIGHTCLIFFE DR	16363	0.59%	23.76%			EXC
12327 SHELWICK DR	16130	0.58%	24.35%	Y		SFR
9211 OGLETHORPE DR	14255	0.51%	24.86%			SFR
8803 ABBEYDALE DR	14205	0.51%	25.37%	N	Y	SFR
9207 OGLETHORPE DR	14158	0.51%	25.88%	Y		SFR
12402 LIGHTCLIFFE DR	14020	0.51%	26.39%	Y	Y	SFR
8722 STERLINGAME DR	13371	0.48%	26.87%	Y		SFR
12403 ROCKAMPTON DR	12750	0.46%	27.33%			SFR
12406 LIGHTCLIFFE DR	12481	0.45%	27.78%	Y	Y	SFR
12411 CHADWELL DR	11880	0.43%	28.21%	Y		SFR
12502 WRENTHORPE DR	11555	0.42%	28.63%			SFR
12402 ROCKAMPTON DR	11475	0.41%	29.04%			SFR
12402 TOTTENHAM DR	11404	0.41%	29.45%			SFR
12409 LIGHTCLIFFE DR	11190	0.40%	29.85%			EXC
8718 STERLINGAME DR	11000	0.40%	30.25%	N		SFR
8803 PETERSHAM DR	10980	0.40%	30.65%	Y		SFR
12514 WRENTHORPE DR	10864	0.39%	31.04%			SFR
12415 CHADWELL DR	10774	0.39%	31.43%	Y		SFR
8811 PETERSHAM DR	10665	0.38%	31.81%	Y		SFR
12431 CHADWELL DR	10556	0.38%	32.19%	Y		SFR
12410 LIGHTCLIFFE DR	10549	0.38%	32.57%	Y	Y	SFR
12510 WRENTHORPE DR	10492	0.38%	32.95%			SFR
8815 PETERSHAM DR	10425	0.38%	33.33%	Y		SFR
8803 COVENT GARDEN ST	10349	0.37%	33.70%		Y	SFR

Special Minimum Lot Size Area

Planning and Development Department

ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
12407 TOTTENHAM DR	10340	0.37%	34.07%	Y		SFR
12414 TOTTENHAM DR	10240	0.37%	34.44%	Y		SFR
8807 PETERSHAM DR	10191	0.37%	34.81%	Y	Y	SFR
11910 VICDALE DR	10150	0.37%	35.18%	Y		SFR
12323 SHELWICK DR	10120	0.36%	35.54%	Y		SFR
8914 STERLINGAME DR	10092	0.36%	35.90%	Y	Y	SFR
12418 LIGHTCLIFFE DR	10063	0.36%	36.27%	N		SFR
8911 ABBEYDALE DR	10000	0.36%	36.63%	Y	Y	SFR
11915 CHADWELL DR	9999	0.36%	36.99%	Y		SFR
8807 ABBEYDALE DR	9998	0.36%	37.35%	Y	Y	SFR
12427 CHADWELL DR	9959	0.36%	37.71%	Y		SFR
12419 LIGHTCLIFFE DR	9912	0.36%	38.07%	Y		SFR
12406 ROCKAMPTON DR	9866	0.36%	38.42%	Y		SFR
12403 TOTTENHAM DR	9835	0.35%	38.78%	N		SFR
8911 TAVISTOCK DR	9795	0.35%	39.13%	Y	Y	SFR
12419 ROCKAMPTON DR	9771	0.35%	39.48%	Y		SFR
12518 WRENTHORPE DR	9729	0.35%	39.83%			SFR
8914 COVENT GARDEN ST	9693	0.35%	40.18%			SFR
8902 HAVERSTOCK DR	9678	0.35%	40.53%	Y		SFR
8822 HAVERSTOCK DR	9616	0.35%	40.88%			SFR
12410 ROCKAMPTON DR	9606	0.35%	41.22%	Y		SFR
12506 WRENTHORPE DR	9606	0.35%	41.57%			SFR
8702 STERLINGAME DR	9603	0.35%	41.92%	Y	Y	SFR
8803 HAVERSTOCK DR	9600	0.35%	42.26%	Y		SFR
9126 PETERSHAM DR	9600	0.35%	42.61%	Y		SFR
8910 TAVISTOCK DR	9595	0.35%	42.95%	Y		SFR
11902 VICDALE DR	9592	0.35%	43.30%	Y		SFR
0 STERLINGAME	9583	0.35%	43.65%	Y		EXC

ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
12423 WRENTHORPE DR	9566	0.34%	43.99%	Y		SFR
8819 ABBEYDALE DR	9565	0.34%	44.34%		Y	SFR
12507 WRENTHORPE DR	9562	0.34%	44.68%	Y		SFR
8923 HAVERSTOCK DR	9557	0.34%	45.03%			SFR
12414 LIGHTCLIFFE DR	9548	0.34%	45.37%	Y	Y	SFR
8819 COVENT GARDEN ST	9495	0.34%	45.71%	Y	Y	SFR
8815 ABBEYDALE DR	9486	0.34%	46.05%		Y	SFR
8802 COVENT GARDEN ST	9477	0.34%	46.40%			SFR
8814 WEYMOUTH DR	9428	0.34%	46.74%			SFR
8903 ABBEYDALE DR	9427	0.34%	47.08%	Y		SFR
8810 WEYMOUTH DR	9425	0.34%	47.42%		Y	SFR
11903 VICDALE DR	9406	0.34%	47.75%	Y	Y	SFR
12419 CHADWELL DR	9389	0.34%	48.09%	Y		SFR
9014 PETERSHAM DR	9385	0.34%	48.43%	Y		SFR
8902 TAVISTOCK DR	9376	0.34%	48.77%		Y	SFR
8902 WEYMOUTH DR	9374	0.34%	49.11%			SFR
12406 TOTTENHAM DR	9370	0.34%	49.45%			SFR
8711 COVENT GARDEN ST	9360	0.34%	49.78%	Y	Y	SFR
8818 HAVERSTOCK DR	9358	0.34%	50.12%	Y		SFR
8706 TAVISTOCK DR	9358	0.34%	50.46%	Y	Y	SFR
8818 WEYMOUTH DR	9356	0.34%	50.80%	Y		SFR
8811 ABBEYDALE DR	9348	0.34%	51.13%	Y	Y	SFR
8822 WEYMOUTH DR	9347	0.34%	51.47%	N		SFR
12410 TOTTENHAM DR	9345	0.34%	51.81%			SFR
8903 TAVISTOCK DR	9339	0.34%	52.14%			SFR
8907 TAVISTOCK DR	9338	0.34%	52.48%	Y		SFR
12415 ROCKAMPTON DR	9336	0.34%	52.82%			SFR
9010 PETERSHAM DR	9334	0.34%	53.15%	Y	Y	SFR

Special Minimum Lot Size Area

Planning and Development Department

ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
8802 PETERSHAM DR	9322	0.34%	53.49%	Y	Y	SFR
8906 TAVISTOCK DR	9315	0.34%	53.83%	Y		SFR
8906 WEYMOUTH DR	9298	0.34%	54.16%			SFR
11907 VICDALE DR	9290	0.33%	54.50%	Y		SFR
8814 HAVERSTOCK DR	9288	0.33%	54.83%		Y	SFR
8918 WEYMOUTH DR	9282	0.33%	55.17%	Y	Y	SFR
9106 PETERSHAM DR	9281	0.33%	55.50%	Y	Y	SFR
12423 CHADWELL DR	9279	0.33%	55.83%	Y		SFR
8907 COVENT GARDEN ST	9267	0.33%	56.17%		Y	SFR
8903 COVENT GARDEN ST	9267	0.33%	56.50%	Y	Y	SFR
8910 WEYMOUTH DR	9267	0.33%	56.84%			SFR
12203 SHELWICK DR	9240	0.33%	57.17%			SFR
8815 COVENT GARDEN ST	9233	0.33%	57.50%			SFR
9102 PETERSHAM DR	9227	0.33%	57.84%			SFR
8814 TAVISTOCK DR	9217	0.33%	58.17%	Y		SFR
8810 STERLINGAME DR	9208	0.33%	58.50%		Y	SFR
12503 WRENTHORPE DR	9196	0.33%	58.83%	Y		SFR
12435 WRENTHORPE DR	9196	0.33%	59.16%	Y		SFR
12431 WRENTHORPE DR	9196	0.33%	59.50%	Y		SFR
12427 WRENTHORPE DR	9196	0.33%	59.83%			SFR
8914 WEYMOUTH DR	9193	0.33%	60.16%	Y	Y	SFR
8919 WEYMOUTH DR	9192	0.33%	60.49%			SFR
9002 PETERSHAM DR	9173	0.33%	60.82%			SFR
8907 ABBEYDALE DR	9167	0.33%	61.15%	Y		SFR
12414 ROCKAMPTON DR	9154	0.33%	61.48%			SFR
8802 WEYMOUTH DR	9149	0.33%	61.81%	Y	Y	SFR
0 STERLINGAME	9147	0.33%	62.14%	Y		EXC
8915 COVENT GARDEN ST	9145	0.33%	62.47%	Y		SFR

ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
12422 ROCKAMPTON DR	9145	0.33%	62.80%	Y		SFR
8902 STERLINGAME DR	9137	0.33%	63.13%		Y	SFR
8811 TAVISTOCK DR	9137	0.33%	63.46%			SFR
8911 COVENT GARDEN ST	9133	0.33%	63.79%	Y	Y	SFR
8803 STERLINGAME DR	9126	0.33%	64.12%			SFR
12415 LIGHTCLIFFE DR	9125	0.33%	64.45%	Y	Y	SFR
12222 SHELWICK DR	9120	0.33%	64.78%	Y	Y	SFR
12302 SHELWICK DR	9120	0.33%	65.10%	Y		SFR
12303 SHELWICK DR	9120	0.33%	65.43%			SFR
12223 SHELWICK DR	9120	0.33%	65.76%		Y	SFR
8710 STERLINGAME DR	9120	0.33%	66.09%			SFR
8806 WEYMOUTH DR	9117	0.33%	66.42%	Y	Y	SFR
8910 STERLINGAME DR	9116	0.33%	66.75%	Y	Y	SFR
8906 STERLINGAME DR	9115	0.33%	67.08%		Y	SFR
8803 WEYMOUTH DR	9113	0.33%	67.41%			SFR
8807 COVENT GARDEN ST	9111	0.33%	67.73%			SFR
12423 ROCKAMPTON DR	9098	0.33%	68.06%	Y	Y	SFR
8810 TAVISTOCK DR	9096	0.33%	68.39%	Y	Y	SFR
8906 HAVERSTOCK DR	9088	0.33%	68.72%	Y		SFR
8814 STERLINGAME DR	9085	0.33%	69.05%	Y	Y	SFR
8910 COVENT GARDEN ST	9084	0.33%	69.37%	Y	Y	SFR
8818 STERLINGAME DR	9078	0.33%	69.70%		Y	SFR
8714 STERLINGAME DR	9070	0.33%	70.03%	Y	Y	SFR
8807 STERLINGAME DR	9057	0.33%	70.35%			SFR
8802 TAVISTOCK DR	9044	0.33%	70.68%	Y		SFR
8902 COVENT GARDEN ST	9037	0.33%	71.01%			SFR
8814 COVENT GARDEN ST	9015	0.33%	71.33%			SFR
12411 ROCKAMPTON DR	9009	0.32%	71.66%	Y		SFR

Special Minimum Lot Size Area

Planning and Development Department

ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
8822 COVENT GARDEN ST	9008	0.32%	71.98%		Y	SFR
8818 COVENT GARDEN ST	9007	0.32%	72.31%			SFR
8906 COVENT GARDEN ST	9007	0.32%	72.63%	Y	Y	SFR
9114 PETERSHAM DR	9006	0.32%	72.96%	Y	Y	SFR
9122 PETERSHAM DR	9000	0.32%	73.28%		Y	SFR
9118 PETERSHAM DR	9000	0.32%	73.60%	Y		SFR
8922 PETERSHAM DR	9000	0.32%	73.93%	Y		SFR
8918 PETERSHAM DR	9000	0.32%	74.25%	Y	Y	SFR
8911 HAVERSTOCK DR	8987	0.32%	74.58%			SFR
8703 TAVISTOCK DR	8980	0.32%	74.90%	N		SFR
8811 COVENT GARDEN ST	8968	0.32%	75.22%			SFR
8806 TAVISTOCK DR	8968	0.32%	75.55%	Y		SFR
9018 PETERSHAM DR	8943	0.32%	75.87%	Y		SFR
8823 HAVERSTOCK DR	8918	0.32%	76.19%			SFR
8807 HAVERSTOCK DR	8916	0.32%	76.51%			SFR
12522 WRENTHORPE DR	8914	0.32%	76.83%	Y		SFR
9006 PETERSHAM DR	8908	0.32%	77.16%	Y		SFR
8723 COVENT GARDEN ST	8880	0.32%	77.48%			SFR
8719 COVENT GARDEN ST	8880	0.32%	77.80%	Y		SFR
8715 COVENT GARDEN ST	8880	0.32%	78.12%	Y		SFR
12314 SHELWICK DR	8880	0.32%	78.44%	Y		SFR
8811 HAVERSTOCK DR	8879	0.32%	78.76%	Y		SFR
8907 HAVERSTOCK DR	8864	0.32%	79.08%			SFR
8810 COVENT GARDEN ST	8855	0.32%	79.40%		Y	SFR
8903 HAVERSTOCK DR	8842	0.32%	79.71%	Y		SFR
9026 PETERSHAM DR	8833	0.32%	80.03%	Y		SFR
9110 PETERSHAM DR	8818	0.32%	80.35%	Y	Y	SFR
12418 ROCKAMPTON DR	8801	0.32%	80.67%	Y		SFR

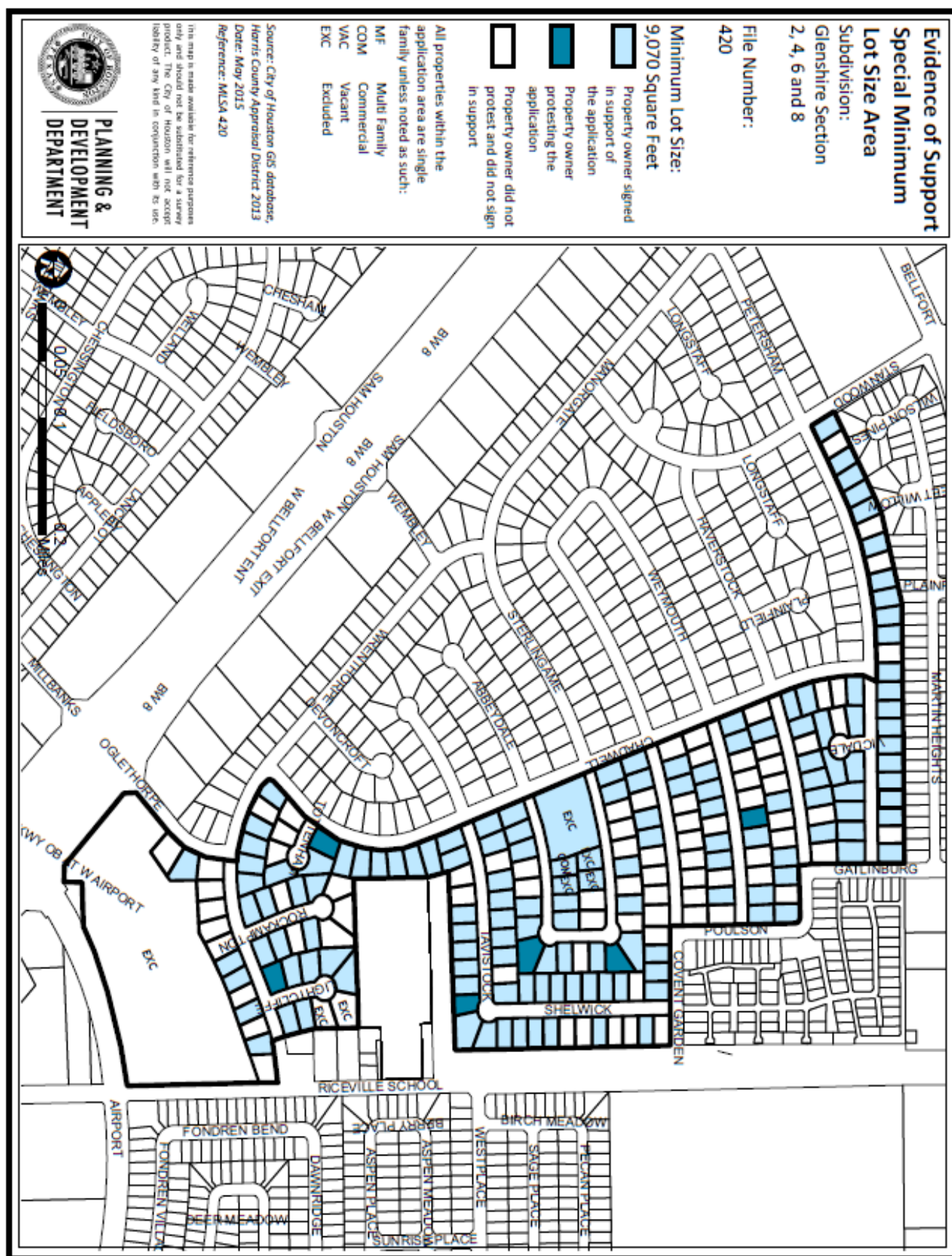
ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
9022 PETERSHAM DR	8799	0.32%	80.99%			SFR
8807 WEYMOUTH DR	8767	0.32%	81.30%	Y		SFR
8806 ABBEYDALE DR	8763	0.32%	81.62%	Y	Y	SFR
8806 COVENT GARDEN ST	8760	0.32%	81.93%		Y	SFR
8714 TAVISTOCK DR	8760	0.32%	82.25%	Y		SFR
8819 HAVERSTOCK DR	8730	0.31%	82.56%			SFR
8806 STERLINGAME DR	8726	0.31%	82.88%	Y	Y	SFR
0 ABBEYDALE DR	8712	0.31%	83.19%	Y		COM
11903 CHADWELL DR	8710	0.31%	83.51%	Y		SFR
8815 HAVERSTOCK DR	8701	0.31%	83.82%	Y		SFR
8802 STERLINGAME DR	8690	0.31%	84.13%			SFR
8710 TAVISTOCK DR	8688	0.31%	84.45%		Y	SFR
12542 WRENTHORPE DR	8673	0.31%	84.76%	Y		SFR
8919 HAVERSTOCK DR	8662	0.31%	85.07%	Y		SFR
8807 TAVISTOCK DR	8640	0.31%	85.38%	Y		SFR
8803 TAVISTOCK DR	8640	0.31%	85.70%	Y	Y	SFR
8715 TAVISTOCK DR	8640	0.31%	86.01%	Y	Y	SFR
8711 TAVISTOCK DR	8640	0.31%	86.32%	Y		SFR
8707 TAVISTOCK DR	8640	0.31%	86.63%	Y		SFR
11911 CHADWELL DR	8637	0.31%	86.94%			SFR
8914 PETERSHAM DR	8580	0.31%	87.25%	Y	Y	SFR
8910 PETERSHAM DR	8580	0.31%	87.56%	Y	Y	SFR
8906 PETERSHAM DR	8580	0.31%	87.87%	Y	Y	SFR
8902 PETERSHAM DR	8580	0.31%	88.18%	Y		SFR
8818 PETERSHAM DR	8580	0.31%	88.49%	Y	Y	SFR
8814 PETERSHAM DR	8580	0.31%	88.80%	Y		SFR
8810 PETERSHAM DR	8580	0.31%	89.11%	Y		SFR
8806 PETERSHAM DR	8580	0.31%	89.42%			SFR

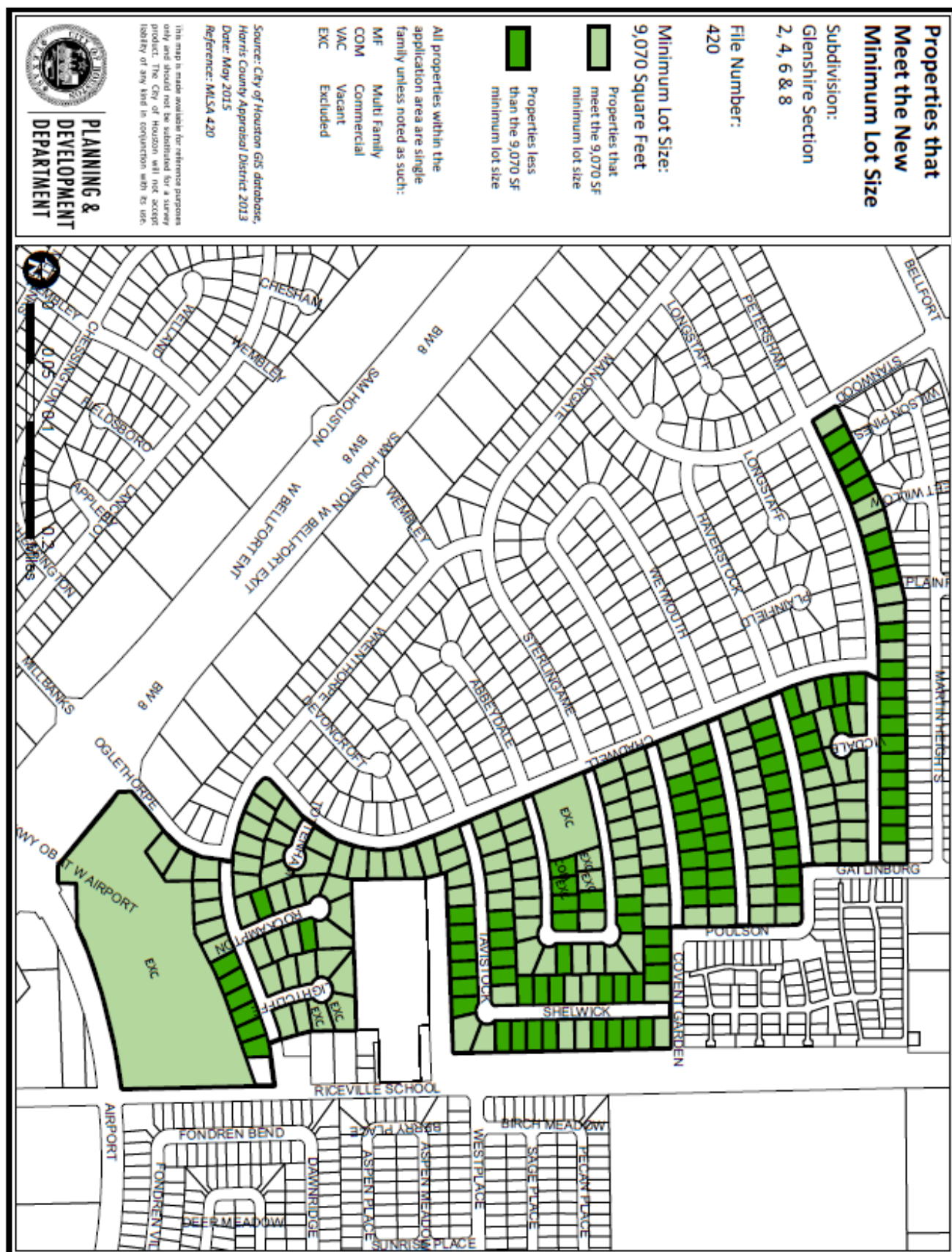
ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
8823 WEYMOUTH DR	8555	0.31%	89.73%		Y	SFR
8815 WEYMOUTH DR	8546	0.31%	90.03%	Y		SFR
12319 SHELWICK DR	8520	0.31%	90.34%	Y		SFR
12315 SHELWICK DR	8520	0.31%	90.65%	Y	Y	SFR
12311 SHELWICK DR	8520	0.31%	90.96%	Y		SFR
12307 SHELWICK DR	8520	0.31%	91.26%	Y		SFR
12219 SHELWICK DR	8520	0.31%	91.57%	Y		SFR
12215 SHELWICK DR	8520	0.31%	91.88%			SFR
12211 SHELWICK DR	8520	0.31%	92.18%			SFR
12207 SHELWICK DR	8520	0.31%	92.49%	Y		SFR
11907 CHADWELL DR	8518	0.31%	92.80%			SFR
8819 WEYMOUTH DR	8494	0.31%	93.11%	Y		SFR
8907 WEYMOUTH DR	8484	0.31%	93.41%	Y		SFR
8903 WEYMOUTH DR	8479	0.31%	93.72%	Y		SFR
8915 WEYMOUTH DR	8477	0.31%	94.02%			SFR
12526 WRENTHORPE DR	8456	0.30%	94.33%	Y		SFR
8910 HAVERSTOCK DR	8449	0.30%	94.63%	Y	Y	SFR
12530 WRENTHORPE DR	8449	0.30%	94.94%		Y	SFR
12534 WRENTHORPE DR	8449	0.30%	95.24%	Y		SFR
8918 HAVERSTOCK DR	8406	0.30%	95.54%	Y		SFR
12210 SHELWICK DR	8400	0.30%	95.85%			SFR
12214 SHELWICK DR	8400	0.30%	96.15%	Y	Y	SFR
12218 SHELWICK DR	8400	0.30%	96.45%	Y		SFR
12306 SHELWICK DR	8400	0.30%	96.76%	Y	Y	SFR
12310 SHELWICK DR	8400	0.30%	97.06%	Y	Y	SFR
8706 STERLINGAME DR	8400	0.30%	97.36%	Y	Y	SFR
8810 ABBEYDALE DR	8349	0.30%	97.66%	Y	Y	SFR
11919 CHADWELL DR	8309	0.30%	97.96%	Y		SFR

ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
8914 HAVERSTOCK DR	8301	0.30%	98.26%			SFR
0 ABBEYDALE DR	8276	0.30%	98.56%	Y		EXC
12538 WRENTHORPE DR	8271	0.30%	98.86%			SFR
8811 WEYMOUTH DR	8087	0.29%	99.15%			SFR
11906 VICDALE DR	7994	0.29%	99.44%		Y	SFR
8911 WEYMOUTH DR	7957	0.29%	99.73%	Y		SFR
8915 HAVERSTOCK DR	7615	0.27%	100.00%			SFR

This application qualifies for a Special Minimum Lot Size	9,070sq. ft.
Response Form received in support of MLSA	142
Response Form received in opposition of MLSA	6
Percentage of boundary area in favor of the MLSA (must be at least 55%)	61%
Signed Petition in Support	72
Property Owners Signing in Support of the Petition (must be at least 10%)	31%

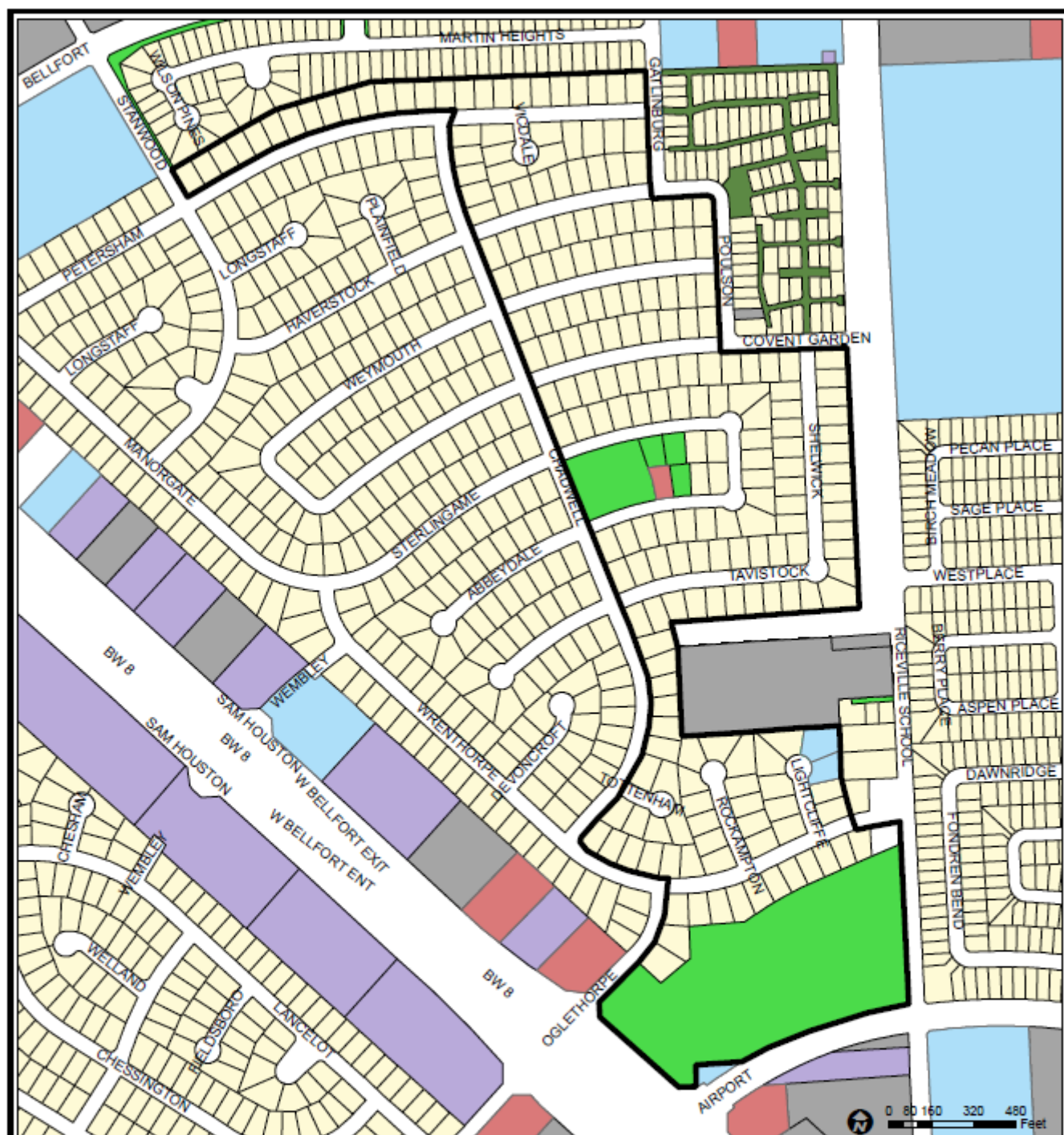
# developed or restricted to no more than two SFR Units	222
# of Multifamily lots	0
# of Commercial lots	1
# of Vacant Lots	0
# of Excluded Lots	7
TOTAL LOTS IN AREA	230
Percentage of lots developed or restricted to no more than two SFR units per lot (Must be at least 80%):	99%





Special Minimum Lot Size Area

Planning and Development Department



Glenshire Sections 2, 4, 6 and 8
9,070 square foot

Source: Harris County Appraisal District
Date: May 4, 2015
Reference: MLSA420

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.




**PLANNING &
DEVELOPMENT
DEPARTMENT**

- | Land Use | | |
|---|---------------------------|--|
|  | Single-Family Residential |  Office |
|  | Multi-Family Residential |  Industrial |
|  | Commercial |  Public & Institutional |
| | |  Park & Open Spaces |
| | |  Undeveloped |
| | |  Agriculture Production |
| | |  Mismatched |
| | |  Transportation & Utility |



Glenshire Sections 2, 4, 6 and 8
9,070 square foot
Special Minimum Lot Size Area

 Area Under Consideration

Source: Harris County Appraisal District
Date: May 4, 2015
Reference: MLSA420

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Special Minimum Lot Size Area Application

According to
Section 42-197 of Chapter 42 of the Code of Ordinances



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Please complete entire application form.

1. Location:

Sec	Block	Lot in Glenshire Sub.	Sec	Block	Lot in Glenshire Sub.
8	17	1-4	4	8	6-22
8	16	41-63	4	7	3-23
8	11	1-54	4	2	17-25
6	16	1-3, 6-14, 16-40	2	7	1-2
6	15	1-13	2	2	1-16
4	10	1-21			

Example: Blocks 15 - 19, Lots 1-37, in Cocker Spaniel Subdivision

2. Contacts:

Primary Applicant Julie Cyprow Phone # 713-271-7890
Address 8711 Covent Garden E-mail [REDACTED]
City Houston State TX Zip 77031 Yahoo.com
Alternate Applicant Shirley Terry Phone # 832-289-0455
Address 12315 Shelwick E-mail [REDACTED]
City Houston, TX State TX Zip 77031 sbcglobal.net

3. Project Information (Staff Use Only-Do Not Fill In):

File # 420 Key Map # _____ TIRZ _____
Lambert # _____ Super N'hood Bray Oaks Census Tract _____
City Council District 1C

4. Submittal Requirements:

Please Check

- Completed application form (this page) ☐
- Signed petition signed by the applicant (page 4) ☐
- Signed petition of support signed by 10% of lot owners within the boundary area (page 5) ☐
- Signed deed restriction statement (page 6) ☐
- Three (3) recommended locations for a community meeting (page 7) ☐
- Sample of Notification Sign (page 9) ☐
- Copy of deed restrictions, if applicable ☐
- Map or sketch showing the address, land use and the size of all lots within boundary area ☐

City of Houston

Special Minimum Lot Size Area

Planning Commission Staff Report
Planning and Development Department





LARRY V. GREEN, ESQ.
Houston City Council Member, District K

May 21, 2015

Ms. Shan Gao, Senior Planner
Planning & Development Dept.
611 Walker St., 6th Floor
Houston, TX 77002

Re: Support Letter- Glenshire MLSA Application

Dear Ms. Gao,

It gives me great pleasure to submit this letter of support relative to the Glenshire Community Association's Minimum Lot Size Area (MLSA) applications. Glenshire is a vibrant, well maintained, and deed-restricted community located in southwest Houston near Beltway 8 and Highway 59 South. The Glenshire community is comprised of 1,329 single family homes, two large swimming pools, tennis courts, and playgrounds.

Glenshire also consists of 9 subdivision sections with similar deed restrictions – except addressing minimum lot size coverage. With the expansion of the “urban rules” relative to Ch. 42 extending to the entire city of Houston, the District K office encouraged the Glenshire community to coordinate with the Planning and Development Dept. to start a MLSA application process. Because of the large number of residential lots making up the Glenshire subdivision as a whole, the Glenshire Community Association submitted four (4) separate MLSA applications:

- MLSA 419 (Glenshire Sections 7 and 9)
- MLSA 420 (Part of Glenshire Sections 2, 4, 6 and 8)
- MLSA 421 (Part of Glenshire Sections 2 and 6)
- MLSA 422 (Glenshire Section 1, 3, 5 and 7)

Two (2) of the four (4) MLSA submitted applications have currently met the 55% threshold. The other two applications are still being processed by the Planning Dept.

Relative to this support letter, I fully support the Planning and Development Dept.'s recommendation to review and consider approval of MLSA application 420 and 421 via the Houston Planning Commission. Per ordinance, the Commission shall consider the application and recommend designation of a proposed minimum lot size area that complies with certain criteria to City Council for final action.

If you have any questions or concerns, please contact my Chief of Staff, Donald Perkins at 832 393-3376.

Page 2

Respectfully,



Larry V. Green, Esq.
Houston Council Member
District K

CC: Mark Kilkinny, Houston Planning Commission Chairperson
Sonny Garza, Houston Planning Commission Vice-Chairperson
Patrick Walsh, Houston Planning Commission Secretary
Misty Staunton, Planner Leader, Planning and Development Dept.

AGENDA: VII

SMLSA Application No. 421: Glenshire Section 2, Blocks 1, 3, 4, 5 and 6; Glenshire Section 6, Blocks 5, 6, 12, 13 and 14

BACKGROUND:

The Planning and Development Department received an application for the establishment of a special minimum lot size area for Glenshire Sections 2 and 6 Subdivisions. Analysis shows that a minimum lot size of 8,730 square feet exists for the area. A petition was signed by the owners of 28% of the property within the proposed Special Minimum Lot Size Area (SMLSA). An application was filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-204. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

PROCEDURES:

Following acceptance of an initially complete application, the Planning Director notifies all owners of property within the proposed SMLSA. Any property owner who wishes to vote for or against the creation of the minimum lot size area may return the response form within thirty days. The Director shall forward a complete application to Planning Commission for public hearing and consideration upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 55% of the property within the proposed SMLSA

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSA shall contain no less than five block faces, composed of 5 lots or more on each blockface;
- at least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- the proposed SMLSA does not include a significant area developed as or restricted to a use that is not single family residential and;
- does not include a significant area that does not share a lot size character with the rest of the proposed area
- that the applicant has demonstrated sufficient support of 55% for the establishment of the proposed SMLSA;
- that the establishment of the SMLSA will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSA has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSA is enforceable for forty (40) years from the effective date of the ordinance.

STAFF ANALYSIS:

This application includes three hundred and eighteen (318) properties in Glenshire Section 2, Blocks 1, 3, 4, 5 and 6; Glenshire Section 6, Blocks 5, 6, 12, 13 and 14

Analysis of the application resulted in the following findings:

- *The boundaries of the proposed SMLSA must contain not less than five (5) blockfaces composed of five (5) lots or more on each blockface;*
The application contains twenty seven (27) blockfaces with at least 5 lots on 5 blockfaces
- *At least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*
Land use of the properties consists of three hundred and sixteen (316) single-family residential properties representing 99% of the total lots.
- *The applicant has demonstrated sufficient support for the SMLSA;*
The applicant obtained 61% support from property owners in the proposed SMLSA
- *Establishment of the SMLSA will further the goal of preserving the area lot size character;*
A minimum lot size of 8,730 square feet exists on two hundred and ten (210) of three hundred and eighteen (318) lots in the area.
- *The proposed SMLSA has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*
The subdivisions were platted in 1970s, and some of the homes in the area were mostly constructed in the 1970s. The establishment of an 8,730 square foot. minimum lot size will preserve the lot size character of the area.
- *The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*
Two hundred and ten (210) out of three hundred and eighteen (318) lots representing 70 % of the application area is at least 8,730 square feet in size.

Public notice of the public hearing was transmitted to all property owners in the area

ATTACHMENTS:

1. Staff Analysis Summary Page
2. Map of Support
3. Map of Lots that meet SMLSA
4. Land Use Map
5. Map of Support
6. Aerial Map
7. Application
8. HCAD Map

**SPECIAL MINIMUM LOT SIZE AREA-
GLENSHIRE SECTION 2 and 6**

ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
11002 W SAM HOUSTON PKY S	49,998	1.63%	1.63%	N		COM
0 W SAM HOUSTON PKY S	45,302	1.48%	3.11%			COM
9118 ABBEYDALE DR	17,813	0.58%	3.69%	Y		SF
9302 LONGSTAFF DR	16,401	0.53%	4.22%			SF
11902 PLAINFIELD ST	16,325	0.53%	4.75%	Y		SF
11903 PLAINFIELD ST	15,325	0.50%	5.25%	Y		SF
11903 STANWOOD DR	15,190	0.50%	5.75%	Y	Y	SF
12206 WRENTHORPE DR	15,076	0.49%	6.24%			SF
9106 LONGSTAFF DR	14,910	0.49%	6.73%	Y		SF
9114 TAVISTOCK DR	14,320	0.47%	7.19%	Y		SF
11910 STANWOOD DR	14,210	0.46%	7.66%	Y		SF
9103 DEVONCROFT DR	14,120	0.46%	8.12%	Y		SF
12430 WRENTHORPE DR	13,892	0.45%	8.57%	Y		SF
12122 MANORGATE DR	13,863	0.45%	9.02%			SF
11914 STANWOOD DR	13635	0.44%	9.47%			SF
9130 WEYMOUTH DR	13325	0.43%	9.90%	Y	Y	SF
9139 COVENT GARDEN ST	13173	0.43%	10.33%	Y	Y	SF
9303 LONGSTAFF DR	12908	0.42%	10.75%	Y	Y	SF
9107 LONGSTAFF DR	12465	0.41%	11.16%	Y		SF
9115 ABBEYDALE DR	12440	0.41%	11.56%		Y	SF
9111 TAVISTOCK DR	12438	0.41%	11.97%	Y		SF
12202 WRENTHORPE DR	12038	0.39%	12.36%	Y		SF
12210 WRENTHORPE DR	12016	0.39%	12.75%			SF
11907 STANWOOD DR	11981	0.39%	13.14%	Y	Y	SF
12426 WRENTHORPE DR	11793	0.38%	13.53%	Y		SF
9406 PETERSHAM DR	11733	0.38%	13.91%			SF
9307 LONGSTAFF DR	11690	0.38%	14.29%	Y		SF

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ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
9103 LONGSTAFF DR	11550	0.38%	14.67%			SF
9123 COVENT GARDEN ST	11476	0.37%	15.04%	Y		SF
9119 ABBEYDALE DR	11393	0.37%	15.41%	Y	Y	SF
9114 DEVONCROFT DR	11075	0.36%	15.77%	Y		SF
12118 MANORGATE DR	11070	0.36%	16.14%	Y	Y	SF
9402 PETERSHAM DR	11023	0.36%	16.50%	Y		SF
11907 PLAINFIELD ST	10888	0.35%	16.85%	Y		SF
9119 HAVERSTOCK DR	10885	0.35%	17.20%	Y		SF
9126 WEYMOUTH DR	10800	0.35%	17.56%		Y	SF
9123 LONGSTAFF DR	10768	0.35%	17.91%	Y		SF
9114 ABBEYDALE DR	10725	0.35%	18.26%		Y	SF
9122 HAVERSTOCK DR	10663	0.35%	18.61%	Y	Y	SF
11906 PLAINFIELD ST	10570	0.34%	18.95%	Y		SF
9115 TAVISTOCK DR	10557	0.34%	19.29%	Y	Y	SF
9003 PETERSHAM DR	10520	0.34%	19.64%	Y	Y	SF
9118 COVENT GARDEN ST	10436	0.34%	19.98%			SF
9315 PETERSHAM DR	10397	0.34%	20.32%	Y	Y	SF
12302 WRENTHORPE DR	10374	0.34%	20.65%	N		SF
9002 TAVISTOCK DR	10338	0.34%	20.99%	Y		SF
9119 COVENT GARDEN ST	10325	0.34%	21.33%	Y		SF
12203 WRENTHORPE DR	10325	0.34%	21.66%	Y		SF
9115 COVENT GARDEN ST	10317	0.34%	22.00%	Y	Y	SF
9326 LONGSTAFF DR	10224	0.33%	22.33%			SF
12422 WRENTHORPE DR	10108	0.33%	22.66%	Y		SF
11906 CHADWELL DR	10080	0.33%	22.99%			SF
9002 STERLINGAME DR	10071	0.33%	23.32%			SF
11918 CHADWELL DR	10051	0.33%	23.65%	Y	Y	SF
11911 STANWOOD DR	10033	0.33%	23.98%			SF

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ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
9118 WEYMOUTH DR	10008	0.33%	24.30%	Y	Y	SF
9119 STERLINGAME DR	9977	0.33%	24.63%			SF
11902 STANWOOD DR	9920	0.32%	24.95%	Y	Y	SF
9002 ABBEYDALE DR	9868	0.32%	25.27%	Y	Y	SF
9018 HAVERSTOCK DR	9862	0.32%	25.59%			SF
9322 PETERSHAM DR	9860	0.32%	25.92%			SF
9114 STERLINGAME DR	9855	0.32%	26.24%	Y	Y	SF
9319 LONGSTAFF DR	9836	0.32%	26.56%			SF
9115 STERLINGAME DR	9822	0.32%	26.88%			SF
9114 WEYMOUTH DR	9792	0.32%	27.20%	Y	Y	SF
9311 LONGSTAFF DR	9790	0.32%	27.52%	Y		SF
9322 LONGSTAFF DR	9686	0.32%	27.83%	Y		SF
11802 MANORGATE DR	9676	0.32%	28.15%	Y	Y	SF
9003 HAVERSTOCK DR	9660	0.31%	28.46%			SF
9026 COVENT GARDEN ST	9649	0.31%	28.78%		Y	SF
9107 DEVONCROFT DR	9616	0.31%	29.09%	Y		SF
9127 PETERSHAM DR	9600	0.31%	29.40%	Y		SF
9122 LONGSTAFF DR	9600	0.31%	29.72%	Y		SF
9002 COVENT GARDEN ST	9600	0.31%	30.03%	Y	Y	SF
9126 DEVONCROFT DR	9600	0.31%	30.34%	Y		SF
9127 DEVONCROFT DR	9600	0.31%	30.65%	Y		SF
12450 CHADWELL DR	9600	0.31%	30.97%			SF
11923 MANORGATE DR	9600	0.31%	31.28%	Y	Y	SF
9202 OGLETHORPE DR	9594	0.31%	31.59%	Y	Y	SF
9107 TAVISTOCK DR	9587	0.31%	31.91%			SF
9003 TAVISTOCK DR	9581	0.31%	32.22%			SF
11906 STANWOOD DR	9580	0.31%	32.53%	Y		SF
9102 STERLINGAME DR	9578	0.31%	32.84%	Y		SF

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ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
9111 ABBEYDALE DR	9575	0.31%	33.16%	Y	Y	SF
9003 WEYMOUTH DR	9520	0.31%	33.47%	Y	Y	SF
11910 PLAINFIELD ST	9480	0.31%	33.77%			SF
12111 MANORGATE DR	9444	0.31%	34.08%	N		SF
11915 PLAINFIELD ST	9440	0.31%	34.39%	Y		SF
9122 WEYMOUTH DR	9432	0.31%	34.70%	Y	Y	SF
9111 LONGSTAFF DR	9409	0.31%	35.00%	Y		SF
9206 OGLETHORPE DR	9397	0.31%	35.31%	Y		SF
11907 MANORGATE DR	9381	0.31%	35.62%	Y		SF
9118 HAVERSTOCK DR	9378	0.31%	35.92%	Y		SF
12207 WRENTHORPE DR	9375	0.31%	36.23%	Y	Y	SF
11919 MANORGATE DR	9360	0.31%	36.53%	Y		SF
11915 MANORGATE DR	9360	0.31%	36.84%	Y		SF
11911 MANORGATE DR	9360	0.31%	37.14%	Y		SF
9102 WEYMOUTH DR	9358	0.31%	37.45%	Y		SF
9111 COVENT GARDEN ST	9312	0.30%	37.75%	Y	Y	SF
9106 COVENT GARDEN ST	9281	0.30%	38.05%	Y		SF
9110 COVENT GARDEN ST	9278	0.30%	38.36%			SF
9306 LONGSTAFF DR	9263	0.30%	38.66%			SF
9106 STERLINGAME DR	9216	0.30%	38.96%	Y		SF
9110 STERLINGAME DR	9216	0.30%	39.26%	Y		SF
9003 STERLINGAME DR	9203	0.30%	39.56%	N		SF
9002 WEYMOUTH DR	9200	0.30%	39.86%	Y	Y	SF
12418 WRENTHORPE DR	9198	0.30%	40.16%			SF
11927 STANWOOD DR	9181	0.30%	40.46%		Y	SF
9102 COVENT GARDEN ST	9180	0.30%	40.76%	Y		SF
9107 COVENT GARDEN ST	9172	0.30%	41.06%	Y		SF
9110 LONGSTAFF DR	9159	0.30%	41.36%	Y		SF

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ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
11919 STANWOOD DR	9154	0.30%	41.65%			SF
9110 WEYMOUTH DR	9144	0.30%	41.95%	Y		SF
9003 COVENT GARDEN ST	9144	0.30%	42.25%	N		SF
11911 PLAINFIELD ST	9136	0.30%	42.55%			SF
9318 PETERSHAM DR	9130	0.30%	42.85%			SF
9003 ABBEYDALE DR	9128	0.30%	43.14%	Y		SF
11915 STANWOOD DR	9126	0.30%	43.44%	Y	Y	SF
9007 HAVERSTOCK DR	9126	0.30%	43.74%			SF
9015 HAVERSTOCK DR	9121	0.30%	44.04%	Y		SF
9202 PETERSHAM DR	9120	0.30%	44.33%	Y		SF
9022 HAVERSTOCK DR	9120	0.30%	44.63%	Y	Y	SF
9114 COVENT GARDEN ST	9102	0.30%	44.93%	Y	Y	SF
11923 STANWOOD DR	9084	0.30%	45.22%		Y	SF
9318 LONGSTAFF DR	9075	0.30%	45.52%			SF
9102 HAVERSTOCK DR	9060	0.30%	45.82%	Y		SF
12011 MANORGATE DR	9060	0.30%	46.11%	Y	Y	SF
12211 WRENTHORPE DR	9060	0.30%	46.41%			SF
9103 STERLINGAME DR	9058	0.30%	46.70%	Y		SF
9110 ABBEYDALE DR	9046	0.29%	47.00%	Y	Y	SF
9011 HAVERSTOCK DR	9039	0.29%	47.29%	Y		SF
9115 PETERSHAM DR	9025	0.29%	47.58%			SF
9103 COVENT GARDEN ST	9010	0.29%	47.88%	Y	Y	SF
12107 MANORGATE DR	9000	0.29%	48.17%	Y	Y	SF
12103 MANORGATE DR	9000	0.29%	48.47%			SF
12015 MANORGATE DR	9000	0.29%	48.76%			SF
9023 WEYMOUTH DR	9000	0.29%	49.05%			SF
9027 WEYMOUTH DR	9000	0.29%	49.35%	Y	Y	SF
11802 STANWOOD DR	9000	0.29%	49.64%	N		SF

ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
9107 STERLINGAME DR	9000	0.29%	49.93%	Y		SF
9123 DEVONCROFT DR	9000	0.29%	50.23%	Y		SF
11918 STANWOOD DR	9000	0.29%	50.52%			SF
12306 WRENTHORPE DR	9000	0.29%	50.81%	Y		SF
12310 WRENTHORPE DR	9000	0.29%	51.11%	Y	Y	SF
12314 WRENTHORPE DR	9000	0.29%	51.40%			SF
12318 WRENTHORPE DR	9000	0.29%	51.69%	Y		SF
9115 HAVERSTOCK DR	9000	0.29%	51.99%			SF
9111 HAVERSTOCK DR	9000	0.29%	52.28%			SF
9107 HAVERSTOCK DR	9000	0.29%	52.57%	Y		SF
9103 HAVERSTOCK DR	9000	0.29%	52.87%	Y		SF
9023 HAVERSTOCK DR	9000	0.29%	53.16%			SF
11910 CHADWELL DR	8992	0.29%	53.45%	Y		SF
12414 CHADWELL DR	8992	0.29%	53.75%			SF
12114 MANORGATE DR	8964	0.29%	54.04%	Y		SF
9026 STERLINGAME DR	8935	0.29%	54.33%	Y		SF
9019 STERLINGAME DR	8926	0.29%	54.62%	Y		SF
9007 STERLINGAME DR	8920	0.29%	54.91%	Y	Y	SF
9011 STERLINGAME DR	8920	0.29%	55.20%	Y	Y	SF
9015 STERLINGAME DR	8920	0.29%	55.49%	Y	Y	SF
11914 CHADWELL DR	8915	0.29%	55.78%	Y		SF
9019 COVENT GARDEN ST	8908	0.29%	56.07%	Y		SF
9023 STERLINGAME DR	8904	0.29%	56.36%	Y		SF
9118 STERLINGAME DR	8900	0.29%	56.65%	Y		SF
12303 WRENTHORPE DR	8880	0.29%	56.94%	Y	Y	SF
12307 WRENTHORPE DR	8880	0.29%	57.23%	Y		SF
12311 WRENTHORPE DR	8880	0.29%	57.52%	Y	Y	SF
12315 WRENTHORPE DR	8880	0.29%	57.81%	Y		SF

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12319 WRENTHORPE DR	8880	0.29%	58.10%	N		SF
12323 WRENTHORPE DR	8880	0.29%	58.39%			SF
12327 WRENTHORPE DR	8880	0.29%	58.68%	Y	Y	SF
12331 WRENTHORPE DR	8880	0.29%	58.97%	Y		SF
9110 TAVISTOCK DR	8875	0.29%	59.26%			SF
9103 ABBEYDALE DR	8873	0.29%	59.55%	Y	Y	SF
9019 PETERSHAM DR	8862	0.29%	59.84%	Y	Y	SF
9015 PETERSHAM DR	8862	0.29%	60.13%			SF
9111 STERLINGAME DR	8860	0.29%	60.42%	Y		SF
9011 WEYMOUTH DR	8843	0.29%	60.70%			SF
9311 PETERSHAM DR	8840	0.29%	60.99%	Y	Y	SF
9019 WEYMOUTH DR	8834	0.29%	61.28%			SF
9027 COVENT GARDEN ST	8832	0.29%	61.57%	Y		SF
9015 WEYMOUTH DR	8826	0.29%	61.86%	Y	Y	SF
9023 COVENT GARDEN ST	8821	0.29%	62.14%	Y		SF
9022 WEYMOUTH DR	8820	0.29%	62.43%		Y	SF
9026 WEYMOUTH DR	8820	0.29%	62.72%	Y	Y	SF
9106 HAVERSTOCK DR	8820	0.29%	63.01%			SF
9110 HAVERSTOCK DR	8820	0.29%	63.29%	Y		SF
9114 HAVERSTOCK DR	8820	0.29%	63.58%	Y		SF
9103 WEYMOUTH DR	8808	0.29%	63.87%	Y		SF
9011 COVENT GARDEN ST	8806	0.29%	64.16%			SF
9022 COVENT GARDEN ST	8806	0.29%	64.44%			SF
9106 ABBEYDALE DR	8806	0.29%	64.73%	Y		SF
9006 COVENT GARDEN ST	8801	0.29%	65.02%		Y	SF
12434 CHADWELL DR	8791	0.29%	65.30%	Y		SF
12430 CHADWELL DR	8791	0.29%	65.59%	Y	Y	SF
9106 WEYMOUTH DR	8784	0.29%	65.88%			SF

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ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
9111 DEVONCROFT DR	8784	0.29%	66.16%	Y		SF
12426 CHADWELL DR	8784	0.29%	66.45%			SF
9007 WEYMOUTH DR	8783	0.29%	66.74%	Y		SF
12422 CHADWELL DR	8783	0.29%	67.02%	Y		SF
9135 COVENT GARDEN ST	8782	0.29%	67.31%			SF
9015 COVENT GARDEN ST	8779	0.29%	67.59%	Y		SF
9119 DEVONCROFT DR	8775	0.29%	67.88%	Y		SF
9131 COVENT GARDEN ST	8760	0.29%	68.17%		Y	SF
9107 ABBEYDALE DR	8758	0.29%	68.45%			SF
9019 ABBEYDALE DR	8754	0.29%	68.74%			SF
9315 LONGSTAFF DR	8750	0.29%	69.02%	N		SF
12438 CHADWELL DR	8749	0.29%	69.31%			SF
9006 TAVISTOCK DR	8736	0.28%	69.59%	Y		SF
9119 WEYMOUTH DR	8734	0.28%	69.88%	Y	Y	SF
9007 COVENT GARDEN ST	8730	0.28%	70.16%	Y	Y	SF
9014 COVENT GARDEN ST	8729	0.28%	70.45%	Y		SF
9010 TAVISTOCK DR	8717	0.28%	70.73%			SF
9022 STERLINGAME DR	8711	0.28%	71.01%	Y		SF
9107 WEYMOUTH DR	8710	0.28%	71.30%	Y		SF
9111 WEYMOUTH DR	8710	0.28%	71.58%	Y	Y	SF
9115 WEYMOUTH DR	8710	0.28%	71.87%			SF
9314 PETERSHAM DR	8707	0.28%	72.15%			SF
9010 COVENT GARDEN ST	8704	0.28%	72.43%	Y		SF
12119 MANORGATE DR	8700	0.28%	72.72%	Y		SF
11826 STANWOOD DR	8700	0.28%	73.00%	Y	Y	SF
12418 CHADWELL DR	8699	0.28%	73.28%	Y		SF
9007 ABBEYDALE DR	8697	0.28%	73.57%			SF
9102 ABBEYDALE DR	8694	0.28%	73.85%		Y	SF

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ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
9011 ABBEYDALE DR	8681	0.28%	74.13%	Y		SF
9015 ABBEYDALE DR	8681	0.28%	74.42%	Y	Y	SF
9014 TAVISTOCK DR	8666	0.28%	74.70%			SF
9014 ABBEYDALE DR	8657	0.28%	74.98%	Y	Y	SF
9010 ABBEYDALE DR	8654	0.28%	75.26%			SF
9107 PETERSHAM DR	8653	0.28%	75.55%	Y	Y	SF
9018 ABBEYDALE DR	8651	0.28%	75.83%	Y	Y	SF
9018 WEYMOUTH DR	8645	0.28%	76.11%	Y	Y	SF
9106 TAVISTOCK DR	8644	0.28%	76.39%	Y	Y	SF
9019 HAVERSTOCK DR	8644	0.28%	76.67%	Y		SF
9310 PETERSHAM DR	8639	0.28%	76.96%			SF
9006 WEYMOUTH DR	8635	0.28%	77.24%	N		SF
9103 TAVISTOCK DR	8635	0.28%	77.52%	Y		SF
12442 CHADWELL DR	8619	0.28%	77.80%			SF
9007 TAVISTOCK DR	8618	0.28%	78.08%	Y		SF
9011 TAVISTOCK DR	8613	0.28%	78.36%		Y	SF
9015 TAVISTOCK DR	8613	0.28%	78.64%	N		SF
9023 PETERSHAM DR	8603	0.28%	78.92%	Y	Y	SF
9011 PETERSHAM DR	8596	0.28%	79.20%		Y	SF
9006 ABBEYDALE DR	8579	0.28%	79.48%		Y	SF
9102 TAVISTOCK DR	8578	0.28%	79.76%	Y		SF
9018 COVENT GARDEN ST	8576	0.28%	80.04%	Y		SF
9010 WEYMOUTH DR	8568	0.28%	80.32%	Y		SF
9018 STERLINGAME DR	8557	0.28%	80.60%	Y	Y	SF
9122 STERLINGAME DR	8553	0.28%	80.88%	Y		SF
12123 MANORGATE DR	8526	0.28%	81.16%			SF
9111 PETERSHAM DR	8524	0.28%	81.43%	Y		SF
9103 PETERSHAM DR	8521	0.28%	81.71%	Y		SF

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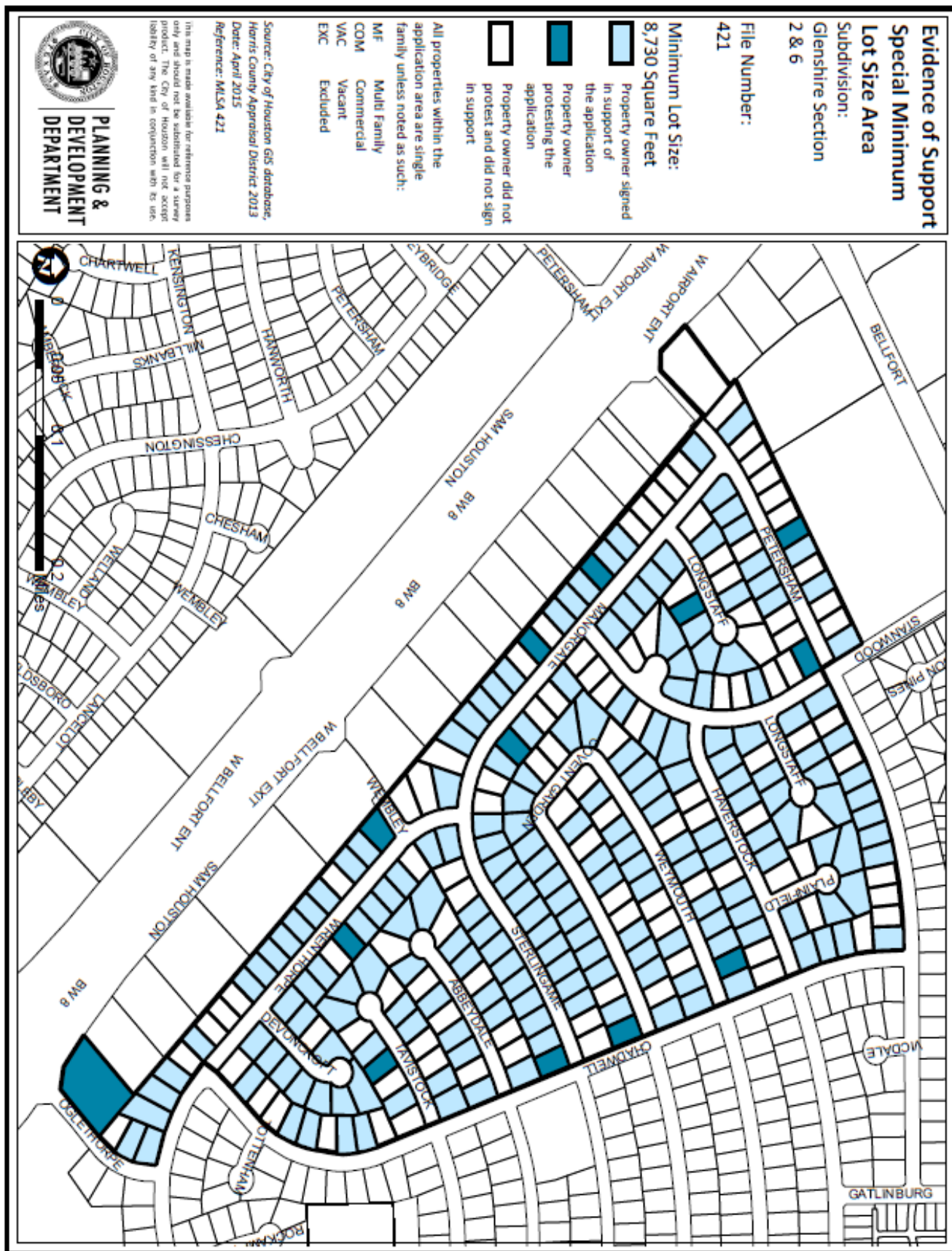
ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
9014 WEYMOUTH DR	8496	0.28%	81.99%	Y		SF
11810 STANWOOD DR	8480	0.28%	82.27%			SF
9010 STERLINGAME DR	8469	0.28%	82.54%	Y		SF
9014 STERLINGAME DR	8463	0.28%	82.82%	Y		SF
9007 PETERSHAM DR	8444	0.28%	83.09%			SF
11814 STANWOOD DR	8432	0.27%	83.37%	Y		SF
12127 MANORGATE DR	8416	0.27%	83.64%		Y	SF
12010 MANORGATE DR	8400	0.27%	83.92%	N	Y	SF
12014 MANORGATE DR	8400	0.27%	84.19%			SF
12102 MANORGATE DR	8400	0.27%	84.46%	Y		SF
12106 MANORGATE DR	8400	0.27%	84.74%	Y		SF
12110 MANORGATE DR	8400	0.27%	85.01%	Y		SF
9306 PETERSHAM DR	8400	0.27%	85.29%			SF
9302 PETERSHAM DR	8400	0.27%	85.56%	N		SF
9222 PETERSHAM DR	8400	0.27%	85.83%	Y		SF
9218 PETERSHAM DR	8400	0.27%	86.11%			SF
9214 PETERSHAM DR	8400	0.27%	86.38%	Y	Y	SF
9210 PETERSHAM DR	8400	0.27%	86.65%			SF
9206 PETERSHAM DR	8400	0.27%	86.93%			SF
9123 PETERSHAM DR	8400	0.27%	87.20%		Y	SF
9119 PETERSHAM DR	8400	0.27%	87.48%	Y	Y	SF
9119 LONGSTAFF DR	8400	0.27%	87.75%			SF
9115 LONGSTAFF DR	8400	0.27%	88.02%	Y		SF
9114 LONGSTAFF DR	8400	0.27%	88.30%	Y		SF
9118 LONGSTAFF DR	8400	0.27%	88.57%			SF
11806 STANWOOD DR	8400	0.27%	88.85%			SF
9122 DEVONCROFT DR	8400	0.27%	89.12%	Y		SF
9118 DEVONCROFT DR	8400	0.27%	89.39%			SF

ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
12446 CHADWELL DR	8400	0.27%	89.67%	Y	Y	SF
9310 LONGSTAFF DR	8400	0.27%	89.94%	Y		SF
9314 LONGSTAFF DR	8400	0.27%	90.21%			SF
11806 MANORGATE DR	8400	0.27%	90.49%			SF
11810 MANORGATE DR	8400	0.27%	90.76%		Y	SF
11814 MANORGATE DR	8400	0.27%	91.04%		Y	SF
11902 MANORGATE DR	8400	0.27%	91.31%		Y	SF
11906 MANORGATE DR	8400	0.27%	91.58%			SF
11910 MANORGATE DR	8400	0.27%	91.86%	Y		SF
11914 MANORGATE DR	8400	0.27%	92.13%	Y	Y	SF
11918 MANORGATE DR	8400	0.27%	92.41%	N		SF
11922 MANORGATE DR	8400	0.27%	92.68%	Y		SF
11926 MANORGATE DR	8400	0.27%	92.95%	Y		SF
12002 MANORGATE DR	8400	0.27%	93.23%	Y		SF
12006 MANORGATE DR	8400	0.27%	93.50%			SF
12322 WRENTHORPE DR	8400	0.27%	93.78%	Y		SF
12326 WRENTHORPE DR	8400	0.27%	94.05%	Y		SF
12330 WRENTHORPE DR	8400	0.27%	94.32%	Y		SF
12334 WRENTHORPE DR	8400	0.27%	94.60%	Y		SF
12338 WRENTHORPE DR	8400	0.27%	94.87%	Y		SF
12342 WRENTHORPE DR	8400	0.27%	95.14%	Y		SF
12402 WRENTHORPE DR	8400	0.27%	95.42%			SF
12406 WRENTHORPE DR	8400	0.27%	95.69%			SF
12410 WRENTHORPE DR	8400	0.27%	95.97%			SF
12414 WRENTHORPE DR	8400	0.27%	96.24%	Y	Y	SF
9210 OGLETHORPE DR	8365	0.27%	96.51%			SF
9307 PETERSHAM DR	8340	0.27%	96.78%	Y	Y	SF
9303 PETERSHAM DR	8340	0.27%	97.06%			SF

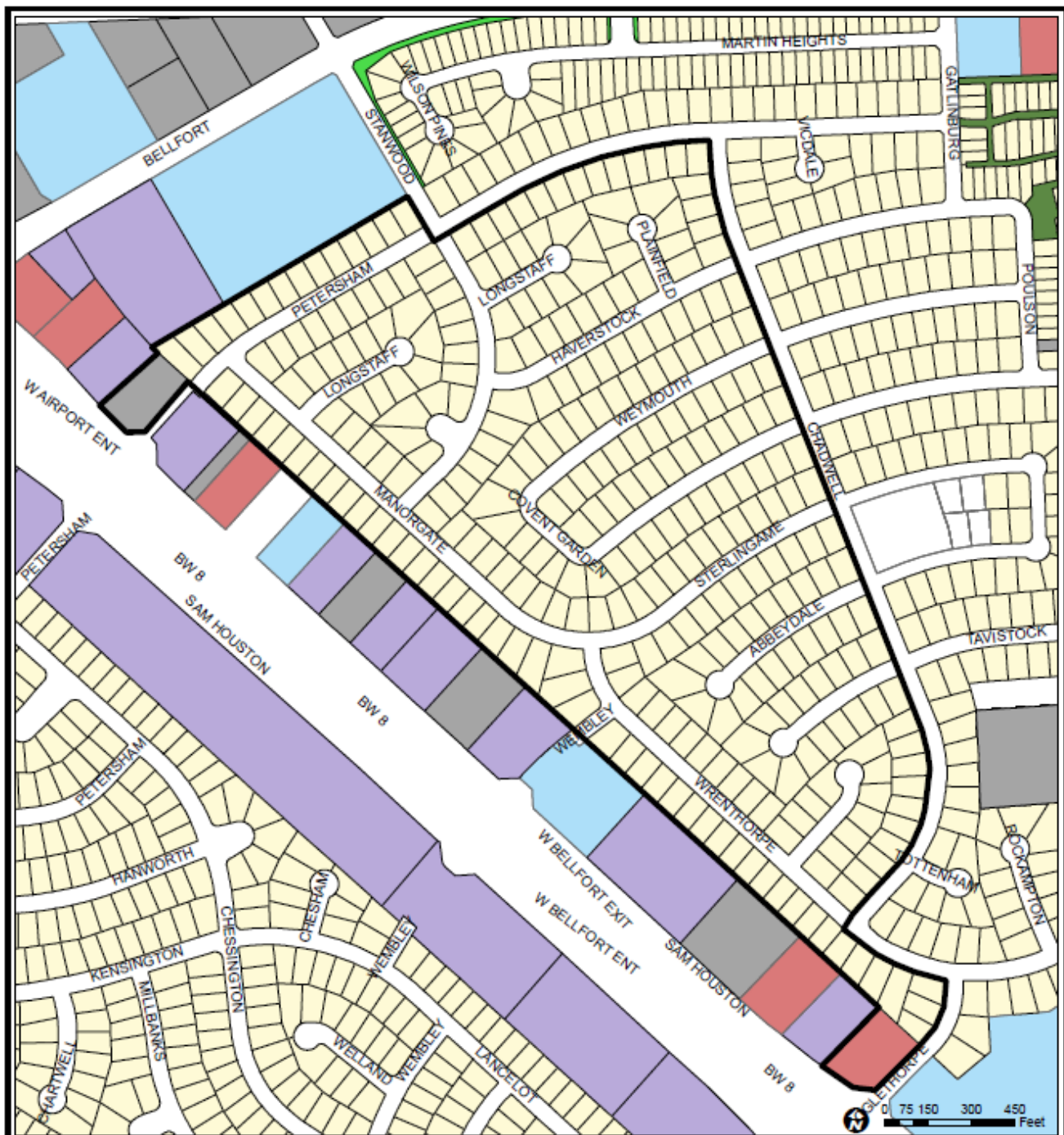
ADDRESS	Lot size (in Sq Feet)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
9223 PETERSHAM DR	8340	0.27%	97.33%	Y	Y	SF
9219 PETERSHAM DR	8340	0.27%	97.60%	Y	Y	SF
9215 PETERSHAM DR	8340	0.27%	97.87%	Y		SF
9211 PETERSHAM DR	8340	0.27%	98.14%		Y	SF
9207 PETERSHAM DR	8340	0.27%	98.42%			SF
11822 STANWOOD DR	8295	0.27%	98.69%			SF
11818 STANWOOD DR	8260	0.27%	98.96%			SF
9115 DEVONCROFT DR	8260	0.27%	99.22%	Y		SF
9006 STERLINGAME DR	8256	0.27%	99.49%			SF
9123 WEYMOUTH DR	8009	0.26%	99.75%			SF
9127 COVENT GARDEN ST	7518	0.25%	100.00%	Y	Y	SF

This application qualifies for a Special Minimum Lot Size	8,730 sq. ft.
Response Form received in support of MLSA	196
Response Form received in opposition of MLSA	13
Percentage of boundary area in favor of the MLSA (must be at least 55%)	61%
Signed Petition in Support	90
Property Owners Signing in Support of the Petition (must be at least 10%)	28%

# developed or restricted to no more than two SFR Units	316
# of Multifamily lots	0
# of Commercial lots	2
# of Vacant Lots	0
# of Excluded Lots	0
TOTAL LOTS IN AREA	318
Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 80%):	99%







Glenshire Sections 2 and 6 8,730 square foot

Land Use		
Single-Family Residential	Industrial	Park & Open Spaces
Multi-Family Residential	Public & Institutional	Undeveloped
Commercial	Transportation & Utility	Mismatched

Source: Harris County Appraisal District
Date: May 1, 2015
Reference: MLSA422


This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING &
DEVELOPMENT
DEPARTMENT**



Glenshire Sections 2 and 6
8,730 square foot
Special Minimum Lot Size Area

 Area Under Consideration

Source: Harris County Appraisal District
Date: April 28, 2015
Reference: MLSA421

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Special Minimum Lot Size Area Application

According to
Section 42-197 of Chapter 42 of the Code of Ordinances



PLANNING &
DEVELOPMENT
DEPARTMENT

Please complete entire application form.

1. Location:			Sec	Block	Lot in Glenshire Sub.	Sec	Block	Lot in Glenshire Sub.
			6	14	1-22	2	6	1-18
			6	13	1-78	2	5	1-13
			6	12	1-25	2	4	1-38
			6	6	19-71	2	3	1-43
			6	5	14-24	2	1	1-14

Example: Blocks 15 - 19, Lots 1-37, in Cocker Spaniel Subdivision

2. Contacts:

Primary Applicant Debra Wilke Phone # 713-443-0196
Address 12327 Wrenthorpe E-mail
City Houston State TX Zip 77031
Alternate Applicant Aaron Baiman Phone # 832-374-5433
Address 11918 Chadwell E-mail
City Houston State TX Zip 77031

3. Project Information (Staff Use Only-Do Not Fill In):

File # 421 Key Map # TIRZ
Lambert # Super N'hood Census Tract
City Council District 15

4. Submittal Requirements:

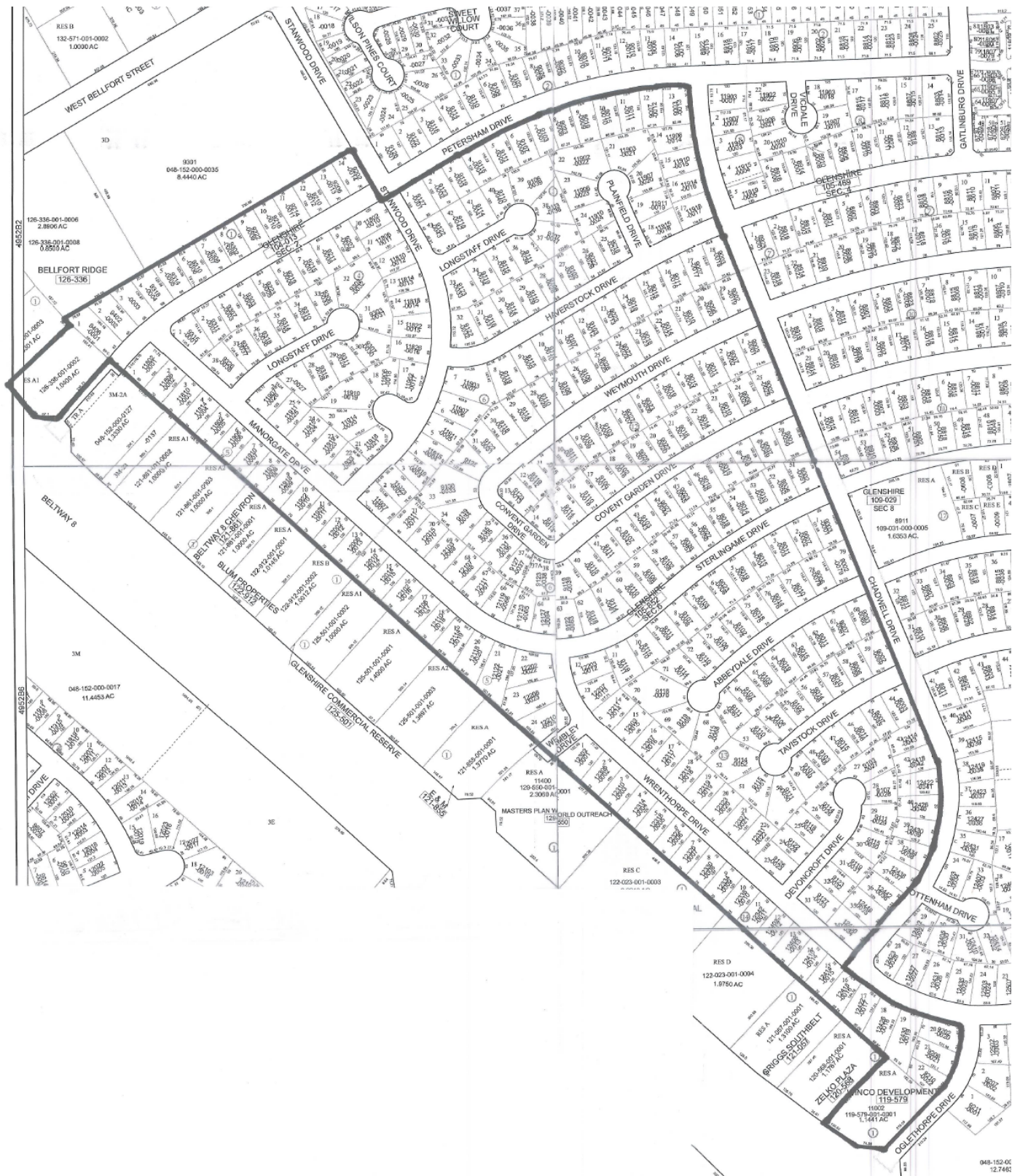
Please Check

- Completed application form (this page)
- Signed petition signed by the applicant (page 4)
- Signed petition of support signed by 10% of lot owners within the boundary area (page 5)
- Signed deed restriction statement (page 6)
- Three (3) recommended locations for a community meeting (page 7)
- Sample of Notification Sign (page 9)
- Copy of deed restrictions, if applicable
- Map or sketch showing the address, land use and the size of all lots within boundary area

City of Houston

Special Minimum Lot Size Area

Planning Commission Staff Report
Planning and Development Department





LARRY V. GREEN, ESQ.
Houston City Council Member, District K

May 21, 2015

Ms. Shan Gao, Senior Planner
Planning & Development Dept.
611 Walker St., 6th Floor
Houston, TX 77002

Re: Support Letter- Glenshire MLSA Application

Dear Ms. Gao,

It gives me great pleasure to submit this letter of support relative to the Glenshire Community Association's Minimum Lot Size Area (MLSA) applications. Glenshire is a vibrant, well maintained, and deed-restricted community located in southwest Houston near Beltway 8 and Highway 59 South. The Glenshire community is comprised of 1,329 single family homes, two large swimming pools, tennis courts, and playgrounds.

Glenshire also consists of 9 subdivision sections with similar deed restrictions – except addressing minimum lot size coverage. With the expansion of the "urban rules" relative to Ch. 42 extending to the entire city of Houston, the District K office encouraged the Glenshire community to coordinate with the Planning and Development Dept. to start a MLSA application process. Because of the large number of residential lots making up the Glenshire subdivision as a whole, the Glenshire Community Association submitted four (4) separate MLSA applications:

- MLSA 419 (Glenshire Sections 7 and 9)
- MLSA 420 (Part of Glenshire Sections 2, 4, 6 and 8)
- MLSA 421 (Part of Glenshire Sections 2 and 6)
- MLSA 422 (Glenshire Section 1, 3, 5 and 7)

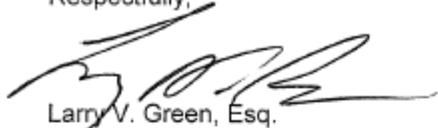
Two (2) of the four (4) MLSA submitted applications have currently met the 55% threshold. The other two applications are still being processed by the Planning Dept.

Relative to this support letter, I fully support the Planning and Development Dept.'s recommendation to review and consider approval of MLSA application 420 and 421 via the Houston Planning Commission. Per ordinance, the Commission shall consider the application and recommend designation of a proposed minimum lot size area that complies with certain criteria to City Council for final action.

If you have any questions or concerns, please contact my Chief of Staff, Donald Perkins at 832 393-3376.

Page 2

Respectfully,



Larry V. Green, Esq.
Houston Council Member
District K

CC: Mark Kilkinny, Houston Planning Commission Chairperson
Sonny Garza, Houston Planning Commission Vice-Chairperson
Patrick Walsh, Houston Planning Commission Secretary
Misty Staunton, Planner Leader, Planning and Development Dept.

CITY OF HOUSTON

HOUSTON PLANNING COMMISSION
PLANNING & DEVELOPMENT DEPARTMENT

Planning Commission
Meeting Date: 05/28/2015

ITEM: VIII

APPLICANT: Sam Gianukos, Creole Design, for Matthew and Hallie Ager, owners

PROPERTY ADDRESS: 1548 Cortlandt Street

HISTORIC DISTRICT: Houston Heights Historic District East

Project Summary:

The project at 1548 Cortlandt Street is a proposal to move a one-story contributing house in the Houston Heights Historic District East 6' closer to the front property line and to raise the foundation height. The Houston Archaeological and Historical Commission (HAHC) reviewed the applicant's request for a Certificate of Appropriateness (COA) at their March and April 2015 meetings. In April, the HAHC found that the proposal **did not meet Criteria 1, 4, 9 & 10** for **Alterations** found in Chapter 33 Section 33-241(a) or **Criteria 1, 2, 3 or 4** for **Relocations** found in Section 33-243(a). HAHC agreed with staff's recommendation to deny the request and voted unanimously (9-0) to deny the COA.

In accordance with Chapter 33 Section 33-253, the applicant is appealing this decision to Planning Commission.

Charge to the Planning Commission:

The applicant is requesting both an Alteration and Relocation of the house, and the application was therefore reviewed under two sets of criteria: Alterations found in Sections 33-241(a) and Relocations in 33-243(a). To be approved, an Alteration must meet 11 criteria for approval; the HAHC found the project did not meet Criteria 1, 4, 9 or 10 of the 11. A Relocation must meet 4 criteria for approval; the HAHC found that the project did not meet Criteria 1, 2, 3 or 4.

The applicant has the burden of proof to demonstrate that the project meets all applicable criteria for approval. Unless the Planning Commission finds that the project meets all criteria, it must uphold the decision of the HAHC.

If the Planning Commission upholds the HAHC decision, the applicant may return to HAHC with a new or revised application.

Project Description and History:

In both November 2014 and January 2015, the applicant was denied a Certificate of Appropriateness to move the existing contributing residence 6' forward on the lot; raise the foundation 5"; remove the original side gabled roof structure, install a 2' pony wall, and construct a new side gable roof with a 10/12 pitch; remove an original rear portion of the structure; and construct a new rear 2-story, 2,130 square foot addition.

In March 2015, the applicant submitted a third application for the same scope of work with minor changes. At the March HAHC meeting, HAHC voted to defer the application because the applicant stated his application contained incorrect drawings. The deferral was to allow the applicant the opportunity to submit a corrected application for consideration.

In April 2015, the applicant withdrew from consideration all proposed changes to the house except for raising the house by 8" and moving it forward on the lot by 6'. No addition is now being proposed.

At the April 2015 HAHC meeting, staff recommended denial, and HAHC voted unanimously (9-0) to deny the application.

Attachment A: March 2015 HAHC Action Report (including project details and staff analysis)

Attachment B: April 2015 HAHC Action Report (including project details and staff analysis)

Attachment C: March and April 2015 HAHC unofficial meeting transcripts prepared by staff for informational purposes

Attachment D: Applicant appeal letter and supplemental appeal materials

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See Attachment A, the March 2015 HAHC Action Report, and Attachment B, April 2015 HAHC Action Report, for complete project details.

Project Timeline:

7/24/2014: The designer met with staff to discuss the proposed project. Staff advised him that the existing placement of the house was consistent with the other contributing houses on the blockface and that moving the house would not be appropriate. He subsequently called staff and said he had measured the setbacks on the blockface and found them to generally be between 27'-30', consistent with the 29' setback for 1548 Cortlandt. He said he would inform the owners that the house should not be moved.

10/29/2014: Applicant applied for a Certificate of Appropriateness to move the house 6' forward on its lot; raise the foundation; alter the roof structure; demolish a portion of the original house, and add a rear 2-story, 2,130 square foot rear addition.

11/20/2014: HAHC voted 7-0 to deny the request, in accordance with staff's recommendation to deny.

01/07/2015: Applicant submitted a new COA application for the same scope of work, with one minor change to eliminate alterations to the boxed eave returns.

01/29/2015: HAHC voted 6-0 with 2 abstentions to deny the COA request, in accordance with staff's recommendation to deny.

03/04/2014: Applicant resubmitted the COA application for the same scope of work with the following revisions: retain the original roof structure, both height and pitch; raise the foundation 8" instead of 5"; modify the proposed roof shape on the new attached garage. The scope of work was otherwise the same as previously twice denied.

03/17/15: The designer informed staff that he had submitted incorrect drawings with the 03/04/15 application, as he still intended to remove the original roof structure and insert a pony wall under the new roof. Because Planning staff is unable to accept new drawings and project descriptions two weeks after an application deadline, staff recommended that the applicant withdraw his application and resubmit for the following month with the corrected proposal. The applicant asked to remain on the agenda with the incorrect application as submitted.

03/26/2015: HAHC deferred the application to allow the applicant to correct his project drawings and proposal.

04/08/2015: The applicant changed the application and withdrew the proposal to change the roof structure and to build an addition to the house. The applicant now proposes only to relocate the house 6' closer to Cortlandt Street and to raise the foundation by 8", from a 2' finished floor height to a 2'-8" finished floor height.

04/23/2015: HAHC again agreed with staff's recommendation to deny the application and voted 9-0 to deny the COA.

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APPLICANT: Sam Gianukos, Creole Design, for Matthew and Hallie Ager, owners

PROPERTY ADDRESS: 1548 Cortlandt Street

HISTORIC DISTRICT: Houston Heights Historic District East

Basis for the Houston Archaeological and Historic Commission's decision:

- Within city historic districts, exterior changes visible from the right-of-way must be approved by HAHC.
- Alterations and additions to Contributing Structures are reviewed according to 11 criteria found in Chapter 33-241(a) of the Code of Ordinances. The criteria are included on pages 5-6 of this staff report. In order to issue a Certificate of Appropriateness, the HAHC must find that all eleven criteria are met.
- Relocations of Contributing Structures are reviewed according to 4 criteria found in Chapter 33-243(a) of the Code of Ordinances. The criteria are included on page 6-7 of this staff report. In order to issue a Certificate of Appropriateness, the HAHC must find that all four criteria are met.
- In applying review criteria, the HAHC is to look at existing contributing buildings within the same historic district for compatibility, as the historic structures define the neighborhood character that is to be preserved. The HAHC is not to consider new construction or inappropriate alterations on other structures as evidence of what is appropriate for alterations or relocations of historic structures. To do so would contribute to the slow erosion of the character of the historic district.
- Chapter 33 protects the historic character of contributing houses, their setting, the blockface, and the historic district overall. Existing original site conditions constitute the historic character of a contributing structure, its site, and the character of the surrounding street. Moving the house permanently alters the historic character of the property and neighborhood that is protected by the ordinance. This historic character should not be altered except in conformance with Chapter 33.
- In reviewing compatible or appropriate setbacks, the HAHC looks at all building elements. A house with a front porch and a house with no front porch may not be at the same overall setback, but if the setback to the solid front wall is the same, it establishes a consistency of rhythm, regardless of the presence or absence of a porch.
- When determining compatibility with setbacks under Chapter 33, building elements are compared to like elements on surrounding structures. For instance, a porch is compared to a porch; the front wall of the structure is compared to the front wall of adjacent structures, bay windows to bay windows, and so forth.
- Contributing historic residences in the district display a range of porch configurations including full width porches, partial porches, inset porches and stoops. The blockface of 1500 Cortlandt features a solid row of 10 contributing houses, three of which have had some past alterations to their front facade. All of the houses on the blockface, other than the house at 1548, are bungalows or cottages of a style that feature open front porches 6'-8' in depth. The applicant's house, however, is a textbook example of what is known as the 'Minimal Traditional' architectural style popular in the late 1930s and early 40s. Unlike bungalows and Queen Anne cottages, 'Minimal Traditional' houses rarely have porches, instead typically featuring a small front stoop like the house at 1548 Cortlandt.
- The distinction between the applicant's house and the other contributing houses on the blockface is not that the house at 1548 Cortlandt is set back further on the lot, but rather that the applicant's house features a

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CITY OF HOUSTON

HOUSTON PLANNING COMMISSION
PLANNING & DEVELOPMENT DEPARTMENT

Planning Commission
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ITEM: VIII

APPLICANT: Sam Gianukos, Creole Design, for Matthew and Hallie Ager, owners

PROPERTY ADDRESS: 1548 Cortlandt Street

HISTORIC DISTRICT: Houston Heights Historic District East

front 'stoop' rather than an open covered porch, meaning that a strict measurement from the property line to closest structural member is 6'-8' longer for the applicant's house than for those houses featuring front porches.

- The front wall of the house at 1548 is currently in line with the front walls of the contributing residences on the 1500 block of Cortlandt Street. Sanborn fire insurance maps from the period showing the footprints of the houses on the blockface confirm that the front walls of the houses, including the applicant's house, are in a consistent line along the block. This was also confirmed by site visits and field measurements by staff.
- The applicant has provided materials suggesting that his house is currently set back further than its neighbors, but these materials do not take into account the distinction between an open front porch and a solid front wall. The applicant's measurements equate the front porches of adjacent houses with the front wall of his house in effect comparing apples to oranges.
- The applicant believes that moving the house will make the street look better by bringing the residence in line with its neighbors. In fact, moving the house 6' forward will put the house out of line with its neighbors. The historic placement of this contributing house currently matches the other contributing structures on the street. The front walls of the contributing houses on the block, including the applicant's house, are in line with each other, and together establish the rhythm and historic pattern of the blockface.
- Lots in the Houston Heights are typically 132' deep and 50' wide. The lot of 1548 Cortlandt is 100' deep and 50' wide. While not typical of Houston Heights lots, 100' is the standard depth of lots in most of Houston's historic neighborhoods including other parts of the greater Heights area such as Woodland Heights and Norhill, and allows room for a reasonably sized rear addition.
- With the withdrawal of the request for an addition, there is now no reason provided to justify moving the structure and interrupting the historic character of the property and the blockface. If an addition is in fact being planned, the proposal should be considered as a whole, not piece by piece.

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ITEM: VIII

APPLICANT: Sam Gianukos, Creole Design, for Matthew and Hallie Ager, owners

PROPERTY ADDRESS: 1548 Cortlandt Street

HISTORIC DISTRICT: Houston Heights Historic District East

Approval Criteria: Exterior Alteration, Rehabilitation, Restoration and Additions

Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- ☐ ☒ ☐ (1) **The proposed activity must retain and preserve the historical character of the property;**

The existing placement of the house is in line with the neighboring properties and is an important part of the historic character of the property.

The relocation of the structure on site and increased foundation height alter the original architectural features and proportions of the house and have a detrimental impact on the historic character of the house and the property. The current, original site placement of the house is part of this house's original historic character, which will be diminished by moving the house to a non-historic setback. Altering the historic site placement pattern of contributing structures diminishes the historic character and integrity of the overall historic district as well.

- ☒ ☐ ☐ (2) The proposed activity must contribute to the continued availability of the property for a contemporary use;

- ☒ ☐ ☐ (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;

- ☐ ☒ ☐ (4) **The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;**

Moving the house 6' forward from its original lot placement and increasing the foundation height by 8" do not preserve the distinguishing qualities of the 1940 English Cottage and greatly alter the historic character of the house, the site, and the blockface. Altering the historic site placement pattern of contributing structures diminishes the historic character and integrity of the overall historic district.

- ☒ ☐ ☐ (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;

- ☒ ☐ ☐ (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;

- ☒ ☐ ☐ (7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;

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PROPERTY ADDRESS: 1548 Cortlandt Street

HISTORIC DISTRICT: Houston Heights Historic District East

☒ ☐ ☐ (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;

☐ ☒ ☐ (9) **The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located;**

Relocating the house forward on the lot and raising the foundation 8" impacts the character of the property. Reducing the front setback by 6' to 23'-1" is inconsistent with the setbacks of contributing structures on the blockface. The front wall of the residence is constructed in line with the front walls of the contributing residence on the block. Moving the house on site to an atypical front setback places the front wall of this house closer to the street than the other houses on the blockface and compromises the historic character of this house, the lot on which it sits, and the blockface overall.

☐ ☒ ☐ (10) **The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s);**

The residence features a front wall setback of 29'-1", consistent with the prevailing front wall setback on the 1500 block of Cortlandt. The front wall of the residence is constructed in line with the front walls of the contributing residence on both the 1500 and 1600 blocks of Cortlandt Street.

The applicant proposes to move the house forward by 6' for a new front setback of only 23'-1", which is not compatible with the existing original character of the blockface. Changing the front wall setback to 23'-1" will place this house closer to the street than the other houses on the blockface, which will diminish its historic character and value as a harmonious part of the larger whole. Furthermore, no justification has been provided by the applicant for relocating the house. Approving a COA to relocate 1548 Cortlandt closer to the street would contribute to the degradation of a consistent historic streetscape. The applicant has provided materials suggesting that the house is currently set back further than its neighbors, but these materials do not take into account the distinction between an open front porch and a solid front wall. The distinction between the setback to front porch and the setback to the front wall is important because of the transparency provided by an open porch. This transparency allows a consistent sight line to be maintained across front walls, regardless of the position or existence of a front porch.

☐ ☐ ☒ (11) The proposed activity will comply with any applicable deed restrictions.

Approval Criteria: Relocation of a Landmark, Protected Landmark or Contributing Structure

Sec. 33-243(a): HAHC shall issue a certificate of appropriateness for the relocation of any landmark, protected landmark, contributing structure upon finding that the application satisfies **one or more** the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

(1) The landmark, contributing structure or potentially contributing structure:

☐ ☒ ☐ **(a) Has architectural or historical value independent of its physical location that will not**

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HISTORIC DISTRICT: Houston Heights Historic District East

be diminished with relocation;

This contributing structure is one piece of a larger whole that makes up the Houston Heights Historic District East. The current, original site placement of the house is part of this house's original historic character, which will be diminished by moving the house to a non-historic setback.

Furthermore, the residence's existing front wall setback of 29'-1" is consistent with the prevailing front wall setbacks on the 1500 block of Cortlandt. Changing the front setback to 23'-1" will place this house closer to the street than the other houses on the blockface, which will diminish its historic character and value as a harmonious part of the larger whole.

☒ ☐ ☐

(b) Can be moved without significant damage to its physical integrity;

☐ ☒ ☐

(c) Will be relocated to an area that is compatible with the historical and architectural character of the landmark, contributing structure or potentially contributing structure; and

This contributing structure is one piece of a larger whole that makes up the Houston Heights Historic District South. The house's current original site placement is part of its original historic character. The house features an original front wall setback of 29'-1", which is in line with the front walls of the contributing structures on the blockface. Moving the house on site to an atypical front setback will compromise the historic character of this house, the lot on which it sits, and the blockface overall.

☐ ☒ ☐

(d) If located in an historic district, can be relocated without significantly diminishing the integrity of the historic district in which it is located.

Altering the historic site placement pattern of contributing structures diminishes the historic character and integrity of the overall historic district. Although moving only one contributing house might not 'significantly' diminish the integrity of the district, allowing contributing structures to be moved on site without good cause will significantly compromise the historic integrity and value of the district as more applicants request relocation of contributing structures on site in order to accommodate oversized additions.

☐ ☐ ☒

(2) The relocation is necessary to protect the landmark, contributing structure or potentially contributing structure from demolition resulting from a public improvement project;

☐ ☒ ☐

(3) The applicant has established an unreasonable economic hardship pursuant to the criteria of section 33-247(c):

The applicant has provided no materials to support the existence of an economic hardship.

☐ ☒ ☐

(4) The applicant has established unusual or compelling circumstances pursuant to the criteria of section 33-247(d):

The applicant has provided no materials to support the existence of an unusual or compelling circumstance.

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CITY OF HOUSTON

HOUSTON PLANNING COMMISSION
PLANNING & DEVELOPMENT DEPARTMENT

Planning Commission
Meeting Date: 05/28/2015

ITEM: VIII

APPLICANT: Sam Gianukos, Creole Design, for Matthew and Hallie Ager, owners

PROPERTY ADDRESS: 1548 Cortlandt Street

HISTORIC DISTRICT: Houston Heights Historic District East

Applicant's Grounds for Appeal:

See Attachment D for the applicant's grounds for appeal and supplemental appeal documents.

Basis for Applicant's Appeal:

Sec. 33-253. Appeal.

- a) An applicant aggrieved by a decision of the HAHC with respect to any certificate of appropriateness may appeal to the planning commission by filing a written notice of appeal, stating the grounds for the appeal, with the director within ten days following the date the HAHC renders its decision.
- b) The planning commission shall consider the appeal at its first regularly scheduled meeting for which required notice can be given. The commission shall consider the application, the findings of the HAHC and any evidence presented at the meeting at which the appeal is considered. The planning commission shall reverse or affirm the decision of the HAHC based upon the criteria applicable to the certificate of appropriateness. The decision of the commission shall be final. If the commission does not make a decision on the appeal within 30 days following the commission's hearing on the appeal, the decision of the HAHC with respect to the application for the certificate of appropriateness shall be deemed affirmed.
- c) An applicant aggrieved by the decision of the planning commission on an appeal from a decision of the HAHC may appeal to the city council. The city council shall consider the appeal at its first regularly scheduled meeting for which the required notice can be given. The city council shall consider the appeal under the provisions of Rule 12 of Section 2-2 of this code. At the conclusion of the city council's review of the matter, the city council shall reverse or affirm the decision of the planning commission. The decision of the city council shall be final and exhaust the applicant's administrative remedies.
- d) The director shall provide the applicant with notice of the time and place of the meeting at which the appeal will be considered by mail no less than ten days before the date of the meeting.

Attachment A: March 2015 HAHC Action Report (including project details and staff analysis)

Attachment B: April 2015 HAHC Action Report (including project details and staff analysis)

Attachment C: March and April 2015 HAHC unofficial meeting transcripts prepared by staff for informational purposes

Attachment D: Applicant appeal letter and supplemental appeal materials

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March 26, 2015

HPO File No. 150303

1548 Cortlandt Street

Houston Heights East

CERTIFICATE OF APPROPRIATENESS

Application Date: March 4, 2015**Applicant:** Sam Gianukos, Creole Design, LLC, for Matthew Ager, owner**Property:** 1548 Cortlandt Street, Tract 24A, Block 138, Houston Heights Subdivision. The property includes a historic 988 square foot, one-story wood frame single-family residence and a detached garage situated on a 5,000 square foot (50' x 100") corner lot.**Significance:** Contributing English Cottage residence, constructed circa 1940, located in the Houston Heights Historic District East.**Proposal:** Alteration/Relocation – Addition/Roof Change

In November 2014 and January 2015, the applicant was denied a Certificate for relocating the residence 6' forward on the lot; raising the foundation 5"; removing the side gable roof, installing a 2' pony wall and constructing a new side gable roof with a 10/12 pitch; and constructing a rear 2-story, 2,130 square foot addition.

The applicant has resubmitted the application with the following changes:

- Existing original 8/12 side gable roof will be retained.
- Foundation will be raised 8" instead of 5".
- Proposed attached garage will feature a hip on gable roof.

The scope of work is otherwise the same as previously twice denied, including the following:

- Relocate the house 6' forward on a corner lot from 29' to a 23' front setback.
- Raise foundation height 8" from 2' (24") to 2'-8" (32").
- Demolish an original 11' x 6'-2" bump out on the rear northeast corner of the house.
- Construct a rear two-story 2,130 square foot addition with an attached garage that measures 30' wide, 44' deep, and 26' tall. The attached garage will have a ridge height 31'.

At a meeting with staff on March 17, the designer indicated that he had submitted incorrect drawings and still intends to insert a 1'-6" pony wall under the existing roof. Staff informed the applicant that new drawings and project description could not be accepted two weeks after the application deadline and recommended that the applicant withdraw the current application and resubmit for next month. The applicant asked to remain on the agenda with the incorrect application as submitted. Staff's review is of the application as submitted on March 4. See Attachment B.

See enclosed application materials and detailed project description on p. 8-43 for further details.

Public Comment: Four in favor and One opposed. See Attachment A.**Civic Association:** No comment received at this time.**Recommendation:** Denial - does not satisfy Section 33-241(a): Criteria 1, 4, 8, 9, and 10 for Alterations or Section 22-243(a): Criteria 1(a-d), 3 and 4 for Relocation.**HAHC Action:** Deferred

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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

☐ ☒ ☐

- (1) The proposed activity must retain and preserve the historical character of the property;

The contributing house has the typical architectural character, features, and proportions of a circa 1940 English Cottage style house, including a side gable roof with 8/12 pitch and boxed eave returns. Furthermore, the existing setbacks of the house are in line with the neighboring properties and an important part of the historic character of the property.

The relocation of the structure on site, increased foundation height, and large two-story rear addition with attached garage alter the original architectural features and proportions of the house and have a detrimental impact on its historic character.

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- (2) The proposed activity must contribute to the continued availability of the property for a contemporary use;

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- (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;

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- (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;

The increased foundation height to 2'-8", and the relocation of the residence to a 23'-1" front setback does not preserve the distinguishing qualities of the 1940 English Cottage and greatly alter the historic character of the house.

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- (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;

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- (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;

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- (7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;

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- (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;

The rear two-story addition results in the demolition of an original rear one-story bay. The rear two-story addition is not compatible in scale and size with the one-story residence and overwhelms the simple form of the one-story side gable structure.

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- ☐ ☒ ☐ (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located;

The two-story addition with an attached garage results in the demolition of an original rear one-story bay. The rear attached garage is not compatible in scale and size with the contributing residence and has a large impact on the historic character of the residence, particularly since this is a corner lot and the addition and attached garage will be highly visible from the street.

Relocating the house forward on the lot and raising the foundation 8" also impacts the character of the property. Reducing the front setback by 6' to 23'-1" is inconsistent with the setbacks of contributing structures on the blockface.

- ☐ ☒ ☐ (10) The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s);

The residence features a front setback of 29'-1", consistent with the prevailing front setback on the 1500 block of Cortlandt, which is between 27' to 30'. The front wall of the residence is constructed in line with the front walls of the contributing residence on both the 1500 and 1600 blocks of Cortlandt Street. The applicant proposes to move the house forward by 6' for a new front setback of only 23'-1", which is not compatible with the blockface.

- ☐ ☐ ☒ (11) The proposed activity will comply with any applicable deed restrictions.

RELOCATION OF A LANDMARK, PROTECTED LANDMARK OR CONTRIBUTING STRUCTURE

Sec. 33-243(a): HAHC shall issue a certificate of appropriateness for the relocation of any landmark, protected landmark, contributing structure upon finding that the application satisfies **one or more** the following criteria:

S D NA**S - satisfies D - does not satisfy NA - not applicable**

- (1) The landmark, contributing structure or potentially contributing structure:

- ☐ ☒ ☐ (a) Has architectural or historical value independent of its physical location that will not be diminished with relocation;

This contributing structure is one piece of a larger whole that makes up the Houston Heights Historic District East. The current, original site placement of the house is part of this house's original historic character, which will be diminished by moving the house to a non-historic setback. Furthermore, the residence's existing front setback of 29'-1" is consistent with the prevailing front setback on the 1500 block of Cortlandt, which is between 27' to 30'. Changing the front setback to 23'-1" will place this house closer to the street than the other houses on the blockface, which will diminish its historic character and value as a harmonious part of the larger whole.

- ☐ ☒ ☐ (b) Can be moved without significant damage to its physical integrity;

Nothing has been provided by the applicant to address this criterion or demonstrate whether moving the house will or will not damage the physical integrity of the house.

- ☐ ☒ ☐ (c) Will be relocated to an area that is compatible with the historical and architectural character of the landmark, contributing structure or potentially contributing structure; and

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This contributing structure is one piece of a larger whole that makes up the Houston Heights Historic District South. The house's current original site placement is part of its original historic character. The house features an original front setback of 29'-1", which is in line with the contributing structures on this blockface. The front wall of the residence is constructed in line with the front walls of the contributing residence on the block. Moving the house on site to an atypical front setback will compromise the historic character of this house, the lot on which it sits, and the blockface overall.

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(d) If located in an historic district, can be relocated without significantly diminishing the integrity of the historic district in which it is located.

Altering the historic site placement pattern of contributing structures diminishes the historic character and integrity of the overall historic district. Although moving only one contributing house might not 'significantly' diminish the integrity of the district, allowing contributing structures to be moved on site without good cause will significantly compromise the historic integrity and value of the district as more applicants request relocation of contributing structures on site in order to accommodate oversized additions.

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(2) The relocation is necessary to protect the landmark, contributing structure or potentially contributing structure from demolition resulting from a public improvement project;

☐ ☒ ☐

(3) The applicant has established an unreasonable economic hardship pursuant to the criteria of section 33-247(c):

☐ ☒ ☐

(4) The applicant has established unusual or compelling circumstances pursuant to the criteria of section 33-247(d):

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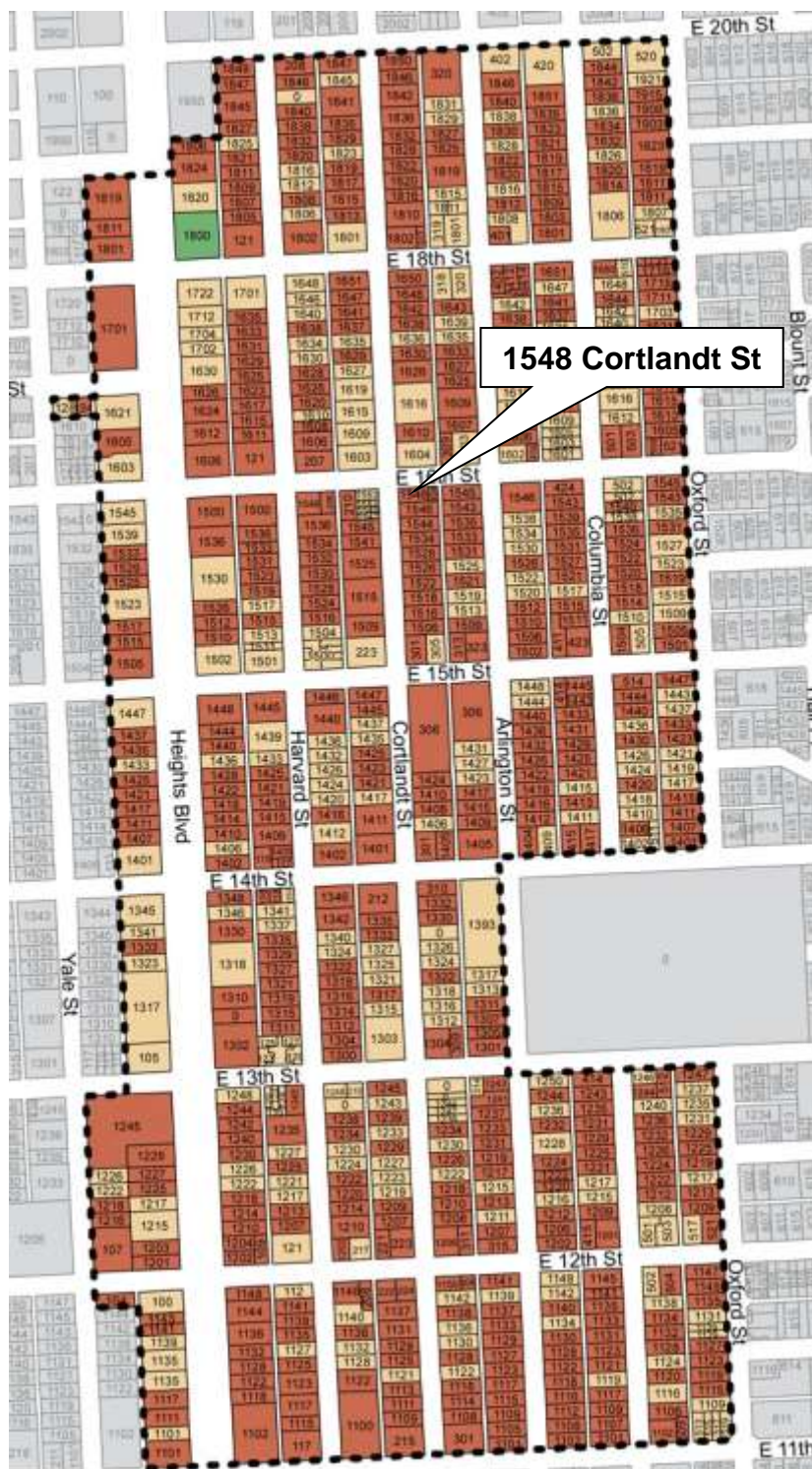
Houston Heights East



PROPERTY LOCATION HOUSTON HEIGHTS HISTORIC DISTRICT EAST

Building Classification

- Contributing
- Non-Contributing
- Park



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INVENTORY PHOTO



CURRENT PHOTO



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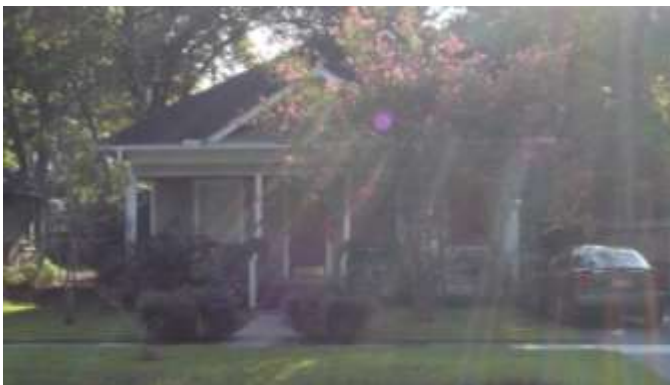
NEIGHBORING PROPERTIES



304 E 16th – Contributing – 1940 (neighbor)



1546 Cortlandt – Contributing – 1920 (neighbor)



1544 Cortlandt– Contributing – 1920 (block face)



1549-1551 Cortlandt– Noncontributing – 1983 (across street)



1553 Cortlandt– Noncontributing – 1984 (across street)

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WEST ELEVATION – FRONT FACING CORTLANDT STREET

EXISTING

DENIED – 11/20/14



DENIED – 1/29/15

PROPOSED



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NORTH SIDE ELEVATION FACING E 16TH STREET

EXISTING



DENIED – 11/20/14



DENIED – 1/29/15



PROPOSED



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**SOUTH (SIDE) ELEVATION
EXISTING**



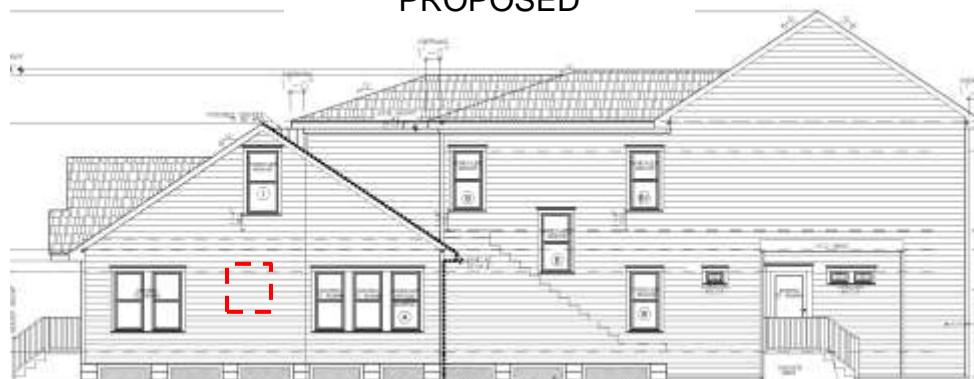
DENIED – 11/20/14



DENIED – 1/29/15



PROPOSED



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EAST (REAR) ELEVATION

EXISTING



DENIED – 11/20/14



DENIED – 1/29/15



PROPOSED



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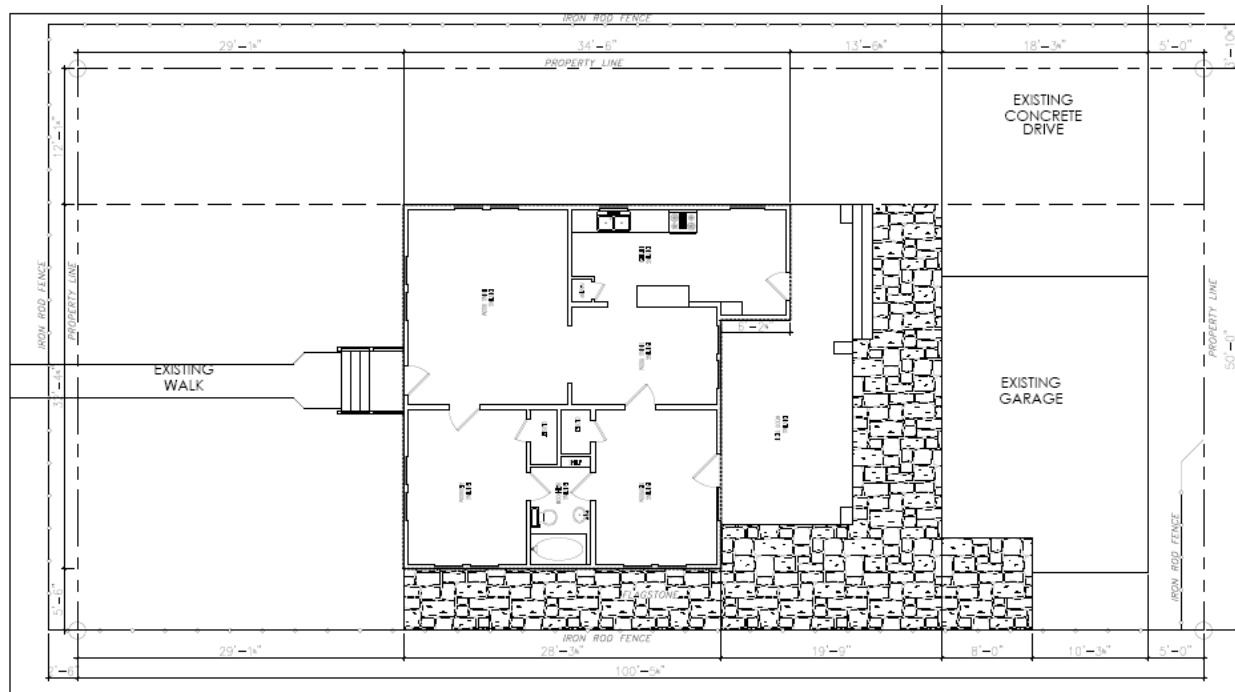
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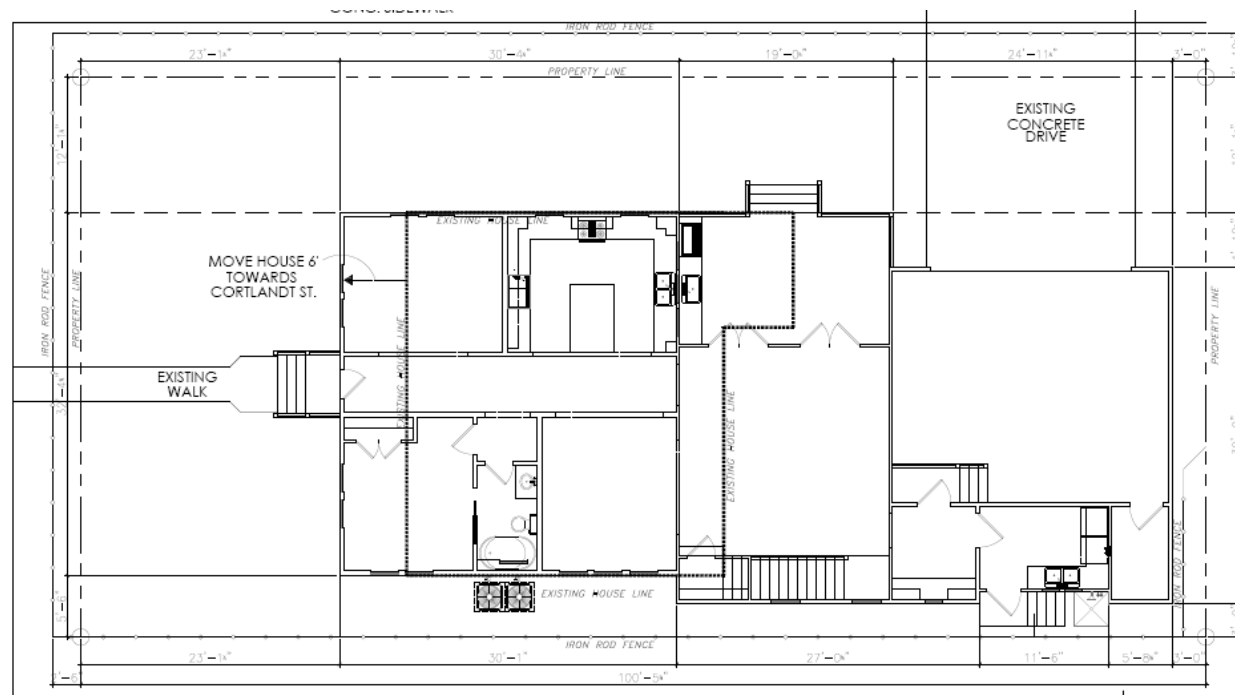


SITE PLAN

EXISTING



DENIED – 11/20/14 & 1/29/15- NO PROPOSED CHANGES



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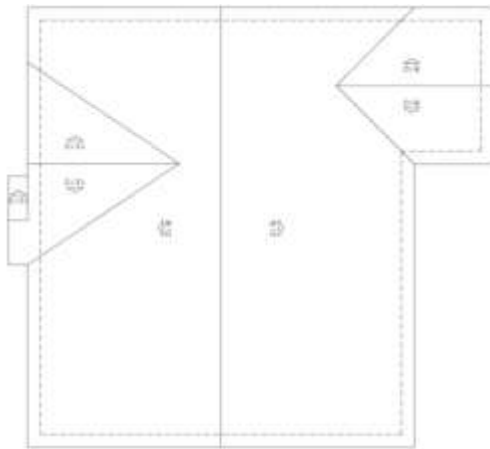
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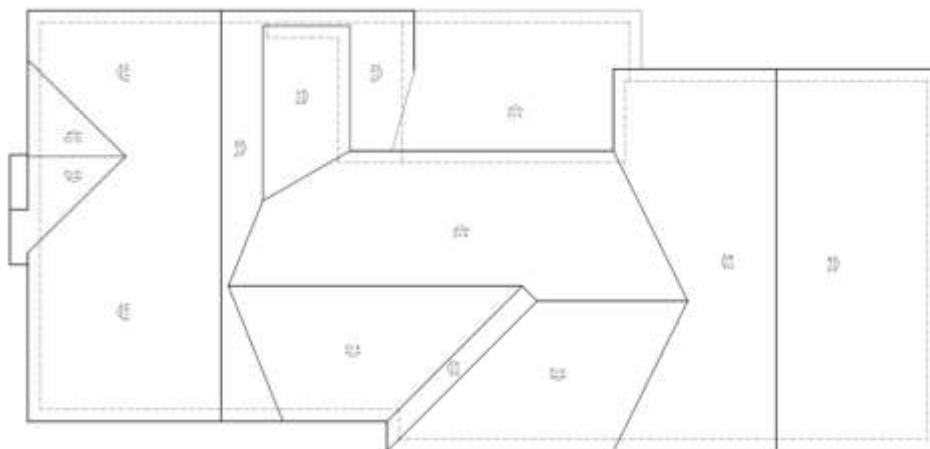


ROOF PLAN

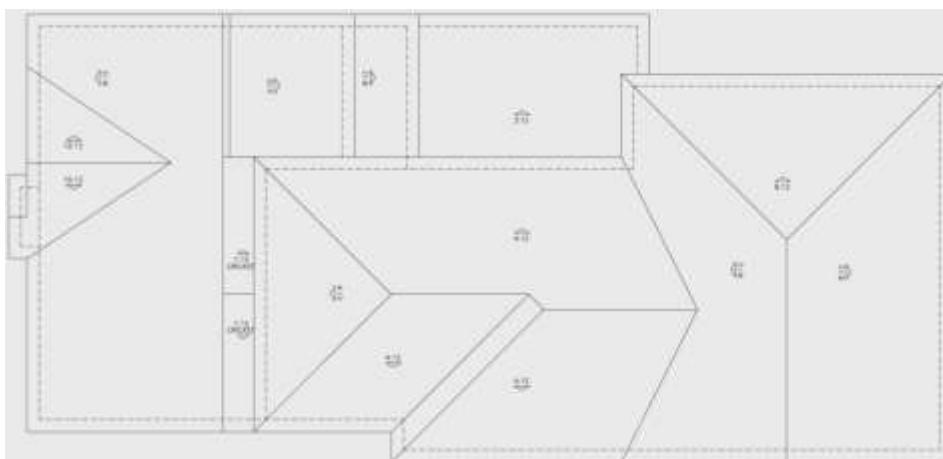
EXISTING



DENIED – 11/20/14 & 1/29/15



PROPOSED



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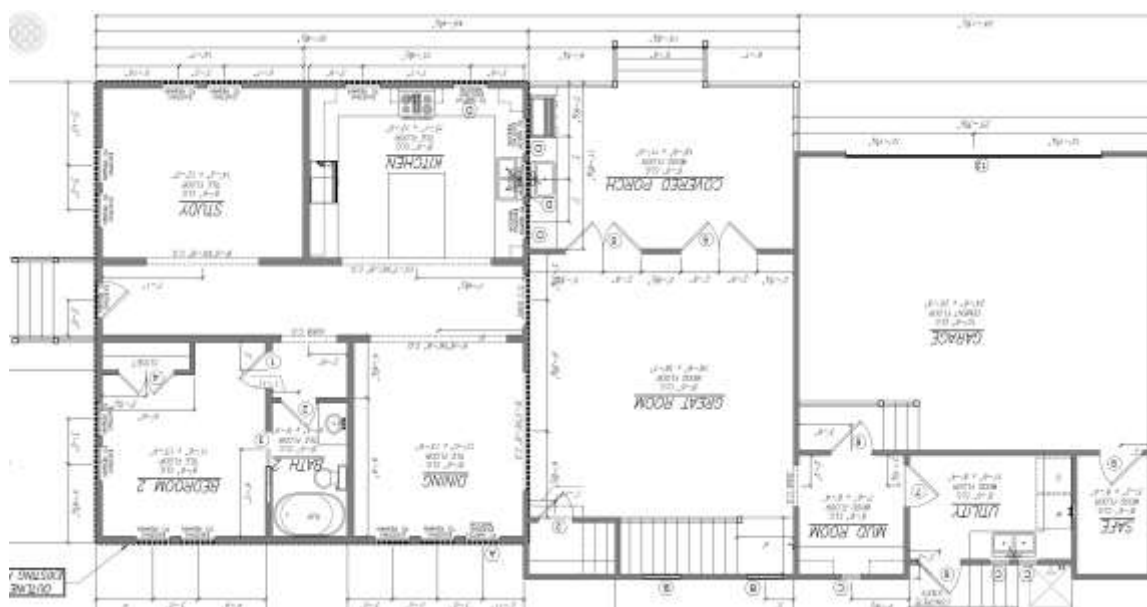
FIRST FLOOR PLAN

EXISTING



Sanborn maps indicate that this rear bay is original to the house.

DENIED – 11/20/14 & 1/29/15 - NO PROPOSED CHANGES



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SECOND FLOOR PLAN

DENIED – 11/20/14 & 1/29/15 - NO PROPOSED CHANGES



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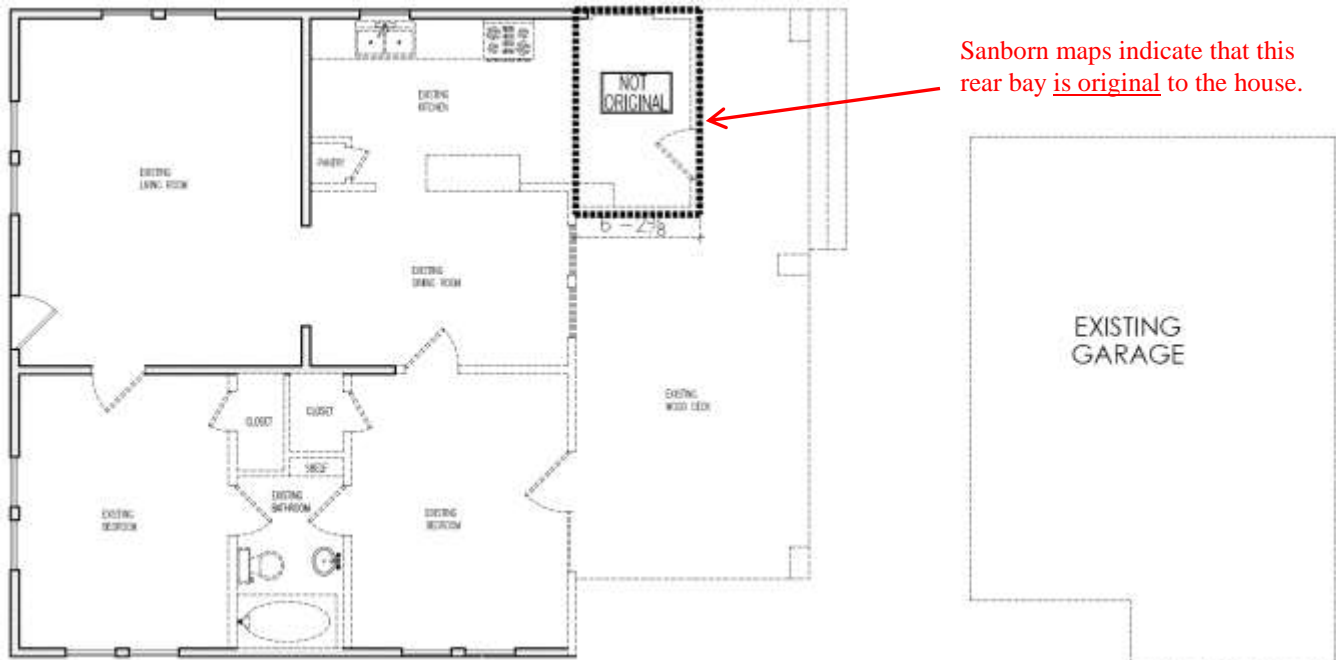
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DEMO PLAN

DENIED – 11/20/14 & 1/29/15 - NO PROPOSED CHANGES



Sanborn maps indicate that this rear bay is original to the house.

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WINDOW / DOOR SCHEDULE

WINDOW SCHEDULE

WINDOW SCHEDULE				
SIZES GIVEN ARE THE ROUGH OPENING DIMENSION				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
A	1	2'-6"	5'-0"	SINGLE HUNG
B	3	2'-8"	5'-0"	TEMPERED SINGLE HUNG
B1	1	2'-8"	5'-0"	SINGLE HUNG
C	3	1'-6"	1'-0"	TRANSOM
D	5	2'-6"	3'-0"	SINGLE HUNG
F	5	2'-8"	5'-6"	SINGLE HUNG
G	3	2'-4"	1'-6"	TRANSOM
H	1	3'-6"	3'-6"	TEMPERED SINGLE HUNG
I	2	2'-8"	5'-4"	SINGLE HUNG

DOOR SCHEDULE

DOOR SCHEDULE				
DOOR NO.	QTY.	WIDTH	HEIGHT	DESCRIPTION
①	4	2'-8"	6'-8"	INTERIOR DOOR @ BEDROOMS
②	7	2'-6"	6'-8"	INTERIOR DOOR @ BATH & CLOSET
③	2	2'-6"	6'-8"	INTERIOR POCKET DOOR
④	1	(2)2'-0"	6'-8"	INTERIOR DOUBLE DOORS, (UNIT)
⑤	2	(2)2'-8"	6'-8"	EXTERIOR FRENCH DOORS, (UNIT)
⑥	1	3'-0"	6'-8"	20 MIN. FIRE RATED DOOR W/CLOSURE
⑦	1	3'-0"	6'-8"	INTERIOR DOOR @ UTILITY
⑧	1	3'-0"	6'-8"	EXTERIOR DOOR @ UTILITY ROOM
⑨	1	3'-0"	6'-8"	INTERIOR DOOR @ GARAGE TO SAFE
⑩	3	2'-4"	---	INTERIOR DOOR @ CLOSET (CUT TO FIT)
⑪	1	1'-6"	6'-8"	INTERIOR DOUBLE DOORS @ MASTER BATH (UNIT)
⑫	1	18'-0"	7'-0"	OVERHEAD GARAGE DOOR
⑬	1	2'-8"	6'-8"	EXTERIOR DOOR @ MASTER ROOM

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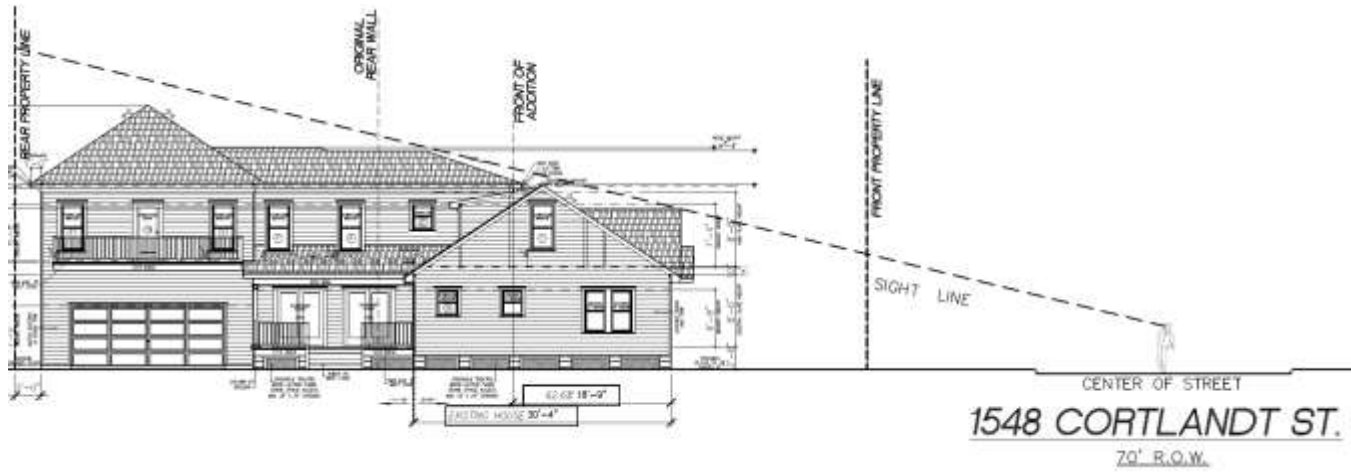
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LINE OF SIGHT

House is located on a corner so addition is highly visible from the street.



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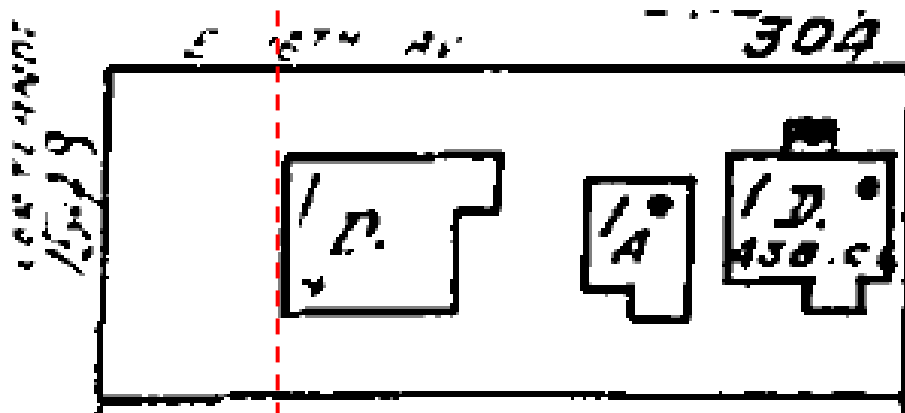
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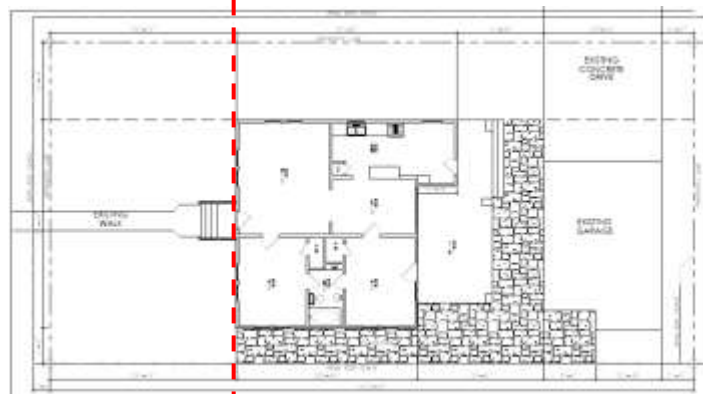
SANBORN FIRE INSURANCE MAP

The rear 32' feet of the original lot is now a separate property.

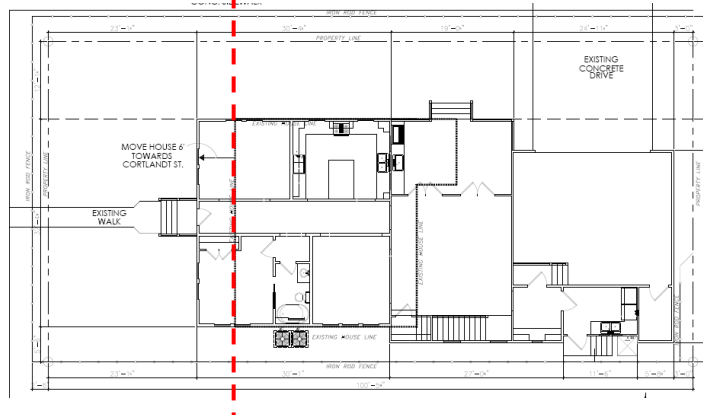
1924-1951



CURRENT SITE PLAN



PROPOSED SITE PLAN



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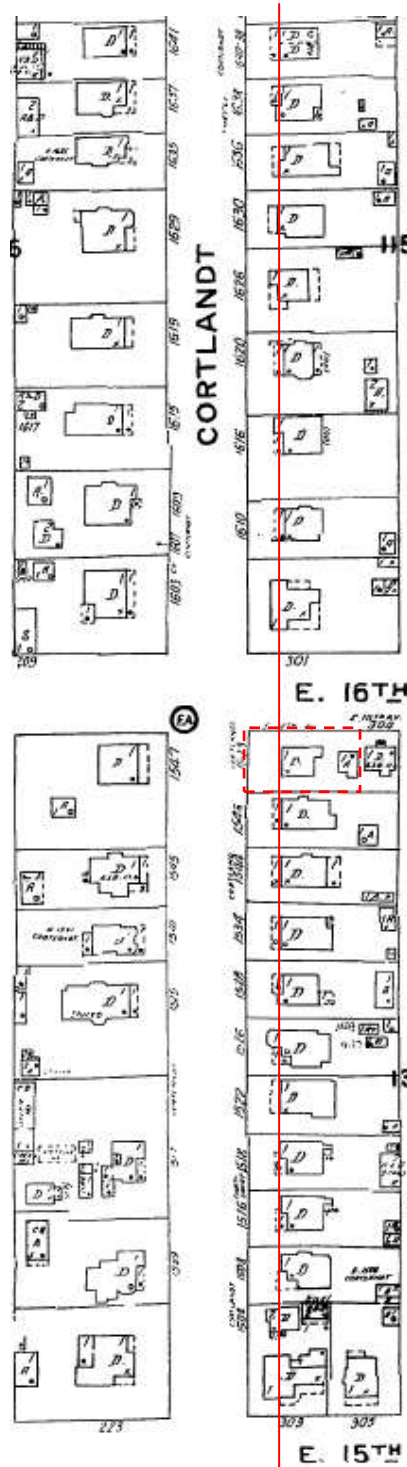
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1924-1951 SANBORN FIRE INSURANCE MAP

1500 & 1600 CORTLANDT STREET BLOCKFACE SETBACKS



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STRUCTURAL LETTER PROVIDED BY APPLICANT



P.O. Box 6156 - Kingwood, TX 77325

james@jdsiengineer.com ■ 281.852.3647 ■ 32.213.3622 (F) ■ www.jdsiengineer.com

Matthew and Hallie Ager
1548 Cortlandt Street
Houston, TX 77008

March 18, 2015

Re: Movement of home on crawlspace – 1548 Cortlandt St. – Houston, TX

Mr. and Mrs. Ager,

The intent of this letter is to provide information with regard to the potential movement of the home located at the address listed above. At the request of Sam Gianukos with Creole Design, JDSI performed an inspection of this home. It is the understanding of JDSI this home is to be relocated on the same lot, approximately 10 feet from its current location. JDSI notes this home is supported by a crawl space foundation (commonly referred to as pier and beam). Therefore, there is a space between the floor joists and the ground below. This space is sufficient to disconnect utilities and separate the stringers and floor framing from the pier foundation. Once separated, the home can be lifted, new piers installed, and the home reset into place on the new piers.

It is noted the stringers and framing in connection with the new piers must meet current code requirements (International Residential Code with Amendments by the City of Houston). It is the professional opinion of JDSI the home can be moved and the structural integrity of the home maintained. Should you have any questions or comments, please contact me. Also, feel free to give this letter to the Building Official as required.

Regards,



James Deaver, PE
F-11512

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PHOTOS SUBMITTED BY APPLICANT

EXISTING FRONT ELEVATION



EXISTING DETACHED GARAGE



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REAR ELEVATION PORCH



REAR ELEVATION



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REAR ELEVATION



ORIGINAL REAR WING



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NORTH ELEVATION



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PROJECT DETAILS

Shape/Mass: The residence measures 32'-4" wide, 34'-6" deep on the north elevation, 28'-3" deep on the south elevation, 9'-6" to the eave, and 20'-4" to the ridge. The existing side gable roof will be retained (*previously proposed the roof will be removed and raised. A 2' foot pony wall will be installed and the roof pitch will be increased from 8/12 to 10/12. The proposed eave height for the existing one-story residence will be 11'-10" and the proposed ridge height will be 26'*). The existing pier and beam foundation will be raised 8" from 2' to 2'-8", resulting in a new eave height of 10'-2½" and a ridge height of 21'-8". The existing original one-story rear gable bay measuring 11' wide and 6'-2" deep will be demolished. The two-story addition will measure 22'-7" wide and 18'-11" deep, 21'-3" to the eave, and 25'-8" at the front ridge and 26'-1" at the rear ridge (*previously proposed 25'-11" to the ridge*). The attached garage will measure 30' wide, 25' deep, 21'-3" to the eave and 31'-1" to the ridge (*previously proposed 21'-1" to the eave, and 30'-10" to the ridge*). The addition and attached garage will have an overall depth of 44'-3".

Setbacks: The residence is setback 29'-1" from the front property line, 12'-1" from the side, north property line, 5'-6" from the side, south property line, and 36'-9" from the rear property line. The residence will be relocated forward 6', to the west, on the lot to a front setback of 23'-1". The addition will be setback 53'-2" from the front property line, 12'-1" from the side, north property line, and the garage will be setback, 16'-11" from the side, north property line, 3' from the side, south property line, and 3' from the rear property line.

Foundation: The residence is built on a pier and beam foundation with a 2' foundation height. The foundation will be raised 8" from 2' to 2'-8" (*previously proposed increased 5" from 2' to 2'-5"*). The addition will be built on a pier and beam foundation with a 2'-8" foundation height (*previously proposed 2'-5" foundation height*). The attached garage will be built on a slab foundation.

Windows/Doors: The residence features wood 1-over-1 sash windows, a non-original aluminum box window, a single lite entry door, and a set of single lite french doors. The existing single lite front entry door will be retained. A small 1-over-1 sash window on the south elevation will be removed; all other wood 1-over-1 sash windows will be retained.

The addition and attached garage will feature wood 1-over-1 sash window, single lite fixed wood windows, single lite french doors, a single lite entry doors, and a sectional overhead garage door.

Exterior Materials: The residence is clad with wood 105 siding; the siding will be retained. The front entry features wood decorative brackets and a set of concrete step; the concrete steps will be replaced with a new set of steps with wood handrails. The rear of the residence features a wood porch with wood steps, the porch will be demolished. The addition will be clad with wood 105 siding to match the original 105 siding on the residence. The addition will feature a side covered porch with wood steps, handrails and guardrails and a round wood column.

Roof: The residence features a side gable roof with closed eaves, and a 1' overhang. The roof features boxed eave returns and an 8/12 pitch. The residence features a stacked gable front entry roof with boxed eave returns and a 12/12 pitch. The 8/12 side gable roof will be retained (*previously proposed the side gable roof will be removed and new side gable roof with closed eaves and a 10/12 pitch, and 1' overhang will be constructed. The proposed roof will feature boxed eave returns to match the original boxed eave returns. Proposed in November replace boxed eave returns with Greek-style eave returns and in January the proposed roof would feature boxed eaves to match the original*). A shed roof dormer with a 3/12 pitch will be constructed on the rear slope. The addition will feature a hip roof (*previously proposed gable roof*) with closed, 1' overhang, and a 4/12 pitch. The attached garage will feature a hip on gable roof (*previously proposed side gable roof*) with closed eaves, 1' overhang, boxed eave returns, and an 8/12 pitch. The covered side porch will feature a shed roof with a 3/12 pitch clad with composite shingles (*previously proposed standing seam metal*). The addition and attached garage roofs will be clad

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Houston Heights East

with composite shingles.

Front Elevation: The residence features four 1-over-1 wood sash windows and a single lite entry door. The
(West) stacked gable front entry features a wood louvered gable vent and boxed eave returns.

Side Elevation: The residence features three 1-over-1 sash windows and a non-original aluminum box window.
(North) The gable features a wood louvered vent. A 1-over-1 sash window will be installed at the rear corner of the residence. The louvered gable vent will be replaced with a 1-over-1 sash window. The first floor of the addition and garage will feature two sets of single lite french doors and a sectional overhead garage door. The second floor five 1-over-1 sash windows, a single lite entry door. The second floor of the garage will feature a balcony with wood guardrails measuring 22'-3" wide and 3' deep.

Side Elevation: The residence features five 1-over-1 sash windows and a wood louvered gable vent. The existing
(South) 1-over-1 center window will be removed and the opening will be infilled with 105 wood siding. A new 1-over-1 window will be installed at the rear corner of the residence next to two existing 1-over-1 sash windows. The louvered gable vent will be replaced with a 1-over-1 sash window. The addition and garage will feature a 1-over-1 sash window, three single lite fixed windows, and a single lite entry door on the first floor. The entry door will feature a wood landing with wood steps and wood handrails. The second floor will feature three 1-over-1 sash windows.

Rear Elevation: The residence features two 1-over-1 sash windows, a single lite entry door, a set of single lite
(East) french doors, and a wood deck. The addition will feature a single lite fixed window on the second floor.

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ATTACHMENT A
PUBLIC COMMENT

March 23, 2015

Houston Heights East Historic District**Applications for Certificate of Appropriateness****Homeowner Review****B-27 1548 Cortlandt Street**

And for the Third Time, I **OBJECT** to the granting of this Certificate of Appropriateness for this proposed relocation. The applicant has made no effort to revise the proposal to leave the existing structure at its present location in line with the other existing front wall structures on the blockface. The applicant is claiming a hardship for the size of the existing lot, when, in fact, the hardship is self-imposed. The original lot dept was 132 feet but many years ago another residential structure (without a garage) was constructed on the rear of this corner lot. This structure is now a separate residence (seemingly without benefit of subdivision) which results in the current lot depth of 100 feet. The current owner purchased the reduced lot depth with full knowledge of the reduction. Attempts to construct square footage and volume that would be appropriate for a full 132-foot lot depth lot should not be allowed as the resulting volume will always be out of scale with the context of the District. The proposal should be reduced in volume to fit the existing 100 foot lot depth and the existing structure should remain in its current location with the current (no evidence has been submitted indicating a need for additional elevation) floor elevation.

As a side point, the continued re-submission of essentially unchanged applications (the applicant even admitted this current application is incorrect) for the same property location should be discouraged. There is no positive benefit from a continual re-submission and the resulting effort by the staff and the HAHC can be better-spent on applications that respond to the criteria originally suggested to provide support for approval. I would hope that the HAHC would consider instituting a substantial fee for re-submittals that would discourage this unfettered, time-wasting process.

J. Kent Marsh, AICP CUD

1538 Arlington, Houston Heights East Historic District

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1548 Cortlandt Street

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Houston Heights East

Subject: 1548 Cortlandt St. Houston Heights East

Hello,

I am writing to you in support of the home relocation/addition being requested by Matthew and Halle Agar at 1548 Cortlandt. I purchased my 1918 bungalow at 1638 Cortlandt in 2009, and during the past five years I have watched three beautiful bungalow renovations with additions come to life on my block, along with a new home on the vacant lot that was next to me. All of these have increased the beauty and aesthetic that Cortlandt Street contributes to Houston Heights East.

I fought to preserve the Historic District designation for our neighborhood, even going to City Council meetings several times, so I am very critical of some of the "new build" ideas of builders and efforts by our local realtors to transform our historical presence. I have reviewed the Agar's plans for their tiny bungalow (988 sq. ft. for a family of four!) and I am very enthusiastic and excited about having another appropriate, historically contributing renovation within a short walk of my home. (The Agar's proposed renovation is much more appropriate than the Memorial-like brick McMansion across the street at 1694 Cortlandt, which was unfortunately built before the Historic District designation and TOTALLY does not conform to the significance and historical beauty of Cortlandt Street!)

I appreciate your consideration of my support, and hope that you will approve the proposed changes to 1548 Cortlandt Street.

Sincerely,

Maureen Weyel
1638 Cortlandt Street
713-502-9893

From:

Sent: Wednesday, March 11, 2015 8:50 PM

To: PD - Historic Preservation

Subject: 1548 Cortlandt St Houston Heights East

As neighbors living within 1 block of this property we would like to offer our affirmation of improvements as laid out by the homeowners. We have viewed their plans and see them to be not only acceptable to the neighborhood but also contributing. We believe that these improvements will increase the value of the property and provide a home that is more usable and desirable. We also believe that it will improve the quality and value of the block and surrounding homes.

The Heights is a wonderful neighborhood that like all neighborhoods continues to evolve. The Historic Preservation Committee does a good job monitoring the improvements within the district. That said we feel this property should be improved as requested and we offer our affirmative vote.

Please accept this email as a vote for the recommended changes to this property and a plea for your approval of the proposed plans that are currently submitted.

Sincerely,

Jay and Lucy Milligan
1636 Cortlandt St.

From: Amanda Placer

Sent: Sunday, March 22, 2015 9:59 AM

To: PD - Historic Preservation

Subject: Re: 1548 Cortlandt Street, Houston Heights East

To Whom It May Concern,

Please consider approving the addition to the address referenced in the subject line of this email. The homeowners have taken impeccable care of their historic house and would like to continue to do the same while adding extra space. The integrity and look of the home will largely remain the same with the addition being added to the back of the house. Thank you for your time.

Amanda Placer

From: Brie Kelman

Sent: Monday, March 23, 2015 4:03 PM

To: Kent Marsh

Subject: Re: March 26 HAHC Meeting Staff Reports are Posted for the HHEHD

22. 1115 Arlington St, Alteration-Addition *Resubmittal - Support, but prefer the previous denied plans, which looked better (at least there were windows on the front of the ugly box addition).*

23. 1341 Cortlandt St, Alteration-Siding/Trim/Windows - *Support*

24. 420 E 20th St, Alteration-Commercial Bldg- *Support*

25. 1515 Oxford St, New Construction-Residence/Garage- *Support*

26. 1404 Arlington St, Alteration-Garage- *Support*

27. 1548 Cortlandt St, Alteration/Relocation-Addition/Foundation/Roof *Resubmittal - Support. I think the proposed modifications are a very thoughtful way to update/expand this house to be more family friendly. Their alterations clearly do not violate the ordinance as the 2nd story starts at the rear of the structure (clearly behind the 50% mark).*

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Houston Heights East

PUBLIC COMMENT RECEIVED ON EARLIER VERSIONS OF PROJECT

January 29, 2015

Houston Heights East Historic District Development Review Committee (ad-hoc)**Monthly Review Report**

The DRC report for Certificate of Appropriateness Applications is as follows:

Month: Jan-15

Date of Report: 26-Jan-15

HAHC Action	Site Address	APPLICANT	COMPANY	PROPOSED ACTIVITY	DRC Response	DRC Vote
	1115 Arlington	Sam Gianukos	Creole Design	Alteration/Addition to Contributing Structure	Support No Object Object	1 2
	1405 Arlington	Lowell Pinnock	Design-Tech	New Const - Resubmittal	Support No Object Object	1 1 1
	1832 Columbia	Gail Schorre	Morningside Architects	Addition- resubmittal Contributing Structure	Support No Object Object	1 1
	1548 Cortlandt	Sam Gianukos	Creole Design	Addition- Relocation Resubmittal	Support No Object Object	1 2

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1548 Cortlandt Street

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Houston Heights East

Houston Heights East Historic District

Certificate of Appropriateness Applications for the January 2015 HAHC Meeting

Comments/Concerns from J. Kent Marsh

1115 Arlington – OBJECT

The frontal plan for the proposed addition when compared to the frontal plane for the existing structure exceeds the proportion that would allow the existing structure to remain dominant and the proposal makes the existing structure subservient to the addition. Also, the volume of the addition is greater than the volume of the existing and contributes to the subservient relationship for the existing structure. Using the prior application approval for 1117 Arlington in no way obligates the HAHC to approve a later application for 1115 Arlington, even if it is a “mirror” of the previously approved version.

1405 Arlington – NO OBJECTION

While the current proposed result is not totally acceptable, the revision to provide one-over-one windows on the two visible street sides will allow the new construction to fit better into the context of the existing historic district. I do hope this builder has learned from this experience.

1832 Columbia – NO OBJECTION

While the proposed modification is still excessive in volume, it is better than the prior, unacceptable proposal.

1548 Cortlandt – OBJECT

I am truly amazed at the audacity of this applicant to resubmit a second proposal that only changes the cornice design after this design was denied previously for numerous reasons. The proposed application intends to remove a significant portion of the existing structure, in addition to relocating the remaining existing structure to a location that will no longer agree with the existing prevailing front setback of the other existing structures on the blockface, nor will the proposed relocation support the prevailing offset location of the structure on the lot as is evident in the remaining contributing structures in the area.

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Houston Heights East

From: Brie Kelman [REDACTED]
Sent: Sunday, January 25, 2015 9:38 AM
To: Kent Marsh
Subject: Re: January 2015 HAHC Applications

- 1115 Arlington St, Alteration-Addition/Windows



Support

- 1405 Arlington St, New Construction-Residence, *Resubmittal*



Support

- 1832 Columbia St, Alteration-Addition, *Deferral*



Support

- 1548 Cortlandt St, Alteration/Relocation-Addition, *Resubmittal*

Support

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1548 Cortlandt Street

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Houston Heights East

From: Charlie Thorp
Sent: Friday, January 23, 2015 9:52 AM
To: Kent Marsh
Subject: HAHC applications

1115 Arlington - too big of an addition - denied
1405 Arlington - don't like windows - denied
1538 Cortlandt - too big of an addition - denied



C.A. Thorp Studio, Inc.
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Houston Archaeological & Historical Commission

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Houston Heights East

From: Joy Tober
Sent: Wednesday, January 28, 2015 8:36 PM
To: DuCroz, Diana - PD
Subject: Comments January HAHC Meeting

Below are my comments and question regarding agenda items for Houston Heights East Historic District at the upcoming January HAHC meeting.

1832 Columbia - Question, the proposed North side elevation shows what looks to be a skylight in the existing roof. Is this a flaw in the elevation or an actual proposed new feature?

1548 Cortlandt - Object.

This largely out of scale proposed addition on a highly visible corner lot is not compatible with the historic character of the district. The proposed new relocation on the lot is not in keeping with the existing historic setbacks along that street which are currently intact. The proposed addition is out of scale and proportion to the district. Ironically, the applicant shows in the Line of Sight image the visual impact of the addition from Cortlandt Street, but that same image also accurately shows the overwhelming and inappropriate visual impact from 16th street. This proposed addition also encroaches on a significant portion of the original historic home therefore forever destroying historic character and materials.

1115 Adlington - Object

Additions should be subordinate to the original structure and should strive to have as little impact on the original as possible. This proposed addition significantly changes the original scale of the home, effectively creating a new "type" that never existed in this district. This type of inappropriate "box behind a box" approach to additions, which has unfortunately become the norm, is destroying the historic character of the district. The original structure should be the focus not the addition.

Fenestration is an important architectural characteristic and the proposed alterations to existing window openings not only remove original material but seeks to create an appearance that never existed when the home was built.

Thank you

Joy Tober

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Houston Heights East

NOVEMBER 20, 2014

Houston Heights East Historic District Development Review Committee (ad-hoc)

Monthly Review Report

The DRC report for Certificate of Appropriateness Applications is as follows:

Month: Nov-14

Date of Report: 17-Nov-14

HAHC Action	Site Address	APPLICANT	COMPANY	PROPOSED ACTIVITY	DRC Response	DRC Vote
B22	1301 Arlington	Aaron Mendias	Cusimano Arch	Copnstruct rear second story addition - Replace 8 non-orig single lite windows	Support No Object Object	4 2
B23	1548 Cortlandt	Sam Gianukos	Creole Design LLC	Relocate existing house Change roof, raise foundation add 2 story and garage	Support No Object Object	2 4
B24	1431 Columbia (G)	Brett Zamore	Brett Zamore Design	New 1 1/2 story garage at rear of lot	Support No Object Object	5
B25	1214 Harvard	Brie Kellman (abstained from vote)		New 2-story addition to side of existing house 2 story addition to rear replace windows	Support No Object Object	2 1 2
B26	1535 Arlington (G)	Jos & C Wright		New 2 story garage at rear of lot	Support No Object Object	5 1
B27	1535 Arlington (A)	Jos & C Wright		Raise exist foundation add 2 story to rear of exist house	Support No Object Object	4 2
B28	1232 Arlington (A)	Kevin Walton	Rob Sanders Homes	Remove exist sec story add const new 2 story rear add add porch rail - remove exist chim/fire place	Support No Object Object	5 1
B29	1232 Arlington (G)	Kevin Walton	Rob Sanders Homes	Const new 1 story detached garage	Support No Object Object	5 1
B30	1226 Heights Blvd	Ali Afshari	Persepolis Homes	Const new front door stoop	Support No Object Object	2 2
B41	1815 Cortlandt	Alex Ridgeway	Brick Moon Design	Rev CofA for different window locations and sizes	Support No Object Object	2 2 2

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Houston Heights East

From: Mark R. Williamson
Sent: Thursday, November 13, 2014 4:55 PM
To: Kent Marsh
Subject: Re: November HAHC Meeting

Kent,

That's a lot to wade through.

Several of these bring up problems that I have with the existing ordinance even if I cannot base an objection within that ordinance.

1232 Arlington St, Alteration-Addition -- no objection
1232 Arlington St, New Construction-Garage -- no objection
1301 Arlington St, Alteration-Addition -- no objection
1535 Arlington St, Alteration-Addition -- no objection
1535 Arlington St, New Construction-Garage -- support design, except confused about vehicle access paths
1431 Columbia St, New Construction-Garage -- support (adjacent neighbor)
1548 Cortlandt St, Alteration-Relocation/Addition -- object (hugely out of scale on 16th Street side)
1815 Cortlandt St, New Construction-Residence, *Revision* -- no objection
1214 Harvard St, Alteration-Addition -- no comment
1226 Heights Blvd, New Construction-Residence, *Revision* -- no information posted (pulled??); no opinion

Houston Archaeological & Historical Commission**ITEM B.27**

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1548 Cortlandt Street

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Houston Heights East

From: Zucker, Jim [REDACTED]
Sent: Monday, November 17, 2014 10:23 AM
To: Kent Marsh; [REDACTED] Mark R. Williamson; Jonathan Smulian; Bart Truxillo; [REDACTED] Brie Kelman
Subject: RE: Historic District - posting of Certificate of Appropriateness Applications

Here are my votes and comments on the applications:

1232 Arlington—Support

The Smiths have been trying to get through this process for more than a year now. They had staff approval for all but a dormer, including the removal of the pop-up, which was added after the period of significance. Then Anna Mod decided that the pop-up itself was significant because it reflected a WWII or post-war attempt at expanding a bungalow (imagine that—additions can themselves become historically significant even when they alter the original structure!!! So much for the argument that additions should start 100% back so there is a clear distinction between the original structure and the addition so some future generation could remove the addition, at which time they will be told it is historically significant in its own right and cannot be removed). As with all of their previous proposals, this one satisfies the ordinance and should be approved post haste.

1301 Arlington—Support**1535 Arlington—Support.**

I think this would look much better if there were windows on the street-facing side of the second-story addition. It looks closed and disconnected without those windows.

1548 Cortlandt—Support.

This small size of the existing house means any addition will affect the existing structure. As I read the staff report, it would essentially not permit any addition, which I think is not in keeping with the ordinance. I think the planned house will fit with the neighborhood and is a good use of space.

1815 Cortlandt—Support.

I still do not think the design of this house is in keeping with the character of the neighborhood, but the ordinance certainly allows you to do what you want with the windows.

1214 Harvard—Support.

This is the house directly across from my house at 1213 Harvard Street. I fully support this addition. My wife and I looked at this house when it was on the market and the second story presented incredible challenges. It had four rooms, but only two with closets. The side bump out is necessary to allow enough room for closets and is minimal. The second-story connector to the existing garage apartment makes a lot of sense as a way to add space without anyone being able to see it from the street. The overall space added is minimal, but necessary, and it satisfies the ordinance. This addition will fit with the street and should be approved. It should be noted that none of the exterior materials are original. The siding and windows were replaced in the 1990s.

1226 Heights—No objection.

This was a terrible design from the beginning, but Staff recommended approval. Blocking the full porch only makes a bad design worse. We are cutting off our noses to spite our faces.

Houston Archaeological & Historical Commission

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Houston Heights East

From: Brie Kelman
Sent: Sunday, November 16, 2014 7:32 PM
To: Kent Marsh
Subject: Re: FW: Historic District - posting of Certificate of Appropriateness Applications

22. 1301 Arlington St, Alteration-Addition

- Support

23. 1548 Cortlandt St, Alteration-Relocation/Addition

- Support

24. 1431 Columbia St, New Construction-Garage

- Support

25. 1214 Harvard St, Alteration-Addition/Windows

- Abstain as I am helping this neighbor.

26. 1535 Arlington St, New Construction-Garage

- Support

27. 1535 Arlington St, Alteration-Addition

- Support

28. 1232 Arlington St, Alteration-Addition

- Support

29. 1232 Arlington St, New Construction-Garage

- Support

Houston Archaeological & Historical Commission

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1548 Cortlandt Street

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Houston Heights East

From: Jonathan Smulian [REDACTED]
Sent: Saturday, November 15, 2014 10:39 AM
To: Kent Marsh; [REDACTED]; 'Mark R. Williamson'; 'Bart Truxillo';
 [REDACTED]; 'Brie Kelman'; 'Zucker, Jim'
Subject: RE: Historic District - posting of Certificate of Appropriateness Applications

General Comment :

I am deeply concerned about the current pattern of excessive site coverage resulting from the large rear additions so typical in recent applications for COAs in the Heights. This leads to diminished open and garden space, less permeable land causing increased run-off to the bayous and potential street flooding as well as the demolition of the mature tree cover so important to quality of life and character in the Heights. This trend of overdevelopment is already having and will eventually have a major negative impact on the special historic character of the neighborhood..

1232 Arlington –support -This proposal represents a great improvement over the existing two additions that were ill conceived and poorly constructed ,

1232 Arlington -new garage -. support

1535 Arlington –garage -no objection

1535 Arlington –addition –no objection

1431 Columbia -support

1548 Cortlandt –object- Over development of a 5000-square foot site .-see general comment above

1815 Cortlandt –no objection

1214 Harvard –object .- window openings and new fenestration proposed is atypical and incompatible with proportions and type of existing fenestration . Historic character of original house would be better preserved if new link between it and the existing garage block could be clearly demarcated by being set back and not seen from the right of way as a continuation of the north facade of the existing house . . .

1226 Heights Blvd,- no objection

1301 Arlington-no objection

From: Charlie [REDACTED]
Sent: Monday, November 17, 2014 8:22 AM
To: Kent Marsh
Subject: Re: FW: Historic District - posting of Certificate of Appropriateness Applications

Kent,

I want to change a vote on my list after looking at it again.

1548 Cortlandt - NOT Approve

Charlie

Houston Archaeological & Historical Commission

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1548 Cortlandt Street

HPO File No. 150303

Houston Heights East

November 2014 HAHC Meeting

Comments Regarding Certificate of Appropriateness Applications Submitted for the Houston Heights East Historic District

Agenda Item #22 - 1301 Arlington – I **support** this application. This property is not deed restricted. The proposed addition replaces the same footprint as the existing addition and while the proposed addition is now two stories rather than the original addition of one story, the location of the addition is at the rear of the structure. The proposed addition is no greater in height than the original structure as seen from the front of the property (Arlington).

Agenda Item #23 - 1548 Cortlandt – I **object** to the granting of this CofA. The existing contributing house should not be moved. Moving an existing historical house, even within the same original lot, changes the historical context of the site relationship. While it seems that many of the porches on the houses on the east side of the 1500 block of Cortlandt have been enclosed, the original front wall structure of almost all of the existing structures on the existing block face are located generally in line with the current location of the existing house at 1548 Cortlandt. Visual evidence indicates the rear extension of the existing structure to be a part of the original house and not a later addition. The north side siding and roof eave structure seem to be original. Removal of this rear extension should not be allowed as it is a part of the original historic structure. The proposed addition enlarges the scale of the structure to the point that it would no longer be compatible with the existing scale of the general area. Other recent new construction to the north of the subject tract included a one-story street side addition to gradually reduce the scale of the new two-story construction. This type of scale reduction should be considered for any addition on the subject property. The original 132 feet deep lot was reduced to 100 feet by the sale of the eastern portion of the original lot many years ago. The current owner purchased the reduced lot depth with full knowledge of its smaller-than-typical size. The building mass-to-site relationship will naturally be impacted as a result of the reduced lot depth. The amount of allowable new mass should keep this same context. Otherwise, the scale of the proposed addition will be too great for the location which is even more important for this corner lot condition. Additionally, the proposed replacement of existing eave returns would remove existing historical material and is not necessary.

Agenda Item # 24 - 1431 Columbia (Garage) – I **support** this application. This property is deed restricted. The proposed garage is to be located at the rear of the property in conformance with the deed restrictions and seems to be in a location that may have had a garage structure at one time in the past. The existing sheet metal shed does not seem to be contributing to the historic character of the district and can be demolished without a negative impact.

J. Kent Marsh, AICP CUD

1538 Arlington, Houston Heights East Historic District

Houston Archaeological & Historical Commission

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March 26, 2015

1548 Cortlandt Street

HPO File No. 150303

Houston Heights East

ATTACHMENT B

STAFF EMAIL COORISPONDENCE 3/19/15

From: Sam Gianukos
Sent: Friday, March 20, 2015 7:23 AM
To: Glennon, Erin - PD
Cc: Ager
Subject: Re: 1548 Cortlandt Plans

Good Morning Erin

We would like to proceed with the drawing as submitted.

Thanks for your email

Sam

On Mar 19, 2015, at 6:58 PM, Glennon, Erin - PD note:

Sam,

I wanted to follow up with you after our meeting on Tuesday. You brought up at the meeting that you were proposing to install at 1'-6" pony wall in order to build out the attic. The drawings that were submitted with the application and the project description do not address the installation of the pony wall.

We discussed the plans yesterday at our staff meeting and because the drawing do not reflect the scope of work we discussed at the meeting on Tuesday, you can either move forward with plans as they are currently, staff recommendation would be to defer the application because the drawings are incorrect or you can withdraw the application to make the corrections and address some of the design concerns we discussed and resubmitted for the April meeting.

Please let me know how you would like to proceed.

Regards,
Erin

Erin M. Glennon, Preservation Planner

City of Houston Planning & Development Department, Community Sustainability Division

Houston Archaeological & Historical Commission

ITEM B.35

April 23, 2015

HPO File No. 150303

1548 Cortlandt Street

Houston Heights East

CERTIFICATE OF APPROPRIATENESS**Application Date:** April 8, 2015**Applicant:** Sam Gianukos, Creole Design, LLC, for Matthew Ager, owner**Property:** 1548 Cortlandt Street, Tract 24A, Block 138, Houston Heights Subdivision. The property includes a historic 988 square foot, one-story wood frame single-family residence and a detached garage situated on a 5,000 square foot (50' x 100") corner lot.**Significance:** Contributing English Cottage residence, constructed circa 1940, located in the Houston Heights Historic District East.**Proposal:** Relocation/Alteration – Deferral

In November 2014 and January 2015, the applicant was denied a Certificate for relocating the residence 6' forward on the lot; raising the foundation 5"; removing the side gable roof, installing a 2' pony wall and constructing a new side gable roof with a 10/12 pitch; and constructing a rear 2-story, 2,130 square foot addition.

In March 2015, the application for a COA with the following changes was deferred:

- Existing original 8/12 side gable roof will be retained.
- Foundation will be raised 8" instead of 5".
- Proposed attached garage will feature a hip on gable roof.

The applicant has changed the application and withdrawn the proposal for an addition to the house. The applicant now proposes only to relocate the house 6' closer to Cortlandt Street and raise the foundation by 8", from a 2' finished floor height to a 2'-8" finished floor height, with no addition.

See enclosed application materials and detailed project description on p. 8-20 for further details.

Public Comment: One opposed. See Attachment A.**Civic Association:** No comment received.**Recommendation:** Denial - does not satisfy Section 33-241(a): Criteria 1, 4, 9 and 10 for Alterations or Section 22-243(a): Criteria 1(a-d), 3 and 4 for Relocation.**HAHC Action:** Denied

Houston Archaeological & Historical Commission

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April 23, 2015

1548 Cortlandt Street

HPO File No. 150303

Houston Heights East

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

- | S | D | NA | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| | | | S - satisfies D - does not satisfy NA - not applicable |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <p>(1) The proposed activity must retain and preserve the historical character of the property;
 <i>The existing setbacks of the house are in line with the neighboring properties and an important part of the historic character of the property.</i>
 <i>The relocation of the structure on site and increased foundation height alter the original architectural features and proportions of the house and have a detrimental impact on the historic character of the house and the property. The current, original site placement of the house is part of this house's original historic character, which will be diminished by moving the house to a non-historic setback. Altering the historic site placement pattern of contributing structures diminishes the historic character and integrity of the overall historic district as well.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <p>(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
 <i>The relocation of the residence to a 23'-1" front setback and the increased foundation height to 2'-8" do not preserve the distinguishing qualities of the 1940 English Cottage and greatly alter the historic character of the house, the site, and the blockface. Altering the historic site placement pattern of contributing structures diminishes the historic character and integrity of the overall historic district.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | (7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <p>(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located;
 <i>Relocating the house forward on the lot and raising the foundation 8" impacts the character of the property. Reducing the front setback by 6' to 23'-1" is inconsistent with the setbacks of contributing</i></p> |

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structures on the blockface. The front wall of the residence is constructed in line with the front walls of the contributing residence on the block. Moving the house on site to an atypical front setback places this house closer to the street than the other houses on the blockface and compromises the historic character of this house, the lot on which it sits, and the blockface overall.

☐ ☒ ☐

- (10) The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s);

The residence features a front setback of 29'-1", consistent with the prevailing front setback on the 1500 block of Cortlandt. The front wall of the residence is constructed in line with the front walls of the contributing residence on both the 1500 and 1600 blocks of Cortlandt Street. The applicant proposes to move the house forward by 6' for a new front setback of only 23'-1", which is not compatible with the existing original character of the blockface. Changing the front setback to 23'-1" will place this house closer to the street than the other houses on the blockface, which will diminish its historic character and value as a harmonious part of the larger whole. Furthermore, no justification has been provided by the applicant for relocating the house. The front porch of the neighboring residence at 1546 Cortlandt Street was enclosed at some point and a new front porch was appended in front. This inappropriate alteration may be corrected in the future. This alteration occurred prior to the establishment of the Houston Heights Historic District South and is not justification for approval of an inappropriate alteration on another property. Approving a COA to relocate 1548 Cortlandt closer to the street would contribute to the further degradation of a consistent historic streetscape.

The applicant has provided materials suggesting that the house is currently set back further than its neighbors, but these materials do not take into account the distinction between an open front porch and a solid front wall. The distinction between the setback to front porch and the setback to the front wall is important because of the transparency provided by an open porch. This transparency allows a consistent sight line to be maintained across front walls, regardless of the position or existence of a front porch.

☐ ☐ ☒

- (11) The proposed activity will comply with any applicable deed restrictions.

RELOCATION OF A LANDMARK, PROTECTED LANDMARK OR CONTRIBUTING STRUCTURE

Sec. 33-243(a): HAHC shall issue a certificate of appropriateness for the relocation of any landmark, protected landmark, contributing structure upon finding that the application satisfies **one or more** the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- (1) The landmark, contributing structure or potentially contributing structure:

☐ ☒ ☐

- (a) Has architectural or historical value independent of its physical location that will not be diminished with relocation;

This contributing structure is one piece of a larger whole that makes up the Houston Heights Historic District East. The current, original site placement of the house is part of this house's original historic character, which will be diminished by moving the house to a non-historic setback. Furthermore, the residence's existing front setback of 29'-1" is consistent with the prevailing front setback on the 1500 block of Cortlandt. Changing the front setback to 23'-1" will place this house closer to the street than the other houses on the blockface, which will diminish its historic character and value as a harmonious part of the larger whole.

☒ ☐ ☐

- (b) Can be moved without significant damage to its physical integrity;

☐ ☒ ☐

- (c) Will be relocated to an area that is compatible with the historical and architectural character of the landmark, contributing structure or potentially contributing structure; and

This contributing structure is one piece of a larger whole that makes up the Houston Heights

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Historic District South. The house's current original site placement is part of its original historic character. The house features an original front setback of 29'-1", which is in line with the contributing structures on this blockface. The front wall of the residence is constructed in line with the front walls of the contributing residence on the block. Moving the house on site to an atypical front setback will compromise the historic character of this house, the lot on which it sits, and the blockface overall.

☐ ☒ ☐

(d) If located in an historic district, can be relocated without significantly diminishing the integrity of the historic district in which it is located.

Altering the historic site placement pattern of contributing structures diminishes the historic character and integrity of the overall historic district. Although moving only one contributing house might not 'significantly' diminish the integrity of the district, allowing contributing structures to be moved on site without good cause will significantly compromise the historic integrity and value of the district as more applicants request relocation of contributing structures on site in order to accommodate oversized additions.

☐ ☐ ☒

(2) The relocation is necessary to protect the landmark, contributing structure or potentially contributing structure from demolition resulting from a public improvement project;

☐ ☒ ☐

(3) The applicant has established an unreasonable economic hardship pursuant to the criteria of section 33-247(c):

The applicant has provided no materials to support the existence of an economic hardship.

☐ ☒ ☐

(4) The applicant has established unusual or compelling circumstances pursuant to the criteria of section 33-247(d):

The applicant has provided no materials to support the existence of an unusual or compelling circumstance. Approving a COA to relocate 1548 Cortlandt closer to the street would contribute to the further degradation of a consistent historic streetscape.

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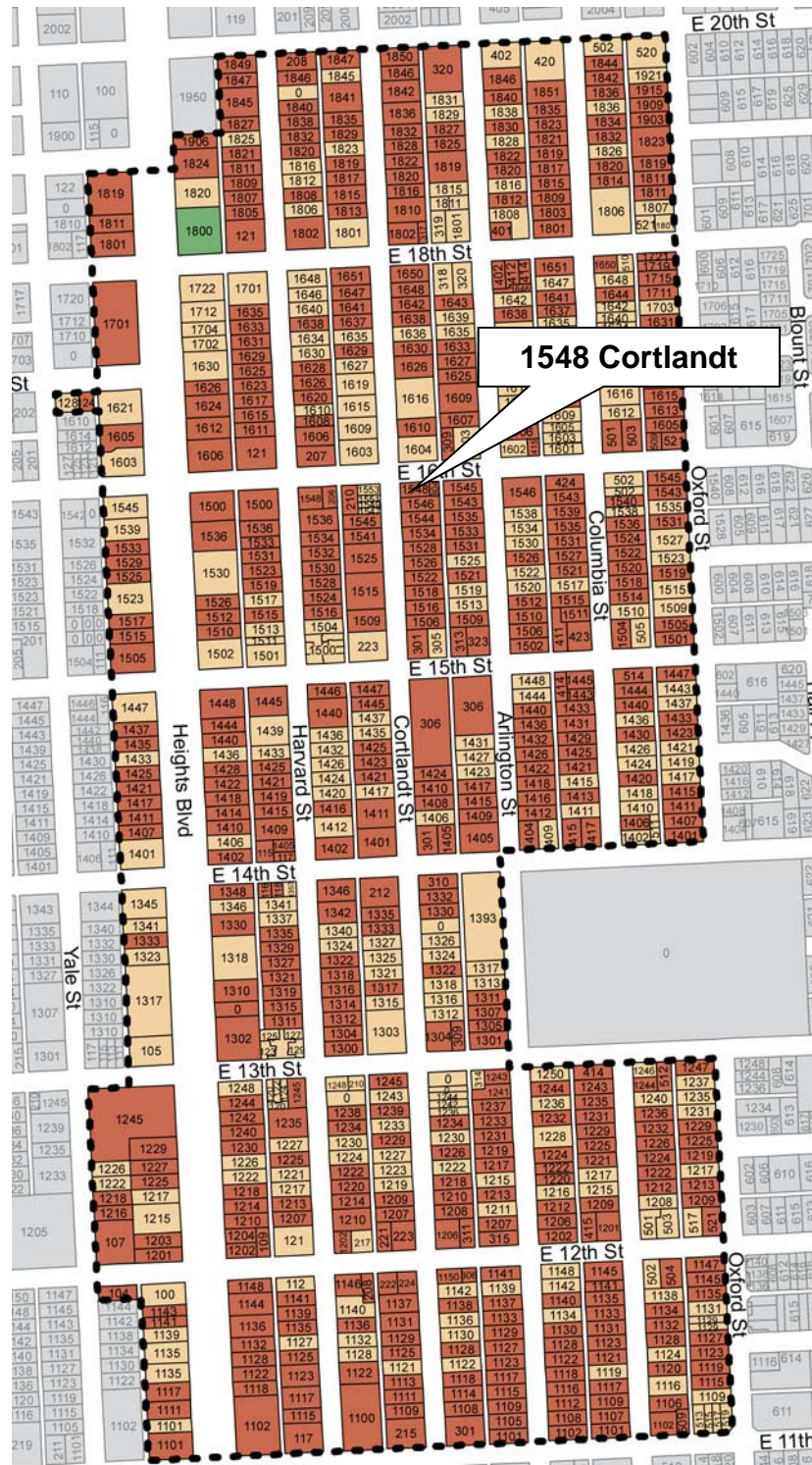
HPO File No. 150303

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PROPERTY LOCATION HOUSTON HEIGHTS HISTORIC DISTRICT EAST

Building Classification
 ■ Contributing
 ■ Non-Contributing
 ■ Park



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INVENTORY PHOTO



CURRENT PHOTO



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NEIGHBORING PROPERTIES



304 E 16th – Contributing – 1940 (neighbor)



1546 Cortlandt – Contributing – 1920 (neighbor)



1544 Cortlandt– Contributing – 1920 (block face)



1549-1551 Cortlandt– Noncontributing – 1983 (across street)



1553 Cortlandt– Noncontributing – 1984 (across street)

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WEST ELEVATION – FRONT FACING CORTLANDT STREET

EXISTING



DEFERRED – 3/26/15



PROPOSED

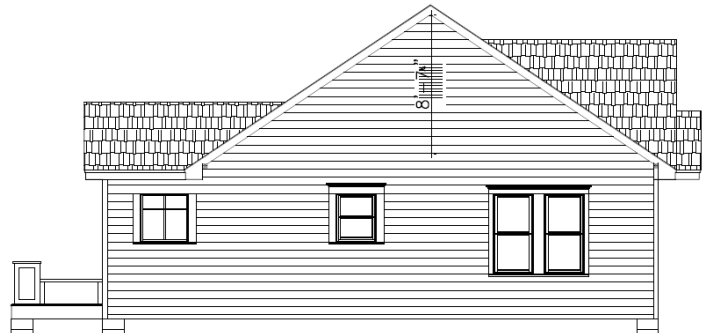


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EXISTING



DEFERRED – 3/26/15 **WITHDRAWN BY APPLICANT 4/8/15**



PROPOSED



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SOUTH SIDE ELEVATION

EXISTING



DEFERRED – 3/26/15 **WITHDRAWN BY APPLICANT 4/8/15**



PROPOSED



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1548 Cortlandt Street

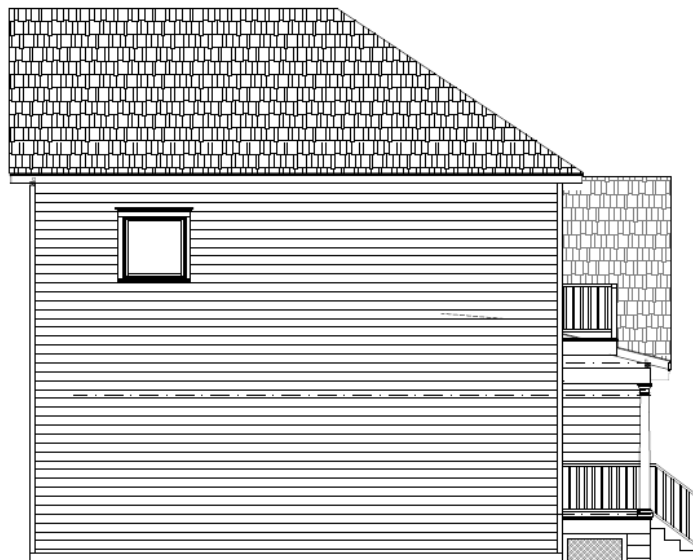
Houston Heights East

EAST (REAR) ELEVATION

EXISTING



DEFERRED – 3/26/15 **WITHDRAWN BY APPLICANT 4/8/15**



PROPOSED



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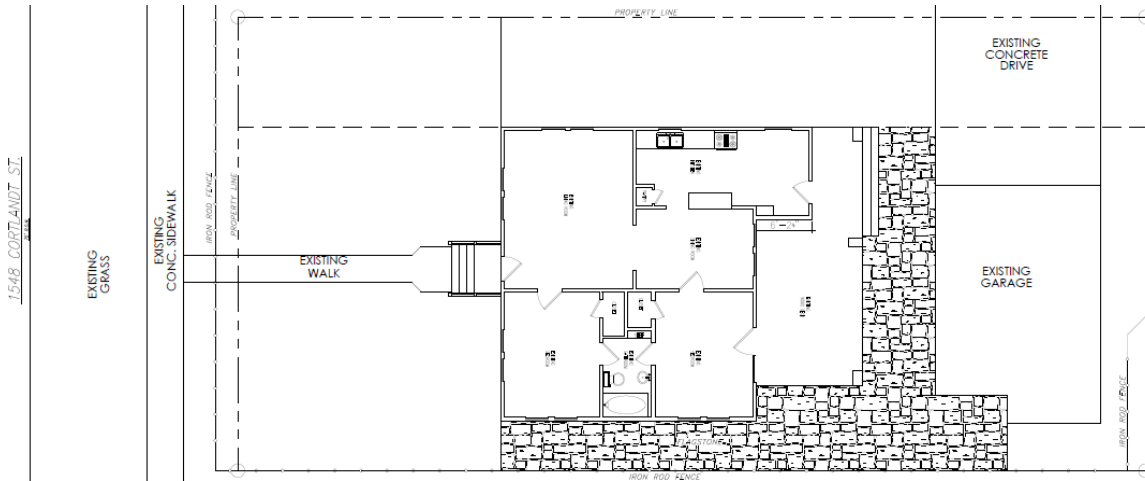
HPO File No. 150303

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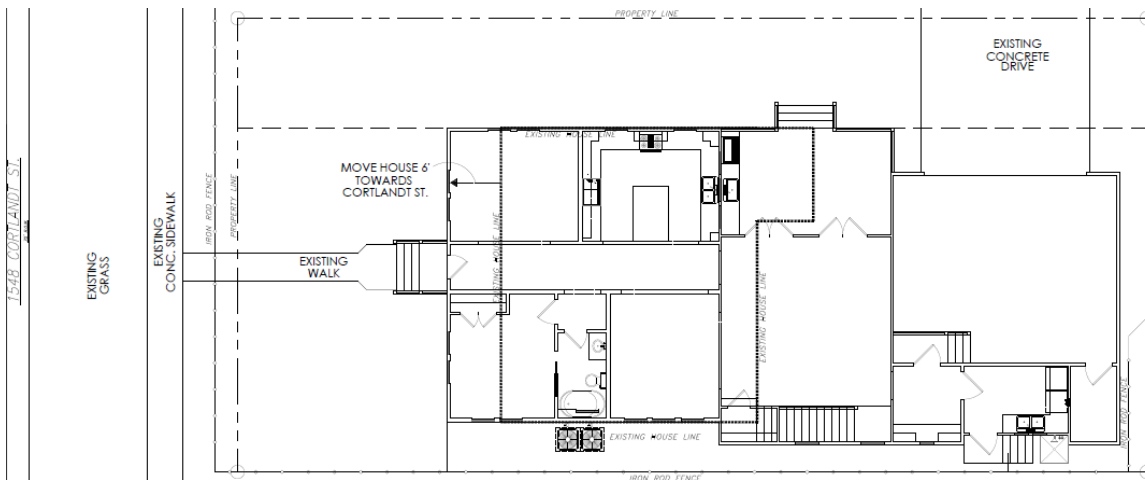


SITE PLAN

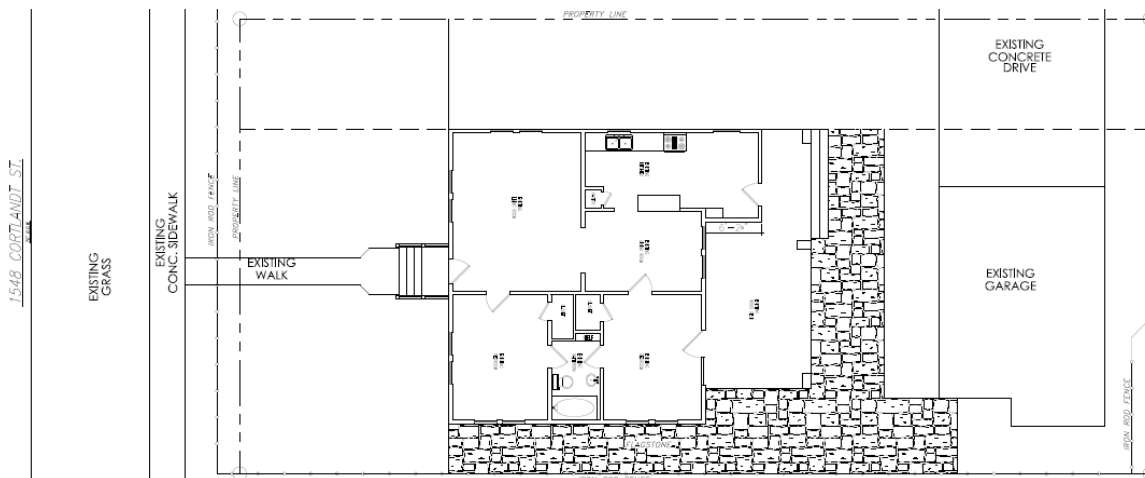
EXISTING



DEFERRED – 3/26/15 **WITHDRAWN BY APPLICANT 4/8/15**



PROPOSED



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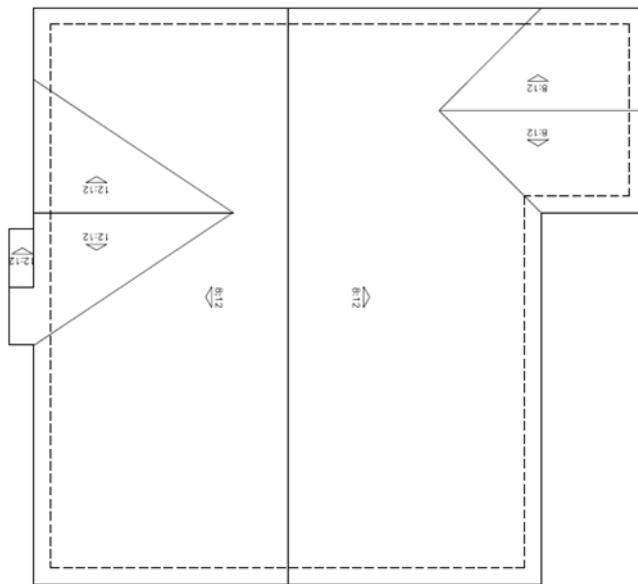
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Houston Heights East

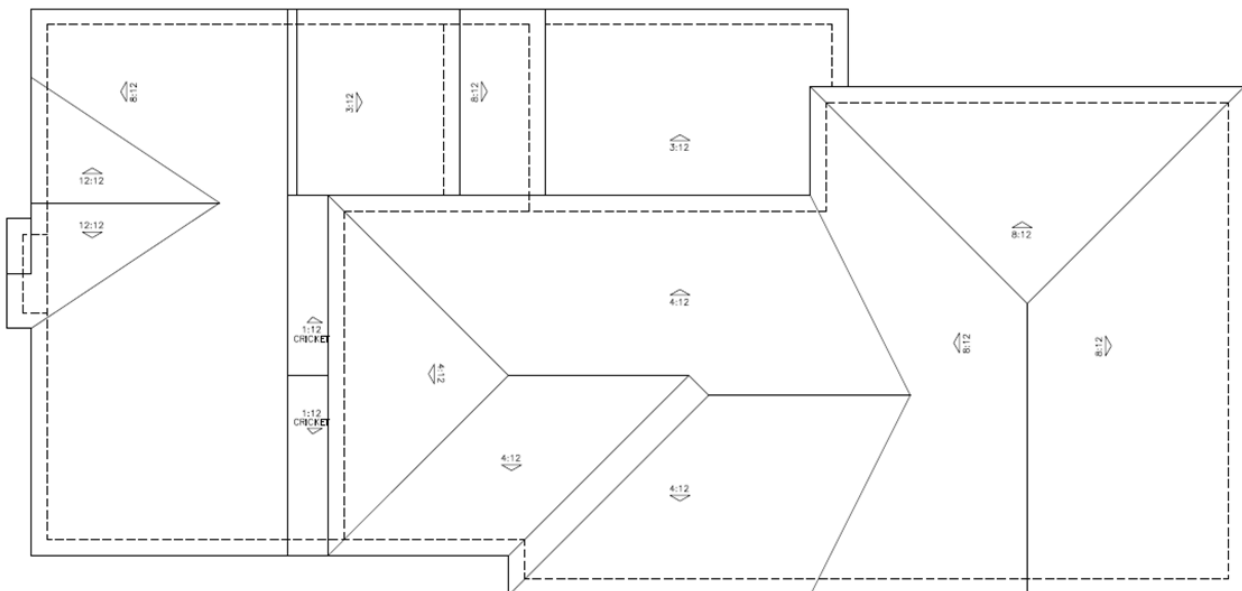


ROOF PLAN

EXISTING (NO PROPOSED CHANGE)



DEFERRED – 3/26/15 **WITHDRAWN BY APPLICANT 4/8/15**



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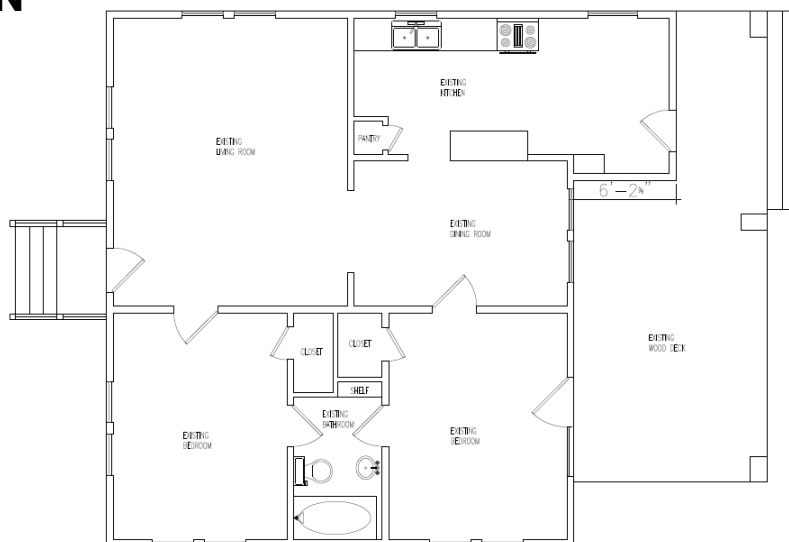
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Houston Heights East

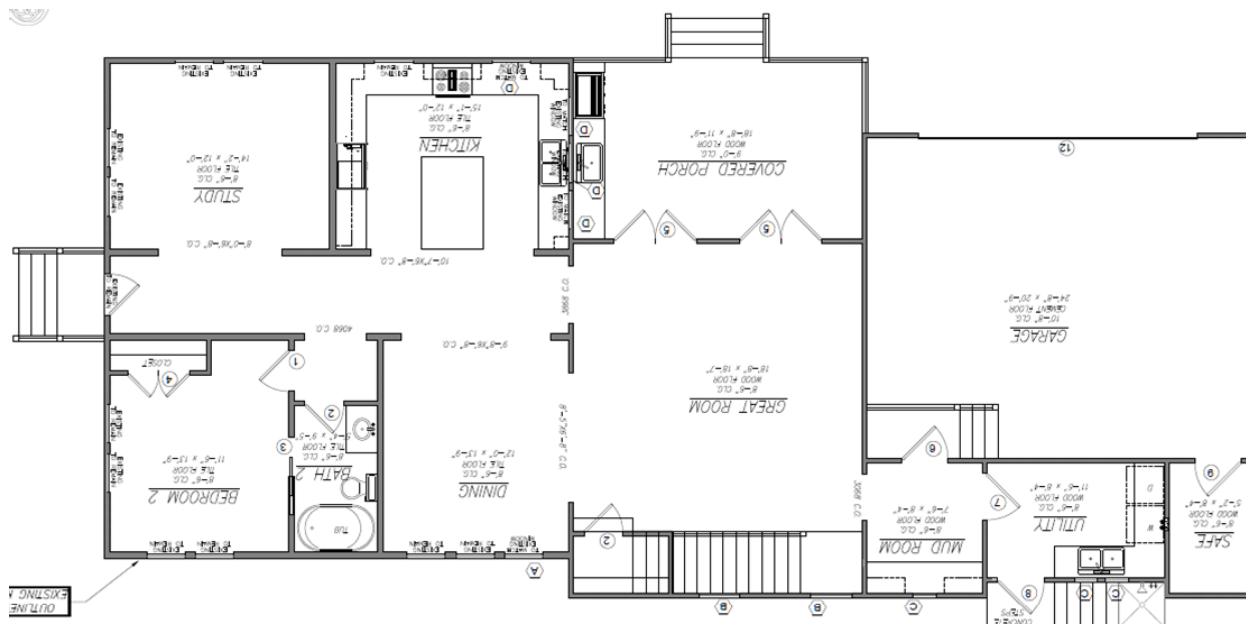


FIRST FLOOR PLAN

EXISTING (NO PROPOSED CHANGE)



DEFERRED – 3/26/15 WITHDRAWN BY APPLICANT 4/8/15



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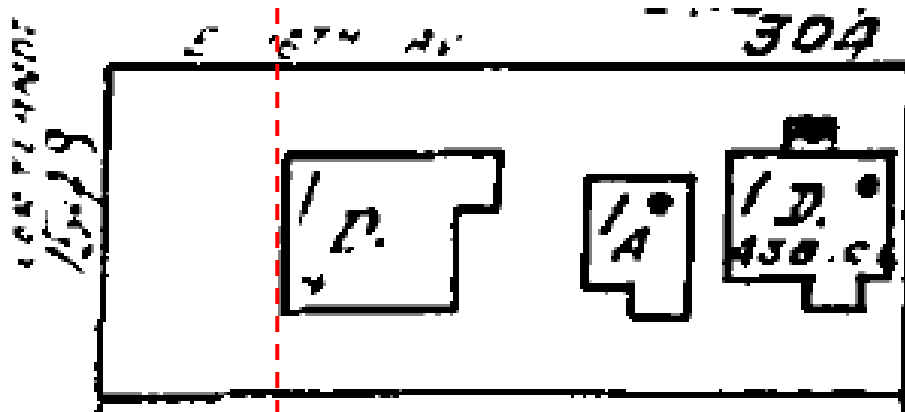
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Houston Heights East

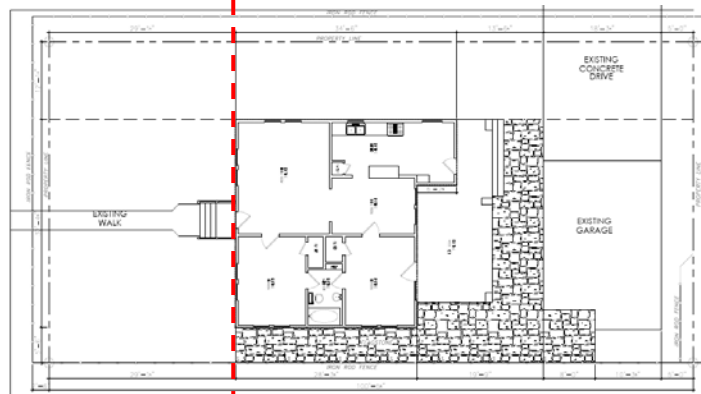
SANBORN FIRE INSURANCE MAP

The rear 32' feet of the original lot is now a separate property.

1924-1951



CURRENT SITE PLAN



PROPOSED SITE PLAN



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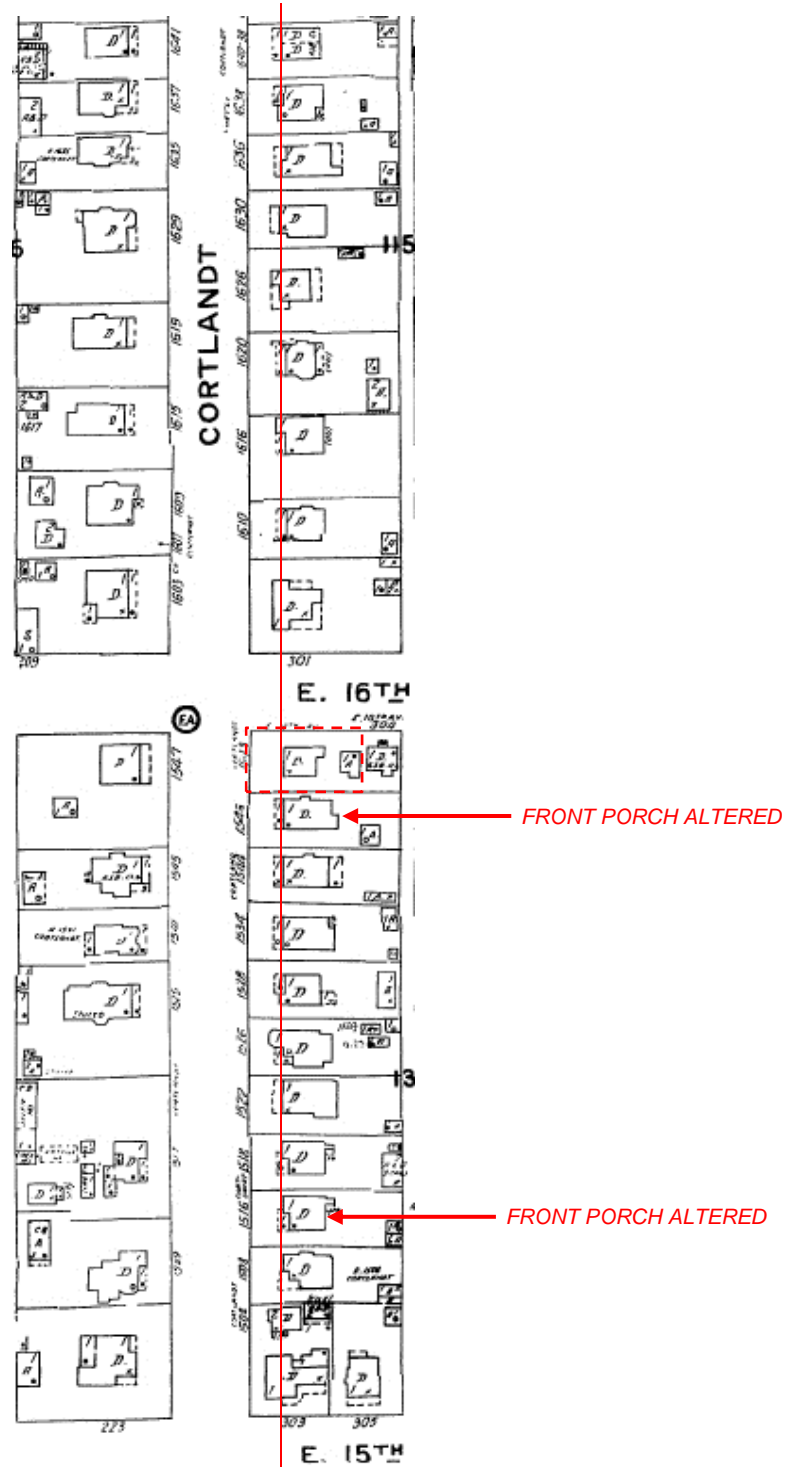
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1924-1951 SANBORN FIRE INSURANCE MAP

1500 & 1600 CORTLANDT STREET BLOCKFACE SETBACKS



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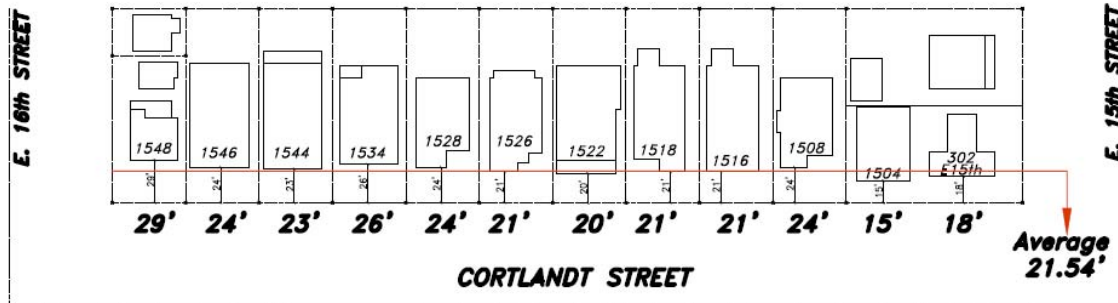
HPO File No. 150303

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SETBACK CONTEXT

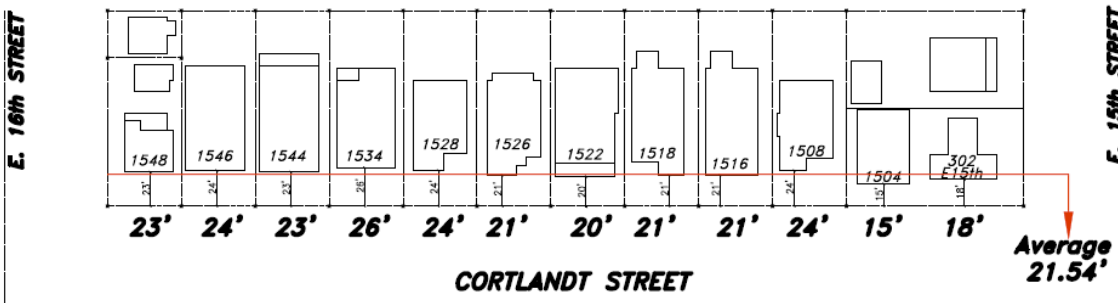
PROVIDED BY APPLICANT; DOES NOT DISTINGUISH PORCHES

EXISTING CONDITIONS



CORTLANDT STREETScape

PROPOSED



CORTLANDT STREETScape

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STRUCTURAL LETTER
PROVIDED BY APPLICANT

Matthew and Hallie Ager
1548 Cortlandt Street
Houston, TX 77008

March 18, 2015

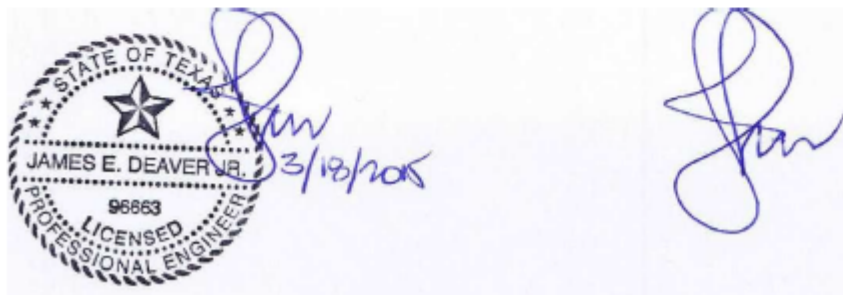
Re: Movement of home on crawlspace – 1548 Cortlandt St. – Houston, TX

Mr. and Mrs. Ager,

The intent of this letter is to provide information with regard to the potential movement of the home located at the address listed above. At the request of Sam Gianukos with Creole Design, JDSI performed an inspection of this home. It is the understanding of JDSI this home is to be relocated on the same lot, approximately 10 feet from its current location. JDSI notes this home is supported by a crawl space foundation (commonly referred to as pier and beam). Therefore, there is a space between the floor joists and the ground below. This space is sufficient to disconnect utilities and separate the stringers and floor framing from the pier foundation. Once separated, the home can be lifted, new piers installed, and the home reset into place on the new piers.

It is noted the stringers and framing in connection with the new piers must meet current code requirements (International Residential Code with Amendments by the City of Houston). It is the professional opinion of JDSI the home can be moved and the structural integrity of the home maintained. Should you have any questions or comments, please contact me. Also, feel free to give this letter to the Building Official as required.

Regards,



James Deaver, PE
F-11512

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NATIONAL STANDARDS

SECRETARY OF THE INTERIOR

Setting	Identify, retain, and preserve	▲
recommended		
<p>Identifying, retaining, and preserving building and landscape features which are important in defining the historic character of the setting.</p> <p>Such features can include roads and streets, furnishing such as lights or benches, vegetation, gardens and yards, adjacent open space such as fields, parks, commons or woodlands, and important views or visual relationships.</p> <p>Retaining the historic relationship between buildings and landscape features of the setting. For example, preserving the relationship between a town common and its adjacent historic houses, municipal buildings, historic roads, and landscape features.</p>		
 <p>Farm in rural landscape.</p>		
not recommended		
 <p>Inappropriate parking that changes the character of an entire neighborhood.</p>		
<p>Removing or radically changing those features of the setting which are important in defining the historic character.</p> <p>Destroying the relationship between the buildings and landscape features within the setting by widening existing streets, changing landscape materials or constructing inappropriately located new street or parking.</p> <p>Removing or relocating historic buildings or landscape features, thus destroying their historic relationship within the setting.</p>		

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PROJECT DETAILS

Setbacks: The residence is set back 29'-1" from the west (front) property line, 12'-1" from the north property line, 5'-6" from the south property line and 36'-9" from the east (rear) property line. The residence will be relocated forward 6', to the west, on the lot to a front setback of 23'-1".

Foundation: The residence is built on a pier and beam foundation with a 2' foundation height. The foundation will be raised 8" from 2' to 2'-8".

Front Elevation: No alterations will be made to existing windows and doors. The existing concrete steps and
(West) landing will be removed and replaced with wood steps and landing with wood railings.

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ATTACHMENT A
PUBLIC COMMENT

Ms. DuCroz, it is my understanding that a revised submission has been made for 1548 Cortlandt that now only proposes to move the existing contributing structure forward on the lot and that no additional modifications are proposed to the structure. I object to the movement of this contributing structure as the forward movement will not comply with the prevailing front setback line existing along the west blockface of the 1500 block of Cortlandt. As no other improvements or modifications are proposed, the need for the relocation is not justified in any manner. However, it would not be unreasonable to assume that if this relocation were approved, there could be a further applications to add new construction to the rear of the re-located contributing (now not contributing due to the relocation) structure.

J. Kent Marsh, 1538 Arlington

J. Kent Marsh, AICP CUD
Vice President



8955 Katy Freeway, Suite 215
Houston, Texas 77024
tel 713.647.9880, ext. 301 | fax 713.647.6448
cell 832.444.4132
www.marshdarcypartners.com

Transcription of Item B.27 - 1548 Cortlandt Street
HAHC March 26, 2015

(unofficial transcript, prepared by Planning staff from audio of the meeting for informational purposes)

Staff: The applicant was denied a COA in both November 2014 and January 2015 HAHC meetings to move the Contributing 1-story residence 6 feet forward on the corner lot, raise the foundation 5", remove the 8-over-12 side gable roof, install a 2' pony wall, and construct a 10-over-12 side gable roof, and construct a rear 2-story 2,138 square foot addition with an attached garage. The applicant is submitting the third application for the same scope of work, with one change. The applicant no longer proposes to remove and reconstruct the existing roof.

Last week, the designer informed staff that he has submitted incorrect drawings and that the project still includes the removal and raising of the roof of the house by installing a 1½' pony wall. The pony wall was not included in the submitted drawings or the project description. Staff informed the applicant that new drawings and project description cannot be accepted two weeks after the application deadline, and recommended that the applicant withdraw their current application and resubmit for next month. The applicant asked to remain on the agenda with incorrect application as submitted. Staff's review of the application is of as submitted on March 4th.

Staff is willing to recommend deferral at this time in order to allow the applicant time to submit the correct application for next month's review and to continue to work with staff. If the HAHC wishes, staff can present its recommendation of the existing application.

Chairman Maverick Welsh: We do have two people signed up to speak on this item. Mr. Matthew Ager.

Sam Gianukos: (inaudible)

Chairman Maverick Welsh: Sam would you like to... Okay Mr. Sam Gianukos.

Sam Gianukos: Sam Gianukos of Creole Design. Is this working? (points to the overhead projector)

Chairman Maverick Welsh: Would you like us to turn that on?

Sam Gianukos: Can we? This piece of property is 100 foot deep lot on a block that is 132 foot deep across the blockface. At some point in the 60s or 50s they sold off the back portion, 32 feet of this property and there's another house located there. So, our house is currently set back 29' from the front property line. So we're almost 1/3 back on a 100 feet lot. What we're proposing is to pull it forward 6 feet in order to give us space behind, because we are handicapped by not having that last 32 feet to do our addition. Basically, earlier, it went on the consent agenda, but most of the time when you guys have shown a setback you've show it to the front of the porch. But for some reason, on this particular property, they're showing it to the front face of the house. And even though some of the houses project out, like a little Queen Anne house has that projection out and the porch is recessed back, they're still going back to the back of the porch. If you line up ... This particular house that I'm showing you is on the

1600 block, which y'all approved about a year and a half ago. We moved it forward 5 feet to the 20 foot mark. We're trying to go to 23 feet with this house.

I'll show you an example (refers to visual aids on the projector): This is the one earlier that was submitted where y'all are using the front porch as the guideline for the front setback. But for some reason, on this particular block, y'all are saying the front of the houses along that blockface are where we need to be. If you actually go to the front of the porches and you look at this, our little house is right here on the end, you can see that we have about 6 feet that we can pull it forward to align with the other houses. This particular house does not have a front porch. It just has a stoop. So, it's not like we'll have a porch that encroached 6 or 8 feet out into a setback. It's just a really tight lot. We're set back 29 feet on a 100 foot deep lot. And we're just asking to bring it forward 6 feet in order to do what we want to do.

As far as the drawings that were submitted, the drawings were submitted without a pony wall, because that had become a factor in the last submittals. We said we were going to restore the roof and keep it all. We got away from that and said we're going to leave the roof as it is, we're going to build out in the attic space above that roof. But the real key is moving this house forward. The house next door, as you can see, it's set back... You can see the metal roof on the house next door. That house is forward about 7 feet of where we are now, and it's on a 132' lot. You can see where the porch extends even beyond that with a metal roof. So really, all we're trying to do is line it up with the porches on the street. We're not trying to encroach over the building line or anything else.

Here is another chart that shows you... See, we're 60 feet back from the curb, everybody else is 49 to 50 back from the curb. So, even pulling it forward 6 feet we're still going to be behind everybody else on the block.

Chairman Maverick Welsh: Do we have any questions for Mr. Gianukos?

Commissioner Anna Mod: I think it's appropriate that without a porch that should be in line with the building wall of the others on the block.

Sam Gianukos: But there are other houses along that block that face where the front wall is actually 15 feet from the front curb, and we're 23 feet if we move it forward.

Commissioner John Cosgrove: So the front face (inaudible) the one next door?

Sam Gianukos: It's actually be a little behind the one next door.

Commissioner John Cosgrove: Of the face of (inaudible).

Sam Gianukos: Yes sir.

Commissioner Anna Mod: I saw your Sanborn drawings but I don't have a drawing of all of that block to compare it to.

Sam Gianukos: That was this drawing...

Commissioner Anna Mod: Okay, so it is the Sanborn.

Sam Gianukos: Yes. We really are not going to be encroaching over the building line at all. The one that was approved on the very next block, we went to 20 feet where here we're at 23 feet. So we're keeping it back an additional 3 feet.

Chairman Maverick Welsh: Do we have any other questions for Mr. Gianukos? Okay, thank you. I want to give Mr. Ager a chance to speak as well. Would you like to speak?

Matthew Ager: Yes sir. My name is Matthew Ager. I'm the owner of the house. I bought the house in 2006 as a single individual. Now I'm married. I have two kids. The reason I missed the January 29th meeting is because we had our second child. A baby girl. So it's very tight in that it's 988 square feet. Moving it up forward will help us out in that criteria, but it also, whenever you're walking down the sidewalk and your looking down the street, you immediately see the rhythm of that blockface off. And I know there's been discussion about rhythm on blockfaces. So we're just asking for that 6 feet. The reason we haven't wavered on that is through information that I've seen on line. It's inconsistent with what staff is saying.

Because this particular drawing (places document on overhead projector)... This was from staff's... February 26th on a different property. And it just shows that they're measuring this property from the front porch. So that's why I have such a hard time... For these properties where it shows from the very front of the porches. And we're just trying to line up our house without a porch to the houses along the street. That's why I've been so adamant about this 6 feet. I don't want to feel like I'm wasting y'all's time by saying by... She's saying we didn't change much, there's a reason for that. Thank you for your time.

Chairman Maverick Welsh: Thank you. Any questions for the owner? Alright, thank you. Could staff come back and restate their recommendation?

Staff: First I would like to clarify that the property directly to the south of this property, that I believe the designer Sam was showing in one of his photos with the metal roof, that the original front porch on that structure was enclosed at one point, which is why the front wall of that building seems so much further forward than the surrounding structures. At some point, if a property owner were to come along and purchase that property, they could reverse that inappropriate alteration to the front porch, which having this structure moved forward of where it currently is, and the front walls, the prevailing setback of coherent front walls on that block would then disrupt the rhythm of that street and put that structure out of its original existing setting and disrupt the streetscape. Just would like to point that out.

Staff is willing to recommend deferral on this project to allow... As far as we know, the applicant told us that the drawings were incorrect so he could... We're willing to recommend deferral to address the incorrect drawings and to continue working with staff.

Chairman Maverick Welsh: Is the applicant okay with that as well, so that you can work with staff to present the change? I know the answer is that you want approval right now but...

Matthew Ager: So my issue is really the 6 feet. If they aren't going to waver on that... And I think she kind of objected to what I said so may I speak.

Chairman Maverick Welsh: Yeah, you can have a 3 minute rebuttal... Actually I'm sorry you can't have a rebuttal because no other members of the public spoke out against it. It's against the rules. You really can't rebut staff. But if we do a deferral, you'll be able to work with staff and come back and bring something back.

Commissioner Edie Archer: Is it my understanding that if the line isn't resolved, you really... What are you going to bring back? So, you want a decision about that but...

Matthew Ager: If it's favorable, then we can move forward. But (inaudible) wife and I have been there since 2006, or she's been there since 2009... We're going to have to upgrade or... It's just an unhealthy environment to have four beating hearts in 988 square feet.

Commissioner Edie Archer: But we probably won't be able to approve... If that's what you mean. In other words, what good is a deferral if this is all about a line that we might not be able to approve? Of moving it forward.

Staff: We have discussed adjusting the addition with the applicant. It is a reduction of 6 feet in order to address not moving the structure forward on the lot 6 feet.

Matthew Ager: The 6 feet makes a lot of difference in the addition.

Commissioner Edie Archer: I understand that. I just don't know that we're getting anywhere with a deferral if the problem is the 6 feet, which we can't vote on and which staff is not recommending, so...

Sam Gianukos: We ask if we could just submit just moving it forward and then sit down with staff and discuss the addition to the house. Because with a 29 foot front setback and only 100 foot of depth to work with, by the time you put a garage behind it, you don't have much to work with.

Chairman Maverick Welsh: Which I think I think you're going to probably have to do during a deferral.

Commissioner Edie Archer: Which is why you may have to come in twice. Because we don't have enough information to do this.

Chairman Maverick Welsh: Is staff okay with a deferral to work with the applicant?

Staff: We're okay with a deferral.

Chairman Maverick Welsh: Do I hear a motion? Commissioner Garcia-Herreros moves that we defer this item. Do I have a second? Our new Commissioner Goelzer seconds. All of those in favor of a deferral, please raise your hands. That's unanimous. That item has been deferred until next month. So hopefully you'll be able to work with staff and come up with something that can get a recommendation.

And moving on to agenda item B 28...

Commissioner John Cosgrove: (Inaudible) staff?

Chairman Maverick Welsh: Sure, go ahead.

Commissioner John Cosgrove: For the next meeting, is it possible for us to get the measurements, the setbacks for all of the properties on the block? I think our problem is that we don't have any way to know what the other properties are exceeding it or in line. It would be a helpful guide for us to know...

Chairman Maverick Welsh: If Pete could go out and get us some measurements... Because we want to make an educated decision on this.

Staff: Yes. Staff can go out and we can definitely look into that.

Commissioner John Cosgrove: Just pick the front face of the house, not the porch. One or the other.

Sam Gianukos: Can I ask a question about that? Is the front face of the house and not the front face of the porch?

Commissioner John Cosgrove: Right.

Sam Gianukos: Okay.

Comments from the Public

Matthew Ager: (113:42) Matthew Ager of 1548 Cortlandt Street. We just discussed it.

I would like to find out the definition of what a setback is. Where it's measured from. Because I've asked staff for a definition and have received zero back.

Chairman Maverick Welsh: I believe all of your setbacks are spelled out on your survey, correct? They're different for every single property and every neighborhood.

Matthew Ager: No. I mean how is it measured? How is each house measured for setback? From what point of the house?

Margaret Wallace-Brown: I think he's asking if it goes to the face or to the front...

Matthew Ager: Correct.

Chairman Maverick Welsh: I think Pete could probably address how.

Pete Stockton: Hi. My name is Pete Stockton. Good afternoon Commission and Mr. Chair. Setback is determined a lot of different ways. Typically it is from front property line to nearest point forward of structure. That would be a porch column or a wall carrying a structure from above. In Houston there is also some allowance for a little bit of a cantilevered projection. But that's the definition, from which point to we bear structure to the property line.

Chairman Maverick Welsh: Does that make sense?

Matthew Ager: Yes. Thank you very much.

Transcription of Item B.35 - 1548 Cortlandt Street**HAHC April 23, 2015***(unofficial transcript, prepared by Planning staff from audio of the meeting for informational purposes)*

Staff: In November of 2014 and in January of 2015, the applicant was denied a Certificate for relocating a residence 6 feet forward on the lot, raising the foundation of the house by 5 inches, removing the side gable roof, installing a 2 foot pony wall, and constructing a new side gable roof with a 10-over-12 pitch and constructing a rear, two-story, 2,130 square foot addition.

In March 2015, the application for a COA retaining the original 8-over-12 roof, raising the foundation 8 inches instead of 5 inches, and changing the attached garage's roof from a gable to a hip was deferred.

The applicant has changed the application, and has withdrawn the proposal for the addition to the house. The applicant no longer proposes only to relocate the existing house 6 feet closer to Cortlandt Street and raise the foundation by 8 inches, from a 2 foot finished floor height to a 2 foot 8 inch finished floor height. No addition is now proposed.

Increasing the foundation height by 8 inches and relocating to a 23 foot 1 inch front setback does not preserve the distinguishing qualities of the house or its relationship to the district. The existing front setback of 29 feet is in line with the existing front walls of the Contributing residences on both the 1500 and 1600 block of Cortlandt Street.

The applicant has provided material suggesting that the house is currently set back further than its neighbors, but these materials do not take into account the distinction between an open front porch and a solid front wall. The distinction between the setback to front porch and setback to front wall is important because of the transparency provided by an open porch. This transparency allows a consistent sightline to be maintained across front walls, regardless of the position or existence of a front porch.

Some sections of the City's code of ordinances other than Chapter 33 may, or may not address this distinction, but it is important to the character of the Historic District, and as such is subject to Chapter 33. The neighboring residence at 1543 Cortlandt Street was altered prior to the establishment of the Houston Heights Historic District South. The front porch was enclosed with a new front porch appendage in front. This inappropriate alteration may be corrected in the future.

Approving a COA to relocate this residence closer to the street to address an inappropriately altered neighbor contributes to the further degradation of a consistent historic streetscape. Additionally, the Secretary of the Interior Standards do not recommend relocating historic structures, as it destroys their relationship within their setting. The residence at 1548 Cortlandt is in its original location and is in line with existing structures on the block. Staff recommends denial of the Certificate of Appropriateness.

Chairman Maverick Welsh: We do have 3 speakers signed up. Mr. Sam Gianukos followed by Matt Ager and then J. Kent Marsh.

Sam Gianukos: Sam Gianukos of Creole Design. Finished floor wise, we're 2 feet off the finished floor, with a 12 inch floor joist so we're only 12 inches off the dirt. We're raising the house up 8 inches just to get it where we can get underneath the house, basically. Just about every remodel I've done and every else's done in the neighborhood, y'all have allowed us to raise it by 8 inches in order to have access under the house. That's why we're raising it 8 inches.

Moving it forward, if you look at the chart that I put together we actually went out and measured all of the houses (places document on the overhead projector). We actually went out and measured all of the houses to get an average setback on the street. At the public speaking session last month, Pete Stockton, who's the chief building inspector, said that setbacks are typically determined from the front property line to the nearest point forward that is structural. Could be a front column or a wall carrying the structure above. So, that's what we did. We measured from a structural column on the front of these houses, and the average setback on this street is 21 feet. We're trying to go to 23. So we're not even pushing it all of the way forward.

In the last 24 months, y'all have approved 9 houses to be moved. And we have a 100 foot deep lot so we're really hurting on depth. That's why we need to move this house forward.

And yes we do intend to come back to the Commission to ask for an addition to the house .

Maverick Welsh: Do we have any questions for Mr. Gianukos? Thank you.

Our next speaker Mr. Matt Ager.

Matthew Ager: Matthew Ager. My wife and I are the owner of the house. At the last meeting we were talking about setbacks and Mr. Cosgrove I believe asked... And staff said they were going to go out and make measurements. I don't know if they've done that. (Turns to staff table) Do y'all have the measurements? Y'all had told the committee that you were going to get some actual figures.

So we did that. What Sam just proposed there. That is how it was done on some previous properties. So, I think it's a pretty good idea and guideline. We're just asking for the 6 feet to line up with the existing homes. That's really all I have. Just look at it that way.

Chairman Maverick Welsh: Do we have any questions for Mr. Ager? Thank you. Alright, Mr. Marsh.

Kent Marsh: Thank you Mr. Chair and members of the Commission. My name is Kent Marsh. I live at 1538 Arlington Street. The next street over behind this particular project.

I oppose relocating this house for several reasons. The most obvious one is that it is within a historic district. Secondly, the applicant has not expressed any hardship other than that their lot happens to be 100 feet deep or 32' less depth than what the typical is on this block. But the owner purchased this property with this condition in place, so this is not a new condition. So it's important to recognize that this is not a hardship. This is an existing condition.

Secondly the allowance for raising the structures, I don't there's any question about that when it is necessary. I certainly supported that on a house in front of my house on the next block over. I continue to support that. But moving it to another location without any reasoning at all, and in fact moving it to another location with the intent of coming back at some point in the future of adding on to the structure without being able to see all of it together, to me, has denial written all over it. I certainly hope that you will not support this application. I certainly hope that if it does go to Planning Commission or City Council, that they also support the Historic District and the historic character in line with the guidelines from the Secretary of Interior. Thank you.

Chairman Maverick Welsh: Thank you. Mr. Gianukos, would you like a rebuttal? You get a 3 minute rebuttal if someone speaks against. No rebuttal? Mr. Ager?

Matthew Ager: Yes please. He was just talking about the hardship, and that we knew that going in there. We bought it in '06 then the hardship was kind of imposed on us because of the criteria that are now set. That's the only thing I wanted to address with his complaint. Thank you.

Chairman Maverick Welsh: Could staff come and restate their recommendation?

Staff: Staff recommends denial of the Certificate of Appropriateness.

Chairman Maverick Welsh: Is there any discussion for staff? Do I hear a motion to deny per staff's recommendation? Commissioner Collum moves and Commissioner Mod seconds. All of those in favor, please raise your hands. That's unanimous. That item has been denied a Certificate of Appropriateness.

Overview

I bought a 988 sqft home in 2006 when I was a bachelor with the hopes of one day raising a family in this community. I was married in 2011, we had our first child Augustus in 2013 and our second child, Emmerson, on Jan 29, 2015. We started the process of making plans to our home in April 2014 to accommodate our growing family. We first met with Staff in July 2014. Since then we have continued to run into obstacles.

This process over the past year has been terrible and very discouraging for our family. This is our home and we want to raise our family here. We have wonderful neighbors and moved into the Heights when the Heights needed residents.

We are only proposing to move the house forward 6' to align with the existing prevailing setbacks on our blockface and raise the foundation by 8" to a finished floor height of 2'-8". The reason we need to raise the house is for accessibility and to comply with the current code of an 18" clearance to the bottom of the floor joist. Multiple homes in the area have been approved for their C of A however our same request continues to be denied. In my packet you will find supporting materials backing up why we feel this should be approved.

We want to raise our family here in this home and feel as if we are being forced out of the neighborhood we fell in love with. We appreciate your time and look forwarding to hearing your thoughts.

Sincerely,

Matthew and Hallie Ager
1548 Cortlandt St.
Houston, TX 77008

Overview

I bought our 988 sqft home in 2006 when I was a bachelor with the hopes of one day raising a family in this community. I was married in 2011, we had our first child, Augustus, in 2013 and our second child, Emmerson, on Jan 29, 2015. We started the process of making plans to our home in April 2014 to accommodate our growing family. We first met with Staff in July 2014. Since then we have continued to run into obstacles.

This process over the past year has been terrible and very discouraging for our family. This is our home and we want to raise our family here. We have wonderful neighbors and moved into the Heights when the Heights needed residents.

We are only proposing to move the house forward 6' to align with the existing prevailing setbacks on our blockface and raise the foundation by 8" to have a finished floor height of 2'-8". Multiple homes in the area have been approved for their C of A however our same request continues to be denied. In my packet you will find supporting materials backing up why we feel our project should be approved.

We appreciate your time and look forward to hearing your thoughts.

Sincerely,

Matthew & Hallie Ager
1548 Cortlandt St
Houston, TX 77008

Front setback definition and issues

- February 5, 2015 – Meet with staff and asked for front setback definition. They could not locate the definition
- February 19, 2015 – Sent follow up email to staff asking for the front setback definition again and I did not receive a response
- March 26, 2015 HAHC Meeting – 1548 Cortlandt Street – 100.14 Minute mark on HTV
 1. HAHC asks staff to go out and measure the front setbacks on the blockface so they can have actual figures to go by for the next meeting
 2. Staff agrees to go out and measure the front setbacks on the blockface
 3. I can provide video confirmation
- March 26, 2015 HAHC Meeting - Public Comments Section – 114.15 Minute mark on HTV
 1. I ask how to determine a setback
 2. HAHC Commissioner asks Pete Stockton, the COH Senior Building Inspector for the Historic Districts to clarify the front setback definition.

Pete Stockton states:

“Setbacks are typically determined from the front property line to the nearest point forward that is structural, could be a front porch column or a wall carrying structure above”
 3. I can provide video confirmation
- April 23, 2015 – HAHC Meeting – 1548 Cortlandt Street - 46.57 Minute mark on HTV
 1. Staff does not have the front setback measurements like the HAHC requested
 2. I provided the front setback figures for the blockface. My measurements were done specifically by the definition Pete Stockton gave at the March 26, 2015 HAHC meeting as listed above.
 3. I can provide video confirmation

Houston Archaeological & Historical Commission

February 26, 2015

HPO File No. 150215

ITEM B.16

1207 Rutland Street

Houston Heights West

CERTIFICATE OF APPROPRIATENESS**Application Date:** February 4, 2015**Applicant:** Alex Ridgeway, Brickmoon Design for Tom Scott, The Hoff Group, Owner**Property:** 1207 Rutland Street, lot 16, block 183, Houston Heights Subdivision. The property consists of a vacant 4,356 square foot (33' x 133') interior lot.**Significance:** The property is a vacant lot located in the Houston Heights Historic District West. The property is one of five platted lots that were the former location of a now demolished poultry processing plant.**Proposal:** New Construction – Residence

- Residence will measure 27' wide by 108' deep and will feature an eave height of 22' 11" and a ridge height of 31' 10".
- Residence will feature a front porch eave height of 10' 2".
- The first 12' of the residence will be lower and narrower than the rest of the structure in order to minimize the visibility of the residence when viewed from the street.
- Proposed residence will feature a front setback of 15' and a 3' 2" setback on each side.

See enclosed application materials and detailed project description on p. 4-19 for further details.

Public Comment: No public comment received at this time.**Civic Association:** No comment received.**Recommendation:** Approval with conditions: Change the front setback from 15' to 20'**HAHC Action:** Approval with conditions: Change the front setback from 15' to 20'**CERTIFICATE OF APPROPRIATENESS**

Basis for Issuance: HAHC Approval
Effective: February 26, 2015



**PLANNING &
DEVELOPMENT
DEPARTMENT**

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

Planning Official

Date

Houston Archaeological & Historical Commission

ITEM B.16

February 26, 2015

1207 Rutland Street

HPO File No. 150215

Houston Heights West

APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242: HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- ☐ ☒ ☐ (1) The new construction must match the typical setbacks of existing contributing structures in the historic district
- The prevailing front setback for existing contributing structures on the blockface is 20' or more. The two adjacent contributing houses to the north of the subject property have front setbacks of 25' and 30' respectively. The row of contributing houses directly across the street all have a 20' front setback.*
- The existing front setbacks are confirmed by an analysis of Sanborn map images and the applicant's own diagram (see p. 7) that shows an existing prevailing setback of 20' or greater for contributing structures located on the 1200 block of Rutland. Both the current applicant and the previous applicant for new construction on this property have been told that a minimum front setback of 20' is required.*
- The proposed setback of 15' is incompatible with the typical setback of 20' or greater. This incompatibility is amplified by the fact that the proposed structure is larger than typical contributing structures and the fact the residence will span to within 3' of each side property line.*
- ☒ ☐ ☐ (2) The exterior features of new construction must be compatible with the exterior features of existing contributing structures in the historic district
- ☒ ☐ ☐ (3) The proportions of the new construction, including width and roofline, must be compatible with the typical proportions of existing contributing structures and objects in the historic district
- ☒ ☐ ☐ (4) The height of the eaves of a new construction intended for use for residential purposes must not be taller than the typical height of the eaves of existing contributing structures used for residential purposes in the historic district; and
- ☐ ☐ ☒ (5) The height of new construction intended for use for commercial purposes must not be taller than the typical height of the existing structures used for commercial purposes in the historic district.

Houston Archaeological & Historical Commission

ITEM B.16

February 26, 2015

1207 Rutland Street

HPO File No. 150215

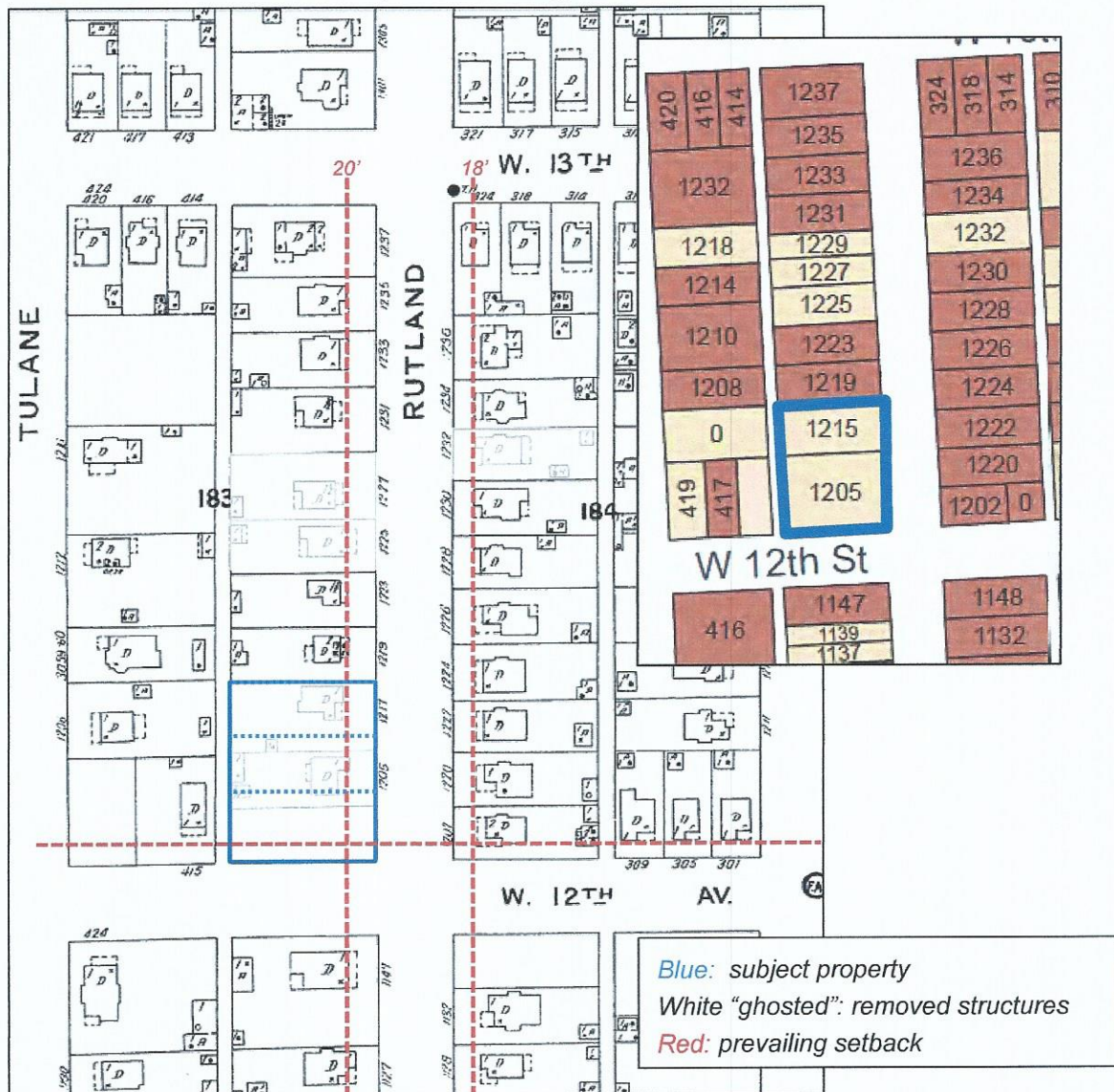
Houston Heights West

Approval Criteria #1

New construction must match the typical setbacks of existing contributing structures in the district.

Contributing structures on the 1200 block of Rutland have a prevailing front setback of approximately 20'.

Sanborn Fire Insurance Map & Prevailing Setbacks of Contributing Structures



Houston Archaeological & Historical Commission

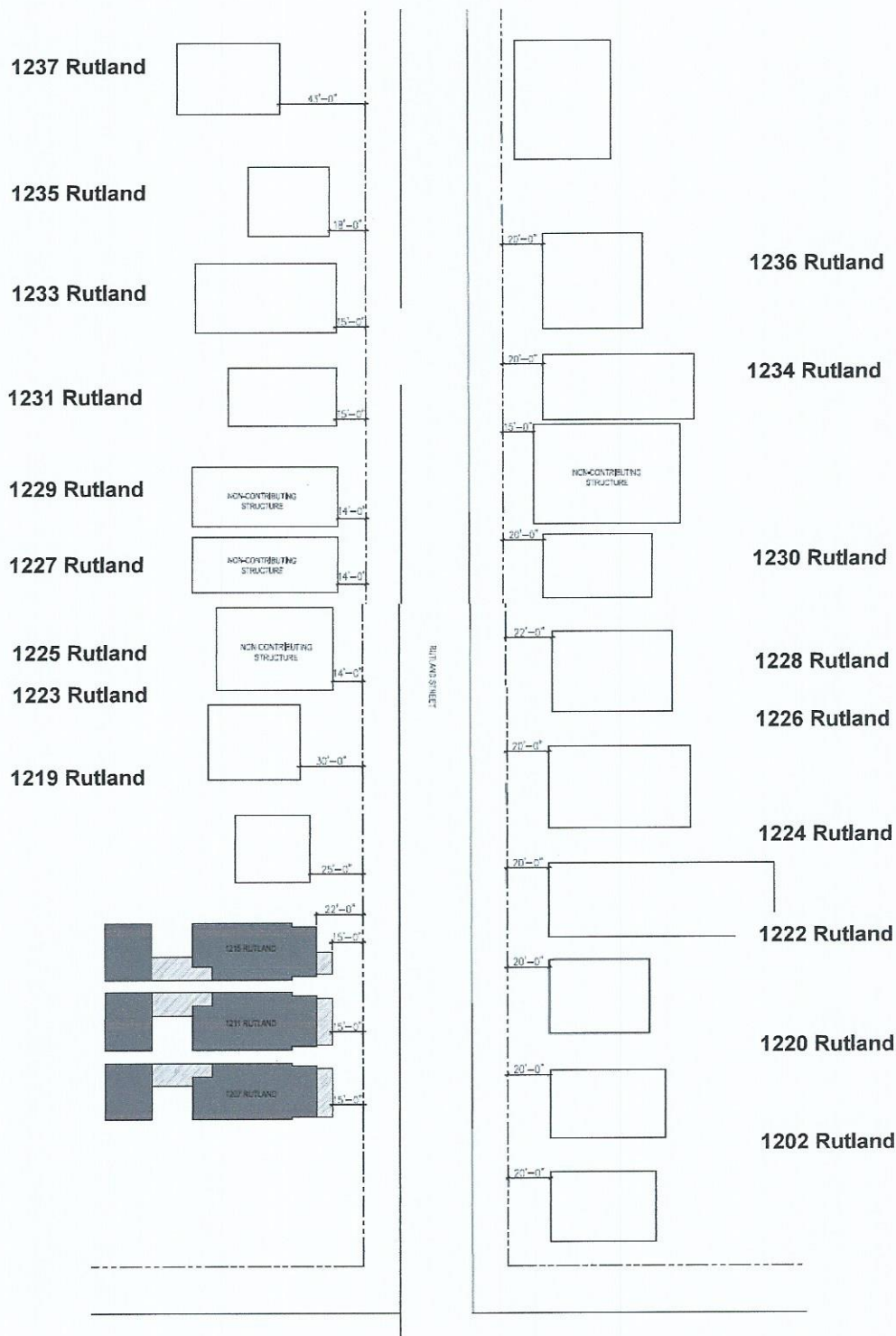
February 26, 2015

HPO File No. 150215

ITEM B.16

1207 Rutland Street
Houston Heights West

BLOCKFACE SETBACKS PROVIDED BY THE APPLICANT



Houston Archaeological & Historical Commission

February 26, 2015

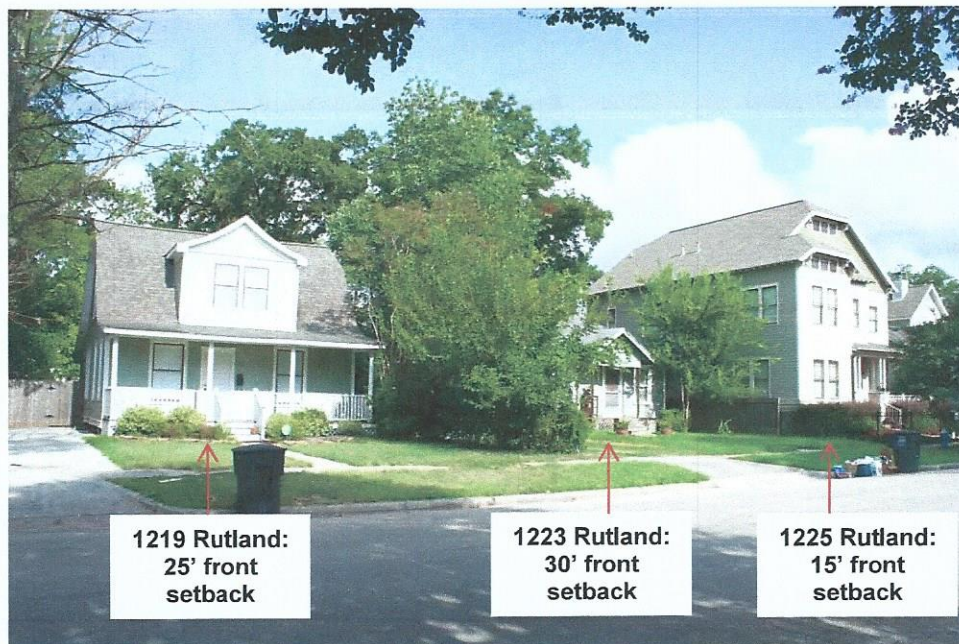
HPO File No. 150215

ITEM B.16

1207 Rutland Street

Houston Heights West

BLOCKFACE PHOTOS



From: Matthew Ager agerfamily@yahoo.com
Subject: 1548 Cortlandt St 77008
Date: February 19, 2015 at 3:28 PM
To: Erin Glennon Erin.Glennon@houston.tx.gov

Erin-

Will you please send me the definition of "setbacks"? We discussed this at our last meeting.

What defines a setback?

What public documentation are you using when referencing the definition of a setback?

Thanks,

Matthew Ager
Cell: [\(832\) 498-9919](tel:(832)498-9919)

On Feb 3, 2015, at 2:31 PM, Glennon, Erin - PD <Erin.Glennon@houston.tx.gov> wrote:

Congratulations! How about 12 on Thursday?

Erin

Erin Glennon, City of Houston Planning & Development Department
(713) 837-7784

From: Ager [<mailto:agerfamily@yahoo.com>]
Sent: Tuesday, February 03, 2015 11:52 AM
To: Glennon, Erin - PD
Subject: Re: meeting with Matthew Ager and Sam

Anything else? We just had a baby and that's the same time as her first doctors visit.

Matthew Ager
Cell: [\(832\) 498-9919](tel:(832)498-9919)

Houston Archaeological & Historical Commission

April 23, 2015

HPO File No. 150303

ITEM B.35

1548 Cortlandt Street

Houston Heights East

CERTIFICATE OF APPROPRIATENESS**Application Date:** April 8, 2015**Applicant:** Sam Gianukos, Creole Design, LLC, for Matthew Ager, owner**Property:** 1548 Cortlandt Street, Tract 24A, Block 138, Houston Heights Subdivision. The property includes a historic 988 square foot, one-story wood frame single-family residence and a detached garage situated on a 5,000 square foot (50' x 100") corner lot.**Significance:** Contributing English Cottage residence, constructed circa 1940, located in the Houston Heights Historic District East.**Proposal:** Relocation/Alteration – Deferral

In November 2014 and January 2015, the applicant was denied a Certificate for relocating the residence 6' forward on the lot; raising the foundation 5"; removing the side gable roof, installing a 2' pony wall and constructing a new side gable roof with a 10/12 pitch; and constructing a rear 2-story, 2,130 square foot addition.

In March 2015, the application for a COA with the following changes was deferred:

- Existing original 8/12 side gable roof will be retained.
- Foundation will be raised 8" instead of 5".
- Proposed attached garage will feature a hip on gable roof.

The applicant has changed the application and withdrawn the proposal for an addition to the house. The applicant now proposes only to relocate the house 6' closer to Cortlandt Street and raise the foundation by 8", from a 2' finished floor height to a 2'-8" finished floor height, with no addition.

See enclosed application materials and detailed project description on p. 8-20 for further details.

Public Comment: One opposed. See Attachment A.**Civic Association:** No comment received.**Recommendation:** Denial - does not satisfy Section 33-241(a): Criteria 1, 4, 9 and 10 for Alterations or Section 22-243(a): Criteria 1(a-d), 3 and 4 for Relocation.**HAHC Action:** Denied

Houston Archaeological & Historical Commission

ITEM B.29

January 29, 2015

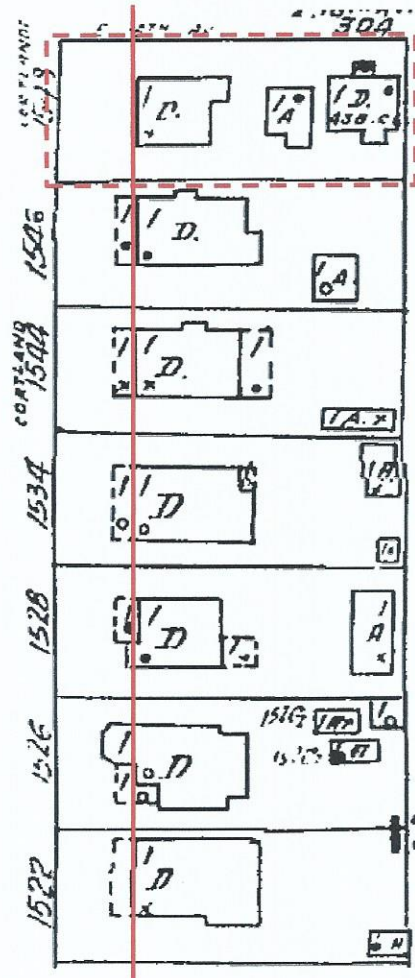
1548 Cortlandt Street

HPO File No. 150102

Houston Heights East

1924-1951 SANBORN FIRE INSURANCE MAP

BLOCKFACE SETBACKS



Houston Archaeological & Historical Commission

April 23, 2015

HPO File No. 150303

ITEM B.35

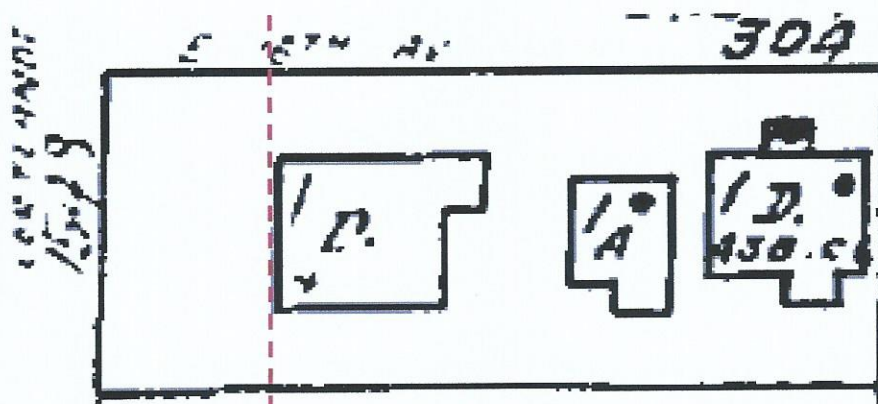
1548 Cortlandt Street

Houston Heights East

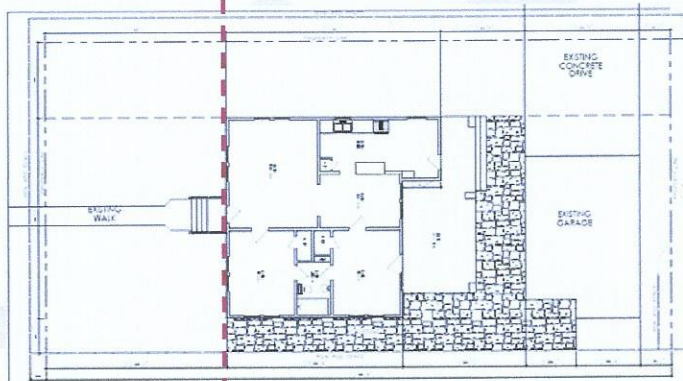
SANBORN FIRE INSURANCE MAP

The rear 32' feet of the original lot is now a separate property.

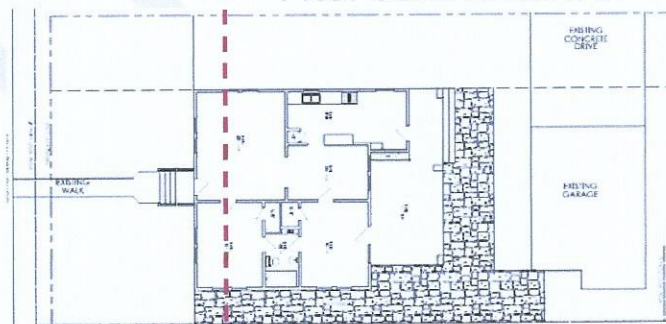
1924-1951

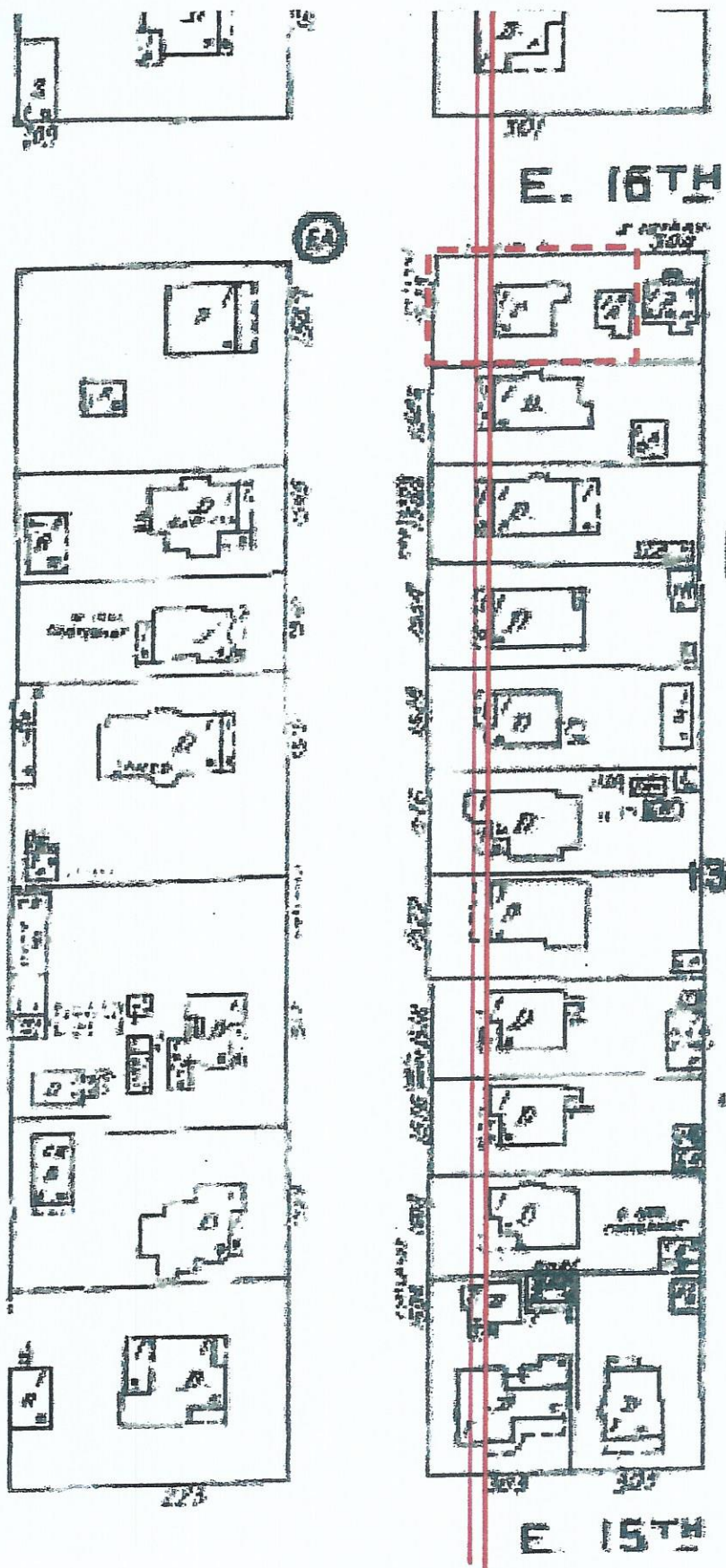


CURRENT SITE PLAN



PROPOSED SITE PLAN





Houston Archaeological & Historical Commission

ITEM B.35

April 23, 2015

1548 Cortlandt Street

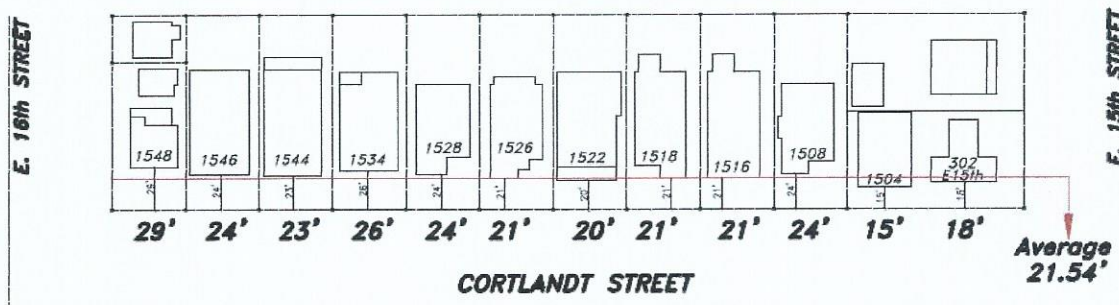
HPO File No. 150303

Houston Heights East

SETBACK CONTEXT

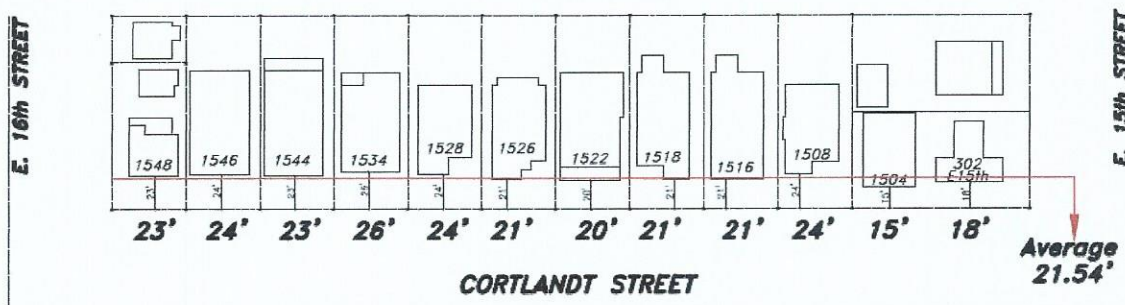
PROVIDED BY APPLICANT; DOES NOT DISTINGUISH PORCHES

EXISTING CONDITIONS



CORTLANDT STREETScape

PROPOSED



CORTLANDT STREETScape







P.O. Box 6156 - Kingwood, TX 77325

james@jdengineer.com ■ 281.852.3647 ■ 32.213.3622 (f) ■ www.jdengineer.com

Matthew and Hallie Ager
1548 Cortlandt Street
Houston, TX 77008

March 18, 2015

Re: Movement of home on crawlspace – 1548 Cortlandt St. – Houston, TX

Mr. and Mrs. Ager,

The intent of this letter is to provide information with regard to the potential movement of the home located at the address listed above. At the request of Sam Gianukos with Creole Design, JDSI performed an inspection of this home. It is the understanding of JDSI this home is to be relocated on the same lot, approximately 10 feet from its current location. JDSI notes this home is supported by a crawl space foundation (commonly referred to as pier and beam). Therefore, there is a space between the floor joists and the ground below. This space is sufficient to disconnect utilities and separate the stringers and floor framing from the pier foundation. Once separated, the home can be lifted, new piers installed, and the home reset into place on the new piers.

It is noted the stringers and framing in connection with the new piers must meet current code requirements (International Residential Code with Amendments by the City of Houston). It is the professional opinion of JDSI the home can be moved and the structural integrity of the home maintained. Should you have any questions or comments, please contact me. Also, feel free to give this letter to the Building Official as required.

Regards,



A handwritten signature in blue ink, which appears to be "James Deaver".

James Deaver, PE
F-11512

Hello,

I am writing to you in support of the home relocation/addition being requested by Matthew and Hallie Ager at 1548 Cortlandt. I purchased my 1918 bungalow at 1638 Cortlandt in 2009, and during the past five years I have watched three beautiful bungalow renovations with additions come to life on my block, along with a new home on the vacant lot that was next to me. All of these have increased the beauty and aesthetic that Cortlandt Street contributes to Houston Heights East.

I fought to preserve the Historic District designation for our neighborhood, even going to City Council meetings several times, so I am very critical of some of the "new build" ideas of builders and efforts by our local realtors to transform our historical presence. I have reviewed the Ager's plans for their tiny bungalow (988 sq. ft. for a family of four!) and I am very enthusiastic and excited about having another appropriate, historically contributing renovation within a short walk of my home. (The Ager's proposed renovation is much more appropriate than the Memorial-like brick McMansion across the street at 1604 Cortlandt, which was unfortunately built before the Historic District designation and TOTALLY does not conform to the significance and historical beauty of Cortlandt Street!)

I appreciate your consideration of my support, and hope that you will approve the proposed changes to 1548 Cortlandt Street.

Sincerely,
Maureen Weyel
1638 Cortlandt Street
713-502-9893

To Whom It May Concern:

As neighbors living within 1 block of this property we would like to offer our affirmation of improvements as laid out by the homeowners. We have viewed their plans and see them to be not only acceptable to the neighborhood but also contributing. We believe that these improvements will increase the value of the property and provide a home that is more usable and desirable. We also believe that it will improve the quality and value of the block and surrounding homes.

The Heights is a wonderful neighborhood that like all neighborhoods continues to evolve. The Historic Preservation Committee does a good job monitoring the improvements within the district. That said we feel this property should be improved as requested and we offer our affirmative vote.

Please accept this email as a vote for the recommended changes to this property and a plea for your approval of the proposed plans that are currently submitted.

Sincerely,

Jay and Lucy Milligan
1636 Cortlandt St.

Houston Archaeological and
Historical Commission

Regarding
App # 141105
1548 Cortland

Approval vote

I am in approval of the
improvements being requested
on the home at 1548 Cortland.

The owner came to the rights
when the rights needed
homeowners to come in
and grow with the rights

The improvements requested
would be exactly what the
rights needs to continue
growing.

Rossie A Garney
1603 Arlington
281-460-4340

Contributing homes in Historic Heights that have been moved

1641 Columbia moved 13' forward; commended as an example of what HAHC is looking for, with no concern about the movement. (HHE, 9/14)

1817 Cortlandt moved 21' forward and 8' to the side. (HHE, 4/14)

233 W 16th St moved 14' to the side (to 4' side setback) to 'create more space between this house and the applicant's other property' next door. (HHW, 9/13)

1330 Cortlandt moved 33' south (to the side) to make a bigger yard on the north (HHE, 7/13)

444 W. 24th St moved 27'8" forward (landmark, 5/13).

1648 Cortlandt moved to side (HHE, 4/13).

1334 Ashland was moved 16' forward and 12' to the side (HHW, 3/12)

1522 Columbia St moved to the side (HHE, 1/12)

919 Oxford St moved 5' forward and 4' to the side (HHS, 10/11).