

HOUSTON PLANNING COMMISSION

AGENDA

MAY 14, 2015



COUNCIL CHAMBER
CITY HALL ANNEX
2:30 P.M.

PLANNING COMMISSION MEMBERS



Mark A. Kilkenny, *Chair*
M. Sonny Garza, *Vice Chair*
Susan Alleman
Kenneth J. Bohan
Fernando L. Brave
Antoine Bryant
Lisa Clark
Algenita Davis
Truman C. Edminster, III
James R. Jard
Paul R. Nelson
Linda Porras-Pirtle
Mark Sikes
Martha Stein
Eileen Subinsky
Blake Tarrt III
Shaukat Zakaria

The Honorable Grady Prestage, P. E.
Fort Bend County
The Honorable Ed Emmett
Harris County
Commissioner James Noack
Montgomery County

ALTERNATE MEMBERS

Richard W. Stolleis, P. E.
Clay Forister, P.E.
Fort Bend County
Raymond J. Anderson, P. E.
Harris County
Mark J. Mooney, P.E.
Montgomery County

EX- OFFICIO MEMBERS

Carol Lewis, Ph.D.
Dale A. Rudick, P.E.
Dawn Ullrich
Gilbert Andrew Garcia, CFA

SECRETARY

Patrick Walsh, P.E.

Meeting Policies and Regulations

Order of Agenda

Planning Commission may alter the order of the agenda to consider variances first, followed by replats requiring a public hearing second and consent agenda last. Any contested consent item will be moved to the end of the agenda.

Public Participation

The public is encouraged to take an active interest in matters that come before the Planning Commission. Anyone wishing to speak before the Commission may do so. The Commission has adopted the following procedural rules on public participation:

1. Anyone wishing to speak before the Commission must sign-up on a designated form located at the entrance to the Council Chamber.
2. If the speaker wishes to discuss a specific item on the agenda of the Commission, it should be noted on the sign-up form.
3. If the speaker wishes to discuss any subject not otherwise on the agenda of the Commission, time will be allowed after all agenda items have been completed and "public comments" are taken.
4. The applicant is given first opportunity to speak and is allowed two minutes for an opening presentation. The applicant is also allowed a rebuttal after all speakers have been heard; two additional minutes will be allowed.
5. Speakers will be allowed two minutes for specially called hearing items, replats with notice, variances, and special exceptions.
6. Speakers will be allowed 1 minute for all consent agenda items.
7. Time limits will not apply to elected officials.
8. No speaker is permitted to accumulate speaking time from another person.
9. Time devoted to answering any questions from the Commission is not charged against allotted speaking time.
10. The Commission reserves the right to limit speakers if it is the Commission's judgment

that an issue has been sufficiently discussed and additional speakers are repetitive.

11. The Commission reserves the right to stop speakers who are unruly or abusive.

Limitations on the Authority of the Planning Commission

By law, the Commission is required to approve subdivision and development plats that meet the requirements of Chapter 42 of the Code of Ordinances of the City of Houston. The Commission cannot exercise discretion nor can it set conditions when granting approvals that are not specifically authorized by law. If the Commission does not act upon a Sec. I agenda item within 30 days, the item is automatically approved. The Commission's authority on platting does not extend to land use. The Commission cannot disapprove a plat because it objects to the use of the property. All plats approved by the Commission are subject to compliance with applicable requirements, e.g., water, sewer, drainage, or other public agencies.

Contacting the Planning Commission

Should you have materials or information that you would like for the Planning Commission members to have pertaining to a particular item on their agenda, contact staff at 713-837-7758. Staff can either incorporate materials within the members Agenda packets, or can forward to the members messages and information.

Contacting the Planning Department

The Planning and Development Department is located at 611 Walker Street on the Sixth Floor. Code Enforcement is located at 1002 Washington Street.

The Departments mailing address is:
P.O. Box 1562
Houston, Texas 77251-1562

The Departments website is:
www.houstonplanning.com

E-mail us at:
Planning and Development
Suzy.Hartgrove@houstontx.gov

Plat Tracker Home Page:
www.HoustonPlatTracker.org

Speakers Sign In Form

Instructions:

1. So that the Commission's Chairperson can call on those wishing to address the Commission, please provide the information below. Make sure the information is legible. If you have questions about the form or a particular item while filling out this form Planning and Development Department staff members are available at the front of the room to answer any questions. Hand the completed form to a staff member prior to the meeting's Call to Order.
2. It is important to include your "position" so that the Chairperson can group the speakers by position.
3. If you are a part of an organized group of speakers and want to address the Commission in a particular order please let a staff member know prior to the beginning of the meeting.
4. The Chairperson will call each speaker's name when it is his or her turn to speak. The Chairperson will also call out the speaker to follow.
5. As the called speaker you should move forward to the podium, state your name for the record, and then deliver your comments.
6. If you have materials to distribute to the Commission hand them to a staff member at the beginning of your presentation. Staff will distribute the information to Commission members on both sides of the table as you begin your comments.

Agenda Item Number: _____

Agenda Item Name: _____

Your Name (speaker): _____

How Can We Contact You? (optional): _____

Your Position Regarding the Item (supportive, opposed, undecided): _____

Speakers Sign In Form

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Agenda Item Number: _____

Agenda Item Name: _____

Your Name (speaker): _____

How Can We Contact You? (optional): _____

Your Position Regarding the Item (supportive, opposed, undecided): _____

Houston Planning Commission

AGENDA

May 14, 2015

Meeting to be held in
Council Chamber, City Hall Annex
2:30 p.m.

Call to Order

Director's Report

- **Approval of the April 30, 2015 Planning Commission Meeting Minutes**

I. Consideration of the proposed amendments to Chapters 10, 33, 39, 40 and 42 of the Code of Ordinances (Brian Crimmins)

II. Platting Activity (Subdivision and Development plats)

- Consent Subdivision Plats (Christa Stoneham)
- Replats (Christa Stoneham)
- Replats requiring Public Hearings with Notification (Dorianne Powe-Phlegm, Suvidha Bandi, Teresa Geisheker, and Marlon Connley)
- Subdivision Plats with Variance Requests (Dipti Mathur, Mikalla Hodges, Muxian Fang and Suvidha Bandi)
- Subdivision Plats with Special Exception Requests (Muxian Fang)
- Reconsiderations of Requirement (Mikalla Hodges)
- Extension of Approvals (Christa Stoneham)
- Name Changes (Christa Stoneham)
- Certificates of Compliance (Christa Stoneham)
- Administrative
- Development Plats with Variance Requests (Kimberly Bowie, Dipti Mathur and Christa Stoneham)

III. Establish a public hearing date of June 11th 2015

- Blodgett Landing replat no 1
- Crescent Island replat no 1 partial replat no 2
- Cypress Creek Lakes Sec 26 replat no 1
- Decker Place partial replat no 1
- Martin partial replat no 1
- McIlhenny Street Landing
- Olde Oaks Sec 2 partial replat no 1
- Riverside Terrace 1 partial replat no 3
- Sage partial replat no 4
- West Houston partial replat no 2

IV. Consideration of an Off-Street Parking Variance for a property located at 3501 Southmore Boulevard (Energy Institute High School) (Kimberly Bowie)

V. Consideration of an Off-Street Parking Variance for a property located at 520 Mercury Drive (Furr High School) (Kimberly Bowie)

VI. Public Hearing and Consideration of a Special Minimum Lot Size Area Application for Navigation Subdivision (Misty Staunton) MLSA 391

VII. Public Hearing and Consideration of a Special Minimum Lot Size Block Application for the 5000 Block of West Hunting Street, east side (Christopher Andrews) MLS 527

VIII. Public Hearing and Consideration of a Special Minimum Lot Size Block Application for the 1000 Block of Kern Street, north and south sides (Christopher Andrews) MLS 526

- IX. Public Hearing and Consideration of a Special Minimum Lot Size Block Application for the 600 Block of Archer Street, east and west sides (Christopher Andrews) MLS 523**
- X. Public Hearing and Consideration of a Special Minimum Lot Size Block Application for the 1500 block of East 32nd Street, north and south sides (David Welch) MLS 534**
- XI. Public Hearing and Consideration of a Special Minimum Lot Size Block Application for the 1400 block of East 32nd Street, north and south sides (David Welch) MLS 535**
- XII. Excuse the absences of Commissioners Brave and Subinsky**
- XIII. Public Comment**
- XIV. Adjournment**

Minutes of the Houston Planning Commission

(A CD/DVD of the full proceedings is on file in the Planning and Development Department)

April 30, 2015
Meeting to be held in
Council Chambers, Public Level, City Hall Annex
2:30 p.m.

Call to order:

Vice Chair, M. Sonny Garza called the meeting to order at 2:30 p.m. with a quorum present.

Mark A. Kilkenney, Chair	Absent
M. Sonny Garza	
Susan Alleman	Left at 3:57 pm during item # III
Fernando Brave	Absent
Kenneth Bohan	
Antoine Bryant	Absent
Lisa Clark	Absent
Algenita Davis	
Truman C. Edminster III	Arrived at 2:39 pm during Director's Report
James R. Jard	Absent
Paul R. Nelson	
Linda Porrás-Pirtle	
Mark Sikes	
Martha Stein	
Eileen Subinsky	Absent
Blake Tartt III	
Shaukat Zakaria	
Mark Mooney for Commissioner James Noack	Left at 3:15 pm during agenda item #110
Clay Forister for The Honorable Grady Prestage	
Raymond Anderson for The Honorable Ed Emmett	

EXOFFICIO MEMBERS

Carol A. Lewis
Dale A. Rudick, P.E.

DIRECTOR'S REPORT

The Director's Report was given by Michael Kramer, Assistant Director, Planning and Development Department.

APPROVAL OF THE APRIL 16, 2015 PLANNING COMMISSION MEETING MINUTES

Commission action: Approved the April 16, 2015 Planning Commission meeting minutes.

Motion: **Zakaria**

Second: **Tart**

Vote: **Carries**

Abstaining: **Sikes**

I. PLATTING ACTIVITY (Consent items A and B)

Items removed for separate consideration: **12, 13, 27, 5 , and 61.**

Staff recommendation: Approve staff's recommendations for items **1 9** subject to the CPC 101 form conditions.

Commission action: Approved staff's recommendations for items **1 9** subject to the CPC 101 form conditions.

Motion: **Bohan**

Second: **Allenman**

Vote: **Unanimous**

Abstaining: **None**

Commissioner Edminister recused and left the room.

Staff recommendation: Approve staff's recommendation to approve items **12, 13, 27, 5 and 61** subject to the CPC 101 form conditions.

Commission action: Approved staff's recommendation to approve items **12, 13, 27, 5 and 61** subject to the CPC 101 form conditions.

Motion: **Porras-Pirtle**

Second: **Sikes**

Vote: **Unanimous**

Abstaining: **None**

Commissioner Edminister returned.

C PUBLIC HEARINGS

90 Braes Heights Addition Sec 10

C3N

Approve

partial replat no 2

Staff recommendation: Approve the plat subject to the CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Allenman**

Second: **Sikes**

Vote: **Unanimous**

Abstaining: **None**

91 Lakeview Homes Addition

C3N

Withdrawn

partial replat no 1

92 Long Point Woods partial replat no 1

C3N

Defer

Staff recommendation: Defer per applicants request.

Commission action: Deferred per applicants request.

Motion: **Bohan**

Second: **Alleman**

Vote: **Unanimous**

Abstaining: **None**

Speaker for item 92: Richard Hall – opposed

93 Piney Point Estates partial replat no 5

C3N

Approve

Staff recommendation: Grant the requested variances and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variances and approved the plat subject to the CPC 101 form conditions.

Motion: **Nelson**

Second: **Tart**

Vote: **Unanimous**

Abstaining: **None**

Speakers for item 93: Melyala Dunn – opposed; David Rowan – undecided; Matt Tucker, applicant - supportive

94 Plainview Second Addition partial replat no 6

C3N

Approve

Staff recommendation: Approve the plat subject to CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Porras-Pirtle** Second: **Alleman** Vote: **Unanimous** Abstaining: **None**

95 Shady Acres E tension no 3 partial Replat no 7

C3N

Approve

Staff recommendation: Approve the plat subject to the CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Stein** Second: **Sikes** Vote: **Unanimous** Abstaining: **None**

96 Spectrum Pla a

C3N

Approve

Staff recommendation: Approve the plat subject to the CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Alleman** Second: **Sikes** Vote: **Unanimous** Abstaining: **None**

97 Walden on Lake Houston Phase 5 Champions Village partial replat no 1

C3N

Disapprove

Staff recommendation: Disapprove the plat.

Commission action: Disapproved the plat.

Motion: **Edminster** Second: **Zakaria** Vote: **Unanimous** Abstaining: **None**

9 Washington Terrace partial replat no 2

C3N

Defer

Staff recommendation: Defer the plat for two weeks to allow time for applicant to provide additional information.

Commission action: Deferred the plat for two weeks to allow time for additional to provide additional information..

Motion: **Davis** Second: **Alleman** Vote: **Unanimous** Abstaining: **None**

D VARIANCES

Items 99, 102, 105, 107, 115, and 117 were taken together at this time.

99 Adara Pointe GP

GP

Defer

102 Bell Hutchins

C2

Defer

105 Center City Views

C2R

Defer

107 Dwight Place

C2R

Defer

115 Sunset Ridge West Sec 5

C3P

Defer

117 Swan Terrace

C2R

Defer

Staff recommendation: Defer the plats for two weeks to allow time for the applicant to provide additional information and for further review.

Commission action: Deferred the plats for two weeks to allow time for the applicant to provide additional information and for further review.

Motion: **Tart** Second: **Zakaria** Vote: **Unanimous** Abstaining: **None**

100 Aldine Westfield C2 Defer
Business Park

Staff recommendation: Defer the plat for two weeks to allow time for additional information requested.

Commission action: Deferred the plat for two weeks to allow time for additional information requested.

Motion: **Davis** Second: **Nelson** Vote: **Unanimous** Abstaining: **None**

Speaker for item #100: David Strauss, representing developer - supportive

101 AME Business Park C2 Approve

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Alleman** Second: **Sikes** Vote: **Carries** Abstaining: **Edminster**

103 Brookside GP GP Withdrawn

104 Cathy Acres C2 Approve

Staff recommendation: Grant the requested variance(s) and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance(s) and approve the plat subject to the CPC 101 form conditions.

Motion: **Edminster** Second: **Alleman** Vote: **Unanimous** Abstaining: **None**

106 Crescent Island replat C2R Withdrawn
no 1 partial replat no 2

10 Elysian Park Villas C2R Approve

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approve the plat subject to the CPC 101 form conditions.

Motion: **Zakaria** Second: **Edminster** Vote: **Unanimous** Abstaining: **None**

109 Harris County MUD no 71 C2 Deny
Water Plant no 3

Staff recommendation: Deny the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Denied the requested variance and approve the plat subject to the CPC 101 form conditions.

Motion: **Anderson** Second: **Tart** Vote: **Unanimous** Abstaining: **None**

Commissioner Edminster recused and left the room.

110 Marcello GP GP Approve

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Porras-Pirtle** Second: **Stein** Vote: **Unanimous** Abstaining: **None**

Commissioner Edminster returned.

111 Memorial Hermann Hospital C2R Approve
Staff recommendation: Approve the plat subject to the CPC 101 form conditions.
Commission action: Approved the plat subject to the CPC 101 form conditions.
Motion: **Zakaria** Second: **Edminster** Vote: **Unanimous** Abstaining: **None**

Items 112 and 114 were taken together at this time.

112 Mueschke Road Tract C3P Approve
114 Safesite Tract C3P Approve
Staff recommendation: Grant the requested variance(s) and approve the plat subject to the CPC 101 form conditions.
Commission action: Granted the requested variance(s) and approved the plat subject to the CPC 101 form conditions.
Motion: **Davis** Second: **Anderson** Vote: **Unanimous** Abstaining: **None**

113 Rosine Gardens C2 Defer
Staff recommendation: Defer the plat for two weeks to allow time for the applicant to provide additional information.
Commission action: Deferred the plat for two weeks to allow time for the applicant to provide additional information.
Motion: **Bohan** Second: **Edminster** Vote: **Unanimous** Abstaining: **None**
Speakers for item 113: Gail Adams, Richard Brian, Sean Pifer, Frank Dillard, Steven Rapaport, Teresa McOmber and Alvin Thomas – opposed.

116 Sunset Ridge West Sec 6 C3P Approve
Staff recommendations: Approve the plat subject to the CPC 101 form conditions.
Commission action: Approved the plat subject to the CPC 101 form conditions.
Motion: **Anderson** Second: **Stein** Vote: **Unanimous** Abstaining: **None**

Commissioner Porras-Pirtle recused and left the room.

11 WalMart USAStore no 297 C2R DEF1 Approve
Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.
Commission action: Granted the requested variance and approved the plat subject to the CPC 101 form conditions.
Motion: **Tart** Second: **Nelson** Vote: **Unanimous** Abstaining: **None**

Commission Porras-Pirtle returned.

**E SPECIAL EXCEPTIONS
NONE**

F RECONSIDERATION OF REQUIREMENTS

119 Valley Ranch Sec 7 C3P Approve
Staff recommendation: Grant the requested reconsideration of requirement and approve the plat subject to the CPC 101 form conditions.
Commission action: Granted the requested reconsideration of requirement and approved the plat subject to the CPC 101 form conditions.
Motion: **Alleman** Second: **Edminster** Vote: **Unanimous** Abstaining: **None**

Items G, H, and I were taken together at this time.

G EXTENSIONS OF APPROVAL

120	Bridges on Lake Houston Sec 3	EOA	Approve
121	Commercial Reserves at Blue Creek	EOA	Approve
122	Creekside Forest Drive Street Dedication Sec 1	EOA	Approve
123	Fallbrook Pines Sec 2	EOA	Approve
124	FM 529 Sommerall Commercial Sec 1	EOA	Approve
125	Hardy Spring Crossing	EOA	Approve
126	Harris County MUD no 406 Lift Station no 2	EOA	Approve
127	Northwest Cullen Pl a no 2	EOA	Approve
12	Waterstone West Sec 1	EOA	Approve

**H NAME CHANGES
NONE**

I CERTIFICATES OF COMPLIANCE

129	2633 Spanish Oak Drive	COC	Approve
Staff recommendation: Approve staff's recommendation for items 120-129 .			
Commission action: Approved staff's recommendation for items 120-129 .			
	Motion: Stein	Second: Alleman	Vote: Unanimous Abstaining: None

**J ADMINISTRATIVE
NONE**

K DEVELOPMENT PLATS WITH VARIANCE REQUESTS

130	919 Clearbrook Lane	DPV	Approve
Staff recommendation: Grant the requested variances.			
Commission action: Granted the requested variances.			
	Motion: Davis	Second: Alleman	Vote: Unanimous Abstaining: None

131	1 13 B Elysian Street	DPV	Approve
Staff recommendation: Grant the requested variance to allow vehicular access to a major thoroughfare, subject to the connection of the southern driveway on lot number 6.			
Commission action: Granted the requested variance to allow vehicular access to a major thoroughfare, subject to the connection of the southern driveway on lot number 6.			
	Motion: Davis	Second: Edminster	Vote: Unanimous Abstaining: None

132	12 19 Hansel Lane	DPV	Defer
Staff recommendation: Defer for two weeks for further study and review of separately filed deed restrictions.			
Commission action: Deferred for two weeks for further study and review of separately filed deed restrictions.			
	Motion: Alleman	Second: Sikes	Vote: Unanimous Abstaining: None

133 663 N Main Street**DPV****Defer**

Staff recommendation: Defer for two weeks to allow time for the applicant to provide revised information.

Commission action: Deferred for two weeks to allow time for the applicant to provide revised information.

Motion: **Alleman**Second: **Sikes**Vote: **Unanimous**Abstaining: **None****134 1235 Nasa Parkway****DPV****Approve and Deny**

Staff recommendation: Grant the requested variance to allow the paving section of a divided private street to be less than 20' wide, subject to PWE approval during the permitting stage, but deny the variance to allow the hose lay distance along west side of the proposed building one to exceed the 200' maximum distance requirement.

Commission action: Granted the requested variance to allow the paving section of a divided private street to be less than 20' wide, subject to PWE approval during the permitting stage, but denied the variance to allow the hose lay distance along west side of the proposed building one to exceed the 200' maximum distance requirement.

Motion: **Edminster** Second: **Tart**Vote: **Unanimous**Abstaining: **None****135 17 West Lane****DPV****Approve**

Staff recommendation: Approve the requested variance.

Commission action: Approved the requested variance.

Motion: **Bohan**Second: **Edminster**Vote: **Unanimous**Abstaining: **None****II. ESTABLISH A PUBLIC HEARING DATE OF MAY 2 , 2015 FOR:**

- a. **Aliana Sec 15 replat no 3 and e tension partial replat no 1**
- b. **Douglas E Bundy Amenity Lake replat no 1 and e tension**
- c. **Lakeview Homes Addition partial replat no 2**
- d. **Melody Oaks partial replat no 14**
- e. **Scottcrest partial replat no 1**
- f. **Terrace Oaks partial replat no 1**

Staff recommendation: Establish a public hearing date of May 28, 2015 for items **II a-f**.

Commission action: Established a public hearing date of May 28, 2015 for items **II a-f**.

Motion: **Alleman**Second: **Sikes**Vote: **Unanimous**Abstaining: **None****III. CONSIDERATION OF AN OFF-STREET PARKING VARIANCE FOR A PROPERTY LOCATED AT 3501 SOUTHMORE BOULEVARD (ENERGY INSTITUTE HIGH SCHOOL)**

Staff recommendation: Defer the request for two weeks due to improper notification.

Commission action: Deferred the request for two weeks due to improper notification.

Motion: **Stein**Second: **Bohan**Vote: **Unanimous**Abstaining: **None**

Speaker for item III: Richard Smith, Managing Engineer, Public Works and Engineering Department.

IV. CONSIDERATION OF AN OFF-STREET PARKING VARIANCE FOR A PROPERTY LOCATED AT 520 MERCURY DRIVE (FURR HIGH SCHOOL)

Staff recommendation: Approve the parking variances request.

Commission action: Deferred for the parking variances for two weeks to allow staff to meet and provide additional information.

Motion: **Zakaria**Second: **Edminster**Vote: **Unanimous**Abstaining: **None**

V. CONSIDERATION OF A LANDSCAPE VARIANCE FOR A PROPERTY LOCATED AT 9690 WEST WINGFOOT ROAD (STARPARK WAREHOUSE)

Staff recommendation: Approve the landscape variance.

Commission action: Approved the landscape variance.

Motion: **Edminster** Second: **Stein** Vote: **Carries** Opposing: **Porras-Pirtle**

Speaker for item V: Richard Smith, Managing Engineer, Public Works and Engineering Department.

VI. PUBLIC HEARING AND CONSIDERATION OF A SPECIAL MINIMUM LOT SIZE AREA APPLICATION FOR NAVIGATION SUBDIVISION.

Staff recommendation: Defer the special minimum lot size area application for two weeks in order to review signatures that were submitted and provide appropriate recommendation in two weeks.

Commission action: Deferred the special minimum lot size area application for two weeks in order for staff to review signatures that were submitted and provide appropriate recommendation in two weeks.

Motion: **Nelson** Second: **Bohan** Vote: **Unanimous** Abstaining: **None**

Speakers for item VI: Mary Helen Ortega – applicant, Jessica Hulseley – supportive; Janie Aguayo – opposed.

VII. PUBLIC Hearing and Consideration of A SPECIAL MINIMUM LOT SIZE BLOCK APPLICATION FOR THE 5000 BLOCK OF WEST HUNTING STREET, EAST SIDE

Staff recommendation: Defer the special minimum lot size application for two weeks to give staff time to review additional information submitted.

Commission action: Deferred the special minimum lot size application for two weeks to give staff time to review additional information submitted.

Motion: **Anderson** Second: **Davis** Vote: **Unanimous** Abstaining: **None**

**VIII. PUBLIC COMMENT
NONE**

IX. ADJOURNMENT

There being no further business brought before the Commission, Vice Chair, M. Sonny Garza adjourned the meeting at 4:37 p.m.

Motion: **Zakaria** Second: **Nelson** Vote: **Unanimous** Abstaining: **None**

Sonny Garza, Vice Chair

Michael Kramer, Secretary

Summary of Comments and Staff Recommendations

Document Date: May 8, 2015

Topic	#	Section(s)	Comment Summary	Staff Recommendation
Visibility Triangles	1	42-161	Allow encroachments into the visibility triangle above a certain height.	Amend. Establish a vertical limit of the visibility triangle of twenty (20) feet. Above this height, standard building line encroachment rules will apply.
	2	42-161	Remove requirement to provide a visibility triangle for one-way streets.	No Change. Continue to consider on a case-by-case evaluation through the variance process with coordination from the Department of Public Works & Engineering.
Construction & Maintenance Easements	3	10-18	Do not allow a variance to this provision	Amend. The Commission may consider and grant variances for existing buildings or additions to existing buildings, but not for yet-to-be constructed new buildings.
	4	10-18	Allow variances for additions to existing buildings but not for construction of new buildings.	
Development Plat Submittal Requirements	5	42-46	Chapter 40 covers placement within the public right-of-way. Only show the location of group mailbox if it is placed in the public right-of-way.	Amend. The location of the group mailbox will need to be shown on the site plan if it is within the public right-of-way.
Garbage/Recycling Collection Service for Single-Family	6	39-63	Increase the required amount of linear frontage from 10 feet to 11 feet per unit.	No Change. The Solid Waste Department reviewed the space needs and helped create the recommendation of 10 feet.
	7	39-63	Increase the maximum units allowed to be eligible for City garbage/recycling collection for developments with shared driveways or private streets.	No Change. The Solid Waste Department helped create the existing maximum of 25 units. Larger developments are challenging to service from the public street. The distances from the residential unit to the public street are often too far. This results in residents leaving service bins in the street for extended periods.
Special Minimum Lot Size and Building Line	8	42-172 42-199	Define the period of time within which the director must notify the applicant that the application has been accepted.	Amend. The director will be required to notify the applicant in writing whether or not the application has been accepted within two (2) business days of receiving the application.
	9	42-172 42-199	Make information easily available in a timely manner to the public about where applications for special minimum building line and lot size designation have been submitted.	Amend. The director will be required to post information online within two (2) business days of accepting an application.
	10	42-179 42-208	The department should post publicly when the effective date of the temporary protection goes into place before it happens and allow reasonable time for notice.	Amend. The director will be required to post information for new applications online at least seven (7) days prior to the date when the temporary protection goes into effective.
	11	42-171 42-198	Create an application submittal window for special minimum lot size and building line applications similar to the submittal window for subdivision plats.	No Change. Not all applications go to the Planning Commission. The Department can accept and process applications as they are submitted. The amendments related to comments # 8, 9 and 10 will provide added structure and public notification to the submittal process.
	12	42-178 42-207	Change the required amount to rescind an designation from 67% to 75%	No Change. The current 67% is a reasonable compromise that provides protection for neighborhoods that worked to establish the designation.
	13	42-178 42-207	Change the required amount to rescind a designation from 67% to 55%	
	14	42-178 42-207	Remove to option to rescind a special minimum building line and lot size designation before the complete term has expired.	No Change. The desired character of a neighborhood can change in 40 years. This allows residents who own the majority of the land within the area the flexibility to remove a designation that is no longer wanted or needed.
	15	42-170 42-197	Establish a timeframe for determining when a property should be considered “vacant” for properties with recently demolished structures.	Amend. Property where a building or use was demolished or removed more than five (5) years prior to the date the application was accepted will be considered “vacant”. When less than five (5) years, the property will be considered to be “in use for” the same use that was demolished or removed.

Special Minimum Lot Size and Building Line <i>(continued)</i>				<i>Example:</i> A commercial building is demolished two years prior to when a special minimum lot size application is accepted by the director. Although recently vacant, this property will still be considered “commercial” for the purposes of processing the application under the proposed rules. The current rules would have restricted the property to single-family residential.
Special Minimum Lot Size Only	16	42-198	Align application criteria with criteria reviewed by Commission and Council.	Amend. Applicants will be required to provide a brief description as to how the application meets the criteria for consideration. This will be part of the revised application form.
	17	42-204	Whether a single-family home was built recently or in decades past does not change the lot size character of the property or the neighborhood.	Amend. Remove “age of the structures” from the identifiable character the Commission must take into account for consideration.
	18	42-208	Vacant property with access only to a major thoroughfare should not be restricted to single-family. Single-family residential is discouraged or in some cases prohibited from taking access to a major thoroughfare.	No Change. Continue to consider unique situations on a case-by-case evaluation through the variance process with public notification.
	19	42-201	Change the support calculation for a special minimum lot size area from 55% of the area to 55% of the response forms.	No Change. The special minimum lot size designation requires demonstrated support that the residents who own the majority of the land within the area want to the restricted. Determining the support based on the total area ensures that a minority of property owners cannot establish the restriction.
	20	42-204	There should be the ability to modify the boundary of a special minimum lot size area application if it is appropriate to do so because of the nature of a block or the area.	Amend. The boundaries of a special minimum lot size area may be modified to reflect major physical features that create a distinct boundary for the neighborhood. <i>Example:</i> perimeter neighborhood or sound walls; rights-of-way wider than 100 feet or major thoroughfares; unimproved rights-of-way; large parcels on the perimeter of the area that are more than ten (10) times the size of the calculated minimum lot size.
	21	42-207	Process to rescind a special minimum lot size area is too complicated.	Amend. Property owners representing 67% or more of the designated area must want the designation to be removed. No modification of boundaries.
	22	42-207	A neighborhood enters into the designation as one, therefore should leave as one.	

Item		App	
No.	Subdivision Plat Name	Type	Deferral
A-Consent			
1	Albury Trails Estates Sec 4	C3F	
2	Alden Woods Sec 2	C3P	
3	Aldine ISD Cypresswood Point	C2	
4	Alvarado Estates	C2	
5	Atascocita Forest Sec 26	C3F	
6	Augusta Haven Drive at Timber Crest Village Drive Street Dedication	SP	
7	Bayou Fifth Sec 1	C3F	
8	Bayou Fifth Sec 2	C3F	
9	Bosniaks Cultural Community of Houston	C2	DEF1
10	Brenwood Manor Town Homes	C3F	DEF1
11	Brenwood South Sec 2	C3F	
12	Bridgeland Hidden Creek Sec 18	C3F	DEF1
13	Bridgeland Hidden Creek Sec 19	C3F	DEF1
14	Cinco Ranch Northwest Sec 17	C3F	
15	City Park Central Lane Street Dedication Sec 1	SP	
16	Contempo Yale	C3F	
17	Cumberland Ridge Drive Street Dedication Sec 1	SP	
18	Cypress Preserve Park Sec 2	C3F	
19	Delz Oaks	C2	DEF1
20	Enclave at Northpointe Sec 6	C3F	
21	Fallbrook Pines Sec 1	C3F	
22	Forestwood Sec 8	C3P	DEF2
23	Harris Orchard	C3F	DEF1
24	Haven at Augusta Woods Village Apartments	C2	DEF1
25	HISD Austin High School Extension	C2	
26	Hollywood Gardens partial replat no 2 replat no 1	C3F	
27	Katy Independent School District no 8	C3F	
28	Kenroc Sec 3	C3P	
29	Kings Mill Sec 11	C3F	
30	Kings Village North partial replat no 2	C3F	
31	Kings Village North partial replat no 3	C3F	
32	Kings Village North partial replat no 4	C3F	
33	Kings Village partial replat no 1	C3F	
34	Kuykendahl Commercial Center	C2	DEF1
35	Lentin Trails	C2	
36	Long Meadow Farms Sec 37	C3P	DEF1
37	Mayfield Place	C3P	DEF1
38	McCrary Meadows Sec 1	C3F	
39	Mcintosh Villas	C2	DEF2
40	Meadows at Cypress Creek	C2	
41	Mirabella Sec 11	C3P	
42	North Ventana Parkway Street Dedication Sec 1	SP	

Platting Summary**Houston Planning Commission****PC Date: May 14, 2015**

Item No.	Subdivision Plat Name	App	
		Type	Deferral
43	Orleans Square Plat	C2	
44	Park 8	C2	
45	PHMSCM Holdings LLC	C2	
46	Piney Point Estates partial replat no 5	C3F	
47	Popeyes at Telephone Road	C2	DEF2
48	Preserve at Miramar GP	GP	
49	Preserve at Miramar Lake Sec 1	C3P	
50	Promised Paradise	C2	
51	Reserve at FM 1960 GP	GP	
52	Reserve at FM 1960 Sec 1	C2	
53	Reserve at Greenhouse	C2	
54	Rosehill Reserve Sec 1	C3F	
55	Rosehill Reserve Sec 2	C3F	
56	Rosehill Reserve Sec 3	C3F	
57	Rosehill Reserve Sec 4	C3F	
58	Rosehill Reserve Sec 5	C3F	
59	Shady Acres Extension no 3 partial replat no 7	C3F	
60	Springwoods Village District Sec 7	C2	
61	Springwoods Village Spring Grove Sec 2	C2	
62	Stillwater on Lake Houston Sec 5	C3P	
63	Tavola Via Principale Parkway East	C3P	
64	Tavola Via Principale Parkway West	C3P	
65	Texas Metal Tech	C2	
66	Threlkeld Point partial replat no 1	C3F	
67	Unique Boat and RV	C2	
68	Upland Preserve	C3F	
69	Vadtal Dham Shree Swaminarayan Hindu Temple	C2	
70	Ventana Lakes Sec 9	C3F	DEF1
71	Ventana Lakes Sec 13	C3F	
72	Verizon Village Green GP	GP	DEF1
73	Villas at Copperwood GP	GP	
74	Villas at Copperwood Sec 1	C3P	
75	West Road and Peek Road and Fed Ex Road Street Dedication Sec 1	SP	
76	Wildwood at Northpointe Sec 25	C3P	
77	Wildwood at Northpointe Sec 26	C3P	
78	Woodlands Creekside Park West Sec 26	C3F	
79	Woodlands Village of Sterling Ridge Sec 100	C3P	
80	Zander Estates Bingham	C2	

B-Replats

81	Adele Court South	C2R	
82	Airline Commercial	C2R	
83	Aria at Medical Center	C2R	
84	Autumn Commons	C2R	

Platting Summary**Houston Planning Commission****PC Date: May 14, 2015**

Item No.	Subdivision Plat Name	App	
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85	Beltway Southwest Business Park Sec 1	C3R	DEF2
86	Bringhurst Street Terrace	C2R	
87	Burger King Irvington	C2R	
88	Cage Street Landing	C2R	
89	Carpenters Landing Sec 7	C3R	DEF2
90	Cline Street Patio Homes	C2R	DEF2
91	Cottage Grove Sec 4 partial replat no 2	C2R	
92	Deerbrook Crossing Sec 4 partial replat no 1 and extension	C2R	
93	Enterra at Fowler	C2R	
94	Floyd Vista	C2R	
95	Genesse West Drew Crossing	C2R	
96	Hardy Court	C2R	
97	Harrow Center partial replat no 2	C2R	
98	Lanark Place	C2R	
99	Lee High School Expansion	C2R	
100	Moonshine Green Plaza	C2R	DEF1
101	Novatecture Design Group Ridgewood Place	C2R	
102	Oanh and Tien Plaza	C2R	
103	Overcomers Community Church	C2R	
104	Park Place Westheimer	C2R	
105	Park Ridge Truro East	C2R	
106	Park Ridge Truro West	C2R	
107	Revere Court	C2R	DEF1
108	Shadyacres Second Section partial replat no 1	C2R	
109	Spring Auto Service	C2R	
110	Spring Trace Center partial replat no 1 and extension	C2R	
111	Stone Gate Commons South partial replat no 1	C2R	
112	Taggart Street Place	C2R	
113	Technical Realty Group of Texas	C2R	
114	Terrace On Bastrop	C2R	
115	Tricons Brun Enclave	C2R	
116	Village of Indian Trails Commercial Reserve replat no 1	C2R	
117	West 20th and Shepherd	C2R	

C-Public Hearings Requiring Notification

118	Long Point Woods Sec 1 partial replat no 1	C3N	DEF1
119	McKenzie Park Sec 4 partial replat no 1	C3N	
120	Scenic Woods partial replat no 2	C3N	
121	Spring Village Estates partial replat no 1	C3N	
122	Treviso replat no 1	C3N	
123	Washington Terrace partial replat no 2	C3N	DEF1
124	Westcott Place Sec 2 partial replat no 1	C3N	

Item No.	Subdivision Plat Name	App	
		Type	Deferral

D-Variances

125	Adara Pointe GP	GP	DEF1
126	Albion partial replat no 1	C2R	
127	Albion partial replat no 2	C2R	
128	Aldine Town Center GP	GP	
129	Aldine Westfield Business Park	C2	DEF1
130	Bell Hutchins	C2	DEF1
131	Center City Views	C2R	DEF1
132	Dwight Place	C2R	DEF1
133	Energy Gateway District	C3R	
134	Fondren Estates	C2	
135	Harris County MUD no 438 Waste Water Treatment Plant no 1	C2	
136	Harris County MUD no 438 Water Plant No 1	C2	
137	Herkimer Lawrence Homes	C2R	
138	Katy Manor GP	GP	
139	Kubricht White	C2R	
140	Museum of Fine Arts Houston Sec 1	C2R	
141	Reserve at Clear Lake City Sec 7	C3P	
142	Rosine Gardens	C2	DEF1
143	Sunset Ridge West Sec 5	C3P	DEF1
144	Swan Terrace	C2R	DEF2
145	Thrustmaster Sec 2	C2	

E-Special E ceptions

None

F-Reconsideration of Requirements

146	Alana Sec 45	C3P	
147	Beltway Southwest Business Park GP	GP	
148	Huffman Dollar General	C2	
149	SLC Realty Area Fifty One	C2	

G-E tensions of Approval

150	Estates of Teal Run Sec 5 partial replat no 1	EOA	
151	Fort Bend County Municipal Utility District No 58 Lift Station No 2	EOA	
152	Franz Katy LLP	EOA	
153	Harris County MUD no 504 Detention Pond no 1	EOA	
154	Harris County MUD no 504 Detention Pond no 2	EOA	
155	Kenroc Sec 2	EOA	
156	Mustang Estates Sec 1	EOA	

Platting Summary**Houston Planning Commission****PC Date: May 14, 2015**

Item		App	
No.	Subdivision Plat Name	Type	Deferral
157	Pine Valley Development Sec 1	EOA	
158	Rankin Hardy Tract	EOA	
159	Woodlands Creekside Park West Sec 32	EOA	
160	Woodlands Shumard Oak Drive Street Dedication Sec 1	EOA	

H-Name Changes

None

I-Certification of Compliance

None

J-Administrative

None

K-Development Plats with Variance Requests

161	6705 Airline	DPV
162	12819 Hansel Lane	DPV
163	6638 N Main Street	DPV
164	3819 S MacGregor Way	DPV
165	201 Westmoreland	DPV
166	2100 Woodhead	DPV

Platting Summary**Houston Planning Commission****PC Date: May 14, 2015**

Item No.	Subdivision Plat Name	App No.	App Type	Location			Plat Data			Customer	
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A-Consent

1	Albury Trails Estates Sec 4	2015-0935	C3F	Harris	ETJ	289Q	22.44	0.36	100	Willow Creek Development/Hendricks	LJA Engineering, Inc.- (West Houston Office)
2	Alden Woods Sec 2	2015-0978	C3P	Harris	ETJ	368F	36.90	15.62	69	Tangley Development	BGE Kerry R. Gilbert Associates
3	Aldine ISD Cypresswood Point	2015-0923	C2	Harris	ETJ	334L	17.50	17.50	0	Aldine ISD	Jones & Carter, Inc.
4	Alvarado Estates	2015-0919	C2	Harris	ETJ	293P	4.35	0.00	1	Jaime Alvarado	Owens Management Systems, LLC
5	Atascocita Forest Sec 26	2015-0885	C3F	Harris	ETJ	376H	12.17	1.03	57	Woodmere Development Co., LTD.	Brown & Gay Engineers, Inc.
6	Augusta Haven Drive at Timber Crest Village Drive Street Dedication	2015-0955	SP	Harris	ETJ	250S	1.30	0.00	0	Timbercrest Partners, LLC	Windrose Land Services, Inc.
7	Bayou Fifth Sec 1	2015-0950	C3F	Harris	City	494F	12.61	0.63	214	Fenway Development, Inc.	Jacobs Engineering Group Inc.
8	Bayou Fifth Sec 2	2015-0953	C3F	Harris	City	494K	17.61	2.94	223	Fenway Development, Inc.	Jacobs Engineering Group Inc.
9	Bosniaks Cultural Community of Houston (DEF1)	2015-0789	C2	Harris	ETJ	447L	1.25	1.25	0	BOSNIAKS CULTURAL COMMUNITY OF HOUSTON	Advance Surveying, Inc.
10	Brenwood Manor Town Homes (DEF1)	2015-0780	C3F	Harris	ETJ	407X	10.91	4.72	74	Brenwood Estates, Ltd.	R.G. Miller Engineers
11	Brenwood South Sec 2	2015-0924	C3F	Harris	ETJ	447A	42.96	9.04	260	Brenwood C.M.I., LTD.	AECOM
12	Bridgeland Hidden Creek Sec 18 (DEF1)	2015-0855	C3F	Harris	ETJ	366N	15.27	1.31	53	Bridgeland Development, LP	Costello, Inc.
13	Bridgeland Hidden Creek Sec 19 (DEF1)	2015-0797	C3F	Harris	ETJ	366N	25.48	4.39	98	Bridgeland Development, LP	Costello, Inc.
14	Cinco Ranch Northwest Sec 17	2015-0960	C3F	Fort Bend	ETJ	484N	33.73	5.67	94	Nash Cinco NW, LLC	Brown & Gay Engineers, Inc.
15	City Park Central Lane Street Dedication Sec 1	2015-0925	SP	Harris	City	573N	2.93	0.00	0	GBF LIC 288, LTD.	AECOM
16	Contempo Yale	2015-0952	C3F	Harris	City	452D	4.89	0.51	41	Cygnus Builders	Total Surveyors, Inc.
17	Cumberland Ridge Drive Street Dedication Sec 1	2015-0876	SP	Harris	ETJ	325L	0.66	0.00	0	Lennar Homes of Texas Land and Construction, LTD.,	Brown & Gay Engineers, Inc.
18	Cypress Preserve Park Sec 2	2015-0733	C3F	Harris	ETJ	332G	156.61	147.09	0	Hendricks Interests, LLC	LJA Engineering, Inc.- (West Houston Office)
19	Delz Oaks (DEF1)	2015-0800	C2	Harris	City	452H	1.02	0.00	2	Witte and Broker	Karen Rose Engineering and Surveying
20	Enclave at Northpointe Sec 6	2015-0802	C3F	Harris	ETJ	328K	28.40	4.45	88	Northpointe Development Partners LTD	Benchmark Engineering Corp.
21	Fallbrook Pines Sec 1	2015-0832	C3F	Harris	ETJ	370X	25.52	24.00	0	Fallbrook Industrial Associates, LLC	EHRA

Platting Summary**Houston Planning Commission****PC Date: May 14, 2015**

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22	Forestwood Sec 8 (DEF2)	2015-0661	C3P	Harris	ETJ	411D	12.06	0.00	64	Westchase Madison Inc.	F & R Engineering Group, Inc.
23	Harris Orchard (DEF1)	2015-0824	C3F	Harris	City	451R	2.38	0.00	14	Rob Ryan Construction	Melissa's platting service
24	Haven at Augusta Woods Village Apartments (DEF1)	2015-0793	C2	Harris	ETJ	250S	7.00	7.00	0	Haven at Augusta Woods Village, LP	Windrose Land Services, Inc.
25	HISD Austin High School Extension	2015-0879	C2	Harris	City	494X	8.57	8.57	0	Houston Independent School District	Costello, Inc.
26	Hollywood Gardens partial replat no 2 replat no 1	2015-0851	C3F	Harris	City	450V	5.58	0.83	55	Pulte Group	Ridge Planning & Engineering
27	Katy Independent School District no 8	2015-0896	C3F	Harris	ETJ	445B	146.90	141.06	0	JNS Engineers LLC	JNS Engineers LLC
28	Kenroc Sec 3	2015-0934	C3P	Harris	ETJ	292N	30.19	30.19	0	Kenroc Development, LLC	IDS Engineering Group
29	Kings Mill Sec 11	2015-0949	C3F	Montgomery	ETJ	296W	13.57	0.98	64	K-Mill at Russell Palmer, LTD.	EHRA
30	Kings Village North partial replat no 2	2015-0930	C3F	Harris	ETJ	292S	0.14	0.00	2	L 4 Kings Village LLC	South Texas Surveying Associates, Inc.
31	Kings Village North partial replat no 3	2015-0933	C3F	Harris	ETJ	292S	0.14	0.00	2	L 4 Kings Village LLC	South Texas Surveying Associates, Inc.
32	Kings Village North partial replat no 4	2015-0936	C3F	Harris	ETJ	292S	1.05	0.09	13	L 4 Kings Village LLC	South Texas Surveying Associates, Inc.
33	Kings Village partial replat no 1	2015-0927	C3F	Harris	ETJ	292S	1.08	0.00	13	L 4 Kings Village LLC	South Texas Surveying Associates, Inc.
34	Kuykendahl Commercial Center (DEF1)	2015-0767	C2	Harris	ETJ	290L	35.68	35.68	0	HEB Grocery Company LP	LJA Engineering, Inc.- (West Houston Office)
35	Lentin Trails	2015-0954	C2	Harris	ETJ	447K	3.60	3.60	0	South Texas Surveying Associates, Inc.	South Texas Surveying Associates, Inc.
36	Long Meadow Farms Sec 37 (DEF1)	2015-0773	C3P	Fort Bend	ETJ	565D	7.68	1.29	15	LM Development, LP	Knudson, LP
37	Mayfield Place (DEF1)	2015-0853	C3P	Harris	ETJ	333J	25.92	25.92	3	Mayfield Commercial Development, LLC	John G. Thomas and Associates, Inc. dba Thomas Land Surveying
38	McCrary Meadows Sec 1	2015-0886	C3F	Fort Bend	ETJ	565G	43.47	3.00	168	Ventana Development	LJA Engineering, Inc.- (West Houston Office)
39	Mcintosh Villas (DEF2)	2015-0706	C2	Harris	City	493C	0.15	0.00	2	AHN Development	The Interfield Group
40	Meadows at Cypress Creek	2015-0870	C2	Harris	ETJ	368K	21.81	21.81	0	Nantucket Housing, LLC	Brown & Gay Engineers, Inc.
41	Mirabella Sec 11	2015-0965	C3P	Harris	ETJ	406D	10.30	0.17	48	Land Tejas	BGE Kerry R. Gilbert Associates
42	North Ventana Parkway Street Dedication Sec 1	2015-0938	SP	Harris	ETJ	445B	5.32	0.00	0	D. R. Horton - Texas, Ltd., A Texas Limited Partnership	EHRA
43	Orleans Square Plat	2015-0881	C2	Harris	ETJ	329N	0.95	0.95	1	Spring Cy-One LP	Robinson Surveying Inc.

Platting Summary**Houston Planning Commission****PC Date: May 14, 2015**

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44	Park 8	2015-0648	C2	Harris	City	372U	17.21	17.21	0	Avera Companies	Weisser Engineering Company
45	PHMSCM Holdings LLC	2015-0867	C2	Harris	ETJ	416D	0.85	0.85	0	PHMSCM HOLDINGS, LLC	Civil-Surv Land Surveying, L.C.
46	Piney Point Estates partial replat no 5	2015-0903	C3F	Harris	City	490T	1.50	0.00	3	Parvis Hakimzadeh	Windrose Land Services, Inc.
47	Popeyes at Telephone Road (DEF2)	2015-0723	C2	Harris	City	575W	0.77	0.77	0	Global New Millenium Partners	E.I.C. Surveying Company
48	Preserve at Miramar GP	2015-0974	GP	Harris	City/ ETJ	290J	30.12	0.00	0	LPUSA, Inc.	Jones & Carter, Inc. - The Woodlands
49	Preserve at Miramar Lake Sec 1	2015-0994	C3P	Harris	ETJ	290J	23.73	3.73	96	LPUSA, Inc.	Jones & Carter, Inc. - The Woodlands
50	Promised Paradise	2015-0781	C2	Harris	City	578S	3.96	3.96	0	ELLIS SURVEYING SERVICES LLC	Ellis Surveying Services, LLC
51	Reserve at FM 1960 GP	2015-0897	GP	Harris	ETJ	334V	27.29	0.00	0	Olive Land LLC	Hovis Surveying Company Inc.
52	Reserve at FM 1960 Sec 1	2015-0808	C2	Harris	ETJ	334V	1.50	1.50	0	Birju Patel	Hovis Surveying Company Inc.
53	Reserve at Greenhouse	2015-0912	C2	Harris	ETJ	446H	2.54	2.54	0	Elite Fireworks, LLC	Hovis Surveying Company Inc.
54	Rosehill Reserve Sec 1	2015-0964	C3F	Harris	ETJ	286Q	28.24	4.82	110	ROSEHILL RESERVE, LTD.	Costello, Inc.
55	Rosehill Reserve Sec 2	2015-0966	C3F	Harris	ETJ	286Q	24.38	6.05	68	ROSEHILL RESERVE, LTD.	Costello, Inc.
56	Rosehill Reserve Sec 3	2015-0969	C3F	Harris	ETJ	286Q	19.17	0.93	57	ROSEHILL RESERVE, LTD.	Costello, Inc.
57	Rosehill Reserve Sec 4	2015-0972	C3F	Harris	ETJ	286Q	18.34	0.61	47	ROSEHILL RESERVE, LTD.	Costello, Inc.
58	Rosehill Reserve Sec 5	2015-0975	C3F	Harris	ETJ	286Q	14.40	7.34	0	ROSEHILL RESERVE, LTD.	Costello, Inc.
59	Shady Acres Extension no 3 partial replat no 7	2015-0916	C3F	Harris	City	452Y	0.25	0.00	6	ARCHTERRA HOMES	ICMC GROUP INC
60	Springwoods Village District Sec 7	2015-0940	C2	Harris	ETJ	292J	76.56	76.56	0	Springwoods Realty, Inc.	C.L. Davis & Company
61	Springwoods Village Spring Grove Sec 2	2015-0937	C2	Harris	ETJ	292J	50.00	50.00	0	Springwoods Realty, Inc.	C.L. Davis & Company
62	Stillwater on Lake Houston Sec 5	2015-0862	C3P	Harris	City	377U	9.96	0.35	33	Taylor Morrison of Texas	Jones & Carter, Inc.
63	Tavola Via Principale Parkway East	2015-0888	C3P	Montgomery	ETJ	257E	19.20	15.74	0	Friendswood Development Company	RVi Planning + Landscape Architecture
64	Tavola Via Principale Parkway West	2015-0891	C3P	Montgomery	ETJ	257E	3.10	0.23	0	Friendswood Development Company	RVi Planning + Landscape Architecture
65	Texas Metal Tech	2015-0922	C2	Harris	ETJ	371J	4.97	4.97	0	Texas Metal Tech, Inc.	Atkinson Engineers
66	Threlkeld Point partial replat no 1	2015-0801	C3F	Harris	City	493A	0.49	0.00	6	Interfield, Inc.	The Interfield Group
67	Unique Boat and RV	2015-0887	C2	Fort Bend	ETJ	524P	7.55	7.55	0	Hanna Elias	Texas Engineering And Mapping Company
68	Upland Preserve	2015-0939	C3F	Harris	City	449X	2.50	0.42	37	Friendswood Development Company	Jones & Carter, Inc.
69	Vadtal Dham Shree Swaminarayan Hindu Temple	2015-0847	C2	Fort Bend	ETJ	527X	3.64	3.64	0	D. S. & Associates	S. S. A. U. S. M. USA Inc.,

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70	Ventana Lakes Sec 9 (DEF1)	2015-0836	C3F	Harris	ETJ	445E	23.04	2.84	98	D. R. Horton - Texas, Ltd., A Texas Limited Partnership	EHRA
71	Ventana Lakes Sec 13	2015-0948	C3F	Harris	ETJ	445B	22.29	1.07	86	D. R. Horton - Texas, Ltd., A Texas Limited Partnership	EHRA
72	Verizon Village Green GP (DEF1)	2015-0863	GP	Harris	City	572P	1.59	1.45	0	Verizon Wireless	Jones & Carter, Inc.
73	Villas at Copperwood GP	2015-0963	GP	Harris	ETJ	407R	27.26	0.00	0	KB Home Lone Star, Inc.	Jones & Carter, Inc. - The Woodlands
74	Villas at Copperwood Sec 1	2015-0970	C3P	Harris	ETJ	407R	14.11	4.21	66	KB Home Lone Star, Inc.	Jones & Carter, Inc. - The Woodlands
75	West Road and Peek Road and Fed Ex Road Street Dedication Sec 1	2015-0868	SP	Harris	ETJ	405C	13.44	0.00	0	Fry Road Ventures, L.P.	Brown & Gay Engineers, Inc.
76	Wildwood at Northpointe Sec 25	2015-0907	C3P	Harris	ETJ	328F	12.02	1.25	38	Friendswood Development Company	Jones & Carter, Inc. - The Woodlands
77	Wildwood at Northpointe Sec 26	2015-0908	C3P	Harris	ETJ	328F	6.81	3.42	0	Friendswood Development Company	Jones & Carter, Inc. - The Woodlands
78	Woodlands Creekside Park West Sec 26	2015-0878	C3F	Harris	ETJ	249Q	19.69	6.56	30	The Woodlands Land Development Company, L.P.	IDS Engineering Group
79	Woodlands Village of Sterling Ridge Sec 100	2015-0926	C3P	Montgomery	ETJ	215W	9.26	2.18	52	The Woodlands Land Development Company, L.P.	LJA Engineering, Inc - (Woodlands Office)
80	Zander Estates Bingham	2015-0929	C2	Harris	City	493F	0.11	0.00	2	ZANDER HOMES	Bates Development Consultants

B-Replats

81	Adele Court South	2015-0898	C2R	Harris	City	453T	0.23	0.00	3	Southern Porch Investments 1, LLC	Karen Rose Engineering and Surveying
82	Airline Commercial	2015-0973	C2R	Harris	City	453P	0.28	0.26	0	N/A	The Interfield Group
83	Aria at Medical Center	2015-0910	C2R	Harris	City	532M	0.46	0.46	0	Heritage Home Builders I L.P.	Jalayer And Associates, Inc.
84	Autumn Commons	2015-0914	C2R	Harris	City	454G	0.13	0.00	1	Greater Love Baptist Church	TKE Development Services, Ltd.
85	Beltway Southwest Business Park Sec 1 (DEF2)	2015-0748	C3R	Harris	City	571N	58.80	55.44	0	SW Tracts Industrial, LLC	Windrose Land Services, Inc.
86	Bringhurst Street Terrace	2015-0928	C2R	Harris	City	494F	0.38	0.00	5	Lovett Homes	Total Surveyors, Inc.
87	Burger King Irvington	2015-0871	C2R	Harris	City	453U	0.88	0.88	0	Burger King Addition	MOMENTUM ENGINEERING
88	Cage Street Landing	2015-0932	C2R	Harris	City	494K	2.46	0.00	62	Lovett Homes	Total Surveyors, Inc.
89	Carpenters Landing Sec 7 (DEF2)	2015-0676	C3R	Harris	ETJ	457V	11.04	2.69	53	New Forest Development Company, LLC	LJA Engineering, Inc. - (West Houston Office)
90	Cline Street Patio Homes (DEF2)	2015-0588	C2R	Harris	City	494J	0.17	0.00	6	Buildvestors on Cline, LLC	Bowden Survey

Platting Summary**Houston Planning Commission****PC Date: May 14, 2015**

Item No.	Subdivision Plat Name	App No.	App Type	Location			Plat Data			Customer	
				Co	City/ETJ	Key Map	Plat Ac	Rsv Ac	Lots	Developer	Applicant's Company
91	Cottage Grove Sec 4 partial replat no 2	2015-0810	C2R	Harris	City	492B	0.12	0.00	3	Gary Burch	FMS Surveying, Inc
92	Deerbrook Crossing Sec 4 partial replat no 1 and extension	2015-0872	C2R	Harris	City	375B	12.65	12.65	0	Bleyl & Associates	Civil Concepts, Inc.
93	Enterra at Fowler	2015-0902	C2R	Harris	City	492H	0.12	0.00	3	Enterra Homes	The Interfield Group
94	Floyd Vista	2015-0889	C2R	Harris	City	492L	0.17	0.00	4	MARK STEPHENS	replats.com
95	Genesee West Drew Crossing	2015-0947	C2R	Harris	City	493P	0.23	0.00	6	RZ Enterprises USA, Inc.	Total Surveyors, Inc.
96	Hardy Court	2015-0959	C2R	Harris	City	453V	0.37	0.01	7	RRA INVESTMENTS LLC	ICMC GROUP INC
97	Harrow Center partial replat no 2	2015-0681	C2R	Harris	ETJ	448A	9.26	9.26	0	HARROW RENTAL REAL ESTATE, LLC - SERIES ONE	Broussard Land Surveying, LLC
98	Lanark Place	2015-0790	C2R	Harris	City	532J	0.22	0.00	3	Covington Builders LLC	ICMC GROUP INC
99	Lee High School Expansion	2015-0946	C2R	Harris	City	491W	7.00	7.00	0	Houston ISD	Windrose Land Services, Inc.
100	Moonshine Green Plaza (DEF1)	2015-0692	C2R	Harris	ETJ	336T	0.99	0.99	0	G & S Concrete	BM DESIGN LLC
101	Novatecture Design Group Ridgewood Place	2015-0900	C2R	Harris	City	492R	0.11	0.00	2	Novatecture Design Group	Daram Engineers, Inc.
102	Oanh and Tien Plaza	2015-0961	C2R	Harris	City	528M	3.25	3.25	0	O&T Investments LLC	South Texas Surveying Associates, Inc.
103	Overcomers Community Church	2015-0918	C2R	Harris	City	412N	1.96	1.94	0	Overcomers Community Church	Owens Management Systems, LLC
104	Park Place Westheimer	2015-0992	C2R	Harris	City	489V	3.68	3.68	0	Pacific Sun	South Texas Surveying Associates, Inc.
105	Park Ridge Truro East	2015-0905	C2R	Harris	City	492G	0.13	0.00	2	Novatecture Design Group	Daram Engineers, Inc.
106	Park Ridge Truro West	2015-0906	C2R	Harris	City	492G	0.13	0.00	2	Novatecture Design Group	Daram Engineers, Inc.
107	Revere Court (DEF1)	2015-0776	C2R	Harris	City	492U	0.14	0.00	3	DAVIS RL DEVELOPMENT, LP	Civil-Surv Land Surveying, L.C.
108	Shadyacres Second Section partial replat no 1	2015-0895	C2R	Harris	City	452T	0.11	0.00	2	West Ella Holdings, LLC	Windrose Land Services, Inc.
109	Spring Auto Service	2015-0816	C2R	Harris	ETJ	291Q	1.17	1.17	0	Sergiu Burca Architect	HRS and Associates, LLC
110	Spring Trace Center partial replat no 1 and extension	2015-0921	C2R	Harris	ETJ	376Z	62.39	62.39	0	Kimley-Horn, Inc	Terra Surveying Company, Inc.
111	Stone Gate Commons South partial replat no 1	2015-0883	C2R	Harris	ETJ	367P	2.07	2.07	0	34 Dhanni Investments	Advance Surveying, Inc.
112	Taggart Street Place	2015-0971	C2R	Harris	City	492F	0.20	0.00	4	5177 Builders, Ltd.	TKE Development Services, Ltd.
113	Technical Realty Group of Texas	2015-0957	C2R	Harris	ETJ	291V	9.87	9.87	0	Technical Realty Group of Texas, LLC	Pape-Dawson Engineers

Platting Summary**Houston Planning Commission****PC Date: May 14, 2015**

Item No.	Subdivision Plat Name	App No.	App Type	Location			Plat Data			Customer	
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114	Terrace On Bastrop	2015-0913	C2R	Harris	City	493Y	0.11	0.00	3	Joe's Construction, LLC	Jalayer And Associates, Inc.
115	Tricons Brun Enclave	2015-0990	C2R	Harris	City	492R	0.29	0.00	6	Tricon Homes	Owens Management Systems, LLC
116	Village of Indian Trails Commercial Reserve replat no 1	2015-0894	C2R	Harris	ETJ	328P	5.82	5.82	0	LSP Rock Creek, LLC	Windrose Land Services, Inc.
117	West 20th and Shepherd	2015-0981	C2R	Harris	City	452V	0.60	0.60	0	Braun Enterprises	Tetra Surveys

C-Public Hearings Requiring Notification

118	Long Point Woods Sec 1 partial replat no 1 (DEF1)	2015-0356	C3N	Harris	City	450X	0.34	0.00	2	TimeLine Construction Group LLC	Melissa's platting service
119	McKenzie Park Sec 4 partial replat no 1	2015-0749	C3N	Harris	ETJ	291E	0.84	0.05	1	Tres Lago Development, A Texas Limited Liability Company	EHRA
120	Scenic Woods partial replat no 2	2015-0488	C3N	Harris	City	415S	43.32	43.32	0	Houston Community College	Boundary One, LLC
121	Spring Village Estates partial replat no 1	2015-0486	C3N	Harris	ETJ	290F	1.14	0.00	1	KING'S LAND SURVEYING SOLUTIONS, LLC	KING'S LAND SURVEYING SOLUTIONS, LLC
122	Treviso replat no 1	2015-0752	C3N	Harris	City	450Q	3.67	0.15	17	Devlan Group, Inc.	LJA Engineering, Inc. - (West Houston Office)
123	Washington Terrace partial replat no 2 (DEF1)	2015-0231	C3N	Harris	City	493Y	0.12	0.00	3	High Heels to Hard Hats	PRIME TEXAS SURVEYS, LLC
124	Westcott Place Sec 2 partial replat no 1	2015-0712	C3N	Harris	City	453R	0.50	0.00	4	GEYFA Investments LLC	Hovis Surveying Company Inc.

D-Variances

125	Adara Pointe GP (DEF1)	2015-0865	GP	Harris	ETJ	445E	156.16	0.00	0	Telephone Investment, Inc.	LJA Engineering, Inc. - (West Houston Office)
126	Albion partial replat no 1	2015-0873	C2R	Harris	City	532W	1.26	0.02	29	Texas Intownhomes, LLC	Vernon G. Henry & Associates, Inc.
127	Albion partial replat no 2	2015-0874	C2R	Harris	City	532W	0.50	0.00	12	Texas Intownhomes LLC	Vernon G. Henry & Associates, Inc.
128	Aldine Town Center GP	2015-0890	GP	Harris	ETJ	414E	61.58	0.00	0	Harris County	Harris Engineer 1
129	Aldine Westfield Business Park (DEF1)	2015-0581	C2	Montgomery	ETJ	253S	18.05	18.05	0	KM Aldine Westfield	Town and Country Surveyors
130	Bell Hutchins (DEF1)	2015-0654	C2	Harris	City	493R	0.52	0.52	0	Lesco, Inc.	Precision Land Surveying
131	Center City Views (DEF1)	2015-0859	C2R	Harris	City	492H	0.34	0.34	0	Cisneros Design Studio	The Interfield Group
132	Dwight Place (DEF1)	2015-0762	C2R	Harris	City	412U	0.18	0.00	1	AGS CONSULTANTS, LLC	AGS CONSULTANTS LLC
133	Energy Gateway District	2015-0893	C3R	Harris	City	490A	24.30	22.75	0	MetroNational	BGE Kerry R. Gilbert Associates

Platting Summary**Houston Planning Commission****PC Date: May 14, 2015**

Item No.	Subdivision Plat Name	App No.	App Type	Location			Plat Data			Customer	
				Co	City/ ETJ	Key Map	Plat Ac	Rsv Ac	Lots	Developer	Applicant's Company
134	Fondren Estates	2015-0931	C2	Harris	City	570M	0.52	0.52	0	Talamantes Design	PLS
135	Harris County MUD no 438 Waste Water Treatment Plant no 1	2015-0877	C2	Harris	ETJ	405C	2.65	2.65	0	Fry Road Ventures, L.P.	Brown & Gay Engineers, Inc.
136	Harris County MUD no 438 Water Plant No 1	2015-0875	C2	Harris	ETJ	405C	3.33	3.33	0	Fry Road Ventures, L.P.	Brown & Gay Engineers, Inc.
137	Herkimer Lawrence Homes	2015-0942	C2R	Harris	City	492D	0.20	0.00	2	Joyce Homes, Inc.	Total Surveyors, Inc.
138	Katy Manor GP	2015-0976	GP	Harris	ETJ	444C	121.93	0.00	0	KB Home Lonestar L.P.	LJA Engineering, Inc. - (West Houston Office)
139	Kubricht White	2015-0798	C2R	Harris	City	493T	0.46	0.46	0	N/A	E.I.C. Surveying Company
140	Museum of Fine Arts Houston Sec 1	2015-0774	C2R	Harris	City	493W	2.34	2.34	0	Museum of Fine Arts, Houston	Knudson, LP
141	Reserve at Clear Lake City Sec 7	2015-0892	C3P	Harris	City	578T	16.70	4.79	46	Trendmaker Development	BGE Kerry R. Gilbert Associates
142	Rosine Gardens (DEF1)	2015-0659	C2	Harris	City	492M	1.21	0.00	21	Sandcastle Homes, Inc.	The Interfield Group
143	Sunset Ridge West Sec 5 (DEF1)	2015-0854	C3P	Harris	ETJ	376T	12.48	0.00	79	Lando Development LTD	Benchmark Engineering Corp.
144	Swan Terrace (DEF2)	2015-0591	C2R	Harris	City	492H	0.22	0.00	5	Sworn Brothers Corporation, Inc	Jalayer And Associates, Inc.
145	Thrustmaster Sec 2	2015-0989	C2	Harris	ETJ	409N	22.15	22.15	0	THIRD COAST GENERAL CONTRACTORS	The Pinnell Group, LLC

E-Special E ceptions

None

F-Reconsideration of Requirements

146	Aliana Sec 45	2015-0993	C3P	Fort Bend	ETJ	567A	58.55	29.31	95	Aliana Development	LJA Engineering, Inc. - (West Houston Office)
147	Beltway Southwest Business Park GP	2015-0901	GP	Harris	City	571N	73.28	0.00	0	SW Tracts Industrial, LLC	Windrose Land Services, Inc.
148	Huffman Dollar General	2015-0982	C2	Harris	ETJ	298R	2.60	2.50	1	Capital Growth Buchalter, Inc.	Linfield, Hunter & Junius, Inc.
149	SLC Realty Area Fifty One	2015-0880	C2	Harris	ETJ	333T	7.83	7.83	0	SLC REALTY & LEASING II, LLC	The Pinnell Group, LLC

G-E tensions of Approval

150	Estates of Teal Run Sec 5 partial replat no 1	2014-1070	EOA	Fort Bend	ETJ	611X	0.18	0.00	1	Academy Development	EHRA
151	Fort Bend County Municipal Utility District No 58 Lift Station No 2	2014-1168	EOA	Fort Bend	ETJ	484P	0.16	0.16	0	Katy 309 Venture, L.P.	Brown & Gay Engineers, Inc.
152	Franz Katy LLP	2014-1046	EOA	Harris	ETJ	445S	8.99	8.99	0	Franz-Katy, LLP	Hovis Surveying Company Inc.
153	Harris County MUD no 504 Detention Pond no 1	2014-1026	EOA	Harris	ETJ	377K	18.33	18.33	0	Crescent LHTX 2012, LLC	Brown & Gay Engineers, Inc.

Platting Summary**Houston Planning Commission****PC Date: May 14, 2015**

Item No.	Subdivision Plat Name	App No.	App Type	Location			Plat Data			Customer	
				Co	City/ ETJ	Key Map	Plat Ac	Rsv Ac	Lots	Developer	Applicant's Company
154	Harris County MUD no 504 Detention Pond no 2	2014-1029	EOA	Harris	ETJ	377K	12.98	12.98	0	Crescent LHTX 2012, LLC	Brown & Gay Engineers, Inc.
155	Kenroc Sec 2	2014-1275	EOA	Harris	ETJ	292N	32.76	32.76	0	Kenroc Development, LLC	IDS Engineering Group
156	Mustang Estates Sec 1	2014-1197	EOA	Harris/ Waller	ETJ	444E	22.08	21.87	0	Katy 231, LLC	E.I.C. Surveying Company
157	Pine Valley Development Sec 1	2014-0817	EOA	Harris	ETJ	412J	36.04	31.80	0	Aldine ISD & Mount Houston Road MUD	Jones & Carter, Inc.
158	Rankin Hardy Tract	2014-1120	EOA	Harris	ETJ	373F	55.52	55.52	0	Liberty Property, L.P.	Jones & Carter, Inc.
159	Woodlands Creekside Park West Sec 32	2014-0952	EOA	Harris	ETJ	249V	30.55	7.34	78	THE WOODLANDS LAND DEVELOPMENT COMPANY, LP	LJA Engineering, Inc.- (West Houston Office)
160	Woodlands Shumard Oak Drive Street Dedication Sec 1	2014-0939	EOA	Harris	ETJ	249V	2.25	0.00	0	THE WOODLANDS LAND DEVELOPMENT COMPANY, LP	LJA Engineering, Inc.- (West Houston Office)

H-Name Changes

None

I-Certification of Compliance

None

J-Administrative

None

K-Development Plats with Variance Requests

161	6705 Airline Drive	15004879 DPV	Harris	CITY	413X		Jenifer Pool	JRP Company
162	12819 Hansel Lane	14117822 DPV	Harris	CITY	489G		Zohreh Mossana	Zohreh Mossanna
163	6638 N Main Street	14085559 DPV	Harris	CITY	453S		Richard Grothues	Richard Grothues Designs, Inc.
164	3819 S MacGregor Way	15016166 DPV	Harris	CITY	533H		Joyce Owens	Owens Management Systems, LLC
165	201 Westmoreland	15040234 DPV	Harris	CITY	492N		Jenifer Pool	JRP Company
166	2100 Woodhead Street	15036131 DPV	Harris	CITY	492R		Richard Grothues	Richard Grothues Designs, Inc.

Houston Planning Commission

ITEM: 11

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Long Point Woods partial replat no 1 (DEF1)

Applicant: Melissa s platting service



C Public Hearings

Site Location

Houston Planning Commission

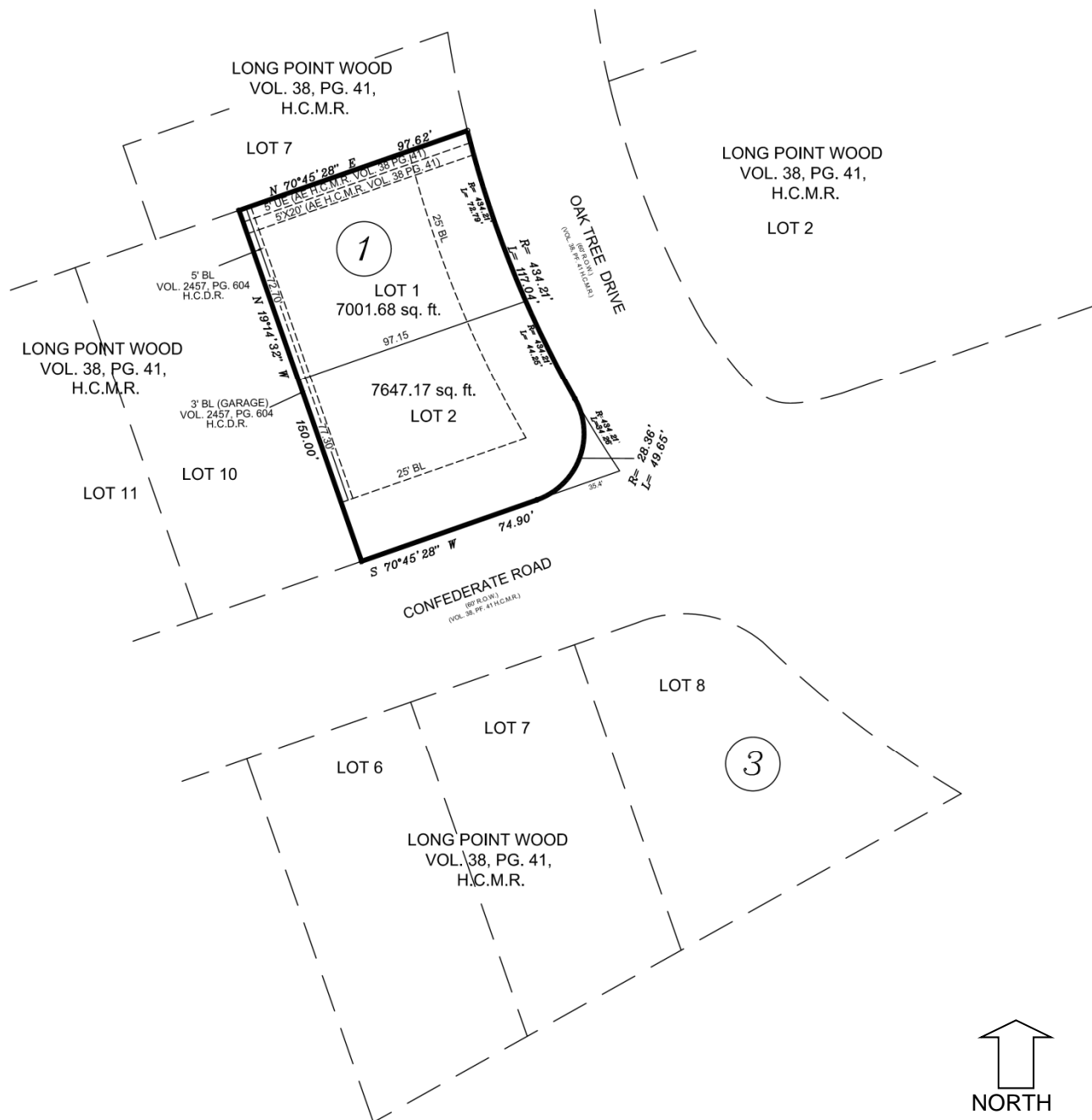
ITEM: 11

Planning and Development Department

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C Public Hearings

Subdivision

Houston Planning Commission

ITEM: 11

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C Public Hearings

Aerial

Houston Planning Commission

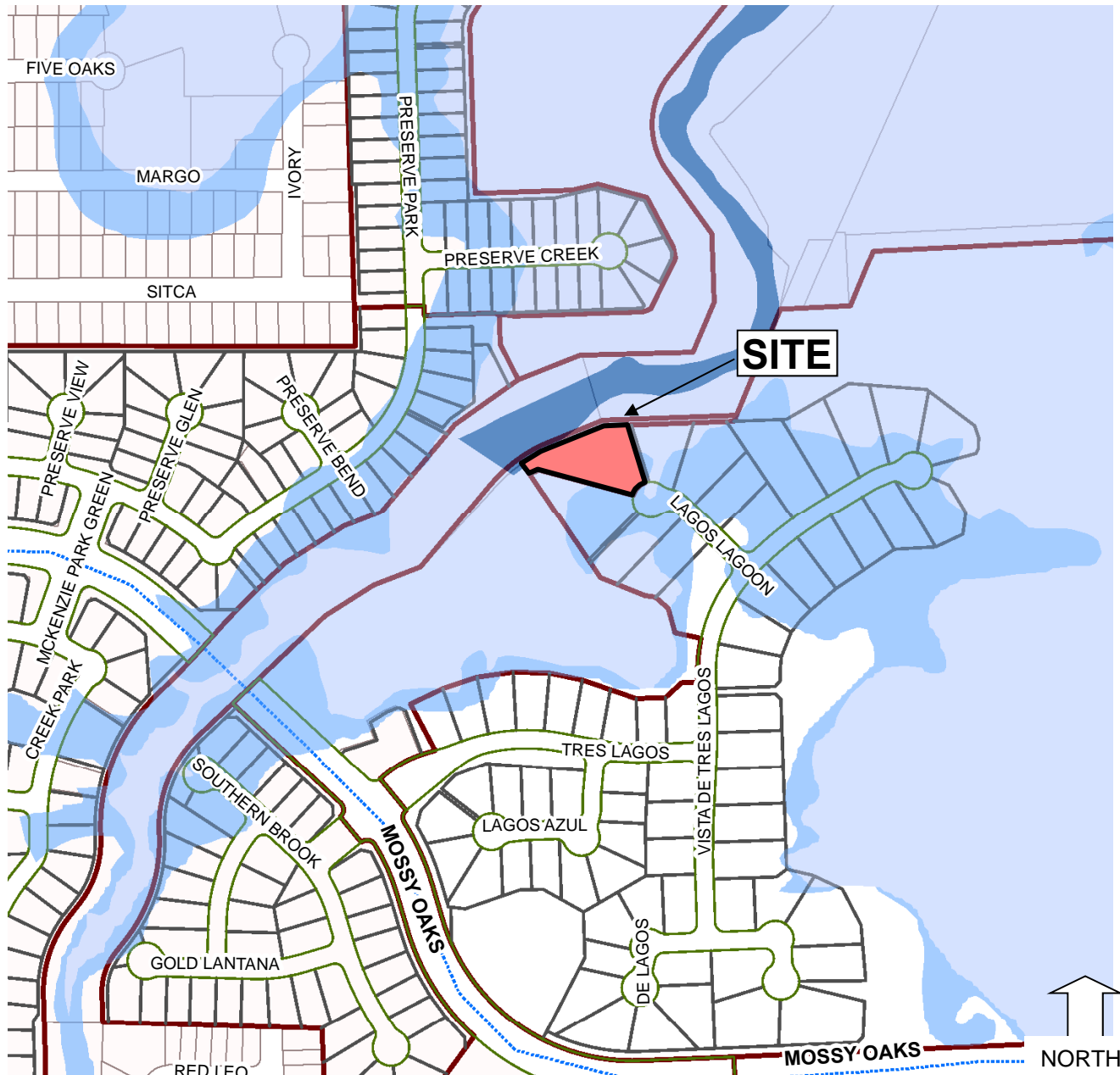
ITEM: 119

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: McKen ie Park Sec 4 partial replat no 1

Applicant: EHRA



C Public Hearings

Site Location

Houston Planning Commission

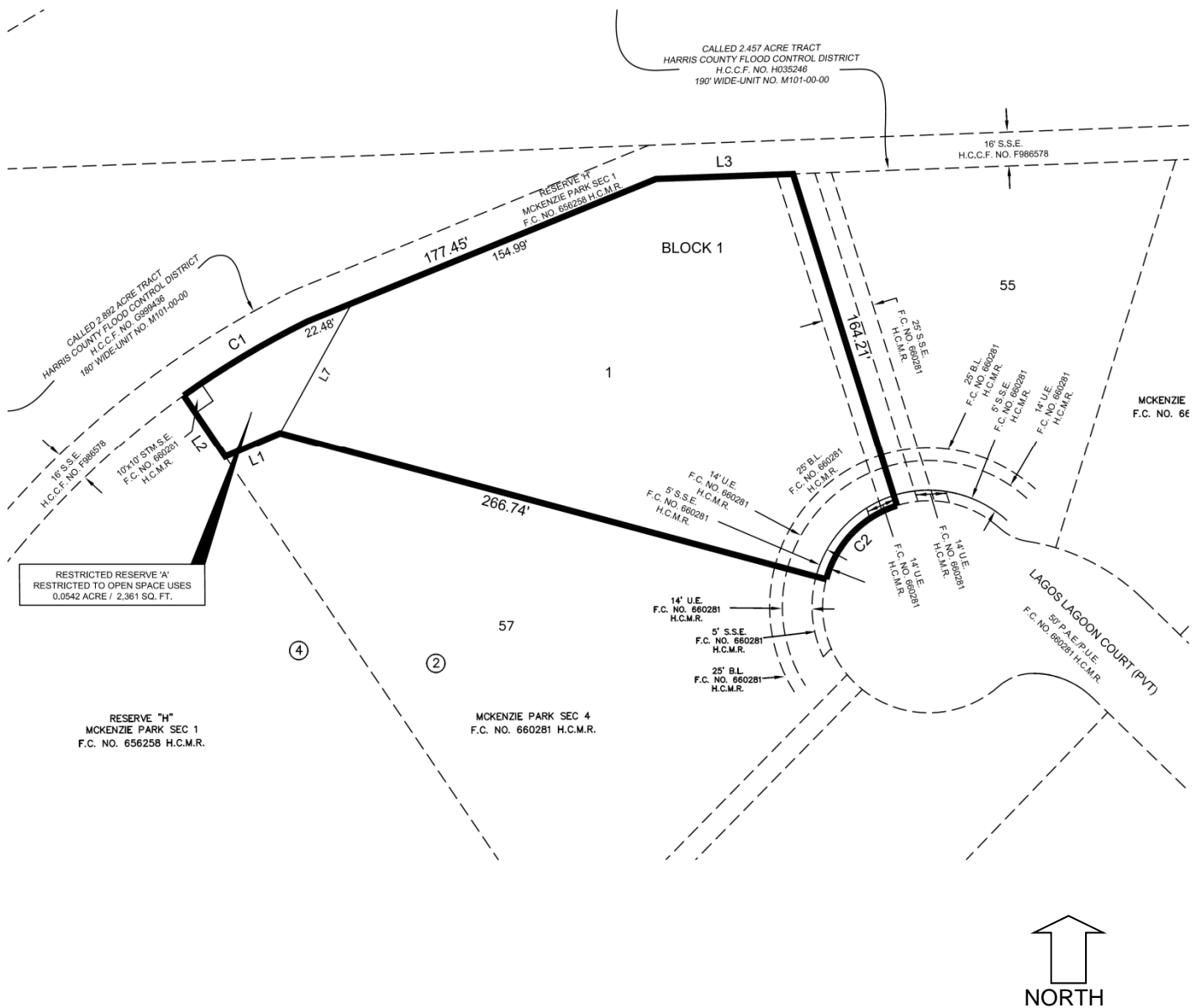
ITEM: 119

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: McKen ie Park Sec 4 partial replat no 1

Applicant: EHRA



C Public Hearings

Subdivision

Houston Planning Commission

ITEM: 119

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: McKen ie Park Sec 4 partial replat no 1

Applicant: EHRA



NORTH

C Public Hearings

Aerial

Houston Planning Commission

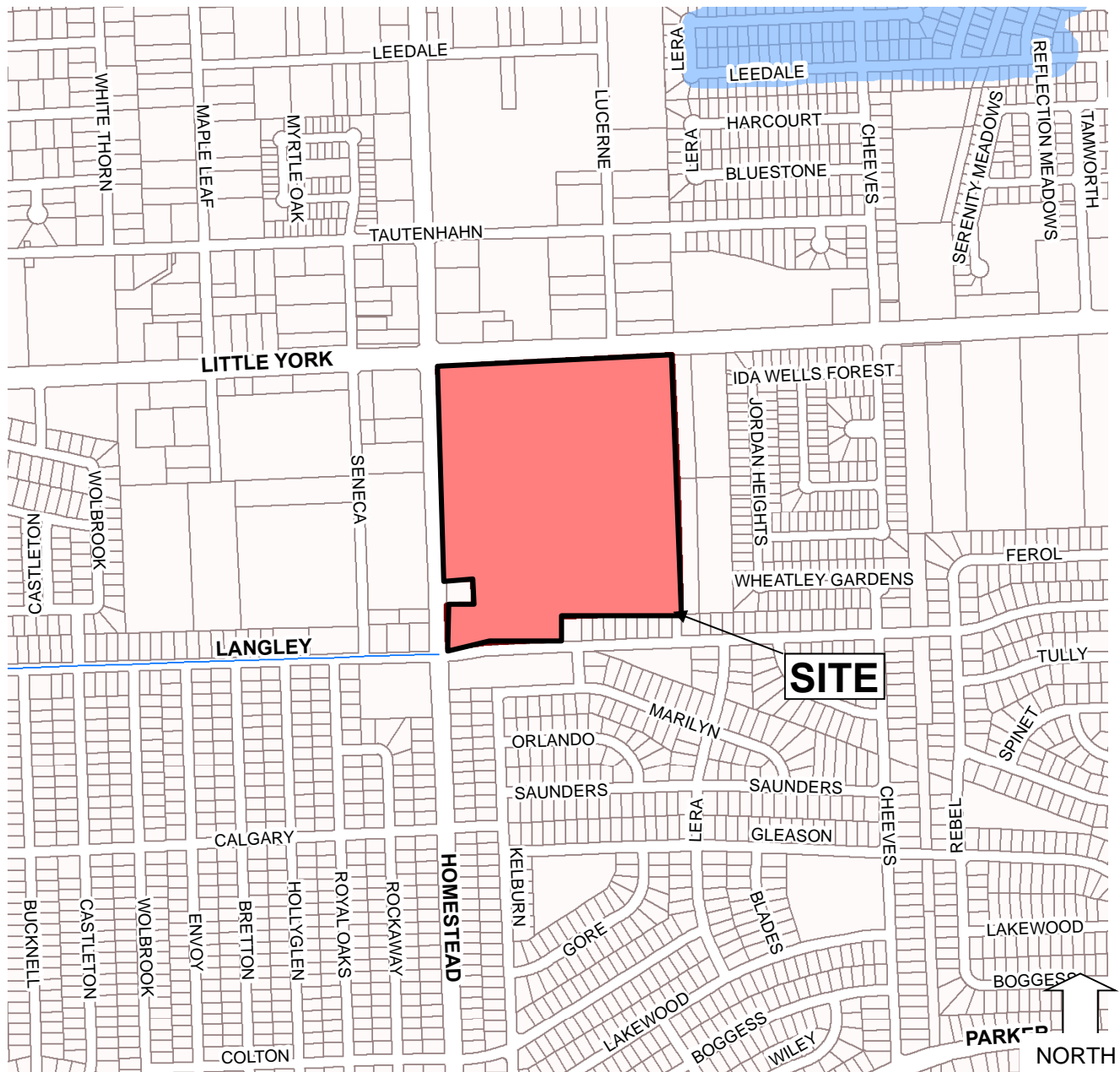
ITEM: 120

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Scenic Woods partial replat no 2

Applicant: Boundary One, LLC



C Public Hearings

Site Location

Houston Planning Commission

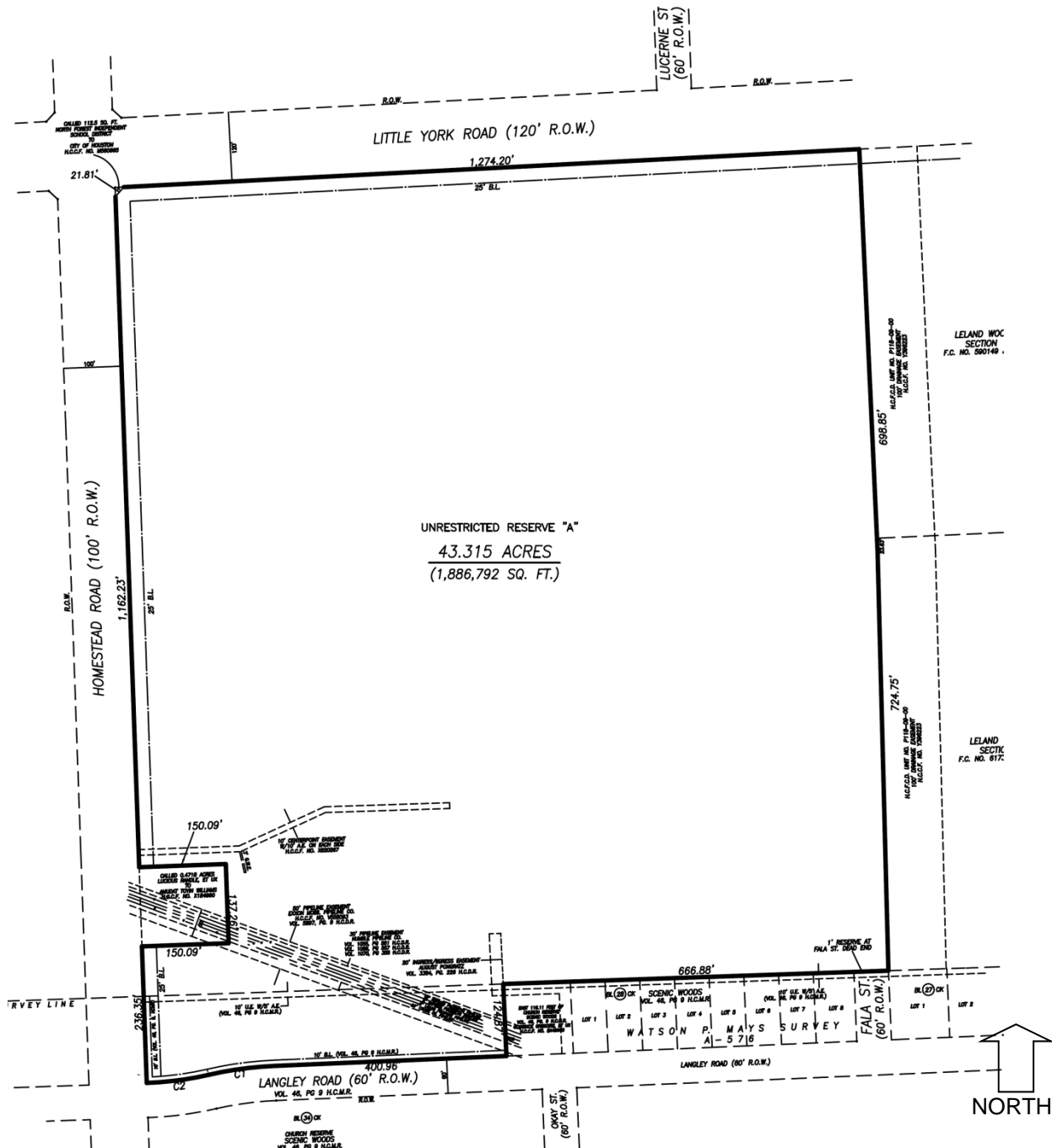
ITEM: 120

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Scenic Woods partial replat no 2

Applicant: Boundary One, LLC



C Public Hearings

Subdivision

Houston Planning Commission

ITEM: 120

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Scenic Woods partial replat no 2

Applicant: Boundary One, LLC



C Public Hearings

Aerial

Houston Planning Commission

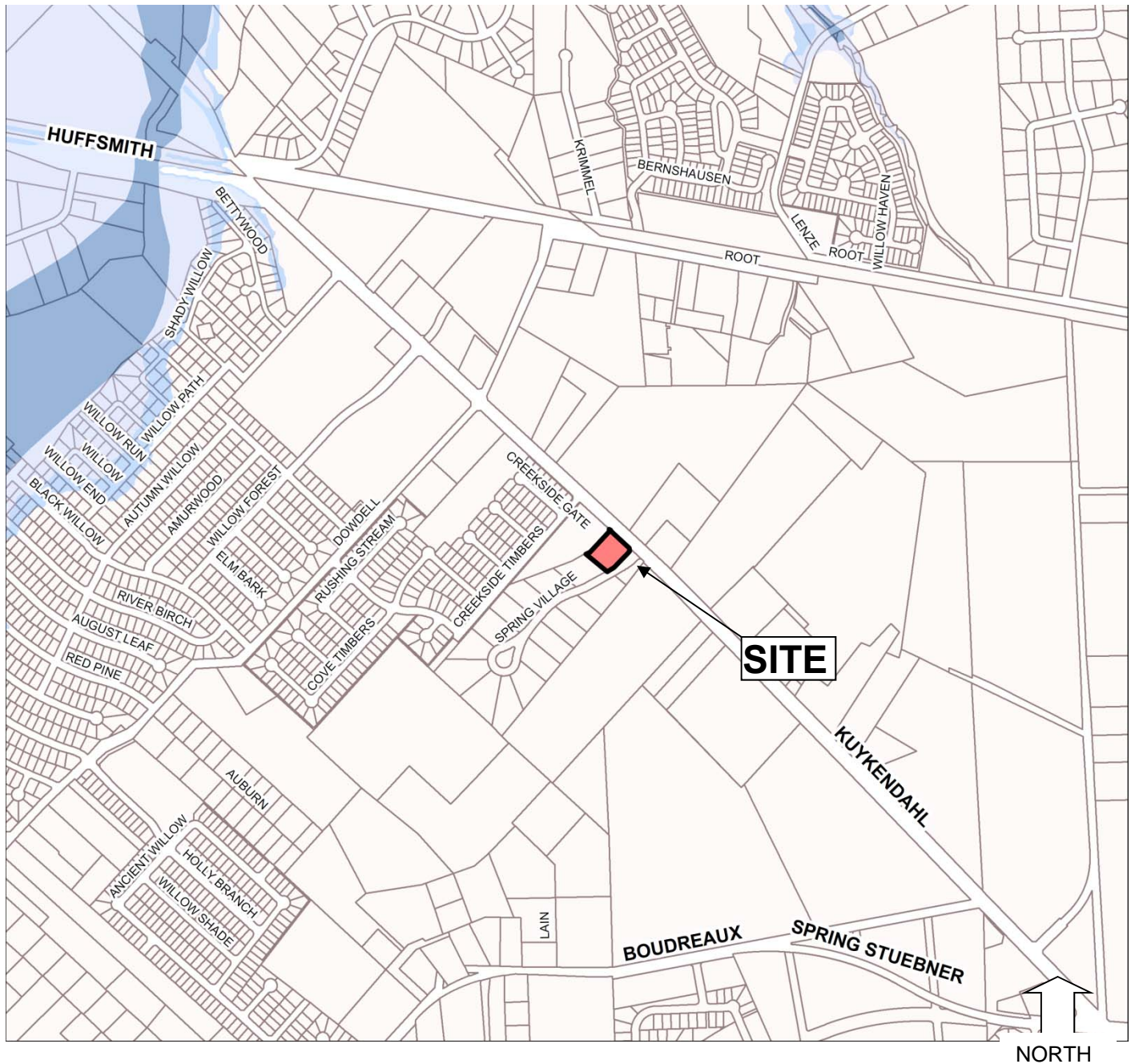
ITEM: 121

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Spring Village Estates partial replat no 1

Applicant: King's Land Surveying Solutions, LLC



C Public Hearings

Site Location

Houston Planning Commission

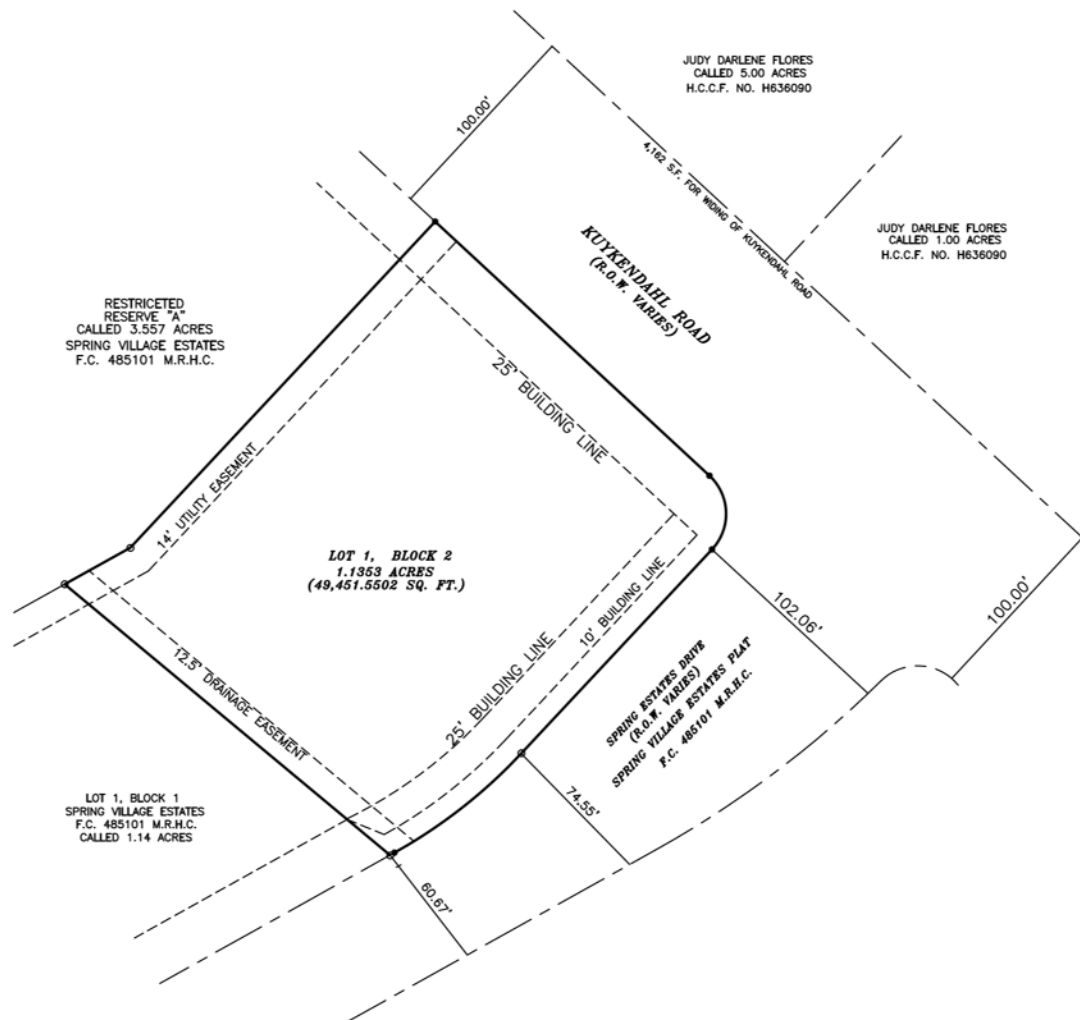
ITEM: 121

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Spring Village Estates partial replat no 1

Applicant: King's Land Surveying Solutions, LLC



C Public Hearings

Subdivision

Houston Planning Commission

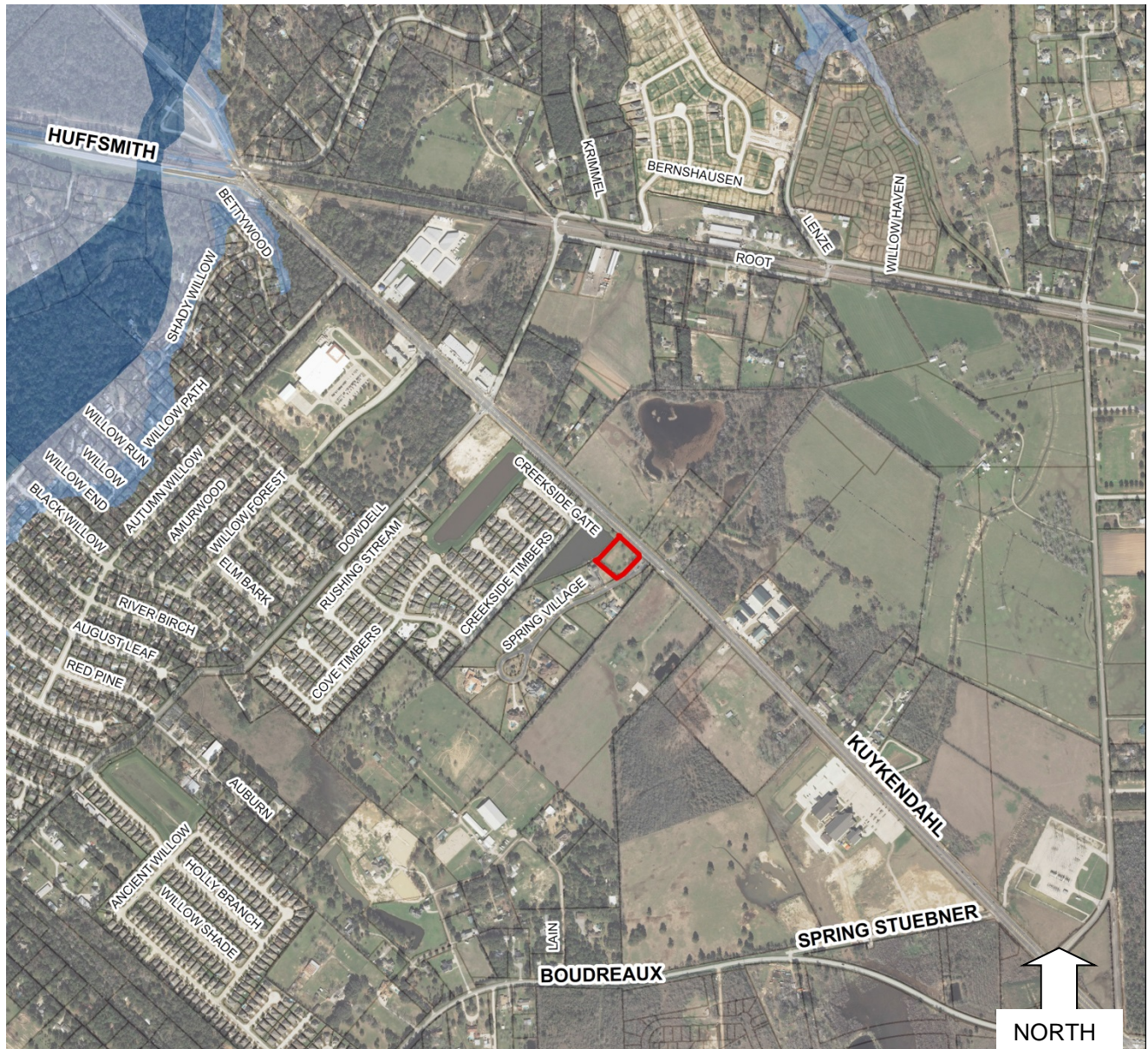
ITEM: 121

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Spring Village Estates partial replat no 1

Applicant: King's Land Surveying Solutions, LLC



C Public Hearings

Aerial

Houston Planning Commission

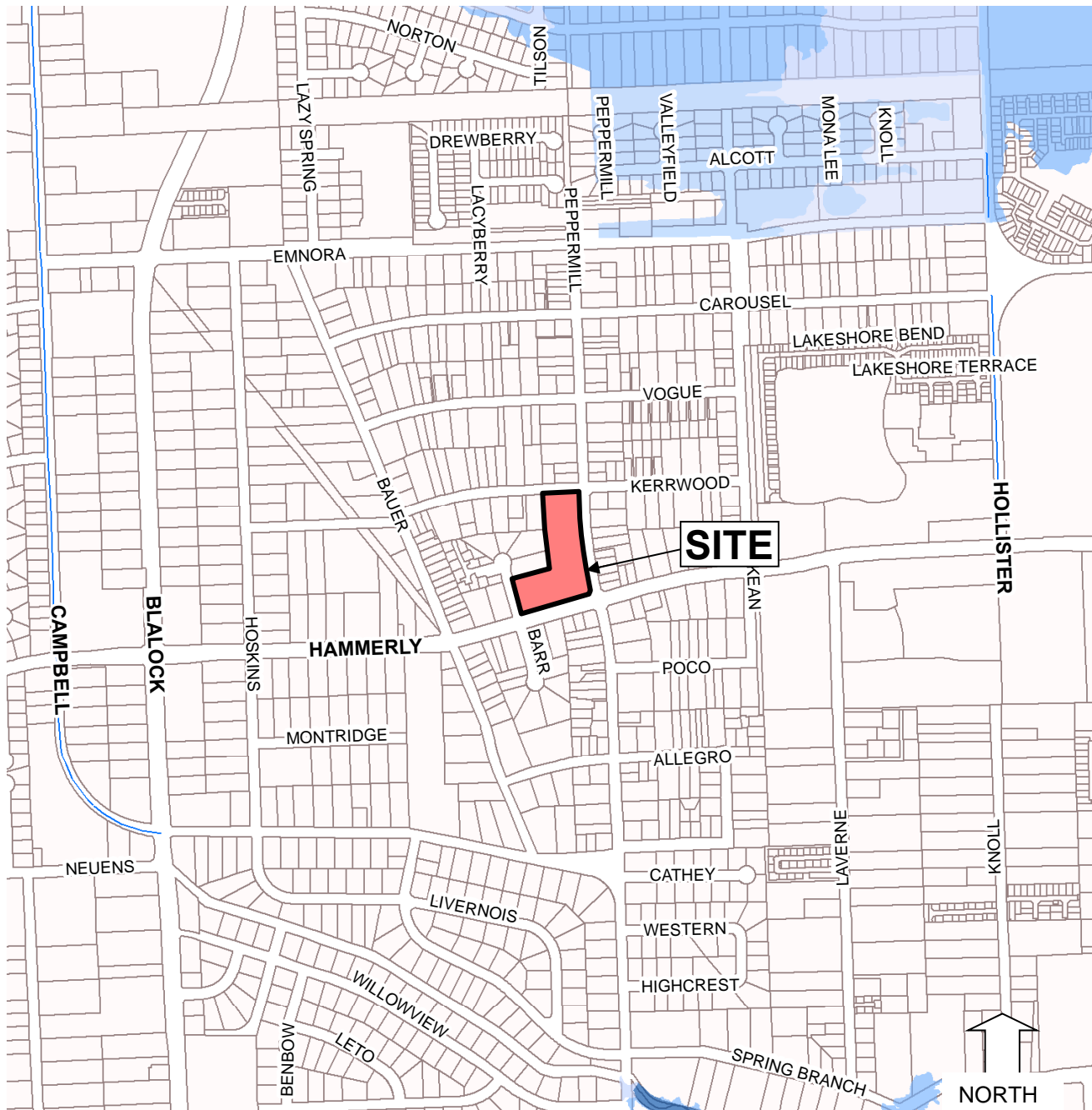
ITEM: 122

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Treviso replat no 1

Applicant: LJA Engineering, Inc



C Public Hearings

Site Location

Houston Planning Commission ITEM: 122

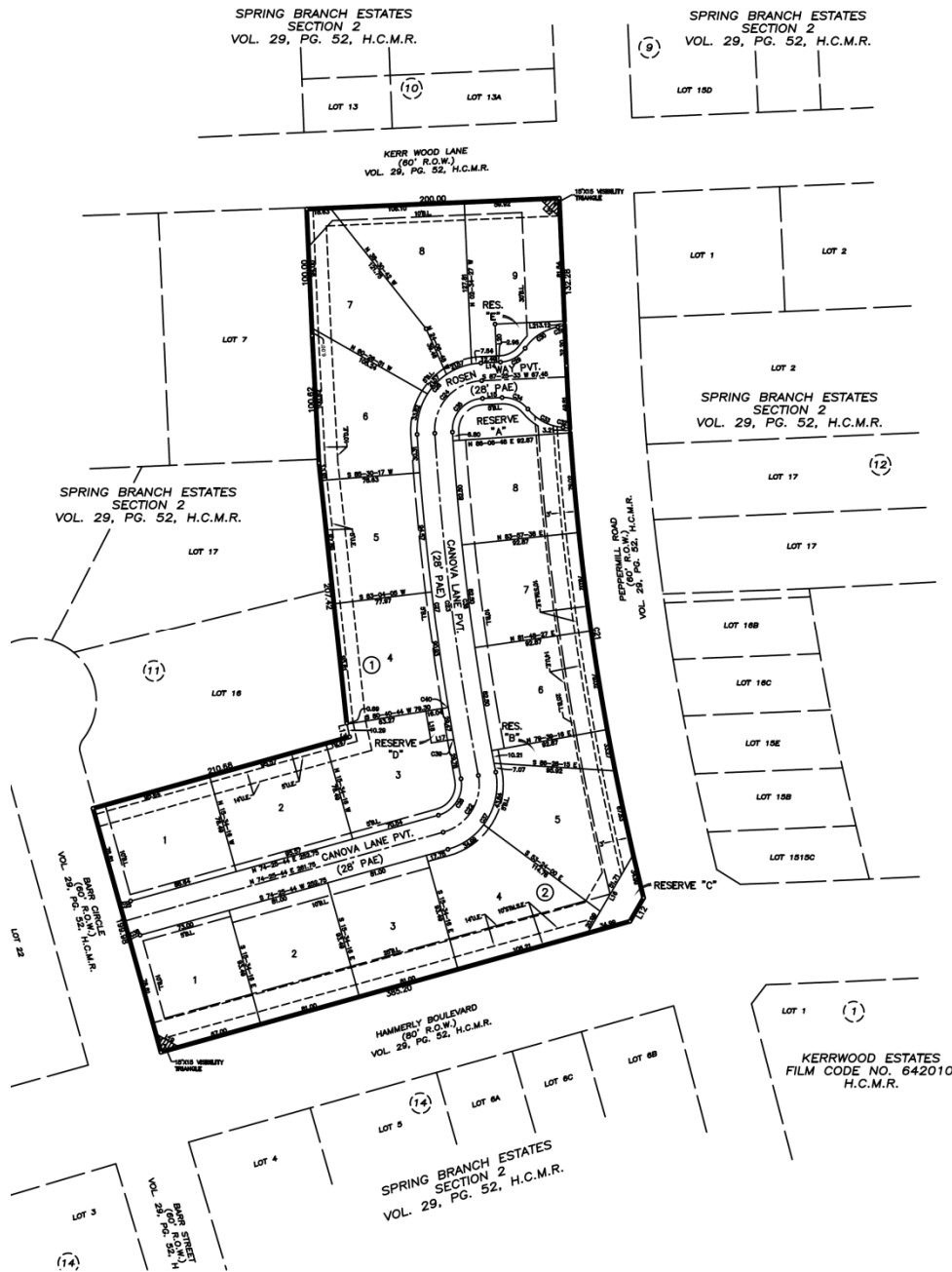
ITEM: 122

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Treviso replat no 1

Applicant: LJA Engineering, Inc



C Public Hearings

Site Location

Houston Planning Commission

ITEM: 122

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Treviso replat no 1

Applicant: LJA Engineering, Inc



C Public Hearings

Aerial

Houston Planning Commission ITEM: 123

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Washington Terrace partial replat no 2 (DEF1)

Applicant: Prime Texas Surveys, LLC.



C Public Hearings with Variance Site Location

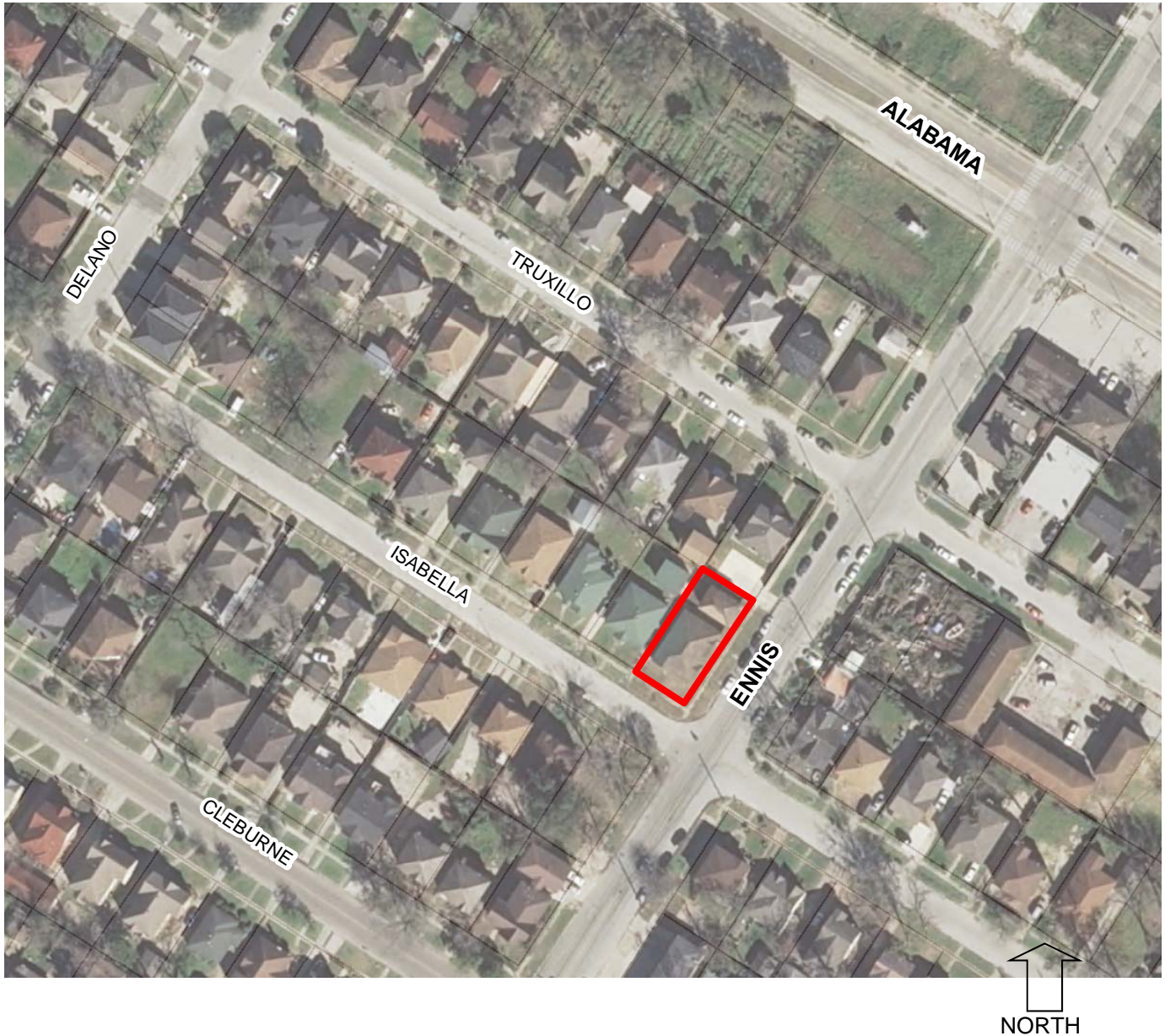
Houston Planning Commission **ITEM: 123**

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Washington Terrace partial replat no 2 (DEF1)

Applicant: Prime Texas Surveys, LLC.



C Public Hearings with Variance

Aerial



NO.	LOT SIZE (SQ. FT.)	BUILDING COVERAGE (SQ. FT.)	% COVERAGE (SQ. FT.)
A	2083.00'	879.00'	42%
B	1537.50'	878.00'	57%
C	1630.00'	878.00'	54%

C.	COURSES	F.S.	FLOOR FINISH
D.L.	DEAD LOAD	SHLF.	SHOLF
DET.	DETAIL	SH. OR SHING.	SHINGLE
DIA. OR -	DIAMETER	SIM.	SIMILAR
DM.	DIMENSION	SL. GL. DR.	SLIDING GLASS DOOR
D.W.	DISH WASHER	S.R.O.	SHEET ROCK OPENING
D.H.	DOUBLE HUNG	STD.	STANDARD
D.C.	DOUBLE CURVED	STN.	STEEL

[illegible]

FIN.	FINISHED	U.C.	UNDER CABINET
F.P.	FIREPLACE	W.C.	WATER CLOSET
FL.	FLOOR	W.H.	WATER HEATER
F.D.	FLOOR DRAIN	W.P.	WEATHERPROOF
FTG.	FOOTING	W.S.	WEATHERSTRIPPING
FDN.	FOUNDATION	W.F.	WIDE FLANGE
GALV. OR G.I.	GALVANIZED	WD.	WOOD
GL.	GLASS	W.I.	WROUGHT IRON
GYP. BD.	GYP.SUM BOARD	WTR.	WATER
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
INS.	INSULATED		
INT.	INTERIOR		

2. CONTRACTOR SHALL PROVIDE STEEL LINTELS SIZED BY STRUCTURAL ENGINE ABOVE ALL MASONRY OPENINGS WITH #3 MINIMUM BEARING ON EACH SIDE.

SITE CONDITIONS

1. PRIOR TO STARTING CONSTRUCTION

1. CALL ALL LOCAL UTILITY COMPANIES PRIOR TO EXCAVATION TO VERIFY THE LOCATIONS OF UNDERGROUND UTILITIES AND EASEMENTS.

2. CONTACT WATER, POWER, SANITARY, SEWER, NATURAL GAS AND STORM DRAIN PROVIDERS FOR VERIFICATION OF SIZE, LOCATION AND CAPACITY AND ALL REQUIREMENTS.

3. CONTACT LOCAL LOCAL DISTRICT AUTHORITIES FOR MINIMUM FINISH FLOOR ELEVATIONS PRIOR TO SETTING FORMS.

SITE WORK

1. THE SITE IS TO BE STOPPED OFF ALL VEGETATION UNDER FOUNDATION AREA AS REQUIRED BY THE SOIL ENGINEERING (SEE SOIL REPORT).

2. ALL UNDERGROUND UTILITY EXCAVATIONS ARE TO BE BACKFILLED WITH SAND TO 12" ABOVE THE UTILITY WORK, AND THEN WITH COMPACTED EARTH TO GRADE.

3. LEAVE NO EXCAVATION FOR UTILITIES OR BUILDING MATERIAL OVERNIGHT. COVER ALL AREAS BEING WORKED WITH 3/4" PLYWOOD OR EQUIV.

4. KEEP SITE CLEAR OF TRASH, SCRUBS, FUELING MATERIAL AND DEBRIS AT ALL TIMES.

5. PROTECT ALL TREES AND SHRUBS TO BE SAVED WITH BARRIERS EXCEPTED A MINIMUM OF 4' FROM THE TRUNK.


6. LEAVE SITE GRADES WITH TOP SOIL WITHIN 1" OF FINISHED FLOOR BLOPED AWAY FROM THE STRUCTURE AT 1" PER FOOT TO A DISTANCE OF 6" FROM THE FOUNDATION.

7. APPLY 1" TERMITE PROTECTION BEFORE POURING THE FOUNDATION, AND APPLY AROUND THE FOUNDATION AFTER FINISH GRADING.

8. ALL MINUS OR EXCESS SHALL BE REMOVED FROM THE SITE. EXCESS SHALL BE DEPOSITED AT A MINIMUM OF 1/4" PER FOOT UNLESS NOTED OTHERWISE ON THE PLANS. EXCESS SHALL NOT EXCEED 10' FROM MAINLSS 10' OF C/D FOR DROVES.

DESCRIPTION	Sheet List	
	Sheet Number	Sheet Name
2000 SQ. FT. TOTAL LIVING PER UNIT	A1.00	SITE PLAN
3075 SQ. FT. TOTAL COVERED PER UNIT	A2.00	1ST & 2ND FLOOR PLANS & NOTES
4 BEDROOMS	A2.01	3RD & 4TH FLOOR PLANS AND NOTES
2 CAR	A2.02	INTERIOR ELEVATIONS AND SCHEDULES
	A3.00	EXTERIOR ELEVATIONS
	A3.01	EXTERIOR ELEVATIONS
WOOD FRAME	A4.00	ELECTRICAL PLANS
	A4.01	ELECTRICAL PLANS
4 STORY	A5.00	CROSS SECTIONS AND DETAILS
	A5.01	WALL SECTION DETAILS
4 BATHS	S1	FOUNDATION PLAN
	S2	FRAMING PLANS
42' PREFABRICATED DIRECT VENT	S3	FRAMING PLAN & NOTES
	S4	FRAMING NOTES
STUCCO STONE & IP SHARDI SOND		

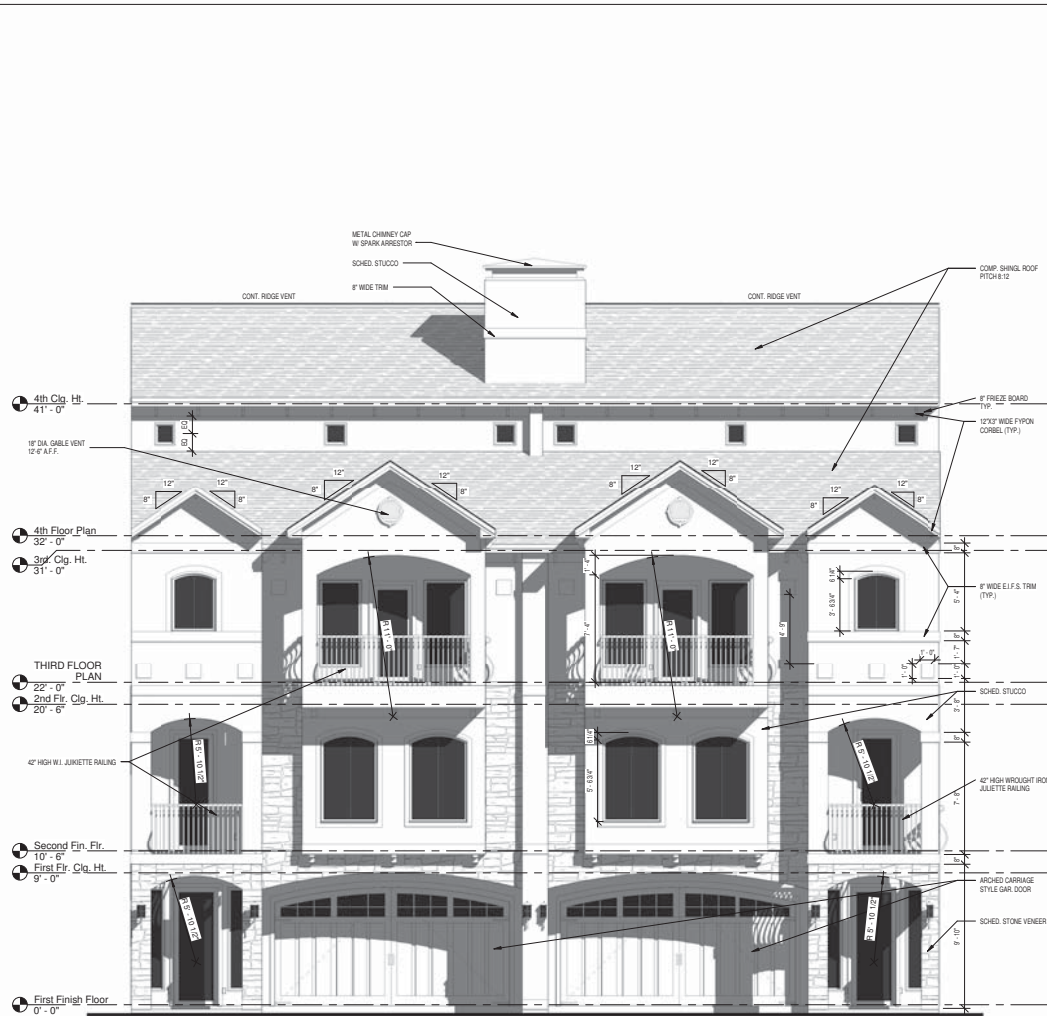
PROFESSIONAL SEAL



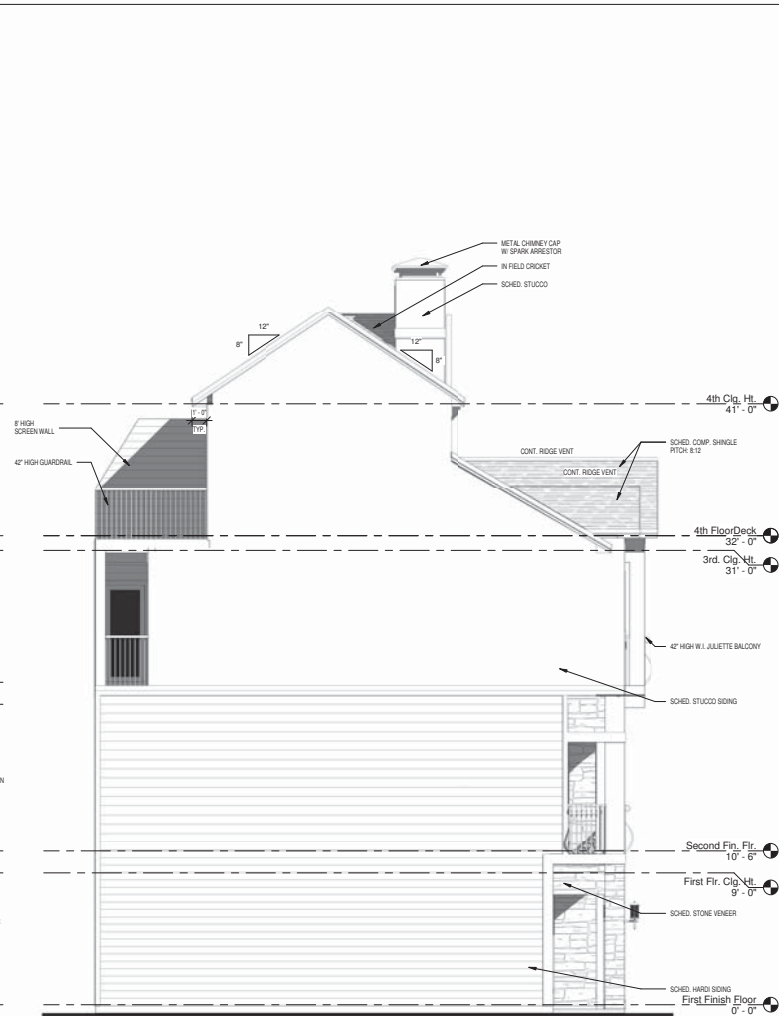
30 MAR 15

A1.00

SHEET 1 OF 14 TOTAL SHEETS



1 FRONT ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

1. ALL PLATE HTS. MEASURED FROM FINISHED FLOOR.
2. GUTTERS AND DOWNSPOUTS PER SPECIFICATIONS

3 ELEVATION NOTES



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Houston, Texas 77024
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NEW SINGLE FAMILY RESIDENCE 2917 ISABELLA STREET UNITS A & B HOUSTON, TEXAS 77004

PROFESSIONAL SEAL



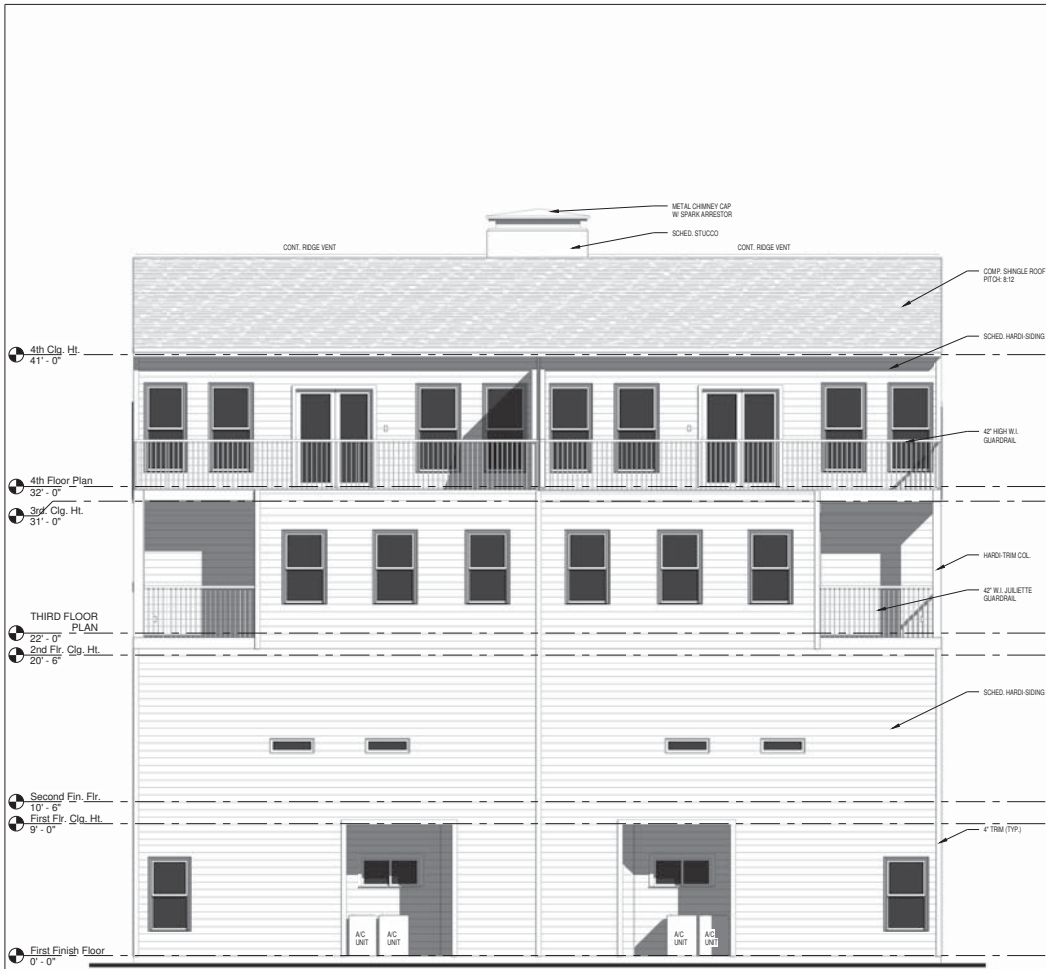
MARK	DATE	DESCRIPTION
1	30 MARCH 15	ISSUED FOR PERMIT

PROJECT NO.	15089
CAD DRAWING FILE:	IsabellaTownHousePermit.dwg
DRAWN BY:	CR
CHECKED BY:	JAM

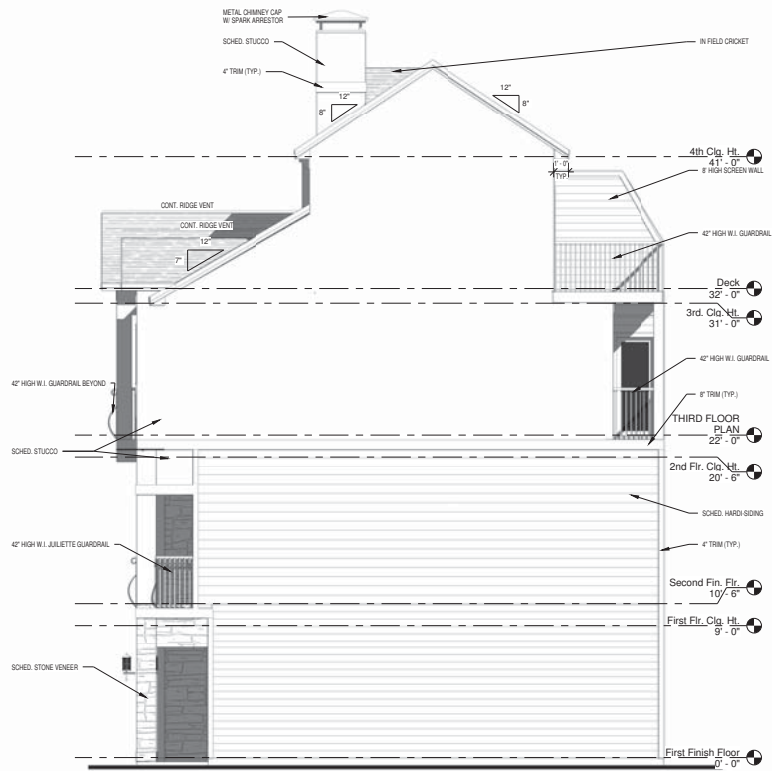
SCALE	
SHEET TITLE	

EXTERIOR ELEVATIONS & NOTES

SHEET	5	OF	14	TOTAL SHEETS
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② REAR ELEVATION
1/4" = 1'-0"



③ RIGHT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

- ALL PLATE HTS. MEASURED FROM FINISHED FLOOR.
- GUTTERS AND DOWNSPUTS PER SPECIFICATIONS

① ELEVATION NOTES.



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**NEW SINGLE FAMILY
RESIDENCE**
2917 ISABELLA STREET
UNITS A & B
HOUSTON, TEXAS 77004

PROFESSIONAL SEAL



MARK	DATE	DESCRIPTION
1	30 MARCH 15	ISSUED FOR PERMIT

PROJECT NO.	150899
CAD DRAWING FILE:	Isabella2TownHousePermit.dwg
DRAWN BY:	CR
CHECKED BY:	JAM

SCALE	
SHEET TITLE	

EXTERIOR ELEVATIONS & NOTES

SHEET	6	OF	14	TOTAL SHEETS
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A3.01



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0231

Plat Name: Washington Terrace partial replat no 2

Applicant: PRIME TEXAS SURVEYS, LLC

Date Submitted: 02/06/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

The purpose of this variance is to obtain a 5' building line along a section of Isabella Street at the corner of Isabella and Ennis.

Chapter 42 Section: 42-156 (b)

Chapter 42 Reference:

42-156: Collector and local streets – Single-family residential b) Except as otherwise required or authorized by this chapter, the building line requirement for a lot restricted to single-family residential use along a local street that is not an alley shall be: (1) 20 feet along the front of a lot and ten feet along the back and side of a lot adjacent to a local street; or (2) 10 feet if the subdivision plat contains a typical lot layout and the subdivision plat contains plat notations that reflect the requirements of this section.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

We are proposing to reduce the building line along the west side of the property. The remaining front and back sections of the property are to remain at the required building line. We are also proposing the construction of three single family homes on the existing lot. Our intent is to be able to utilize the lot in a more suitable manner. By adjusting the building line on the house we are able to build additional units on this lot that are similar in size. One home has been approved for construction. There will not be a shared driveway as each home is proposed to front Ennis Street and maintain the original building line designated by the City of Houston. Isabella Street is a local collector street that will not supply an additional entry into the property. We are requesting this based on other properties in the area with similar building lines. We feel this is a more suitable use for the property. We are requesting a special variance request to utilize the property in a more suitable manner. The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land due to the fact that the 10' set back on Isabella Street does not allow the above mentioned proposed single family residence to utilize the corner lot in a suitable manner. The proposed development is located on a corner lot with a 50' R.O.W with current city improvements (signage/walkways) in place. Existing sidewalks will be replaced with updated 5' sidewalks and original garage set back of 17' will be maintained.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The configuration of the lot does not allow for an appropriate amount of buildable space if the variance is not granted with the requested setbacks for three comparable lots. Allowing the proposed setbacks will provide the builder an opportunity to build their standard home construction plan for the lot. One house has been approved for construction on this lot prior to platting. In an effort to provide additional quality housing for the area we are proposing to construct two additional similar houses.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and purpose of Chapter 42 will be preserved and maintained because the proposed development, while not providing a shared driveway, will remain consistent with other new developments around the neighborhood. The proposed variance will not impact traffic and will not allow entrance into the property off of Isabella Street. Each structure will front Ennis Street and maintain the required setback from the street according to Chapter 42 section 156(2) for Ennis Street. Additional landscape will be added along the front and side of the property to enhance the beautification of the neighborhood. 4' wood fencing will be around each property.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting this variance will not affect visibility along Isabella Street for vehicular or pedestrian traffic. By allowing the setback of 5' for the proposed structure we are planning to continue the same pattern of architectural style to accommodate this transitioning neighborhood. Based on recent development approvals, many other new developments in the area are located approximately five foot from building line proving this variance will be consistent and harmonious with neighboring properties. Its proposed proximate location to the nearby green space is consistent with the City of Houston's policy of promoting walkability and pedestrian friendly environments. Approval of this variance will be consistent with sound public policy and conducive to health, safety and public welfare.

(5) Economic hardship is not the sole justification of the variance.

The requested variance will satisfy the intent of Chapter 42, including Section 42-156 (as discussed above). Approving this variance for the residence is consistent with the City of Houston's evolving policies of promoting walkable, pedestrian friendly environments and projects with urbanistic building designs on smaller footprints, thus making this a viable buildable piece of land.

Houston Planning Commission **ITEM: 124**

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Westcott Place Sec 2 partial replat no 1

Applicant: Hovis Surveying Company Inc.



C Public Hearings

Site Location

Houston Planning Commission

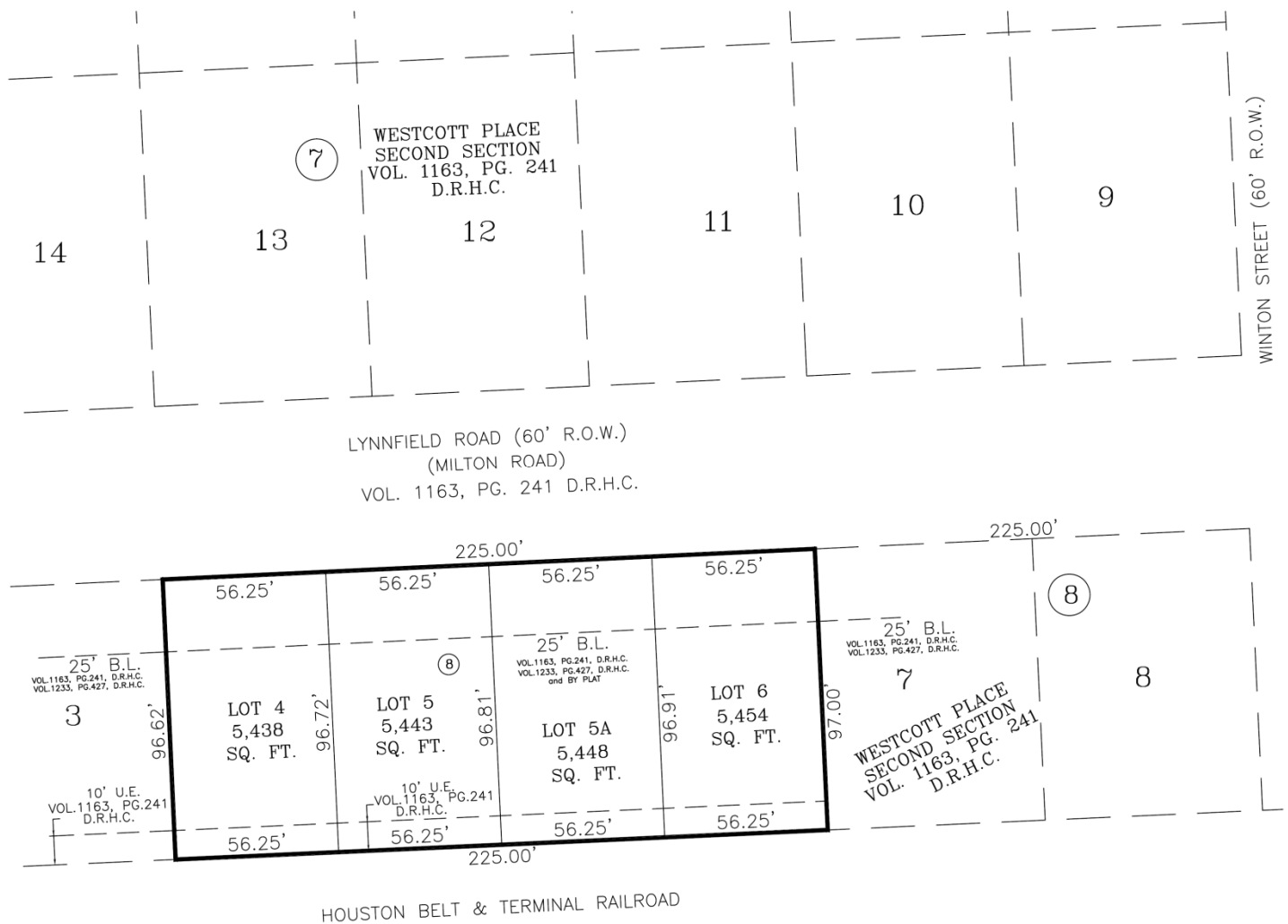
ITEM: 124

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Westcott Place Sec 2 partial replat no 1

Applicant: Hovis Surveying Company Inc.



C Public Hearings

Subdivision

Houston Planning Commission

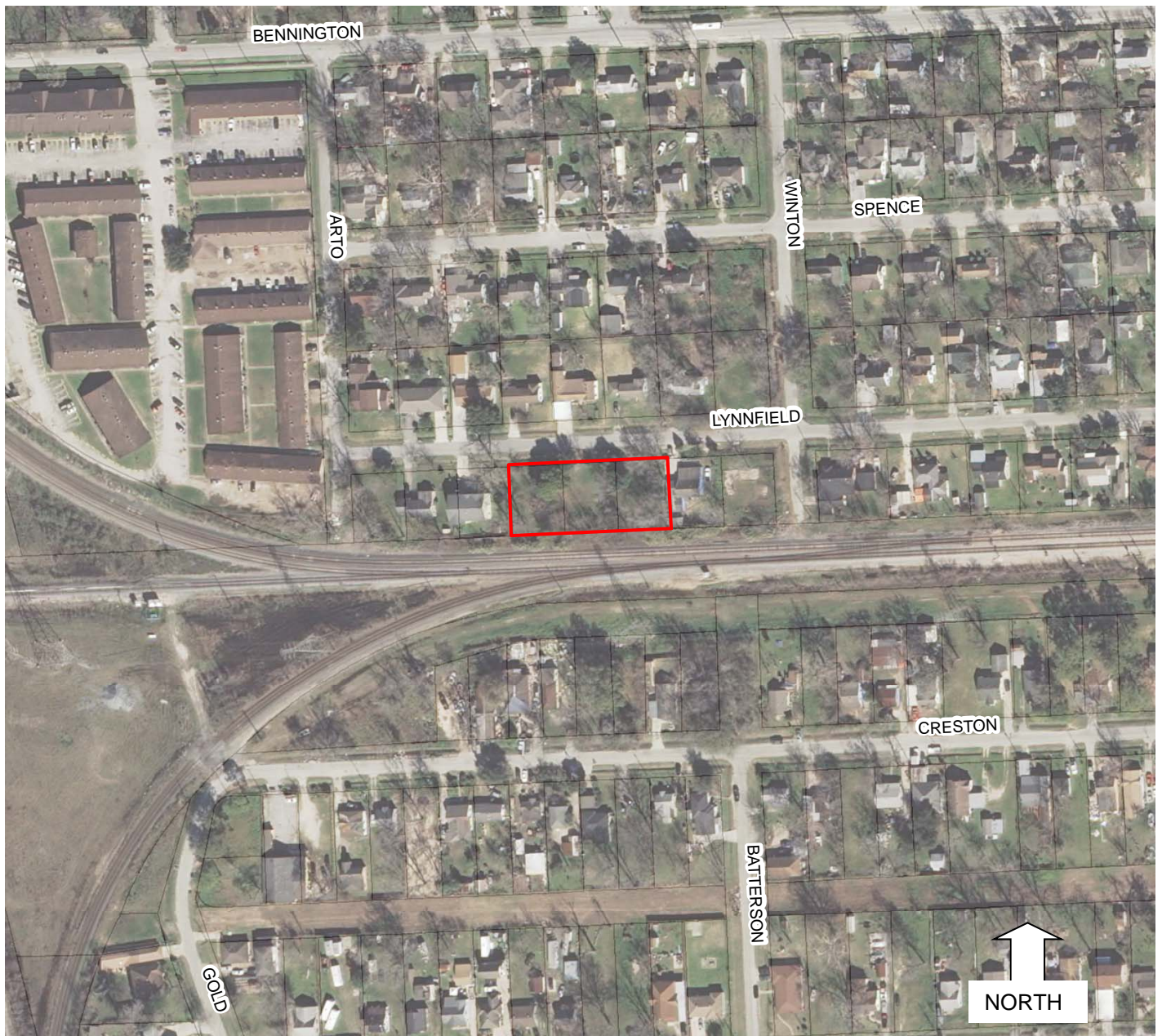
ITEM: 124

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Westcott Place Sec 2 partial replat no 1

Applicant: Hovis Surveying Company Inc.



C Public Hearings

Aerial

Houston Planning Commission

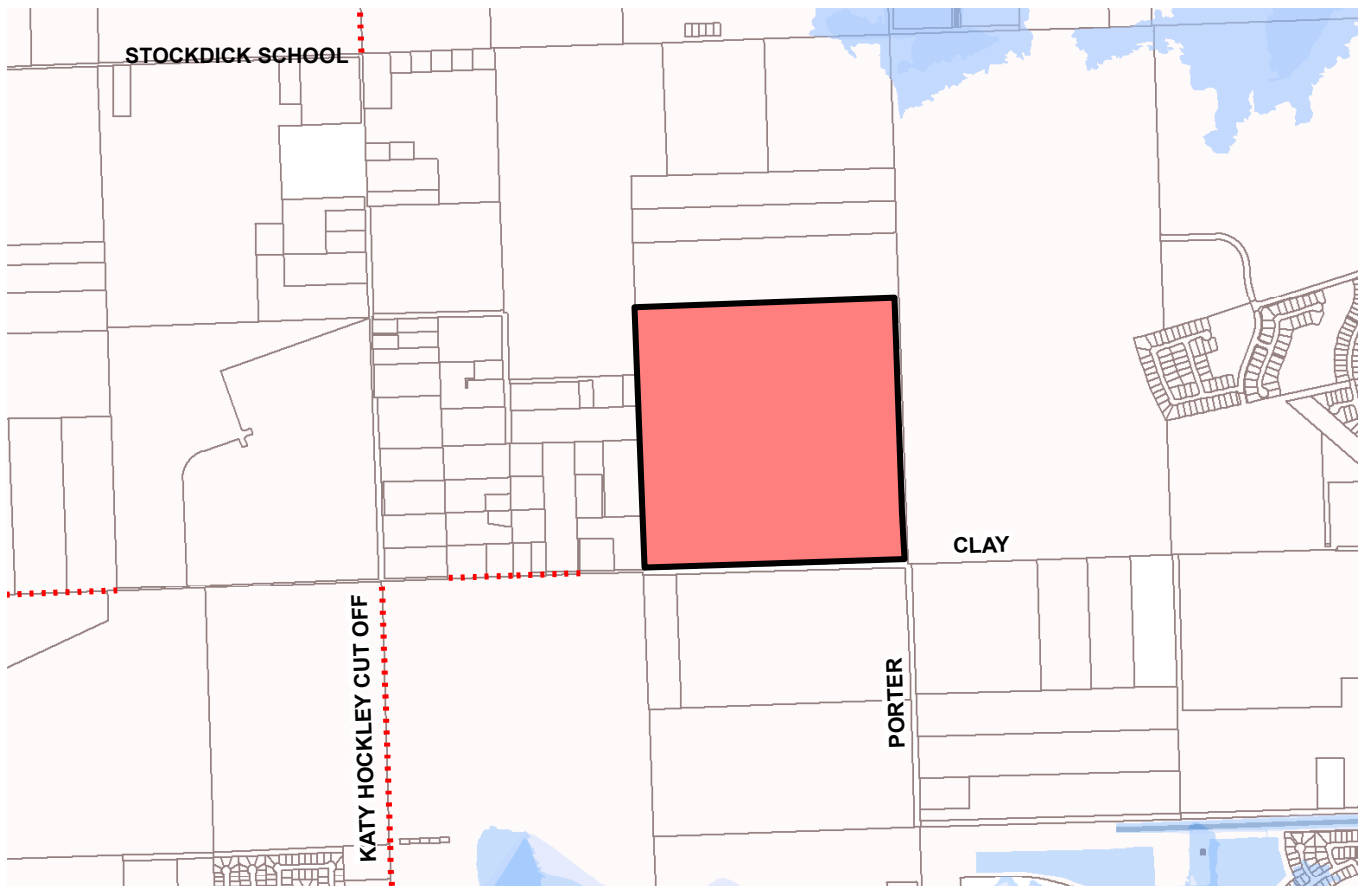
ITEM: 125

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Adara Pointe GP (DEF1)

Applicant: LJA Engineering, Inc.



D Variances

Site Location

Houston Planning Commission

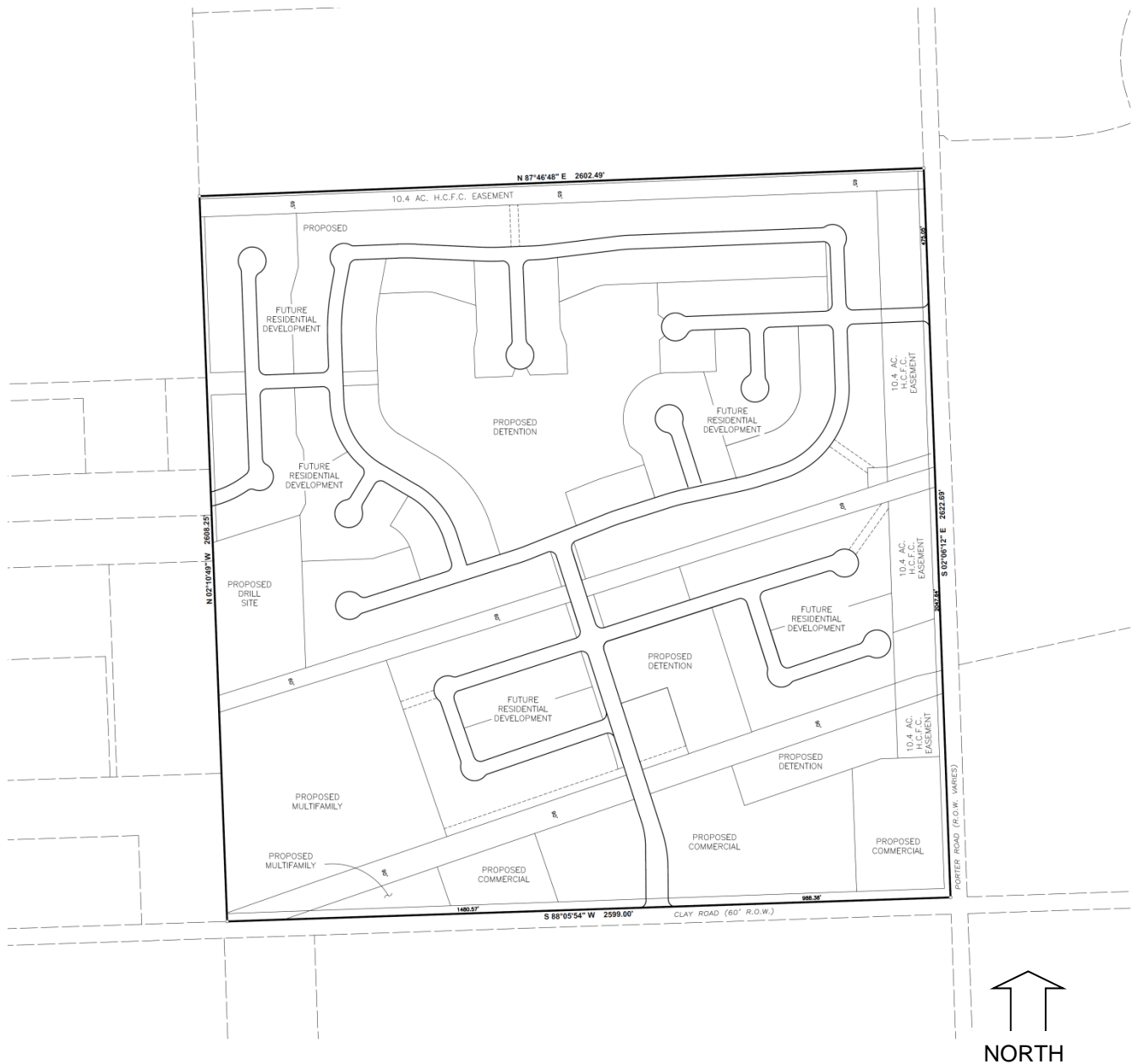
ITEM: 125

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Adara Pointe GP (DEF1)

Applicant: LJA Engineering, Inc.



D Variances

Subdivision

Houston Planning Commission

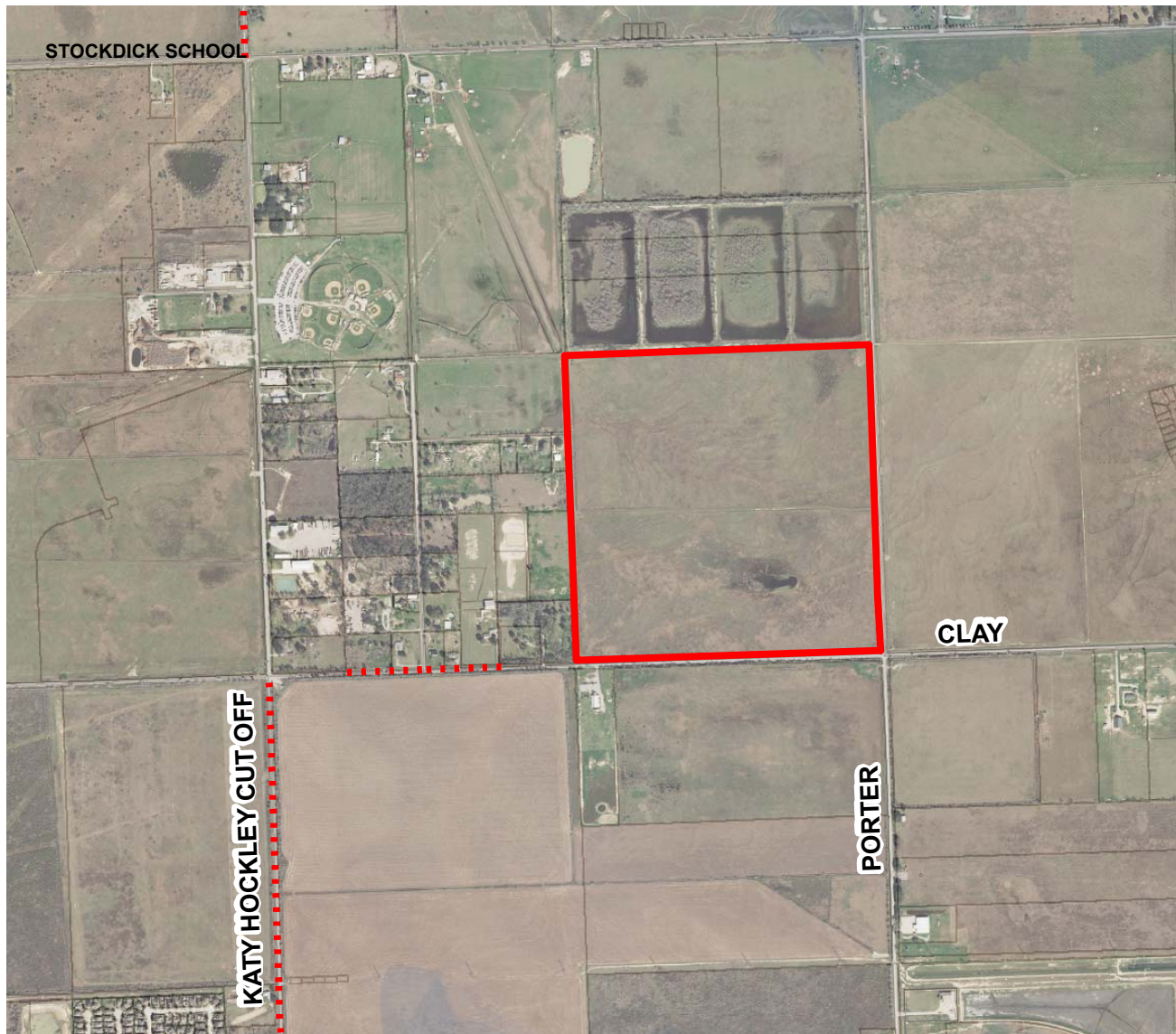
ITEM: 125

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Adara Pointe GP (DEF1)

Applicant: LJA Engineering, Inc.



D Variances

Aerial



Site Data

186 - 50' x 125' (53%)

163 - 60' x 125' (47%)

349 Total Est. Yield (4.53DU/AC)

Approx. 156 Gross Ac.

Approx. 77 Net SF Ac.

Op7

Revision Date : 03 31 2015
Reference Date : 02 06 2015

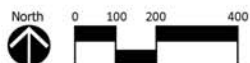


**Planning &
Landscape Architecture**
Sustainable Design
Community Planning
Urban Design
Landscape Architecture

LJA Engineering, Inc.

2929 Briarpark Drive, Suite 600
Houston, Texas 77042-3703
713.953.5200 F 713.953.5024
25231 Goggin's Mill Road, Suite 330
The Woodlands, Texas 77380
281.210.1796 F 281.210.1794

©Copyright 2015 LJA Engineering, Inc. This exhibit shows pertinent items necessary to convey a concept & it is not intended to include all physical characteristics of the area. Data & other information provided is estimated unless specified. Information provided within should be considered a graphic representation to aid in determining plan component relationships & is subject to change without notice. Property boundaries, easements, existing & proposed road alignments & other information shown is approximate & without the benefit of current surveying data. Information provided is subject to change without notice.



Preliminary Land Plan Adara Pointe City of Houston, Harris County, Texas



Application Number: 2015-0865

Plat Name: Adara Pointe GP

Applicant: LJA Engineering, Inc.- (West Houston Office)

Date Submitted: 04/20/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow excessive intersection spacing along the northern boundary and the western boundary of the general plan

Chapter 42 Section: 126

Chapter 42 Reference:

42-126 To allow for excessive intersection spacing along a local street

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This General plan of Adara Pointe is 156 acres in West Harris County. The property is bounded by Clay Road to the south, Porter Road to the east, and a Harris County Flood Control Easement to the north. Strict application would make this project infeasible as the northern boundary of this project has a HCFC easement along its entire section. On the west we would normally be required to dedicate a street 1400' north of the southern boundary of the GP which is Clay Road. Strict application of street placement would require us to dedicate the street where there is currently a drill site. Additionally, to the west there is an undedicated street that we would like to line up with.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

We are requesting a variance from the intersection spacing on the west end of the plat boundary from 1400' to about 2000'. The developer is still providing the stub street to the west which is being required albeit in a different location. The variance on the northern end is to allow for an intersection spacing to exceed the 1400'. The distance along the northern boundary is 2600'. The circumstances supporting the granting of this variance is not the result of a hardship imposed by the client but rather is defined by the HCFC easement to the north and the drill site and unplatted road to the west.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this will be preserved and maintained as the master planned community has drainage, landscaping, and recreation activities to support the mixed use of the area which will include single family, multi family, and commercial.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance is in keeping with public health and safety by providing good vehicle access and circulation in the area. Chapter 42 is preserved and the general plan lines up with both major thoroughfares as well as the street to the west.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification for the variance as Harris County Flood control easement to the west and the unplatted road and drill site in the west are the reasons for this variance.



Application Number: 2015-0865

Plat Name: Adara Pointe GP

Applicant: LJA Engineering, Inc.- (West Houston Office)

Date Submitted: 04/20/2015

(Sec. 42-48 and Sec. 42-82)

Specific requirement for which the special exception is being sought:

Allow Intersection spacing of less than 600' along Major thoroughfare Porter Rd.

Chapter 42 Section: 42-127

Chapter 42 Reference:

42-127 Intersection of local streets, Part (a).

Statement of Facts

(1) Special circumstances exist that are unique to the land or the proposed subdivision or development and that are not generally applicable to all other land, subdivision for development in the city or its extraterritorial jurisdiction that justify modification of the standards that would otherwise apply;

Adara Pointe GP is a development of 156 acres in west Harris county. The property is bounded by Porter Road to the east and Clay Road to the south. To the north/east lies Ventana Lakes General Plan which a street dedicated about 500' north of the east/west street that is being proposed by Adara Pointe GP. The variant difference between the minimum intersection spacing of 600' and the 500' we're providing is 16.7% which is within the 30% to regard this as a special exception. The special circumstance that exists is that there is a street dedication across from Porter Road that is on the southern boundary of Ventana Lakes. Adara Pointe will have four access points within the subdivision so that only a portion of the vehicle traffic generated from this development will actually utilize Porter Road.

(2) The proposed special exception will achieve a result contemplated by the standard in article III of Chapter 42 (Planning Standards);

The proposed special exception is within the 30% variant that is allowed to make this a special exception and not a variance. Originally, the plat was submitted about 350' from the proposed street in Ventana Lakes but the developer has been able to move the street down an additional 150' to create a separation of 500'. The 500' of separation will allow the traffic along Porter Road the necessary room to make turns in and out of both subdivisions.

(3) The modification of the standard requested is not disproportionate to the requirement of the standard;

The modification of the standard is 16.7% which is within the allowed percentage to be a special exception. This modification is not disproportionate to the requirement.

(4) The intent and general purposes of this chapter will be preserved and maintained;

Adara Pointe is a subdivision with mixed use including single family residential, mutli-family, drill site, commercial, and open space. The development proposes an interior vehicle circulation that enhances the neighborhood along with the proposed amenities. The special exception and other proposed variances allow for good vehicle circulation without making the project all about roads. The intent of this special exception is so that the vehicles entering this part of the subdivision do not shine their lights into the backyards of the homes. The intent and general purpose of this chapter is preserved in allowing the community to be planned in a way that minimizes unneeded lights.

(5) The granting of the special exception will not be injurious to the public health, safety or welfare.

The granting of the special exception will not be injurious to the public health and safety by allowing the development to be platted in a way that reduces unneeded lights and traffic away from the subdivision.

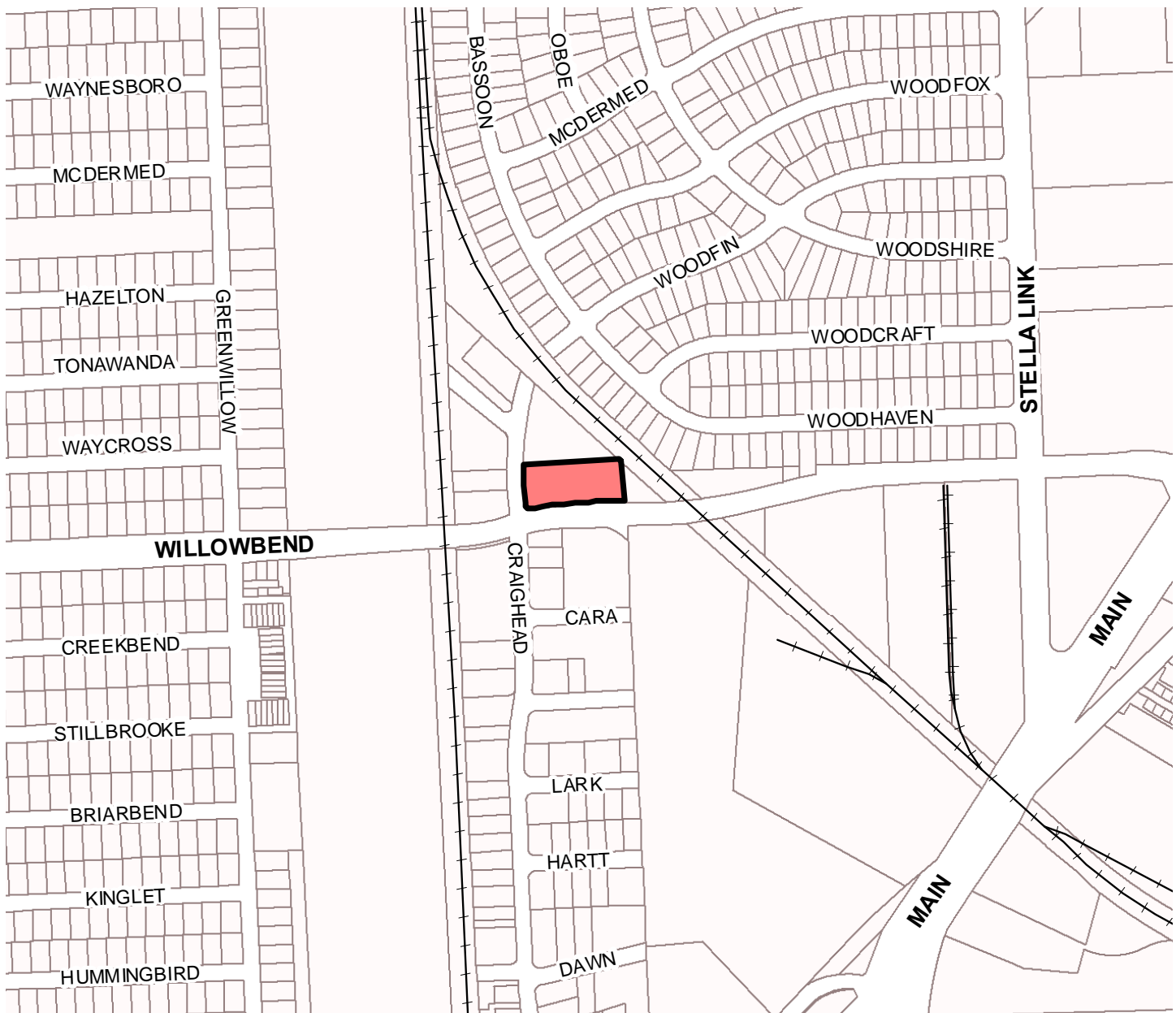
Houston Planning Commission ITEM: 126

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Albion partial replat no 1

Applicant: Vernon G. Henry Associates, Inc.



D Variances

Site Location

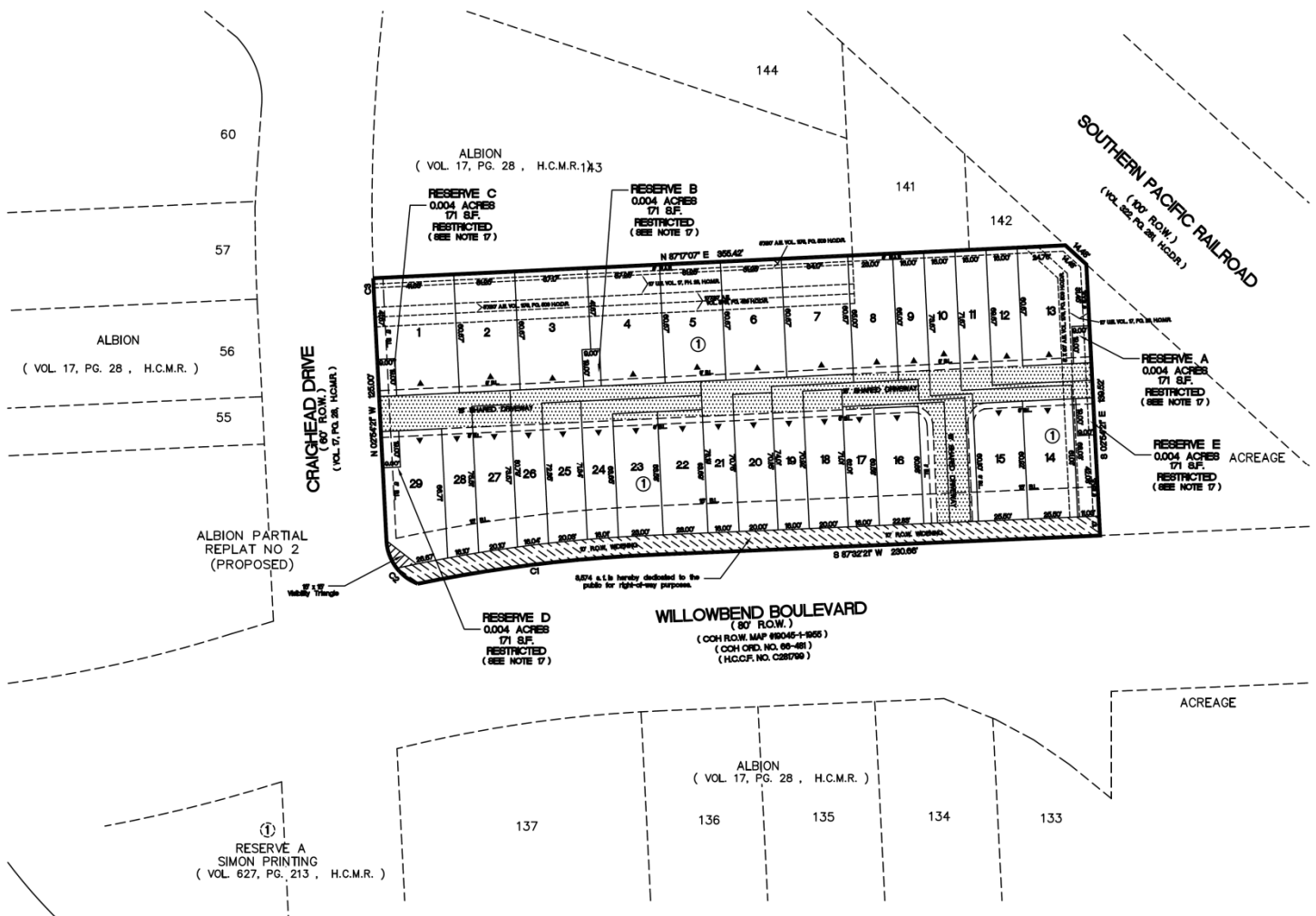
Houston Planning Commission ITEM: 126

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Albion partial replat no 1

Applicant: Vernon G. Henry Associates, Inc.



D Variances

Subdivision

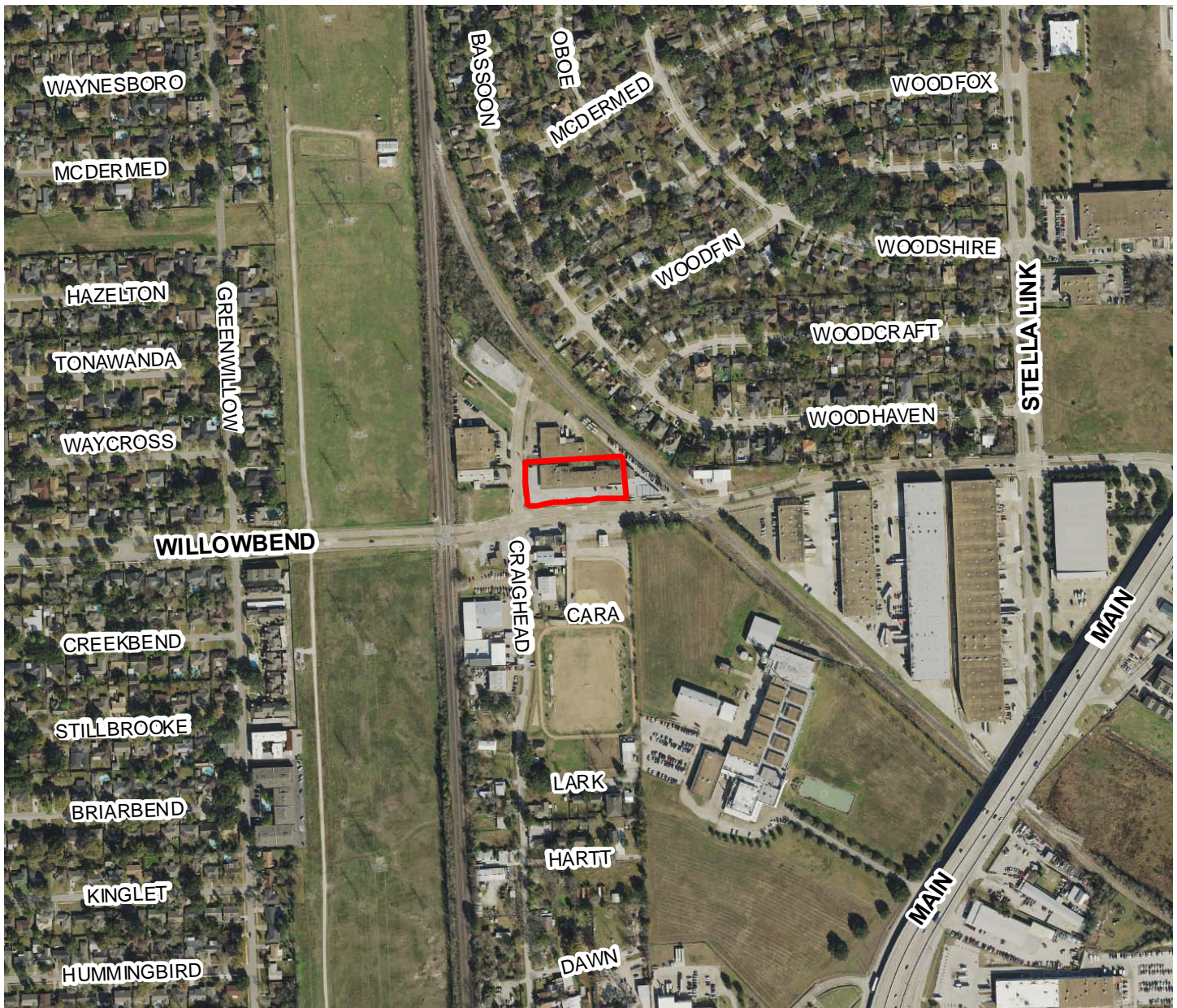
Houston Planning Commission ITEM: 126

Planning and Development Department

Meeting Date: 05/14/2015

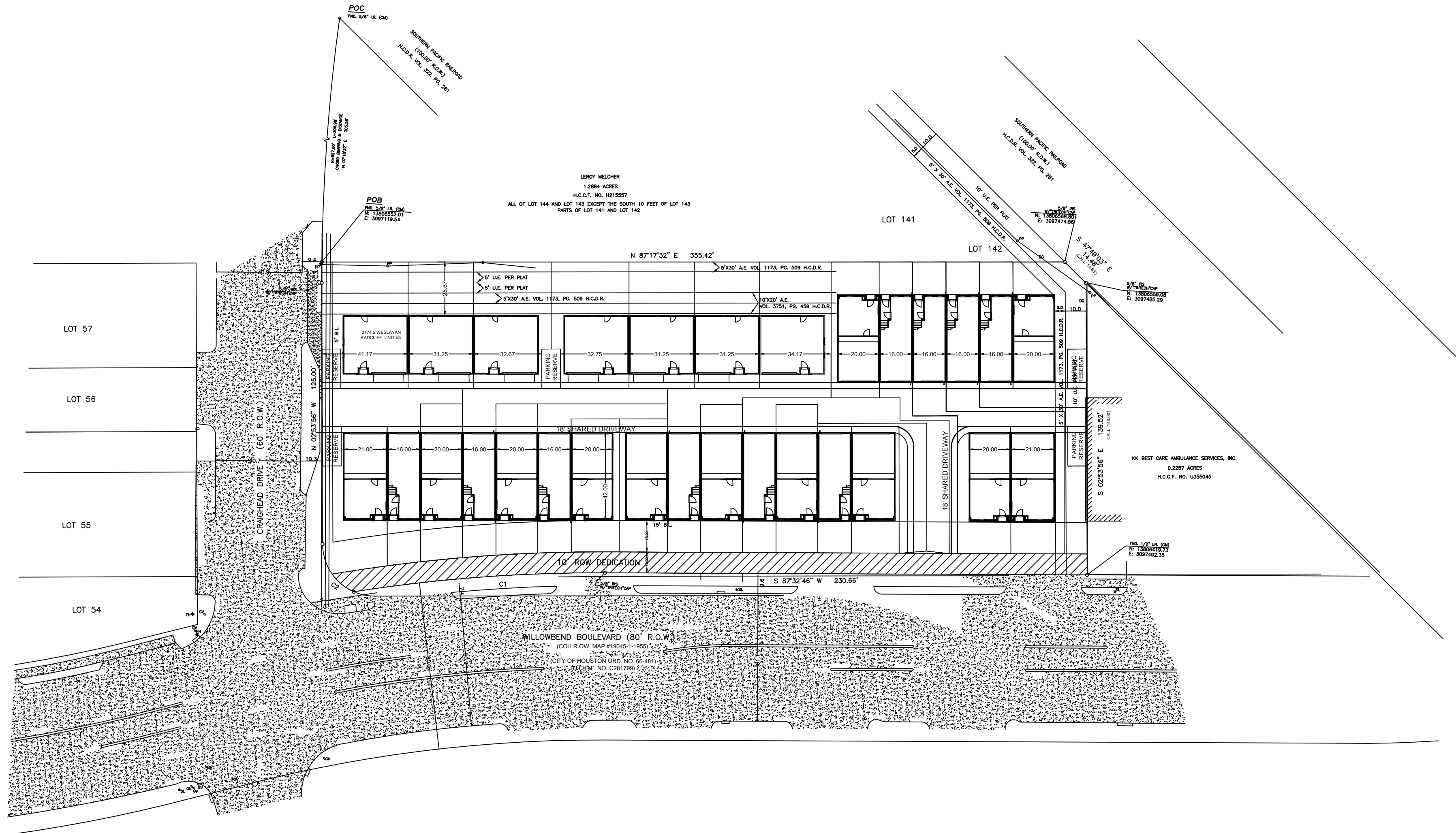
Subdivision Name: Albion partial replat no 1

Applicant: Vernon G. Henry Associates, Inc.



D Variances

Aerial





**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0873

Plat Name: Albion partial replat no 1

Applicant: Vernon G. Henry & Associates, Inc.

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a 15' setback rather than 25' along Willowbend, a designated Major Thoroughfare. To allow shared driveway to extend farther than 200' from public right of way.

Chapter 42 Section: 152,145

Chapter 42 Reference:

Sec. 42-145. General layout and arrangement for all shared driveways. (a) A subdivision plat within the city may provide for a lot that takes access from a shared driveway within the same subdivision plat as the lot in accordance with the following requirements: (2) The total length of the shared driveway shall be 200 feet or less as measured along the centerline of the shared driveway starting from the intersection with the public street, provided however that a shared driveway may be more than 200 feet in length if all lots that take access from the shared driveway have frontage in the amount of the minimum lot width required by section 42-185 of this Code on a public street that is not an alley and that contains a roadway; Sec. 42-152. Building line requirement along major thoroughfares. (a) The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This is a remainder tract. Albion subdivision was platted with lots in 1940. Most of this property was platted a lots that faced on Sevin Avenue. After the subdivision was developed, the City adopted a Major Thoroughfare Plan and Willowbend Blvd. was aligned through the subdivision. In the 1960's the City incorporated Sevin Ave. into the alignment for Willowbend and widened the right-of-way by acquiring portions of the adjacent lots to make a total of 80', then constructed the street. Now an additional 10' of widening is required by the Plan off each side to bring the right-of-way to 100'. These proposed new townhomes will have front doors facing the street and are an appropriate use in this location. By allowing the shared driveway to extend farther than 200 feet from the public right of way, it will give allow the development to be more unified. It will also allow all residents to use both entrances to the development.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The designation, acquisition, and construction of a Major Thoroughfare after the platting of the subdivision, as well as the subsequent requirement for widening, has created a hardship for the development of this property.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent is to create an adequate city-wide transportation network with sufficient light, air, and open space adjacent.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting the variance will maintain adequate light, air and open space. Safety will be enhanced by making the driveway access to residences from the rear, with a single driveway opening to a local street.

(5) Economic hardship is not the sole justification of the variance.

This is a remainder tract created by actions of the City after the original subdivision plat was recorded.

Houston Planning Commission ITEM: 127

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Albion partial replat no 2

Applicant: Vernon G. Henry Associates, Inc.



D Variances

Site Location

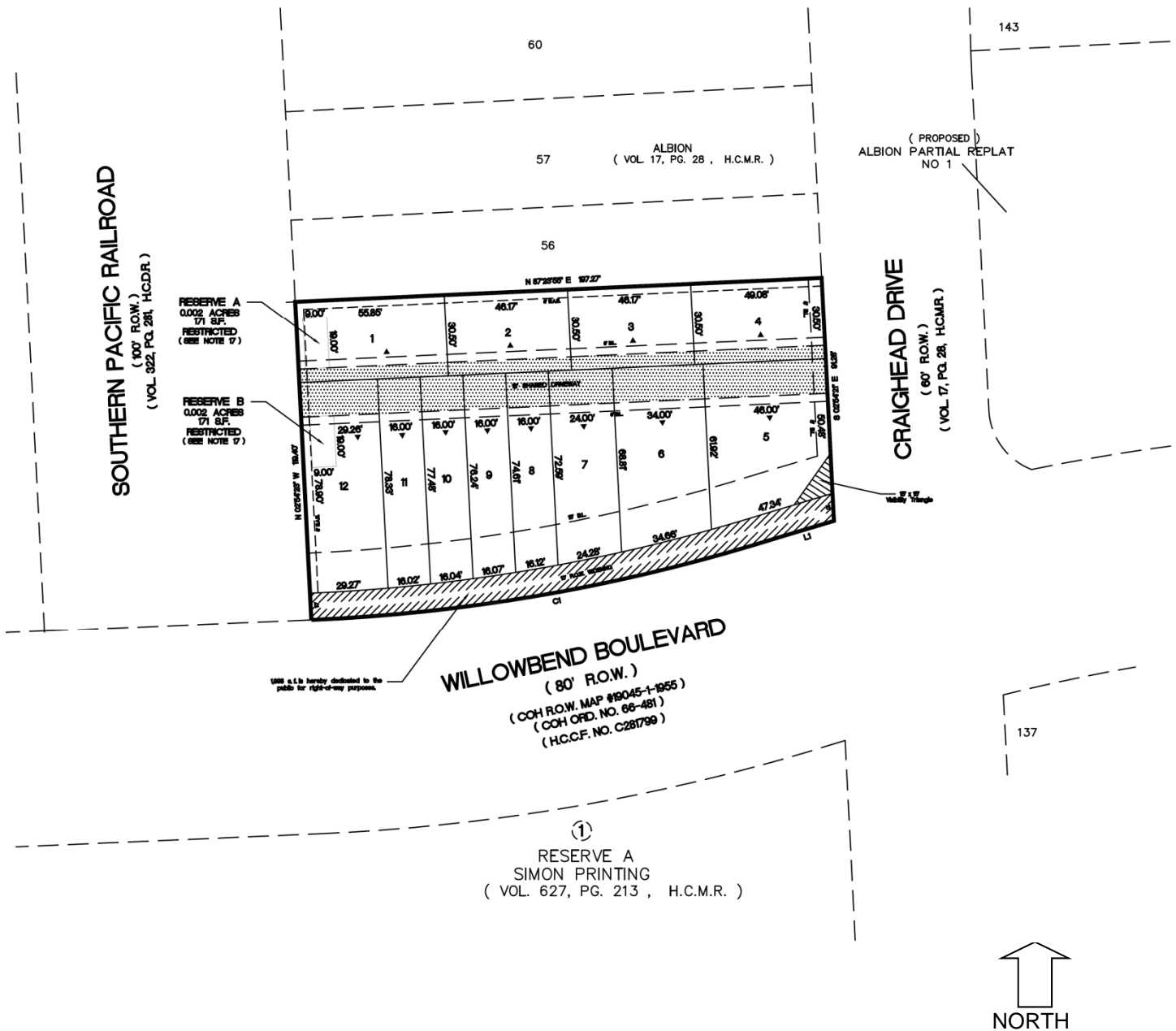
Houston Planning Commission ITEM: 127

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Albion partial replat no 2

Applicant: Vernon G. Henry Associates, Inc.



D Variances

Subdivision

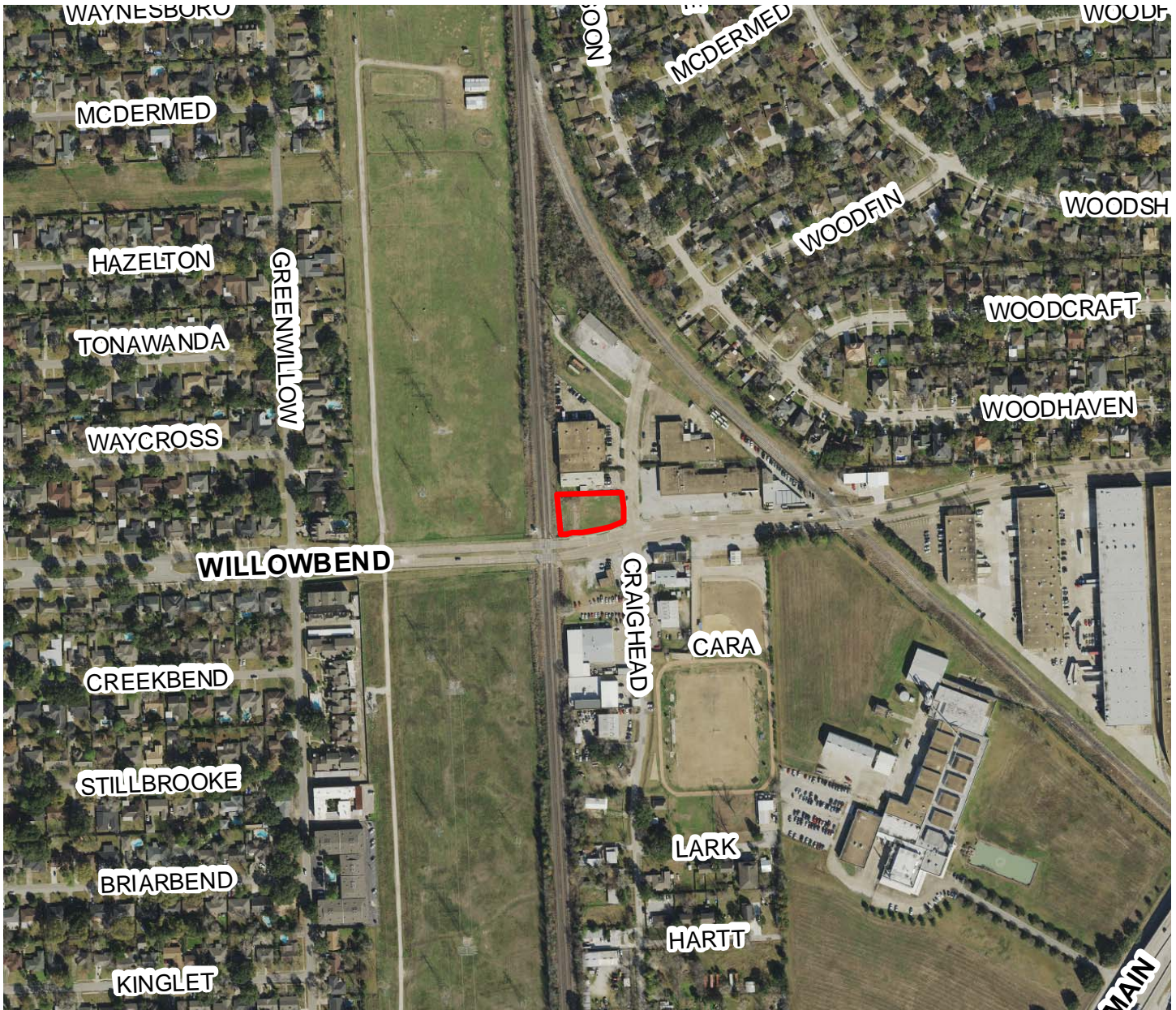
Houston Planning Commission ITEM: 127

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Albion partial replat no 2

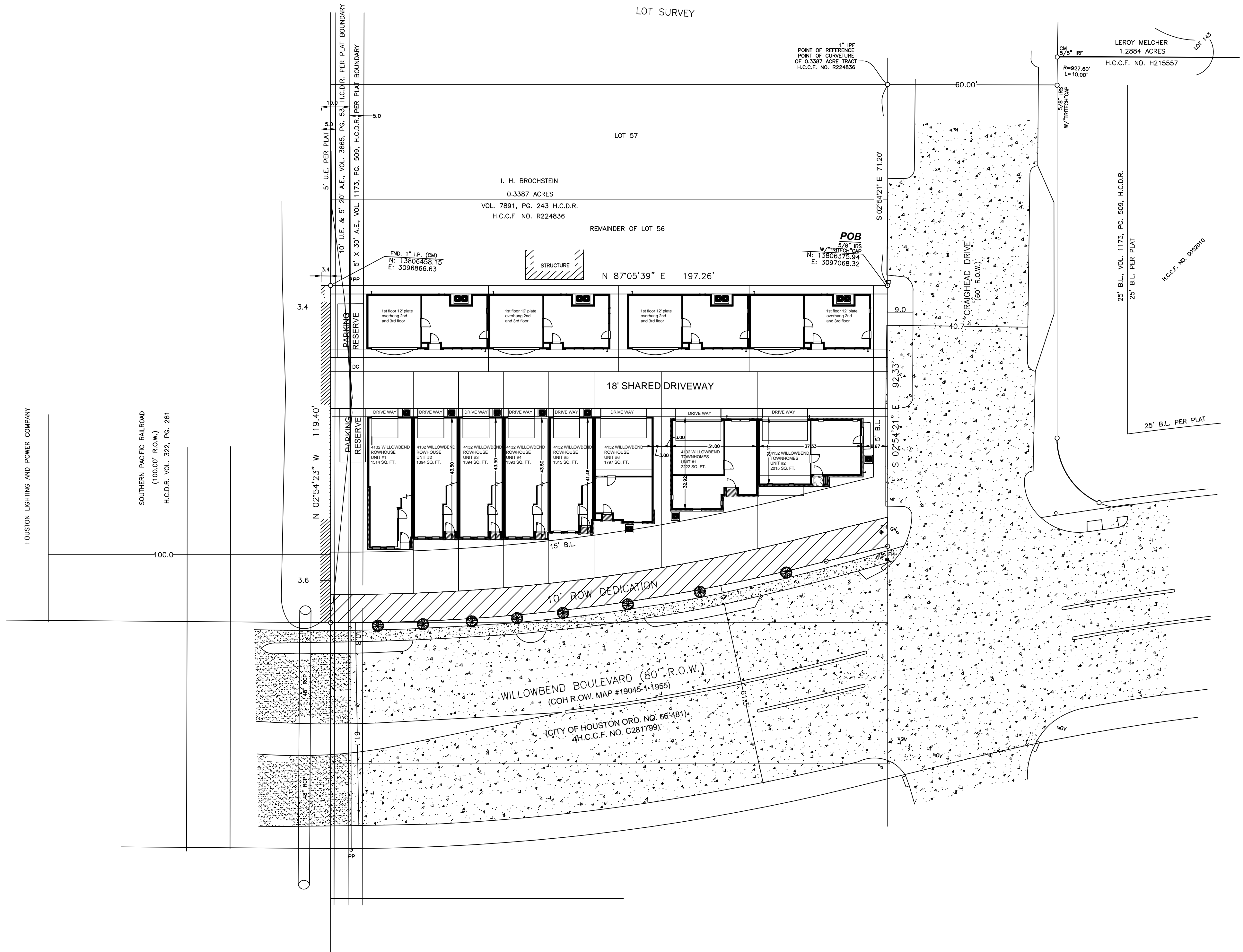
Applicant: Vernon G. Henry Associates, Inc.



D Variances

Aerial

LOT SURVEY





**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0874

Plat Name: Albion partial replat no 2

Applicant: Vernon G. Henry & Associates, Inc.

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a 15' setback rather than 25' along Willowbend, a designated Major Thoroughfare

Chapter 42 Section: 152

Chapter 42 Reference:

Sec. 42-152. Building line requirement along major thoroughfares. (a) The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This is a remainder tract. Albion subdivision was platted with lots in 1940. Most of this property was platted a lots that faced on Craighead Drive. After the subdivision was developed, the City adopted a Major Thoroughfare Plan and Willowbend Blvd. was aligned through the subdivision. In the 1960's the City incorporated Sevin Ave. into the alignment for Willowbend and purchased lots and parts of lots on the east side of Craighead for the right-of-way of 80', then constructed the street. Now an additional 10' of widening is required by the Plan off each side to bring the right-of-way to 100'. These proposed new townhomes will have front doors facing the street and are an appropriate use in this location.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The designation, acquisition, and construction of a Major Thoroughfare after the platting of the subdivision, as well as the subsequent requirement for widening, has created a hardship for the development of this property.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent is to create an adequate city-wide transportation network with sufficient light, air, and open space adjacent.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting the variance will maintain adequate light, air and open space. Safety will be enhanced by making the driveway access to residences from the rear, with a single driveway opening to a local street.

(5) Economic hardship is not the sole justification of the variance.

This is a remainder tract created by actions of the City after the original subdivision plat was recorded.

Houston Planning Commission

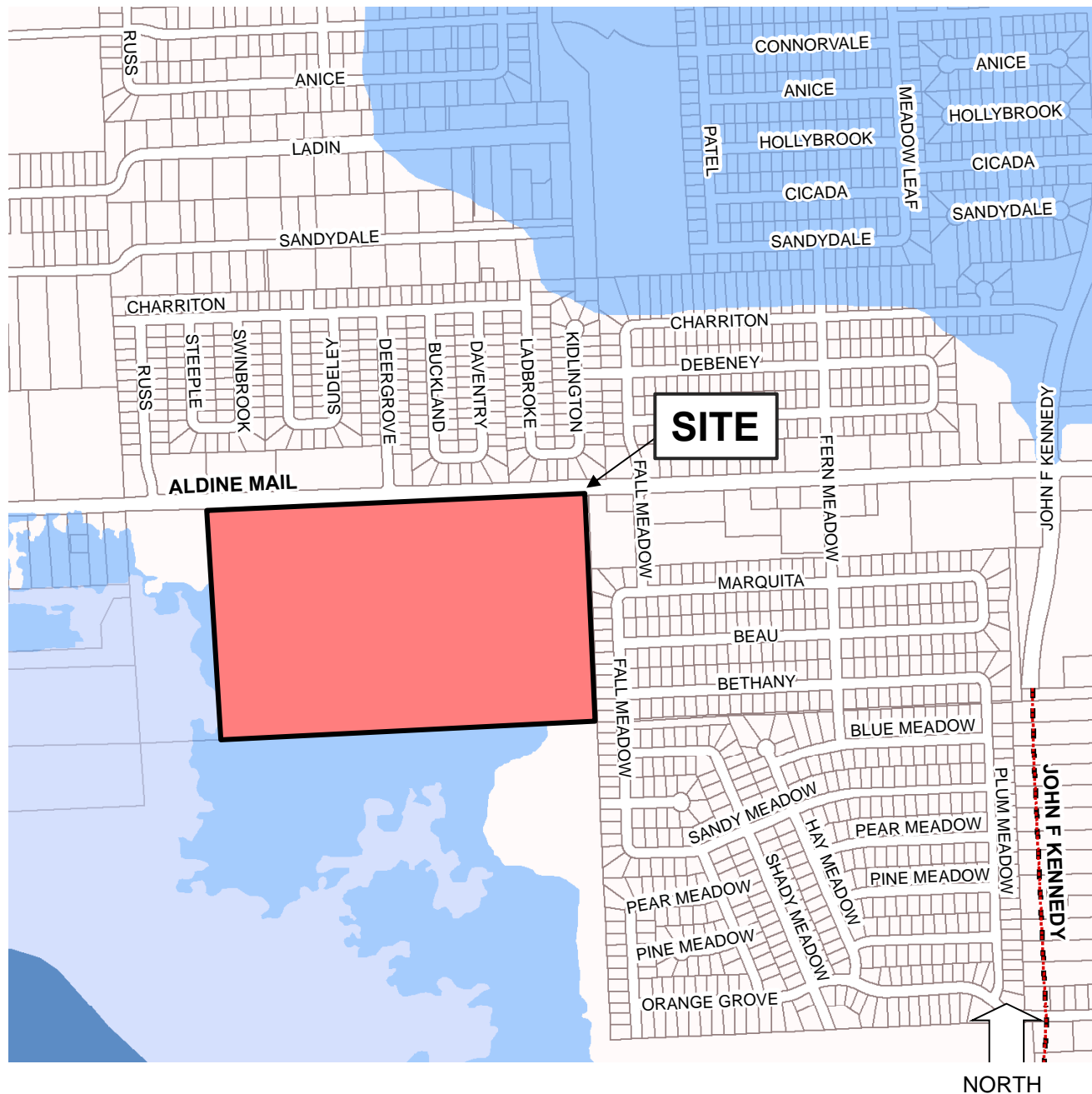
ITEM: 12

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Aldine Town Center General Plan

Applicant: Harris Engineer 1



D Variances

Site Location

Houston Planning Commission

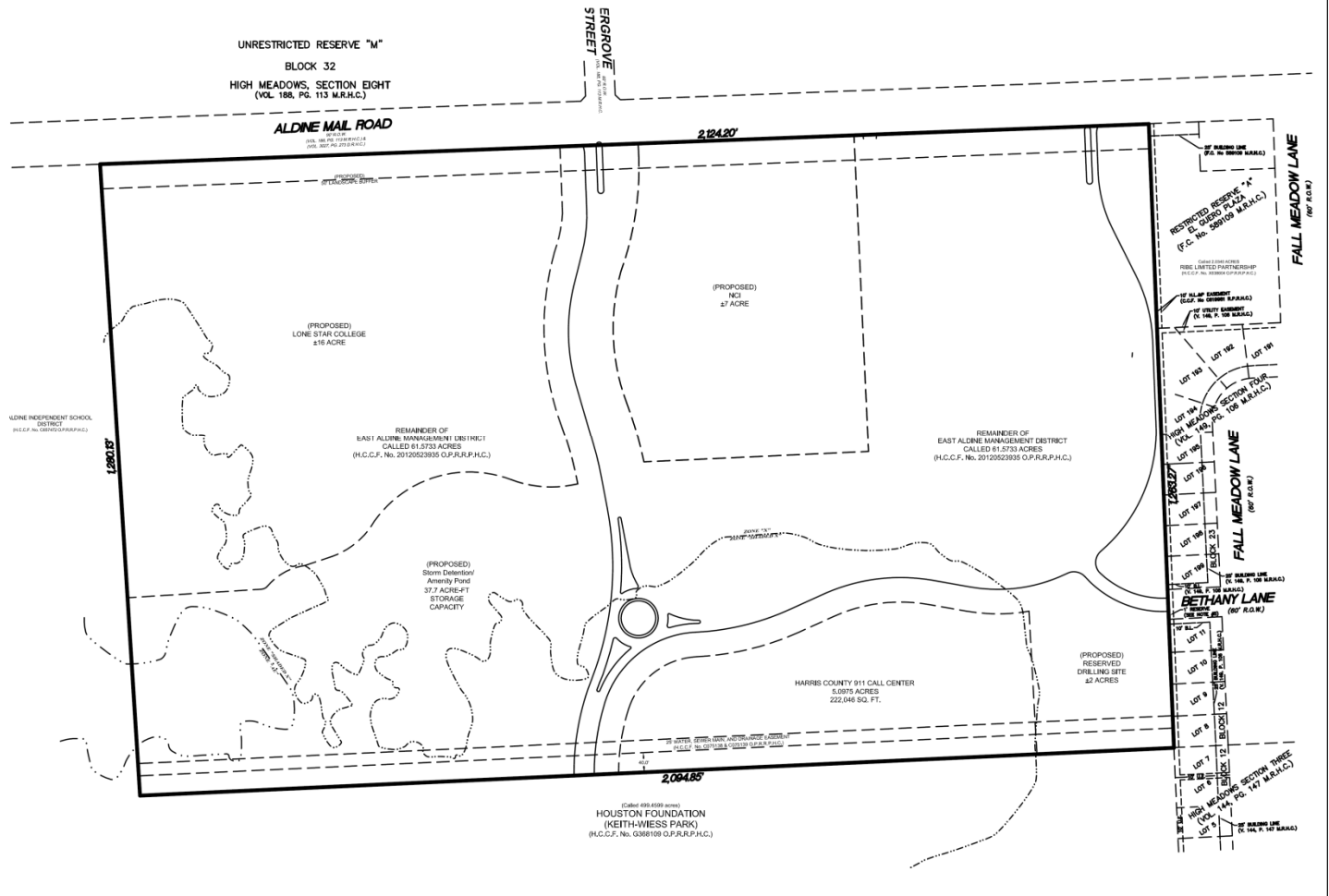
ITEM: 12

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Aldine Town Center General Plan

Applicant: Harris Engineer 1



D Variances

Subdivision

Houston Planning Commission

ITEM: 12

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Aldine Town Center General Plan

Applicant: Harris Engineer 1



D Variances

Aerial



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0890

Plat Name: Aldine Town Center GP

Applicant: Harris Engineer 1

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow an intersection spacing of approximately 300 feet between existing and proposed streets along a major thoroughfare.

Chapter 42 Section: 127

Chapter 42 Reference:

Sec. 42-127. Intersections of major thoroughfares. (b) Intersections along a major thoroughfare shall be spaced a minimum of 600 feet apart.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

This 61.58 acre development is located in East Harris County on the South side Aldine Mail Route and the North side of Keith Weiss Park, a city of Houston park. There is a second planned easterly north- south street within the proposed general plan which is approximately 300 feet from existing Fall Meadow Lane. Moving this street further west would create a lesser intersection spacing from the central north-south street in this general plan.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the application because these conditions existed prior to the applicant's purchase of this tract. The subdivision plat to the east called High Meadows section 4 was recorded in 1967 and created the street ROW of Fall Meadow Lane; thus establishing a constraint to request the variance request.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intersection spacing along both sides of the street is sufficient to establish safe separation between streets, thereby preserving and maintaining the intent and general purposes of this chapter.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The center left turn spacing distance along Aldine Mail Route Road between the north-south street and Fall Meadow Lane will not adversely affect vehicle traffic movements; therefore, the granting of the variance will not be injurious to the public health, safety or welfare.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the justification of the variance because the existing conditions north side of the general plan does not allow for north south circulation. The existing circulation in this area has been adequate for the past years.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0890

Plat Name: Aldine Town Center GP

Applicant: Harris Engineer 1

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To not provide a North south street along the major thoroughfare, Aldine Mail Route road within 2600 feet of Aldine Westfield road to the west.

Chapter 42 Section: 127

Chapter 42 Reference:

Intersections along major thoroughfare: a) A major thoroughfare shall intersect with a public local street, a collector street or another major thoroughfare at least every 2,600 feet. b) Intersections along a major thoroughfare shall be spaced a minimum of 600 feet apart.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This 61.58 acre development is located in East Harris County on the South side Aldine Mail Route and the North side of Keith Weiss Park, a city of Houston park. There is a planned north- south street within the proposed general plan which makes a connection to Deergrove street on the north side of Aldine Mail route to enhance circulation. Chapter 42 states that a public street should intersect at least every 2600 feet. The proposed north –south street is planned to the approximately 1,280 feet. Having a north –south street to the south within this development west of the planned north-south street would not increase circulation because of a lack of a connection north of Aldine Mail Route road

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the application because these conditions existed prior to the applicant's purchase of this tract. If the city of Houston desires to support the development of a post secondary educational facility, lone Star college which will be over 16 acres of development with thousands of students, then the design constraints associated with this type of development create a unique set of circumstances that support the requested variance

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter will be preserved and maintained because a north south street has a connection to Deergrove street to the north would improve circulation.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare because a north south street located within 2600 feet of Aldine Westfield road would have no connection to the north of Aldine mail route Road. Forcing public streets through the site would be disastrous for the project and would be in direct conflict with the public's health, safety and welfare. Public streets would break up the buildings and ruin the efficiency of the lone star campus.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance because the existing conditions north side of the general plan does not allow for north south circulation. The existing circulation in this area has been adequate for the past years.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0890

Plat Name: Aldine Town Center GP

Applicant: Harris Engineer 1

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To not provide a East west street along the western plat boundary which measures 1,280 feet south of Aldine Mail Route Road.

Chapter 42 Section: 128

Chapter 42 Reference:

Intersections of local streets. (a) Each class III plat and each general plan that shows local streets shall provide for internal circulation by meeting either of the following requirements: (1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet; or (2) One or more collector streets within the class III plat or general plan shall connect with another collector street or major thoroughfare at a minimum of two point. (b) A street that intersects with a local street will satisfy the intersection length requirement of item (a)(1) of this section if the street: (1) Is a public street that intersects with two different public streets; and (2) Is not a permanent access easement. (c) Intersections along local streets shall be spaced a minimum of 75 feet apart.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This 61.58 acre development is located in East Harris County on the South side Aldine Mail Route and the North side of Keith Weiss Park, a city of Houston park. Along the West line of the development it is 1280 feet from Aldine Mail route road to the northern boundary of Keith Weiss Park. 1280 feet is less than the 1400 feet required for an east west street per chapter 42. Having an east west street, There would not be anywhere for the east west to go since the property to the west owned by Aldine ISD is developed with existing buildings. Having an east west street connect to the east would not improve circulation since there is a T intersection at Bethany and Fall Meadow Lane.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the application because these conditions existed prior to the applicant's purchase of this tract.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter will be preserved and maintained because an east west street has no connection to the west. The connection to the east would not improve circulation since there is a T intersection at Bethany and Fall Meadow Lane. This does not increase circulation in the area which is the intent of the intersection spacing requirement.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare because an east west street with no connections to the west and limited connection to the east does not provide for any additional circulation and will not improve the existing conditions in this area. Forcing public streets through the lone star campus site would be disastrous for the project and would be in direct conflict with the public's health, safety and welfare. Public streets would break up the buildings and ruin the efficiency of the lone star campus.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance because the existing conditions on the east and west side of the general plan does not allow for east west circulation. The existing circulation in this area has been adequate for the past years.

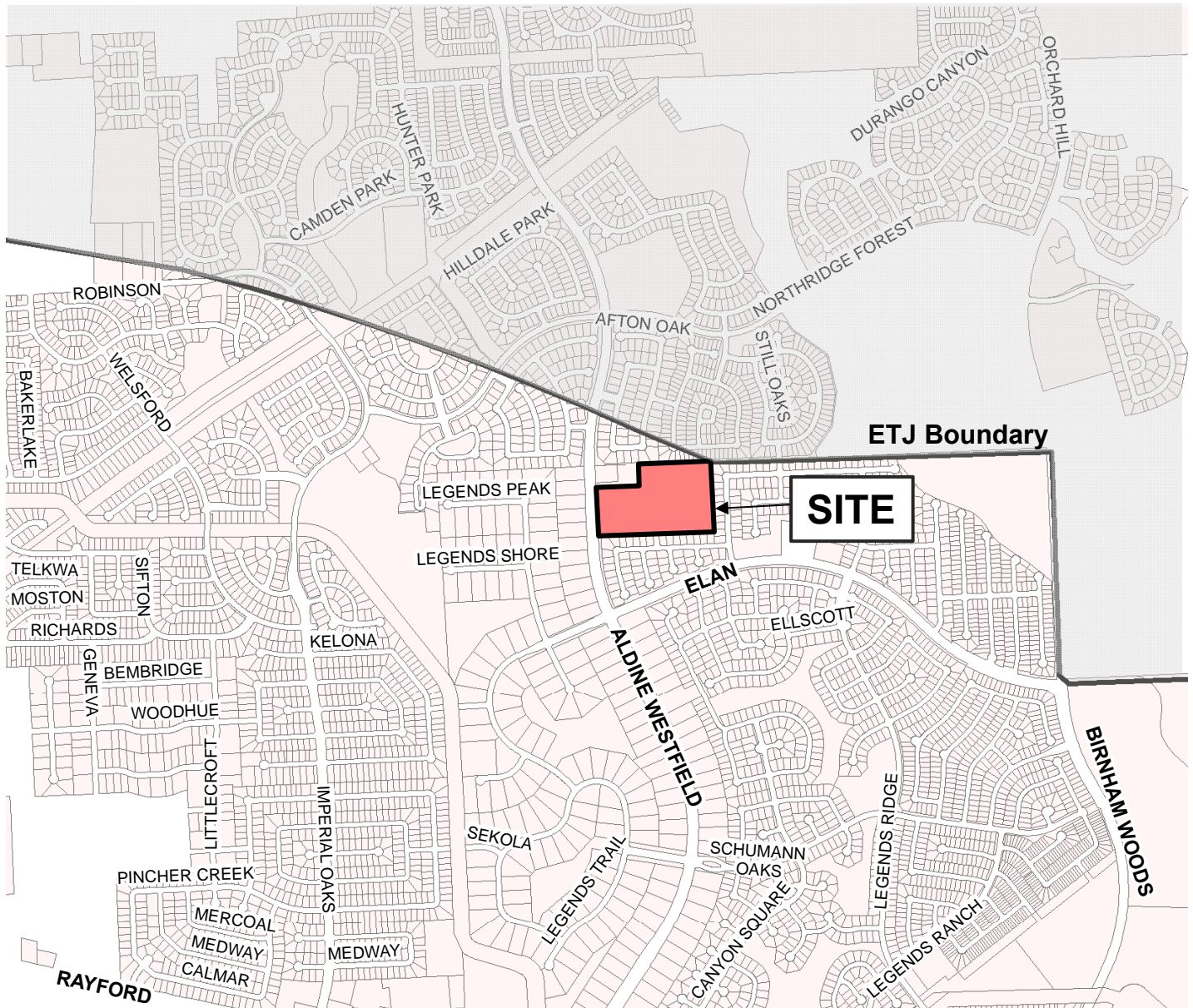
Houston Planning Commission ITEM: 129

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Aldine Westfield Business Park (DEF 1)

Applicant: Town and Country Surveyors



D Variances

Site Location

Subdivision

Houston Planning Commission ITEM: 129

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Aldine Westfield Business Park (DEF 1)

Applicant: Town and Country Surveyors



D Variances

Aerial



Application Number: 2015-0581

Plat Name: Aldine Westfield Business Park

Applicant: Town and Country Surveyors

Date Submitted: 03/21/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Sec. 42-135. Street extension We would like to request a Variance not to continue McGuinness Drive. McGuinness Drive is currently a 285 feet in length and is only in the Estates of Legends Trace. At the current time it Runs North from Rose Trace Drive and serves only the McGuinness Homestead tract, which currently has access by a 30 foot wide access easement beyond McGuinness Drive. When the Commercial Tract is developed the McGuinness Homestead will have access directly to Aldine Westfield.

Chapter 42 Section: 135

Chapter 42 Reference:

Sec. 42-135. Street extension

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The configuration of the properties in the area make extending the collector impractical as it brings will bring commercial traffic into a residential subdivision.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The variance is not requested do to a hardship but because of configuration of all the tracts in the area make it impractical.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent of the ordinance is to provide traffic collection and flow but there is very little need in this area.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Not putting in a public road will not have any affect on the public health, safety or welfare. A new road will provide minimal if any additional traffic flows.

(5) Economic hardship is not the sole justification of the variance.

This Plat is being developed as a commercial tract and does not need more access than it currently has or will have with the proposed cul-de-sac.



Application Number: 2015-0581

Plat Name: Aldine Westfield Business Park

Applicant: Town and Country Surveyors

Date Submitted: 03/21/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Sec. 42-128. Intersections of Collector Streets The developer requests that no local street be required running east and west through proposed plat.

Chapter 42 Section: 128

Chapter 42 Reference:

Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet;

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The configuration of the properties in the area make putting a collector at this point unnecessary. It would not be in the interest of the public to create a public road where one is not necessary.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The variance is not requested do to a hardship it is asked for because of configuration of all the tracts in the area, and because a public road through the tract will serve no purpose.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent of the ordinance is to provide traffic collection and flow but there is very little need in this area.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Since the adjoining properties are already developed a public street through the property will not not provide any additinional access.

(5) Economic hardship is not the sole justification of the variance.

The configuration of the existing development and the surrounding properties do not justify the need for an additional collector road.

Houston Planning Commission **ITEM: 130**

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Bell Hutchins (DEF1)

Applicant: Precision Land Surveying



D Variances

Site Location

Houston Planning Commission ITEM: 130

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Bell Hutchins (DEF1)

Applicant: Precision Land Surveying



D Variances

Subdivision

Houston Planning Commission ITEM: 130

Planning and Development Department

Meeting Date: 05/14/2015

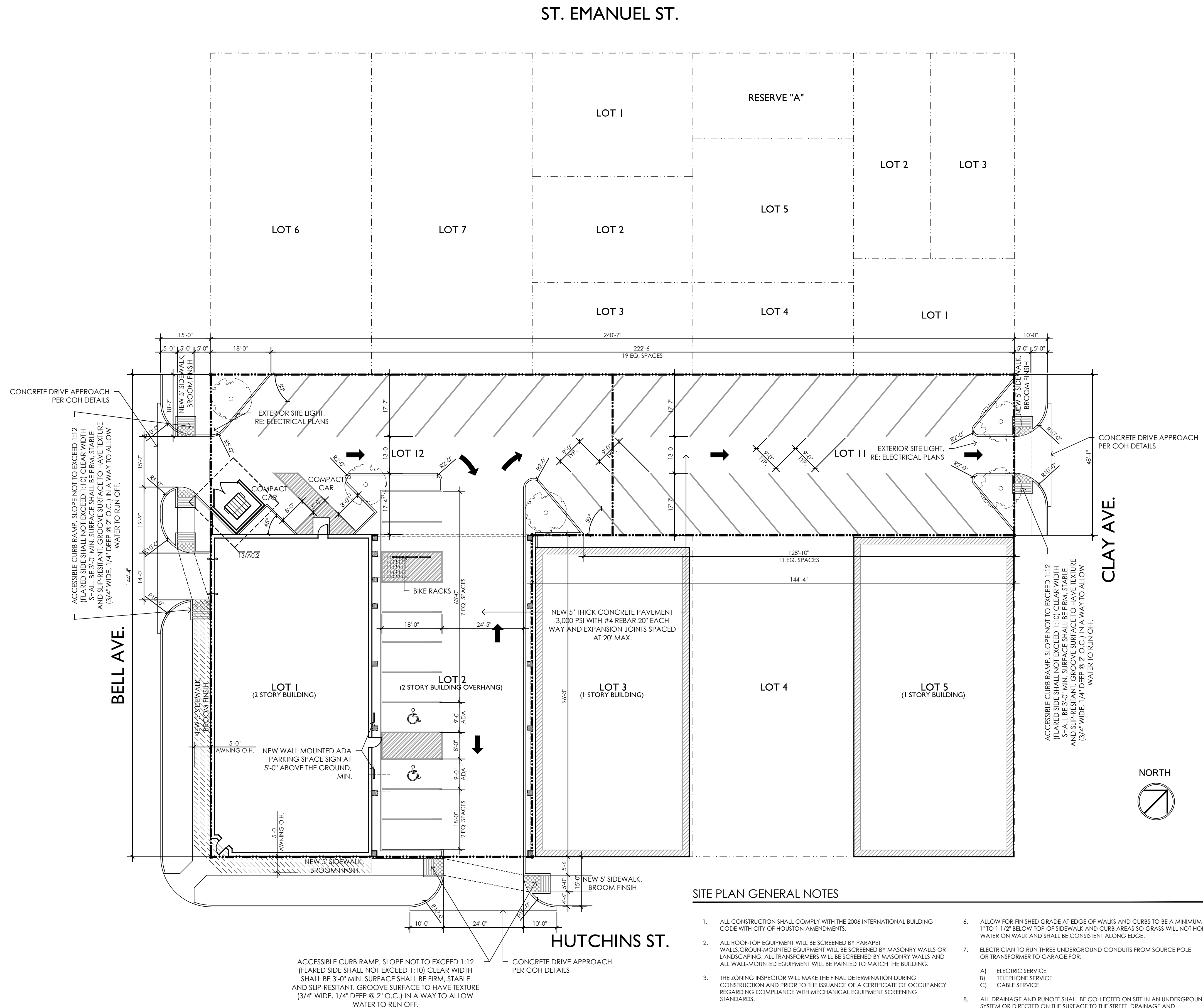
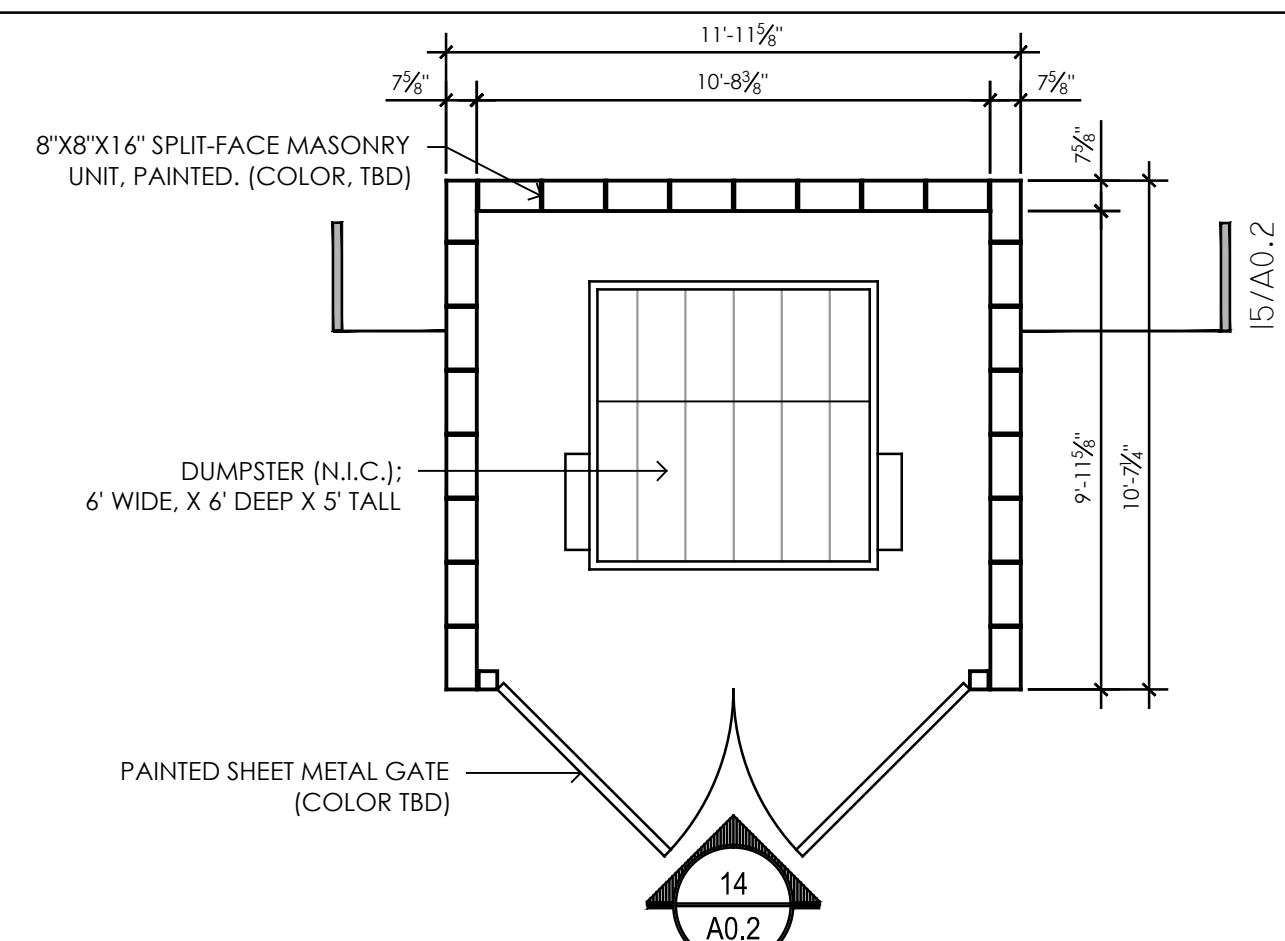
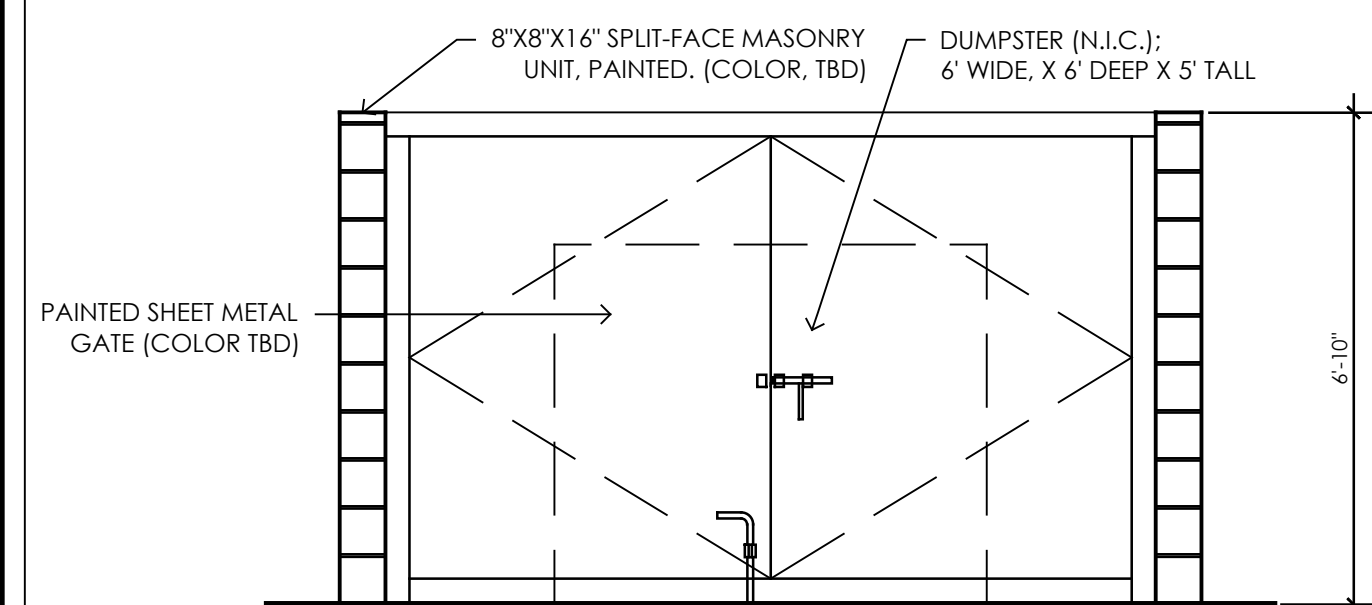
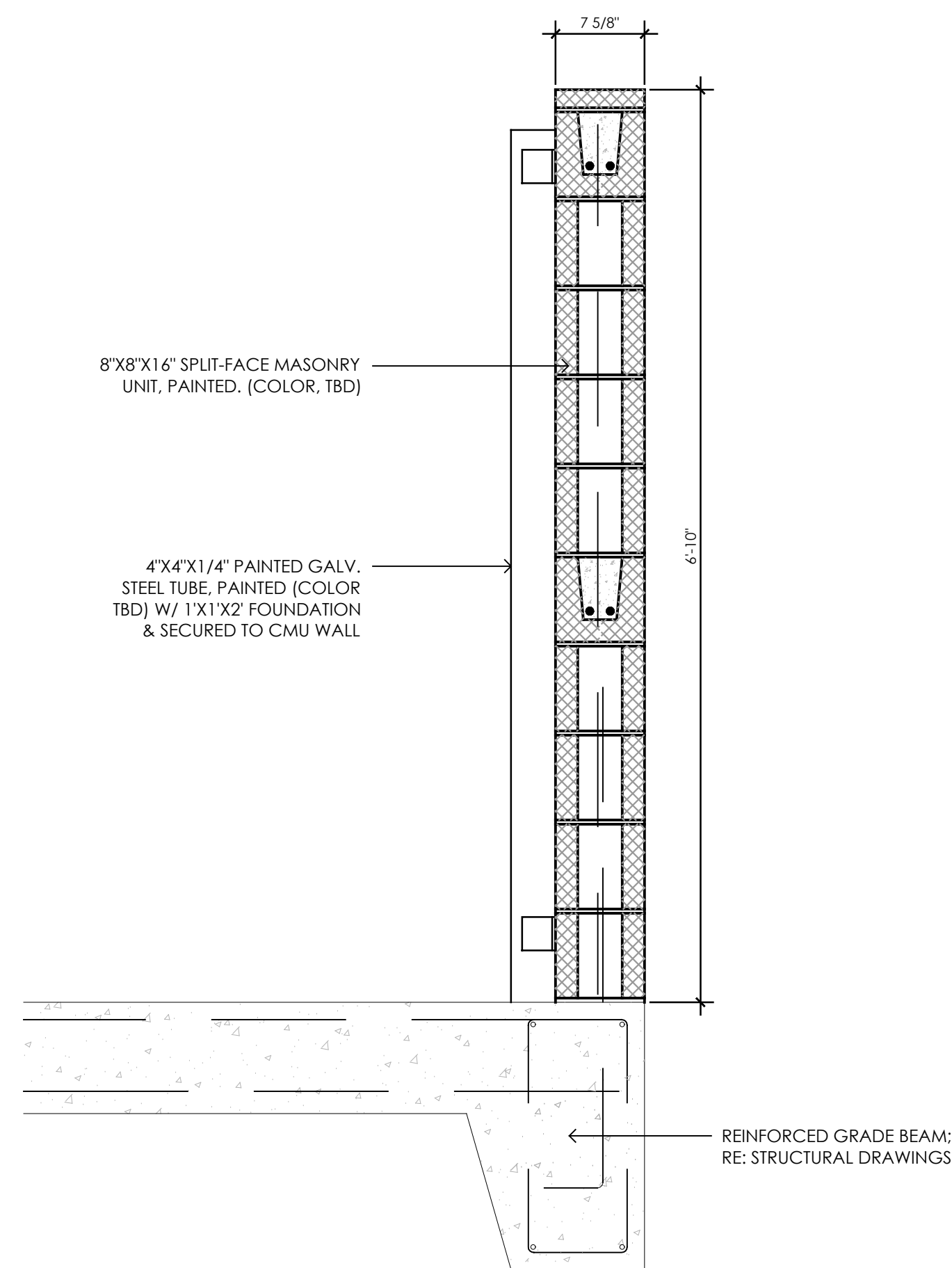
Subdivision Name: Bell Hutchins (DEF1)

Applicant: Precision Land Surveying



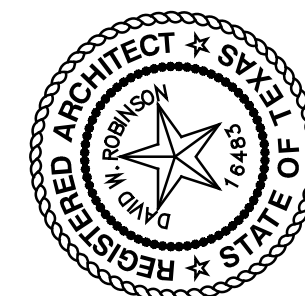
D Variances

Aerial



REVISIONS	
NO.	DATE
	02/28/15 ISSUED FOR PRICING
	04/10/15 ISSUED FOR PERMIT

ROBINSON ARCHITECTURE WORKSHOP
ARCHITECTURE / PLANNING / URBAN DESIGN

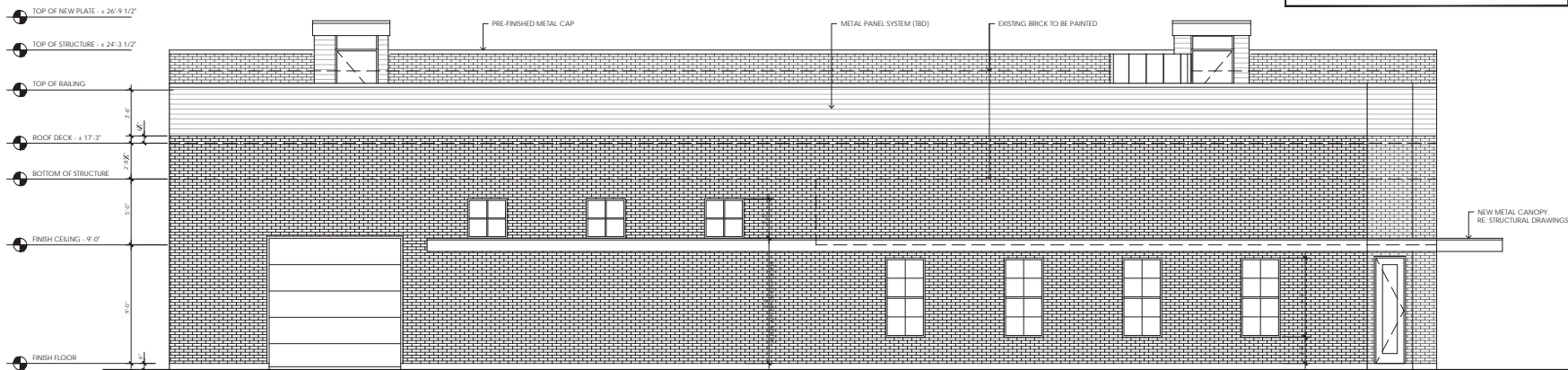


2514 ELMEN STREET
HOUSTON, TEXAS 77019
ph: 713.907.8241

**PLESCO ARCHITECTURAL
LIGHTING**
1420 HUTCHINS ST.
HOUSTON, TEXAS 77003

PROJECT # RAW14003	
DATE: FEBRUARY 28, 2015	
DRAWN: BB	CHECKED: DD
SITE PLAN NEW	
SHEET NO	

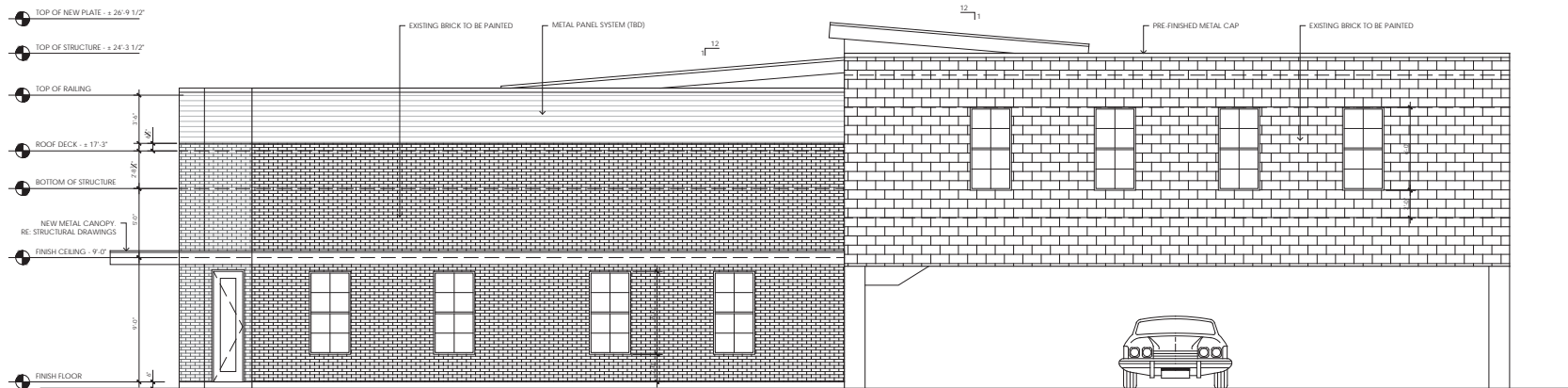
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EXTERIOR PAINT SPECIFICATION:
SHERWIN WILLIAMS - TBD

SOUTH ELEVATION

1/4" = 1'-0" 03



EAST ELEVATION

1/4" = 1'-0" 01

REVISIONS

NO.	DATE
02/28/15	ISSUED FOR PRICING
04/10/15	ISSUED FOR PERMIT

ROBINSON ARCHITECTURE WORKSHOP
ARCHITECTURE / PLANNING / URBAN DESIGN



2514 ELMEN STREET
HOUSTON, TEXAS 77019
ph: 713.907.8241

**LESCO ARCHITECTURAL
LIGHTING**
1420 HUTCHINS ST.
HOUSTON, TEXAS 77003

PROJECT # RAN14003

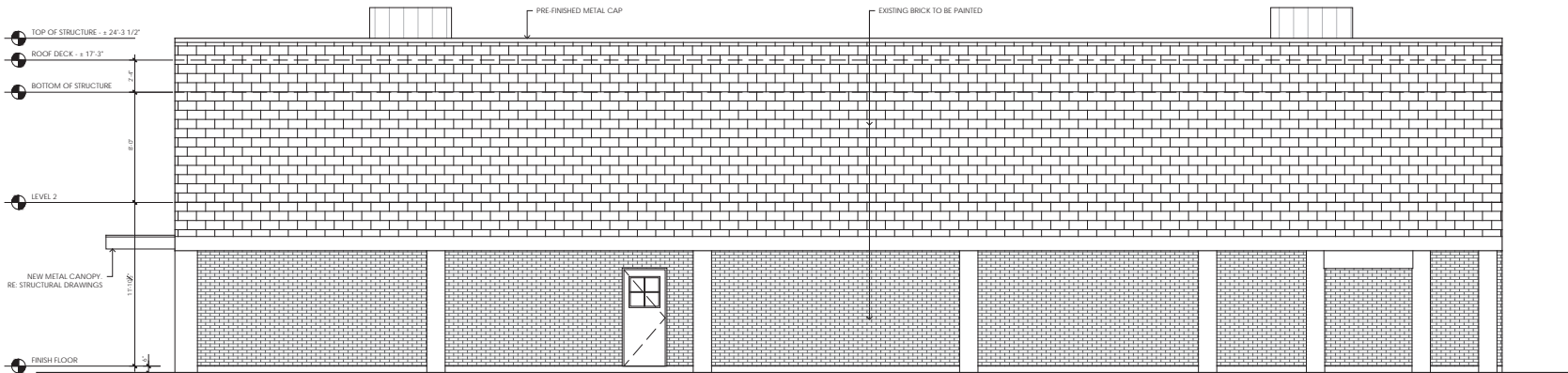
DATE: FEBRUARY 28, 2015

DRAWN: BB CHECKED: DD

**BUILDING
ELEVATIONS**

SHEET NO.

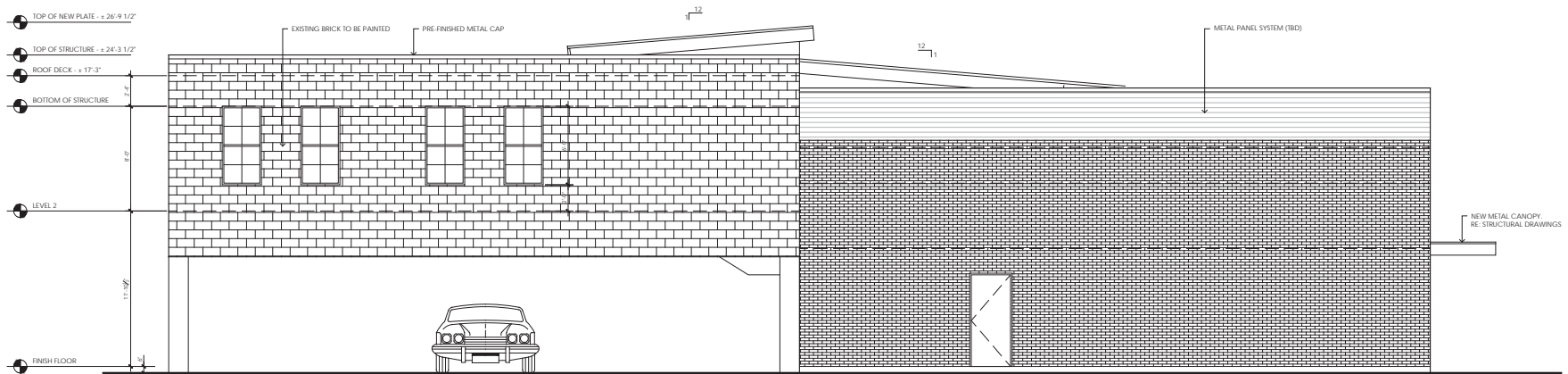
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EXTERIOR PAINT SPECIFICATION:
SHERWIN WILLIAMS - TBD

NORTH ELEVATION

1/4" = 1'-0" 03



WEST ELEVATION

1/4" = 1'-0" 01

REVISIONS	
NO.	DATE
02/28/15	ISSUED FOR PRICING
04/10/15	ISSUED FOR PERMIT

ROBINSON ARCHITECTURE WORKSHOP
ARCHITECTURE / PLANNING / URBAN DESIGN

2514 ELMEN STREET
HOUSTON, TEXAS 77019
ph: 713.907.8241

LESCO ARCHITECTURAL
LIGHTING

1420 HUTCHINS ST.
HOUSTON, TEXAS 77003

PROJECT # RAW14002
DATE: FEBRUARY 28, 2015
DRAWN: BB CHECKED: DD

BUILDING
ELEVATIONS

SHEET NO.

A2.2





Application Number: 2015-0654

Plat Name: Bell Hutchins

Applicant: Precision Land Surveying

Date Submitted: 03/23/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

The building line requirement for a property used or to be used for other than single-family residential purposes adjacent to a street that is not a major thoroughfare. This variance is requested in respect to the right-of-way lines of Bell Avenue and Hutchins Street.

Chapter 42 Section: 156

Chapter 42 Reference:

Sec. 42-155. Collector and local streets--Uses other than single-family residential. (a) The building line requirement for a tract used or to be used for other than single-family residential purposes adjacent to a street that is a collector street or local street that is not an alley shall be ten feet unless otherwise required or authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

There is an existing building on this site that extend, generally to the right-of-way lines of Bell Avenue and Hutchins Street. The proposed improvements are mostly interior in nature. In order to comply with a building lines on these streets would necessitate razing the building, which is impractical. The applicant is desirous of installing a canopy to the building along Hutchins Street to improve public access to the existing building by providing shelter to the weather. The canopy along Hutchins Street will be 45-feet long along the length of the existing building and be 5-feet wide. The canopy along Bell Avenue will be 75-feet long and 5-feet wide. The applicant is also desirous of installing a railing on top of the existing parapet.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The buildings were built in 1947 by a previous owner and have existed in their location for many years.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposed of this chapter will be preserved and maintained in that this is an isolated situation. It should not have any effect on the chapter

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The existing building has been in existence for many years and has not been injurious to the public health, safety or welfare. In fact, it will be an amenity in that it will provide shelter from the elements.

(5) Economic hardship is not the sole justification of the variance.

The existing building has been in existence for many years and has not been injurious to the public health, safety or welfare.



PLANNING &
DEVELOPMENT
DEPARTMENT

VARIANCE
Request Information Form

Application Number: 2015-0654

Plat Name: Bell Hutchins

Applicant: Precision Land Surveying

Date Submitted: 03/23/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

The building line for property adjacent to two intersection streets shall not encroach into any visibility triangle. This variance is requested for the intersection of Bell Avenue with Hutchins Street.

Chapter 42 Section: 161

Chapter 42 Reference:

Sec. 42-161. Visibility triangles. The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle, the triangular area adjacent to the intersection of any street established by measuring a distance of 15 feet from the point of intersection of two streets along the right-of-way of each of the intersecting streets and connecting the ends of each measured distance, to assure adequate visibility sight lines for vehicular traffic approaching the intersection.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The building was built by a previous owner many years ago, prior to the existence of visibility triangles. In order to comply with this section the existing building would have to be razed, which is impractical.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The building was built in 1947 by a previous owner many years ago, prior to the existence of visibility triangles. Refer to visibility exhibit.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposed of this chapter will be preserved and maintained in that this is an isolated situation. It should not have any effect on the chapter

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The existing building has been in existence for many years and has not been injurious to the public health, safety or welfare.

(5) Economic hardship is not the sole justification of the variance.

The existence of this building was caused by a previous owner many years ago.

Houston Planning Commission ITEM: 131

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Center City Views (DEF 1)

Applicant: The Interfield Group



D Variances

Site Location

Houston Planning Commission ITEM: 131

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Center City Views (DEF 1)

Applicant: The Interfield Group



D Variances

Subdivision

Houston Planning Commission ITEM: 131

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Center City Views (DEF 1)

Applicant: The Interfield Group



D Variances

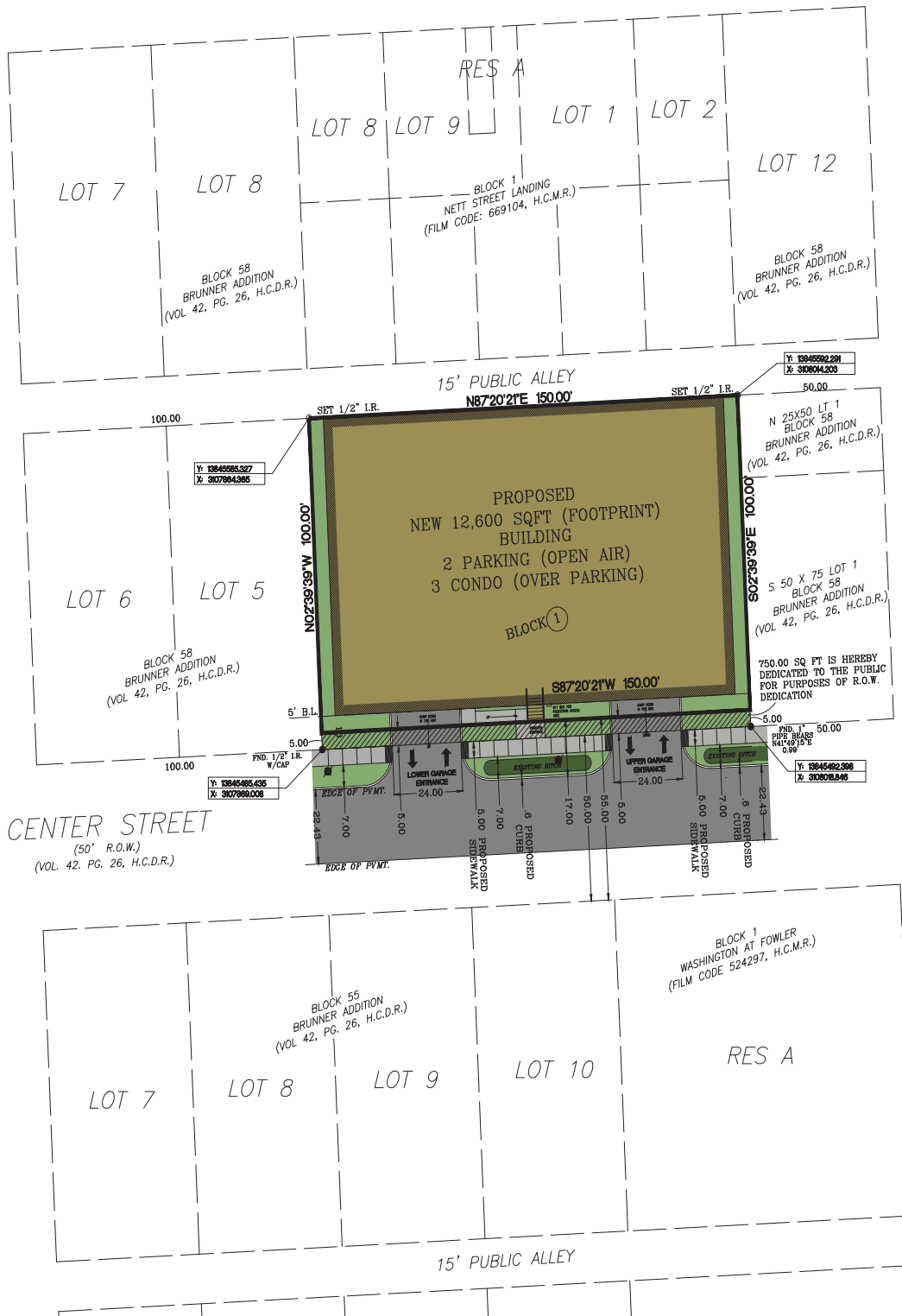
Aerial



NETT STREET
(50' R.O.W.)
(VOL. 42, PG. 26, H.C.D.R.)

PARKER STREET
(50' R.O.W.)
(VOL. 42, PG. 26, H.C.D.R.)

FOWLER STREET
(50' R.O.W.)
(VOL. 42, PG. 26, H.C.D.R.)



THE INTERFIELD GROUP
ARCHITECTURE / PLANNING / ENGINEERING

401 STUDEWOOD, SUITE 300
HOUSTON, TEXAS 77007

TEL. (713) 780-0909
TBPE REG. NO. F-5611
TBAE REG. NO. BR741



TITLE
PAVEMENT SECTION
PROJECT

Center City Views

DATE: 04/16/15

JOB #: 15045.00

SHEET NO.

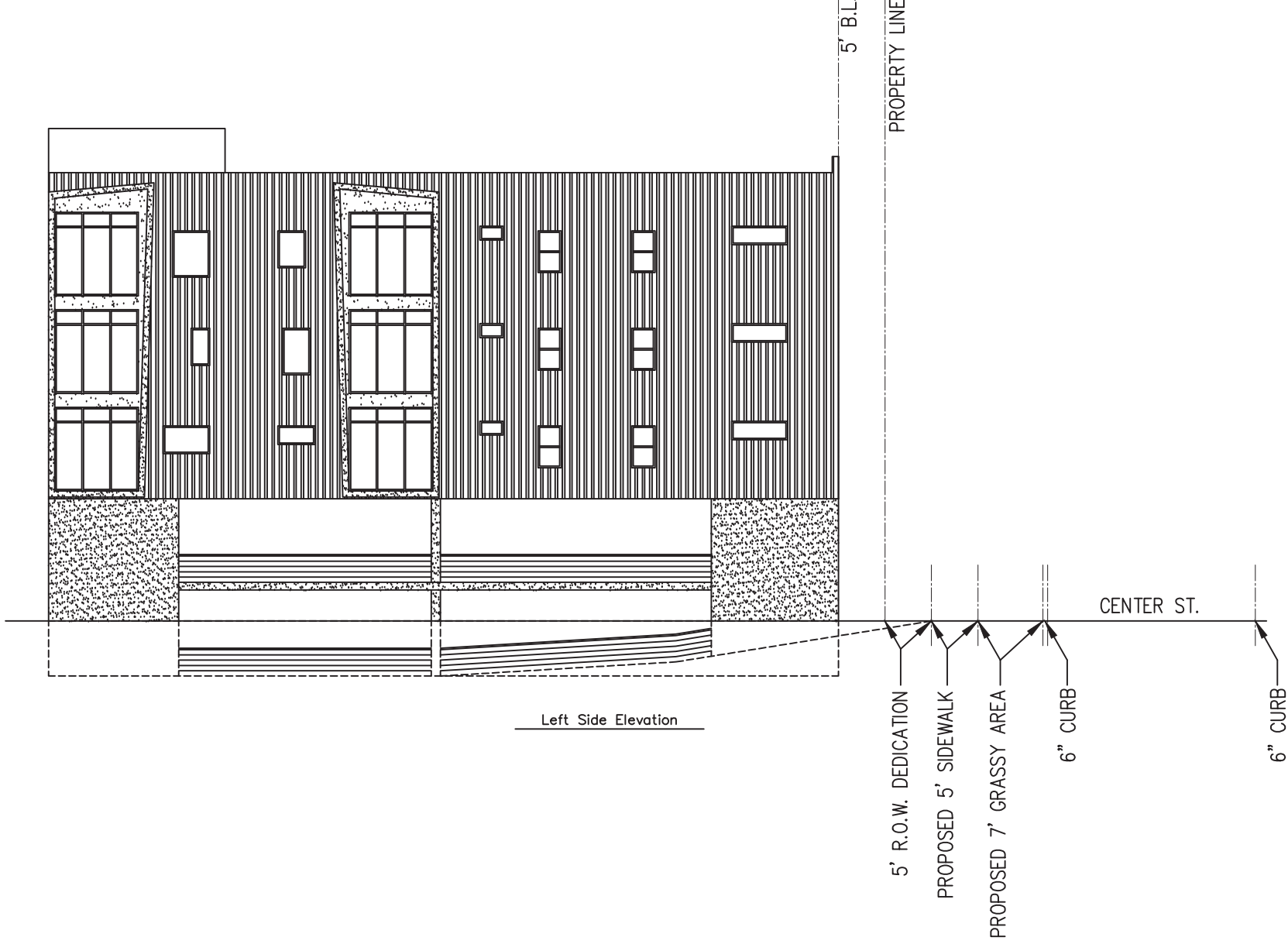
DRAWN BY: RA

CHECKED BY: MLV

1

(A) CENTER ST. LEFT ELEVATION

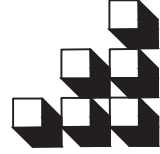
SCALE: 1/16"=1'-0"



THE INTERFIELD GROUP
ARCHITECTURE / PLANNING / ENGINEERING

401 STUDEWOOD, SUITE 300
HOUSTON, TEXAS 77007

TEL. (713) 780-0909
TBAE REG. NO. F-5611
TBAE REG. NO. BR741



TITLE
PROPOSED ELEVATIONS

PROJECT

CENTER CITY VIEWS

DATE: 04/16/15 JOB #: 15045.00 SHEET NO.

DRAWN BY: RA

CHECKED BY: MFQ

1



Application Number: 2015-0859

Plat Name: Center City Views

Applicant: The Interfield Group

Date Submitted: 04/20/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Specific variance is being sought and extent of variance is to allow a reduced building line of 5' along Center Street.

Chapter 42 Section: 150

Chapter 42 Reference:

Chapter 42 Reference: 42-150 – Building Line Requirement (d) Local streets Not single-family residential and across the street from a single-family residential lot with a platted building line of 10 feet or more Lesser of 25 feet or the greatest platted building line on the single-family residential Single-family residential 20 feet, if the lot meets the standards of section 42-156(b) 10 feet, if the lot meets the standards of section 42-156(b) or section 42-157(b) 5 feet, if the lot meets the standards of section 42-157(c) zero feet, if the lot meets the standards of section 42-157(d)

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

LKL Center will be located north of Center Street, south of Nett Street, east of Parker Street and west of Fowler Street.

Over the past months, owner has been working closely with his architect, for proposed condominium building. In an initial meeting between City of Houston Permitting Department, architect was informed that Center Street is located within a street width exception area. However, in the process of preparing for plat submittal, we were informed that the City recently adopted a new street classification of Minor Collector in which Center Street is now designated. This new designation causes Center Street to be a planned 60' right-of-way, in turn, requiring a 5' strip (750 SF) to be dedicated by plat, for the widening of Center Street to 60'. An additional 10' setback, from the new right-of-way line would deny owner the reasonable use of subject tract for the proposed development.

There are nearby buildings that still appear to have thriving businesses where the building are setback five (5) feet or less, and constitutes an unusual physical characteristic that affects future plans for Center Street, and, consequently, subject property.

In reviewing the above mentioned developments, as well as others nearby, we were unable to identify a single development nearby where a 5' strip of was dedicated for Center Street widening. The permanent nature of these developments leads us to believe that widening of Center Street in the near future is not likely, and any widening would place these recent developments at a zero lot line, along a Minor Collector. The proposed LKL Center building, being constructed 5' from the new planned 60' width of Center Street, will still be located 10' from the current 50' width of Center Street for the unforeseeable length of time, due to the unknown time and uncertain schedule for the widening.

We are of the opinion that although the above mentioned 5' building lines were approved for townhome developments, LKL Center has a similar condition, in that the entrances will act in the same manner as found in townhome developments, with shared driveways. There will be no direct access of any unit to and from Center Street. Further, LKL Center will have one driveway restricted to entry and one restricted for exit.

We understand that the approvals are reviewed on a case-by-case basis, but the previously approved projects establish a prevailing setback of 5-feet along Center Street, with a strong likelihood that this condition will be in place for a foreseeable future period, due to the permanent nature of these recent projects.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

No hardship created or imposed by the applicant is used as a basis to support the request for this variance. Variance request is based on factors external to subject property and to be consistent with recently-developed projects

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purpose of Chapter 42 will be preserved and maintained, due to the following considerations: a. Proposed development will include a 5-foot side walk along Center Street b. Yard between building and right-of-way will be landscaped, and will preserve and enhance the general character of block face.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare, on the contrary, will contribute to the beautification of the block face, without any way compromising public health or safety.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance, which is being requested on the basis of a reasonable assessment of nearby prevailing conditions and recent previous developments.

Houston Planning Commission

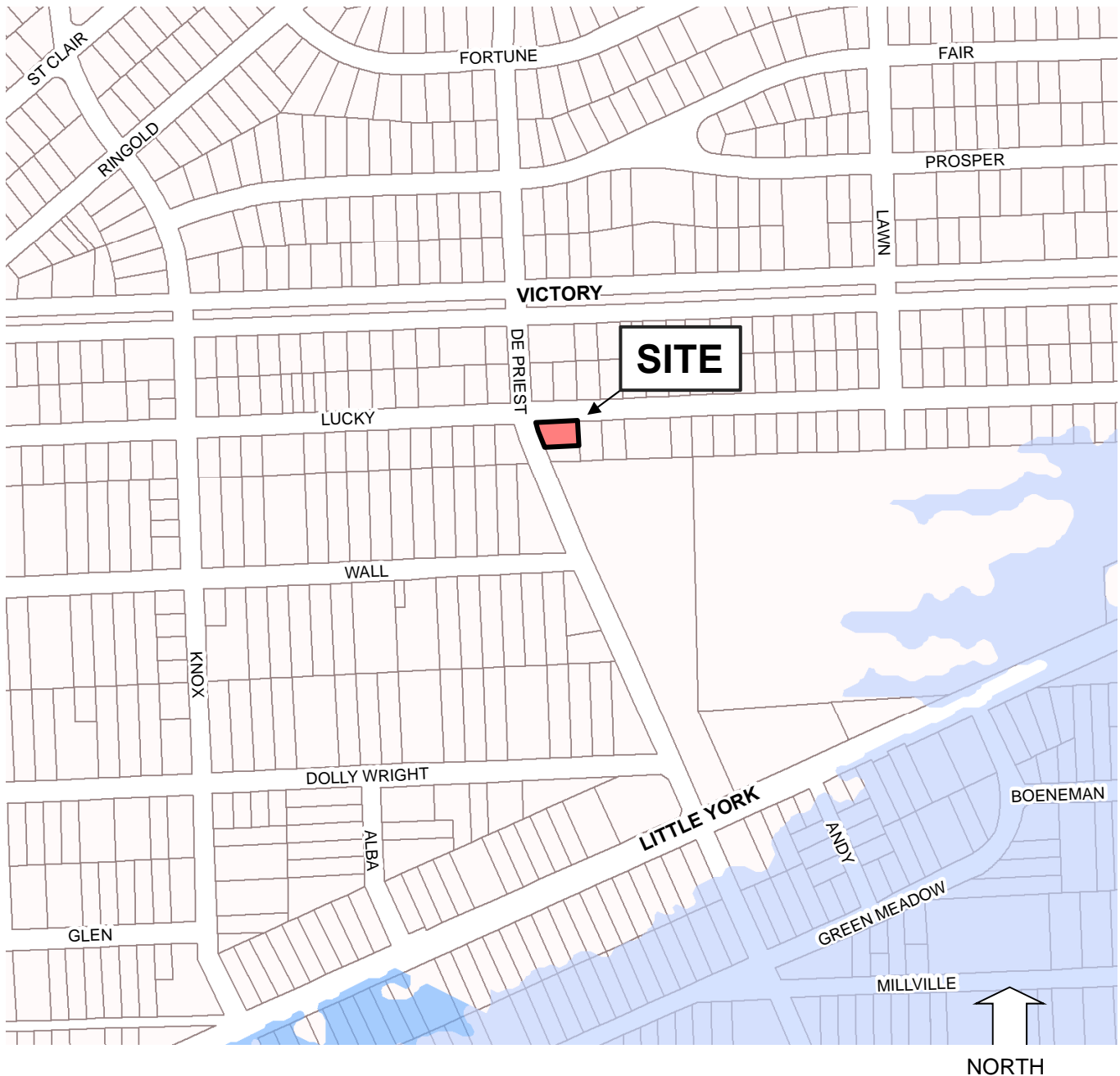
ITEM:132

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name:Dwight Place (DEF1)

Applicant:AGS Consultants LLC



D Variances

Site Location

Houston Planning Commission

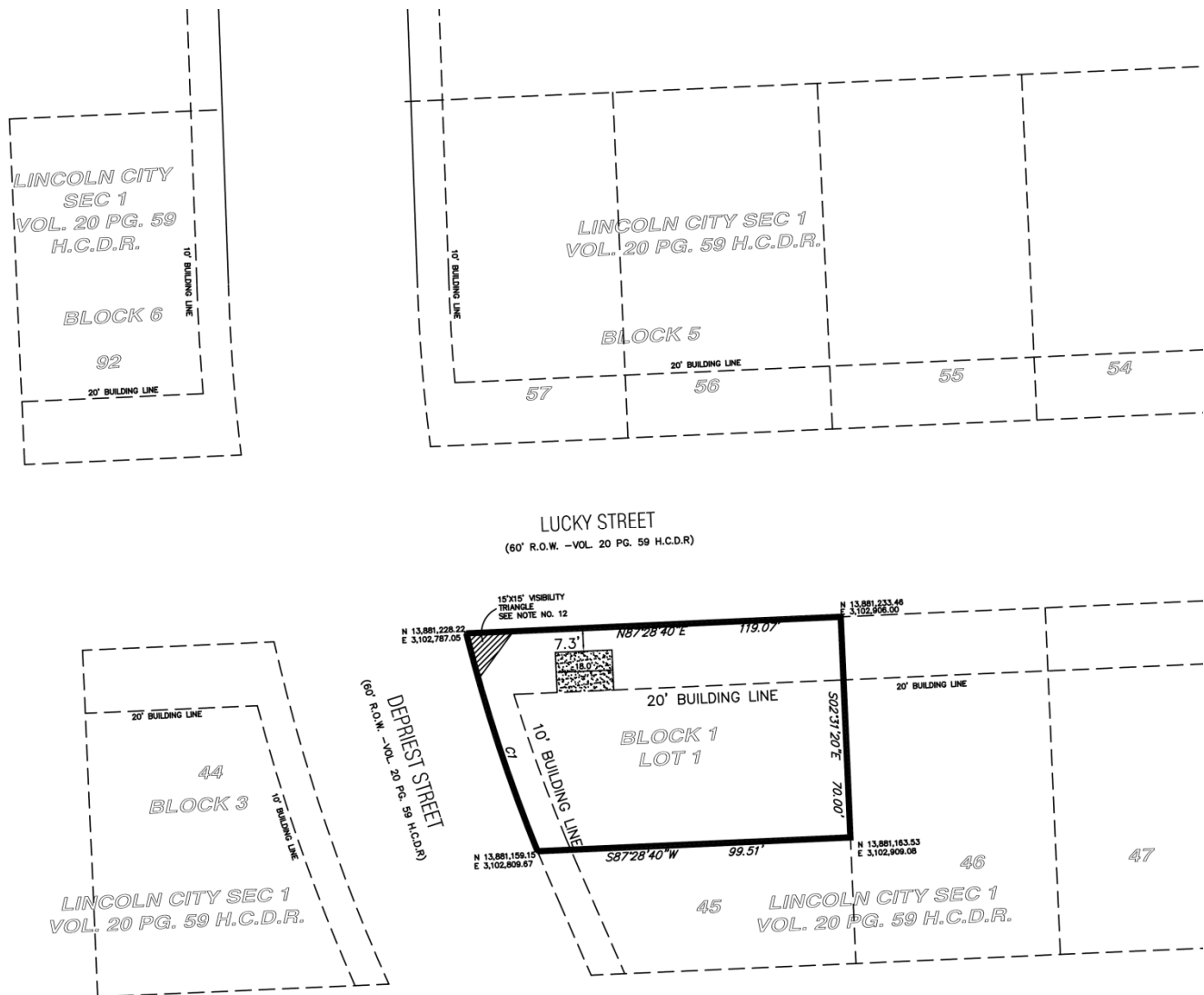
ITEM:132

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name:Dwight Place (DEF1)

Applicant:AGS Consultants LLC



D Variances

Subdivision

Houston Planning Commission

ITEM:132

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name:Dwight Place (DEF1)

Applicant:AGS Consultants LLC



D Variances

Aerial



Application Number: 2015-0762

Plat Name: Dwight Place

Applicant: AGS CONSULTANTS LLC

Date Submitted: 04/06/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

to allow a dual front building line for the carport.

Chapter 42 Section: 156

Chapter 42 Reference:

Sec. 42-156. Collector and local streets--Single-family residential. (b) Except as otherwise required or authorized by this chapter, the building line requirement for a lot restricted to single-family residential use along a local street that is not an alley shall be: (1) 20 feet along the front of a lot and ten feet along the back and side of a lot adjacent to a local street; or (2) 10 feet if the subdivision plat contains a typical lot layout and the subdivision plat contains plat notations that reflect the requirements of this section.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land;
OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This project was contracted by an individual that didn't pursue a permit nor a subdivision plat; however in good faith the owner thought they were doing the right thing. At least six structures on Lucky Street have built over the building line, including carports and homes. The building of the carport over the building line was an honest oversight because of the reduced building line of six other homes on Lucky Street. This is an open ditch neighborhood with aerial utilities, power poles, street lights and fiber line utilities but no sidewalks nor any plans in the CIP for any sidewalks in the community. The dual building line will allow the carport to remain but the 20' original building line will be maintained for any future construction.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

This area will eventually become urban but the reality is that it is open ditch and no public improvements are planned on the C.I.P Plan. The distance from the edge of the asphalt will allow two cars to park and not impede pedestrian movement if public sidewalks were to be constructed in the neighborhood, which is highly unlikely. The neighborhood is aging and is sparsely developed. Allowing this dual building line would not diminish the neighborhood. Based on the characteristics this carport is an improvement.

(3) The intent and general purposes of this chapter will be preserved and maintained;

At least six other structures on Lucky Street have encroached the building line, including carports and homes. The carport built on this property has improved the appearance of the neighborhood. There are no plans for sidewalks in this community according to the City of Houston CIP. This street is an open ditch design. This carport will in no way be the only structure on the street to encroach the building line. The new carport addition is in an improvement over the look and feel of the other homes on Lucky Street.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The distance from the edge of asphalt to the front of the carport is greater than 25 feet; therefore at least two cars can park. There are no sidewalks and won't likely be any in the foreseeable future. At least six structures on Lucky Street have built over the building line, including carports and homes and the neighborhood has in no way been harmed by these encroachments.

(5) Economic hardship is not the sole justification of the variance.

No deed restrictions are being violated by the addition of this carport. This is an improvement to the neighborhood. Please see other structures as built on Lucky Street. At least 6 other homes encroach the building line.

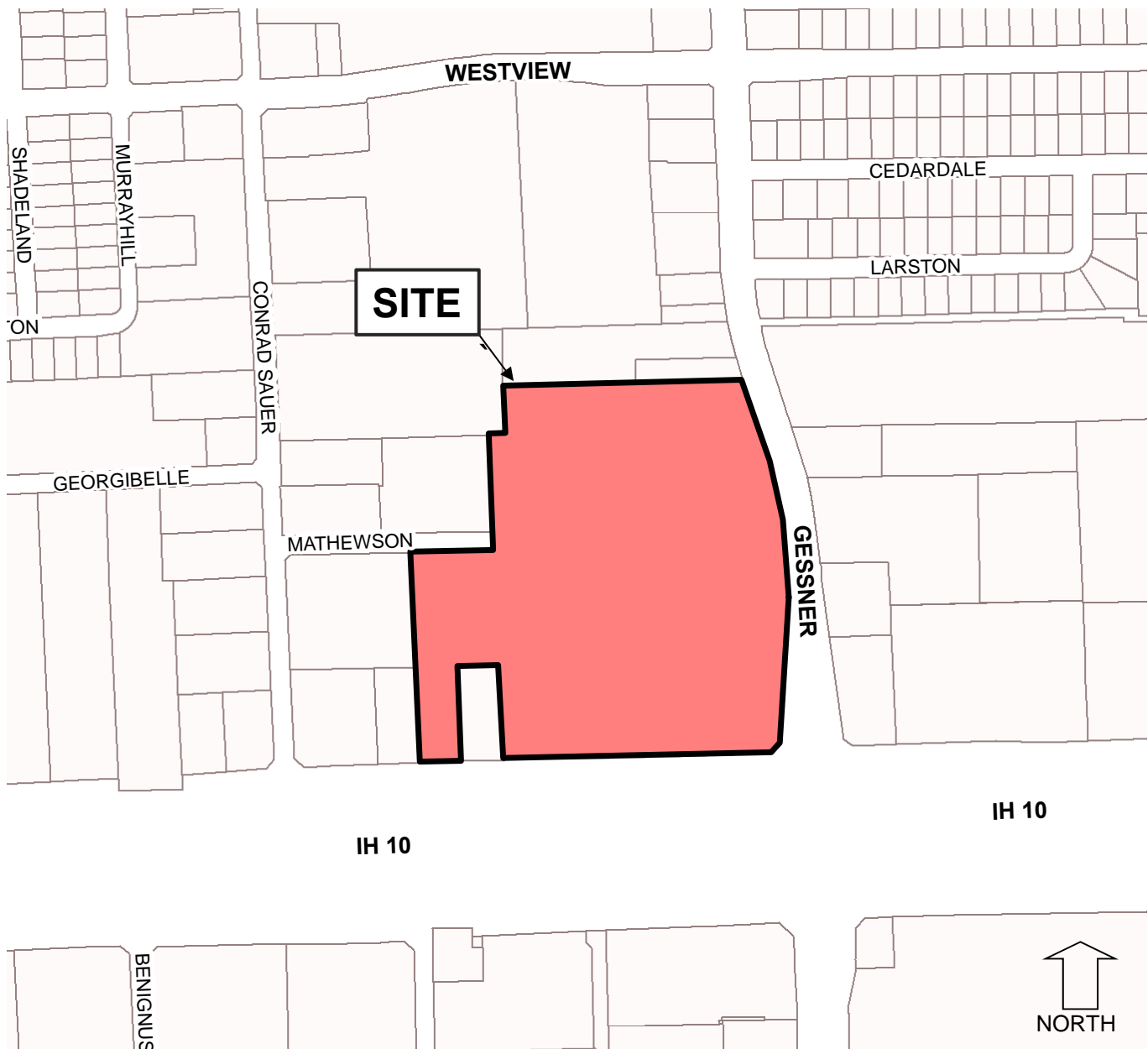
Houston Planning Commission **ITEM: 133**

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Energy Gateway District

Applicant: BGE Kerry R. Gilbert Associates



D Variances

Site Location

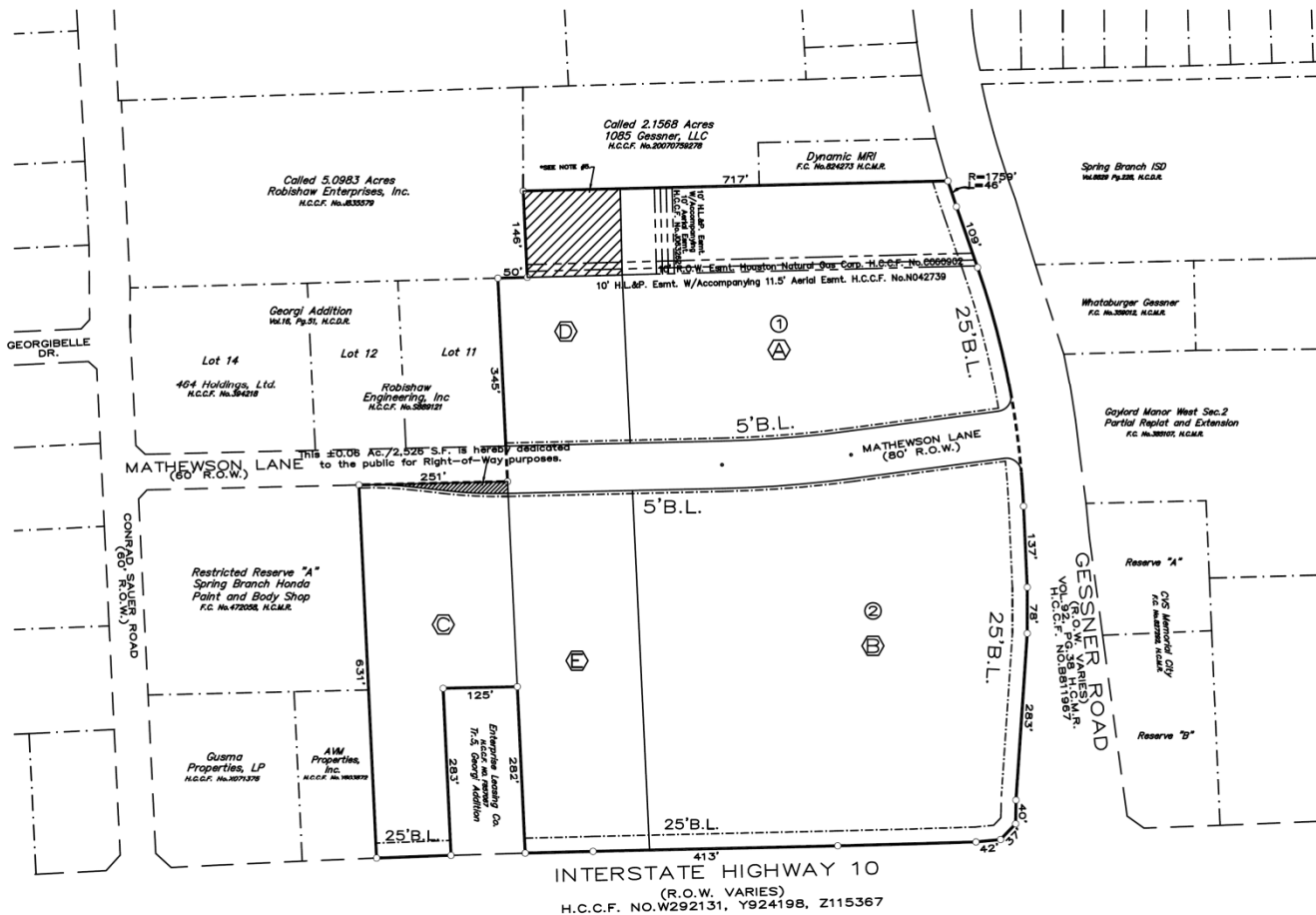
Houston Planning Commission ITEM: 133

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Energy Gateway District

Applicant: BGE Kerry R. Gilbert Associates



NOTE:

- Ⓐ UNRESTRICTED RESERVE "A" ±5.9 ACRES
- Ⓑ UNRESTRICTED RESERVE "B" ±9.2 ACRES
- Ⓒ UNRESTRICTED RESERVE "C" ±2.8 ACRES
- Ⓓ UNRESTRICTED RESERVE "D" ±1.92 ACRES
- Ⓔ UNRESTRICTED RESERVE "E" ±2.93 ACRES



D Variances

Subdivision

Houston Planning Commission ITEM: 133

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Energy Gateway District

Applicant: BGE Kerry R. Gilbert Associates



D Variances

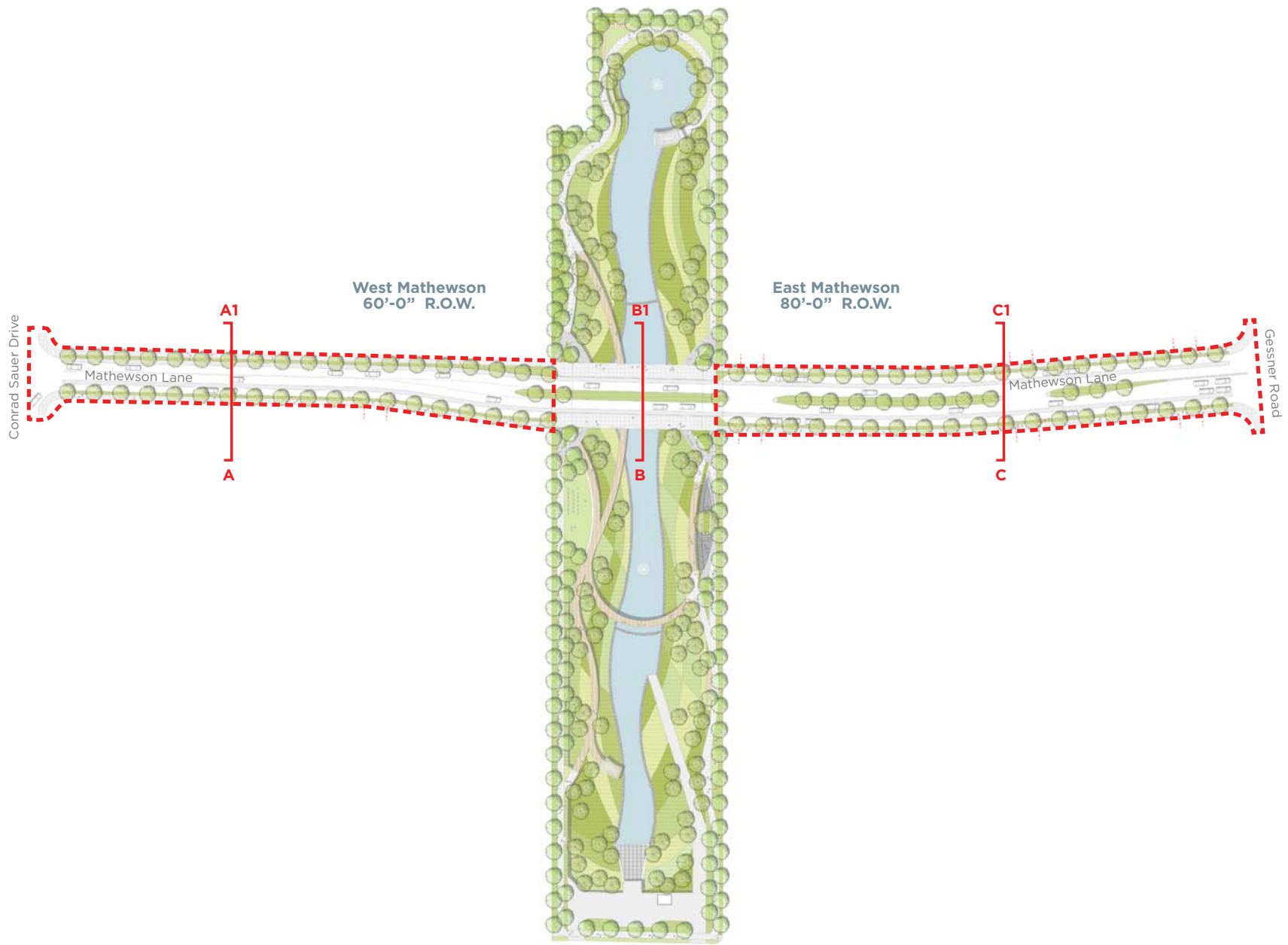
Aerial

CONRAD SAUER

DETENTION BASIN REVITALIZATION | STREETScape SECTIONS

APRIL 28, 2015



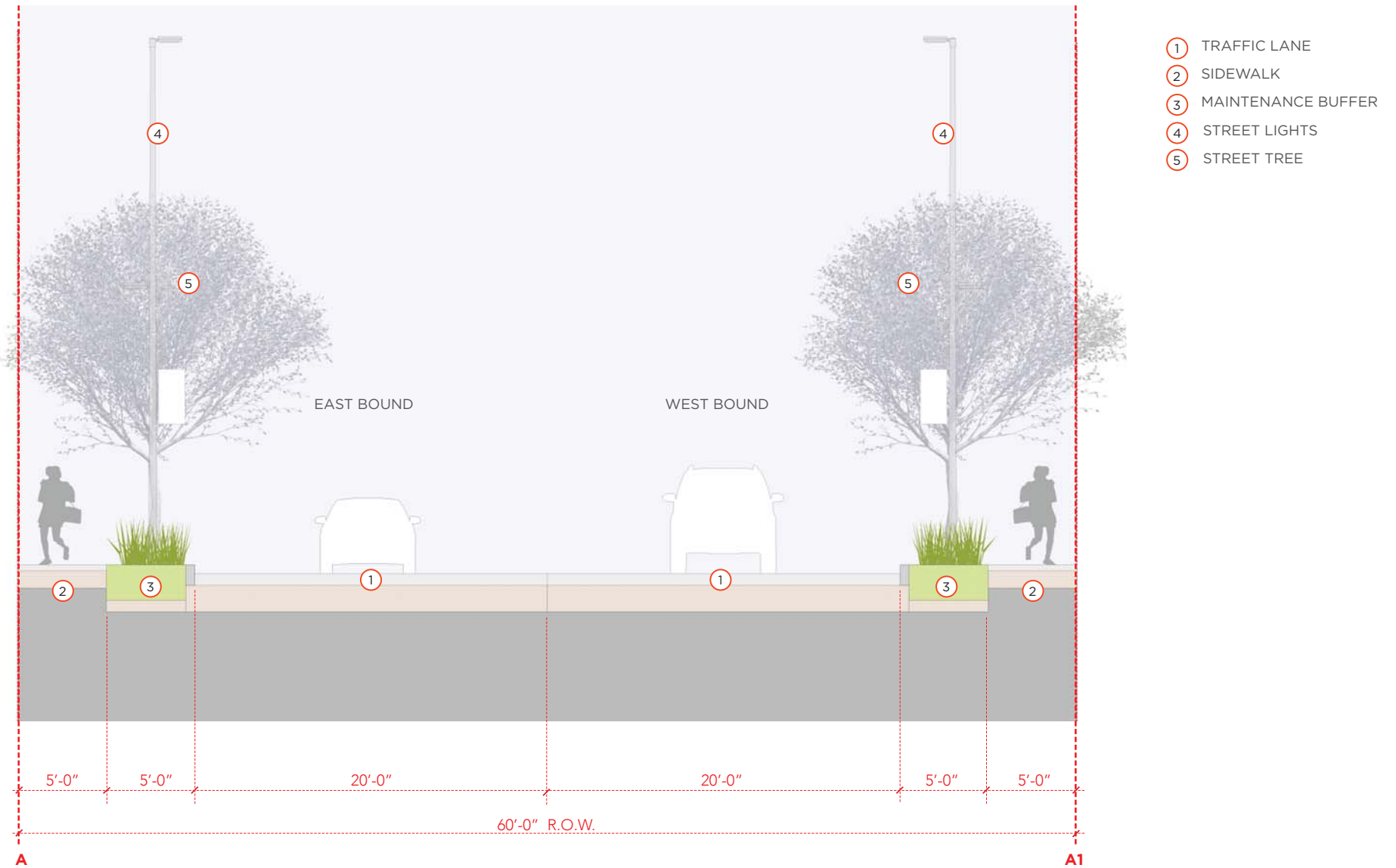


OVERALL ILLUSTRATIVE PLAN

METRONATIONAL - DETENTION BASIN REVITALIZATION
HOUSTON, TEXAS

THE OFFICE OF JAMES BURNETT | KLOTZ ASSOCIATES | SCA
STREETSCAPE STUDIES . APRIL 28 2015 . PAGE 2

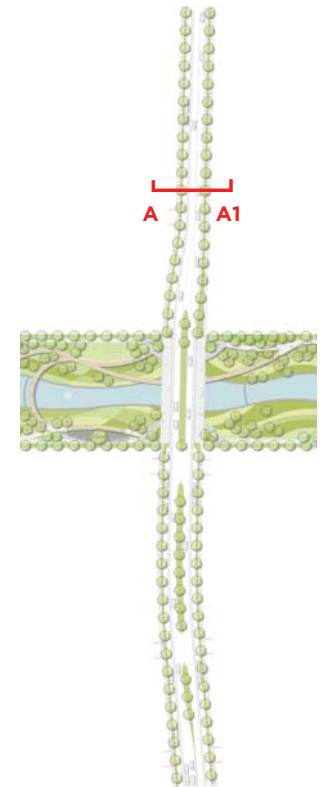
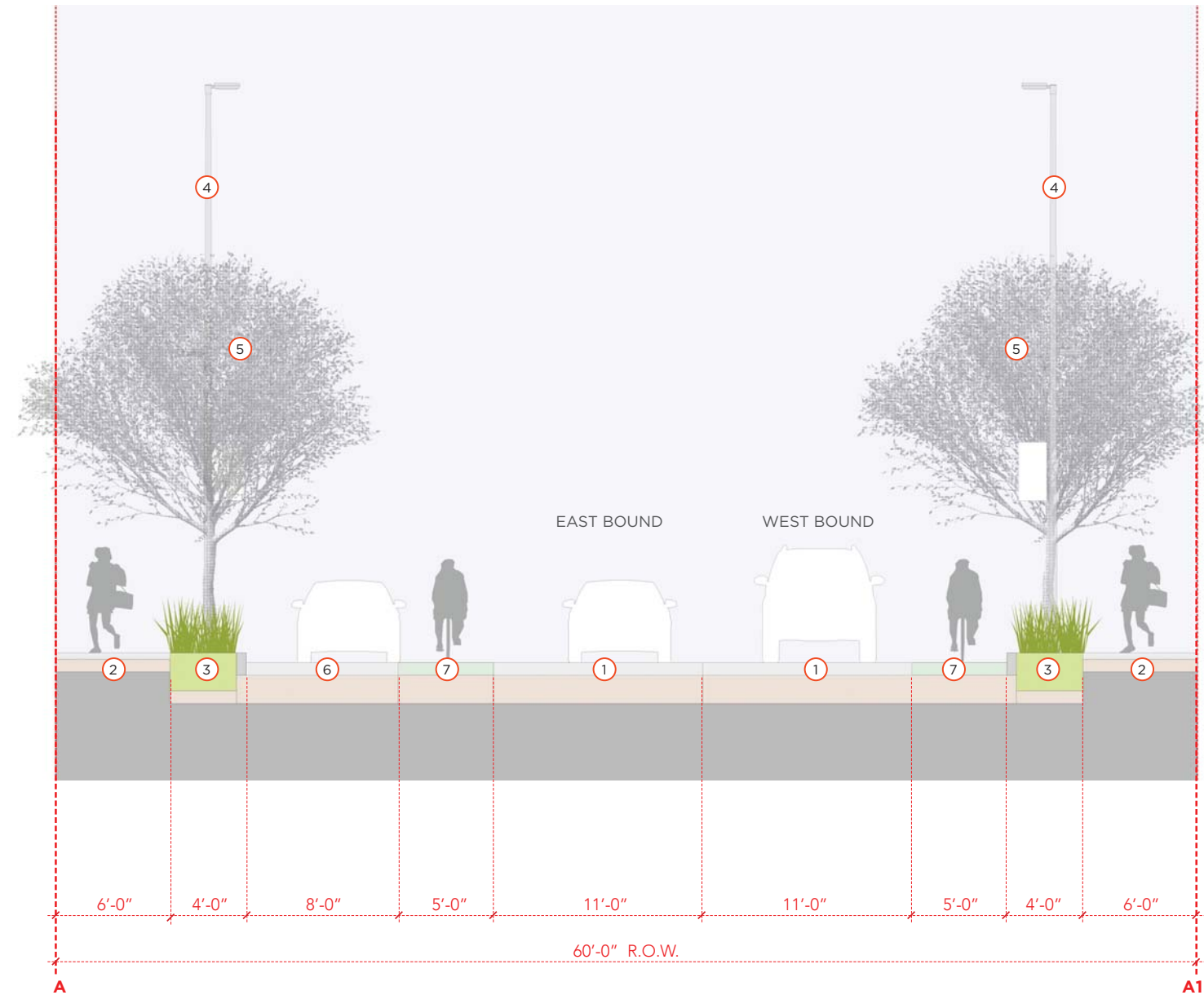




SECTION A-A1 - TYPICAL SECTION FOR 60-FOOT ROW

METRONATIONAL - DETENTION BASIN REVITALIZATION
HOUSTON, TEXAS

THE OFFICE OF JAMES BURNETT | KLOTZ ASSOCIATES | SCA
STREETSCAPE STUDIES . APRIL 28 2015 . PAGE 3

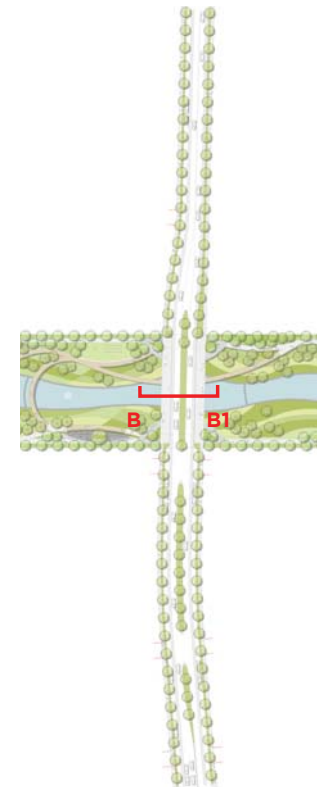
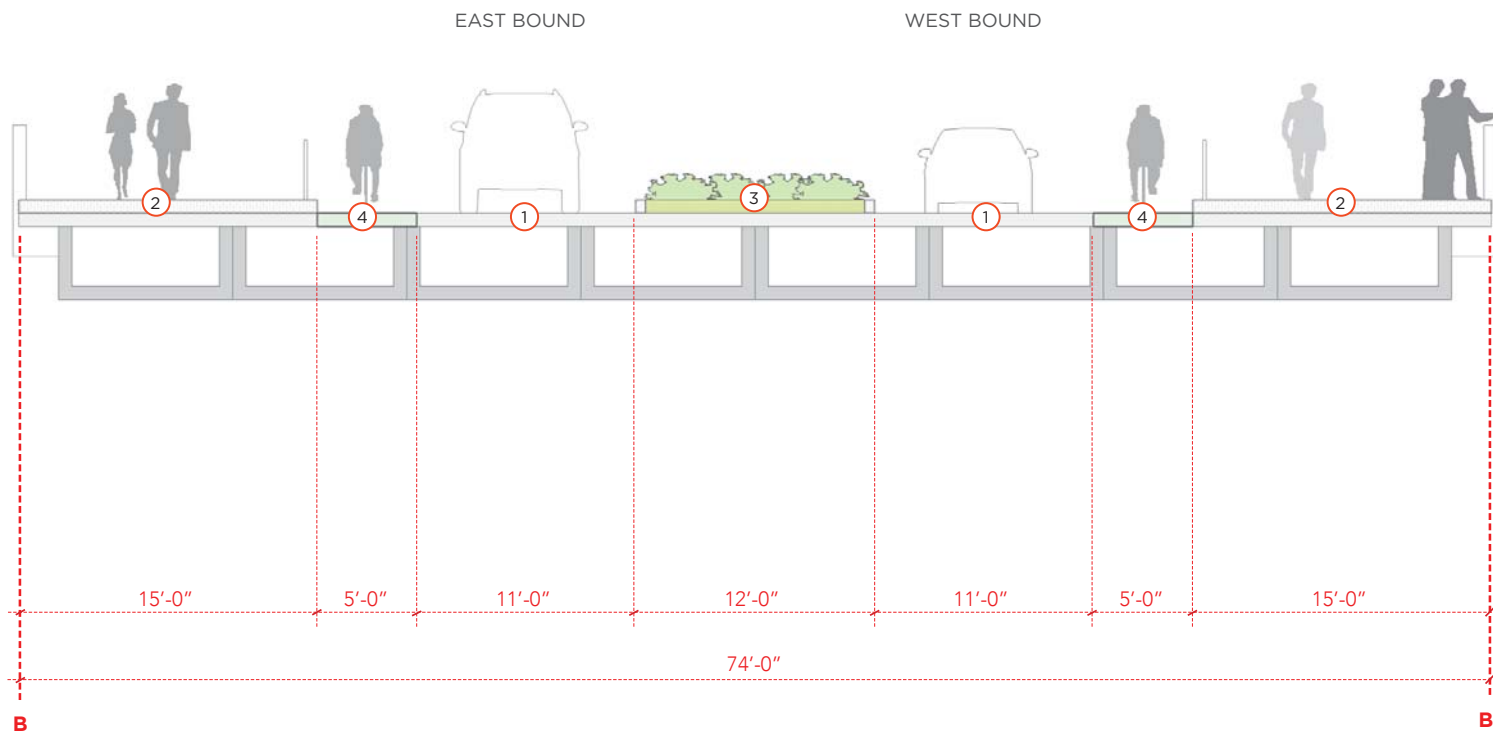


SECTION A-A1 - PROPOSED CROSS SECTION AT MATHEWSON LANE WEST

METRONATIONAL - DETENTION BASIN REVITALIZATION
HOUSTON, TEXAS

THE OFFICE OF JAMES BURNETT | KLOTZ ASSOCIATES | SCA
STREETSCAPE STUDIES . APRIL 28 2015 . PAGE 4

- ① TRAFFIC LANE
- ② SIDEWALK
- ③ PLANTED MEDIAN
- ④ BIKE LANE



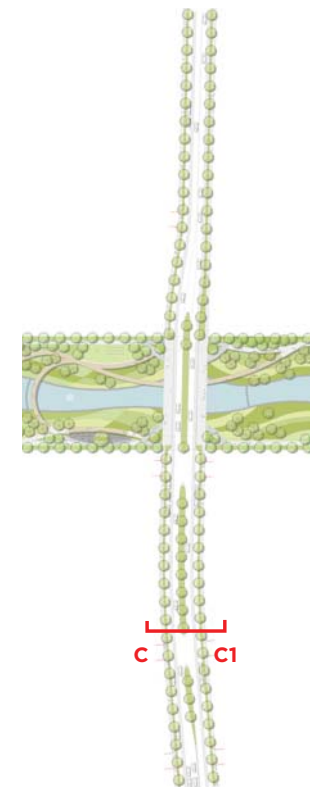
SECTION B-B1 - PROPOSED CROSS SECTION AT MATHEWSON LANE BRIDGE

METRONATIONAL - DETENTION BASIN REVITALIZATION
HOUSTON, TEXAS

THE OFFICE OF JAMES BURNETT | KLOTZ ASSOCIATES | SCA
STREETSCAPE STUDIES . APRIL 28 2015 . PAGE 5



- ① DRIVE AISLE
- ② SIDEWALK
- ③ MAINTENANCE BUFFER
- ④ PLANTED MEDIAN
- ⑤ PARALLEL PARKING
- ⑥ BIKE LANE
- ⑦ STREET LIGHTS
- ⑧ STREET TREES



SECTION C-C1 - PROPOSED CROSS SECTION AT MATHEWSON LANE EAST

METRONATIONAL - DETENTION BASIN REVITALIZATION
HOUSTON, TEXAS

THE OFFICE OF JAMES BURNETT | KLOTZ ASSOCIATES | SCA
STREETSCAPE STUDIES . APRIL 28 2015 . PAGE 6



Application Number: 2015-0893

Plat Name: Energy Gateway District

Applicant: BGE|Kerry R. Gilbert Associates

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To provide a 5' building line along a local street, instead of the required 10' building line.

Chapter 42 Section: 155

Chapter 42 Reference:

Sec. 42-155. Collector and local streets—Uses other than single-family residential. (a) The building line requirement for a tract used or to be used for other than single-family residential purposes adjacent to a street that is a collector street or local street that is not an alley shall be ten feet unless otherwise required or authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The Energy Gateway District is a proposed redevelopment of ±24 acres located at the northwest corner of the intersection of Gessner Road and Interstate 10, just inside Beltway 8 on the western side of Houston. The project includes the revitalization and expansion of the existing Conrad Sauer detention basin, which is owned by the City of Houston, and the extension of Mathewson Lane across the basin to a proposed new intersection with Gessner Road. These two objectives are part of an approved project within TIRZ #17, and are the impetus behind the platting and development of the site. The current Conrad Sauer detention facility is a rectangular concrete basin. The revitalization of the detention basin will not only increase the detention capacity but will also amenitize the detention basin, by providing jogging and biking trails, landscaping plantings and pedestrian features, and open green space that will be usable by the public during dry periods when the basin is not detaining recent storm water. The proposed plat also includes the provision of additional acreage from the developer to the City of Houston for the purpose of expanding the detention basin. Mathewson Lane currently exists as a half-block dead-end street, beginning at Conrad Sauer Road west of the subject site and running east-west for about ±600' before terminating at the detention basin. The proposed extension of Mathewson Lane will include a bridge over the detention basin and a connection to Gessner Road at the eastern boundary of the subject site, thereby dividing the current block into two blocks. The existing portion of Mathewson Lane is a 60' right-of-way and standard single paving section. The proposed street extension includes an expanded 80' right-of-way within the subject site, with a paving and right-of-way transition just west of the proposed bridge. The proposed 80' right-of-way allows for a much higher quality of street scene, including landscaped medians, continuous dedicated bicycle lanes within the right-of-way, and on-street parking in certain areas. Landscaping improvements within the right-of-way will include street trees, ornamental plantings and/or grasses, and sidewalk pavers/treatments in select locations. As a part of the TIRZ project, the full length of Mathewson Lane will be improved and amenitized, to allow for a continuous street scene along the entire block. See attached exhibits illustrating: the overall site plan for Mathewson Lane; the typi

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The TIRZ project is the driving force behind the redevelopment of the subject site and is the source of the focus on revitalization and mobility along Mathewson Lane.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The proposed redevelopment provides a superior street scene including dedicated bicycle lanes, allows for a 15' pedestrian realm, and includes amenities within the right-of-way that are above the minimum requirements, thereby preserving and maintaining the intent and general purposes of this chapter.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will be beneficial to the health, safety, and welfare of the public both within the local site and in the immediate surroundings, due to the benefits of the bicycle lanes, public amenities, and improved street pattern that are made possible by the proposed redevelopment.

(5) Economic hardship is not the sole justification of the variance.

The TIRZ project is the reason for the redevelopment of the subject site.

Houston Planning Commission **ITEM: 134**

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Fondren Estates

Applicant: PLS



D Variances

Site Location

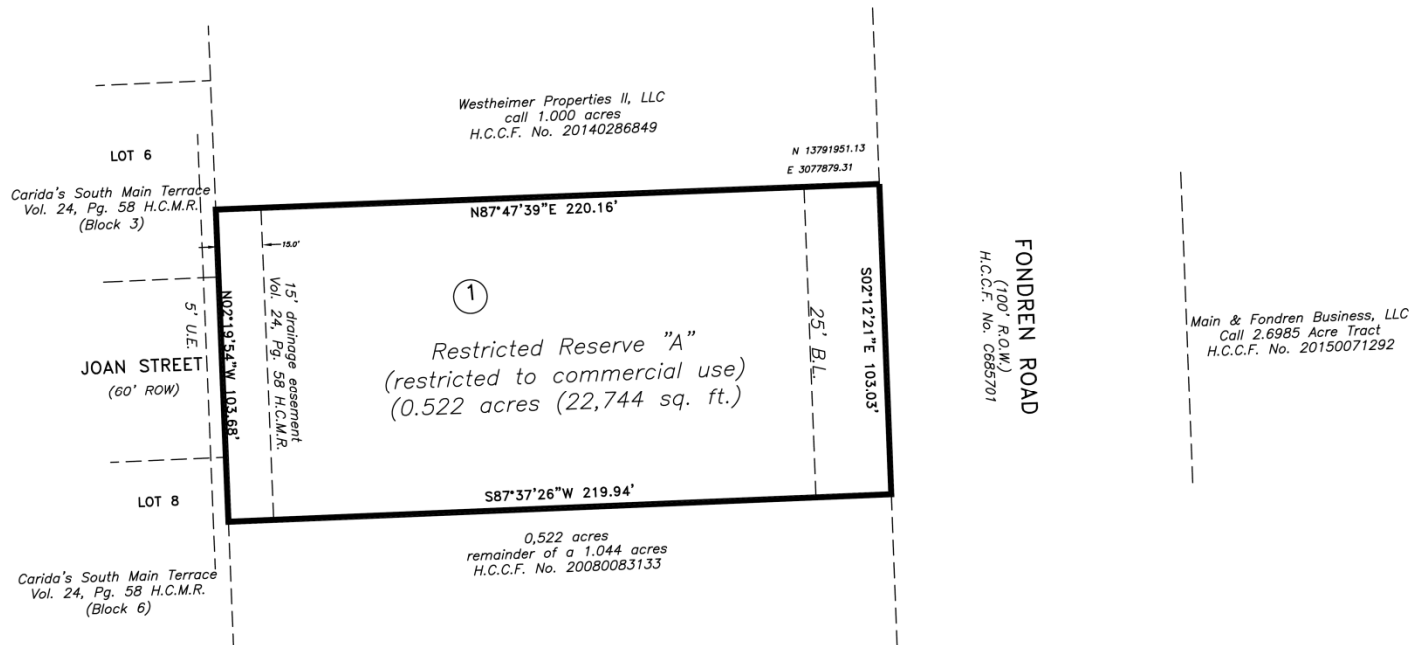
Houston Planning Commission ITEM: 134

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Fondren Estates

Applicant: PLS



D Variances

Subdivision

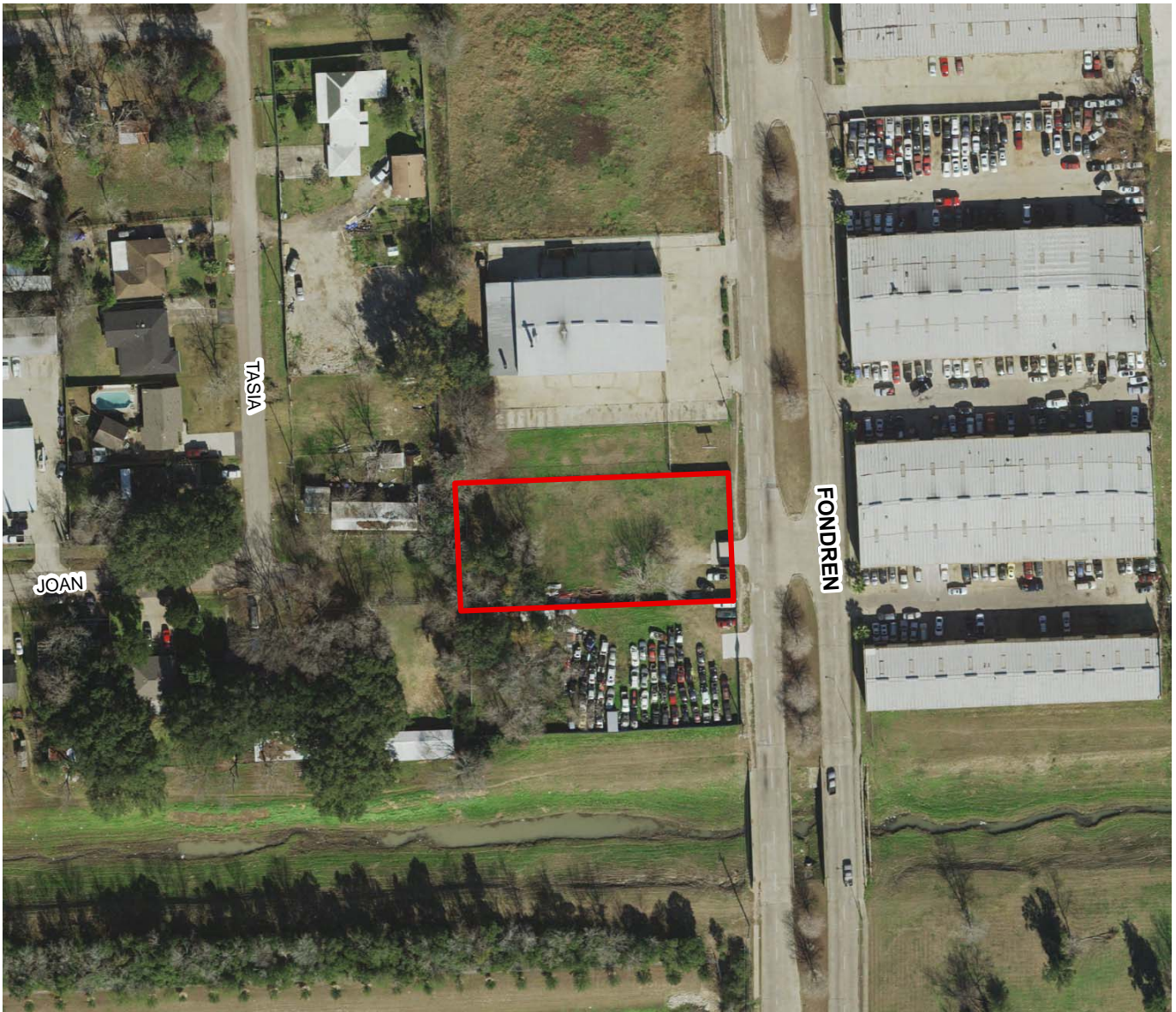
Houston Planning Commission ITEM: 134

Planning and Development Department

Meeting Date: 05/14/2015

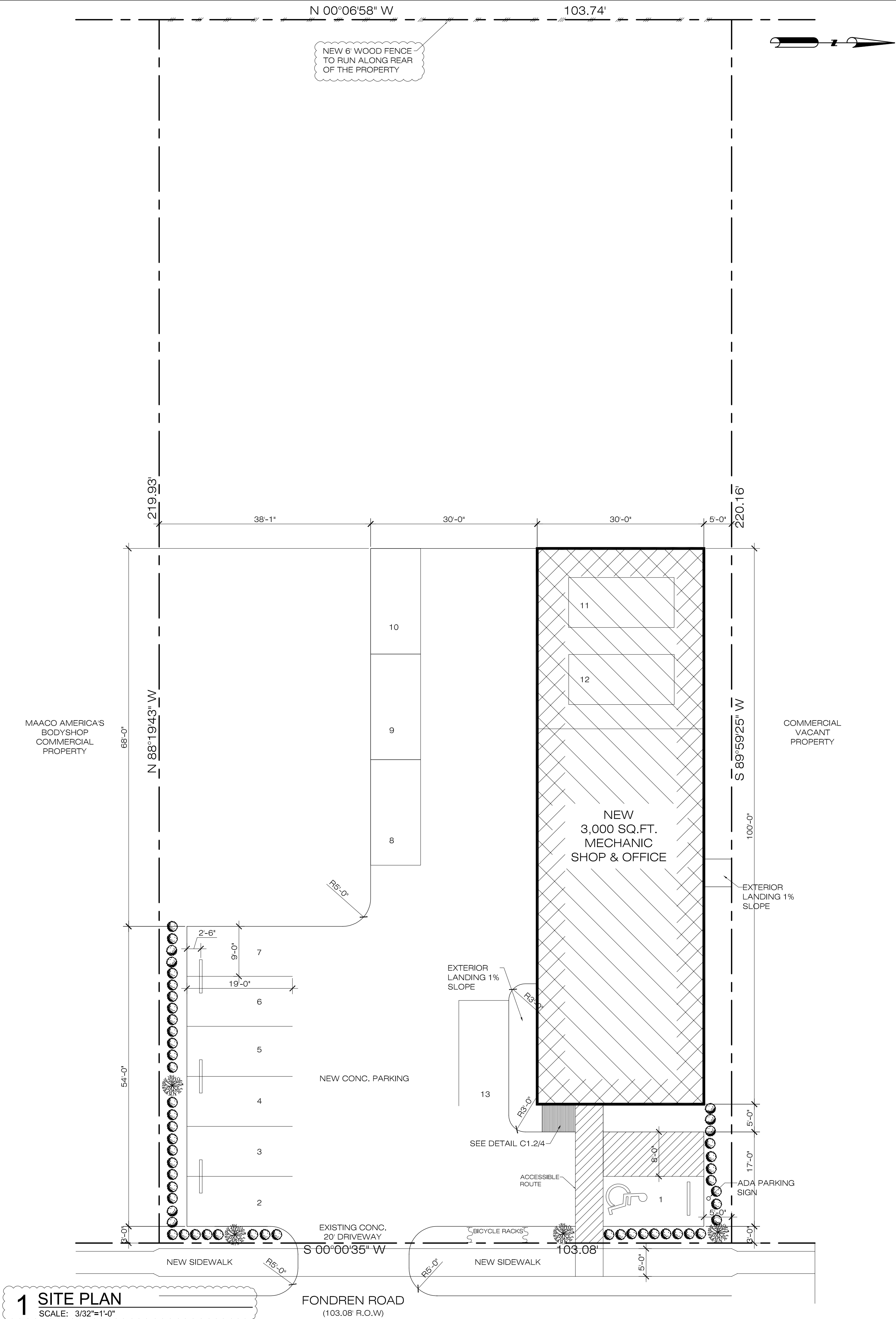
Subdivision Name: Fondren Estates

Applicant: PLS



D Variances

Aerial

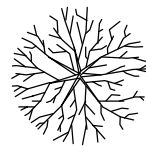


PARKING ANALYSIS			
TENANT	SQ. FT.	PARKING REQUIRED	PARKING NEEDED
OFFICE	508 SQ. FT.	5/1000	2.5 PARKING
MECHANIC SHOP	1,522 SQ. FT.	5/1000	7.6 PARKING
CARPORT AREA	989 SQ. FT.	PROVIDES 2 SPACES TO EXTRA PARKING	
BICYCLE RACK		2 RACK FOR 4 BICYCLE EACH. PROVIDES 2 PARKING SPACES	
TOTAL NEEDED			11 PARKING
TOTAL PROVIDED			15 PARKING

2 PARKING ANALYSIS

SCALE: N.T.S.

LANDSCAPE REQUIREMENTS
103/30 = 3 TREES
SHRUBS = 3X10=30 SHRUBS



LIVE OAK -
(QUERCUS VIRGINIANA),
LITTLE GEM MAGNOLIA OR
MEXICAN PLUM

3' MIN. CALIPER
8' MIN HEIGHT
CONTAINER GROWN



DWARF PURPLE SAGE -
(LEUCOPHYLLUM
FRUTESCENS "COMPACTA")

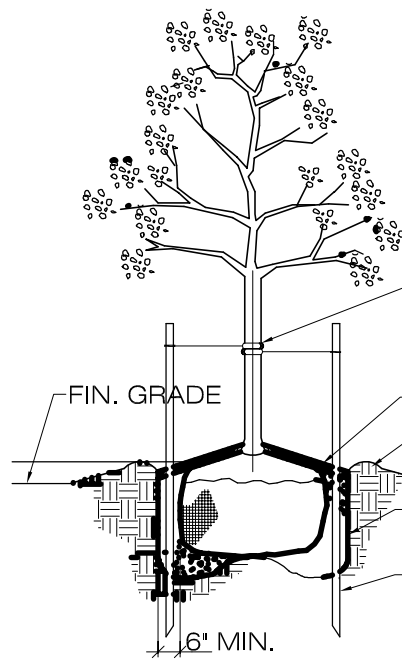
3 GAL. CONTAINER
CONTAINER GROWN

3 LEGEND

SCALE: N.T.S.



4' MULCH
4' SOIL SAUCER
BACKFILL



AIRCRAFT CORD, GUY WIRES
1/8" DIA., 7X7 STRAND W7
HOSE (BLACK) 1 1/2" DIA.

4' MULCH
4' SOIL SAUCE
BACKFILL

(2)-2X2X6' LG. WOLMANIZED PINE
STAKES, DRIVE STAKES MIN. 18"
INTO GROUND. STAKES SHALL BE
PARALLEL AND VERTICAL, TOP OF
STAKES SHALL BE EVEN.

4 SHRUB/TREE PLANTING

SCALE: N.T.S.

GENERAL NOTES

- PROVIDE $\frac{3}{4}$ " EXPANSION JOINTS WITH NON-EXTRUDING COMPRESSIBLE FILLER AND TRAFFIC GRADE NON-EXTRUDING SEALANT WHERE PAVEMENT MEETS WITH BLDG. STRUCTURES.TYP.
- ALL CURB RADI SHALL BE 5'-0" TO BACK OFF CURB.TYP.
- ALL SIDEWALK RADI SHALL BE 5'-0" TO FACE OFF WALK. TYP. UNLESS OTHERWISE NOTED.
- SIDEWALKS ARE 5'-0" WIDE. TYP., U.O.N. AT ALL STREETS REF. COUNTY STANDARDS. FOR DISTANCE FROM CURB TO SIDEWALK ALL OTHER SIDEWALKS SHALL BE AS SHOWN.
- ALIGN AND/ OR CENTER SIDEWALKS ON BLDG. OPENING, TYP. U.O.N.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO COUNTY & STATE STANDARD DETAILS CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS BEFORE WORKING WITHIN THE PUBLIC RIGHT-OF-WAY.
- REPAIR OR REPLACE ALL EXISTING SIDEWALKS AND PAVING TO REMAIN THAT HAS BEEN DAMAGED DUE TO WORK UNDER THIS CONTRACT.
- PROTECT ALL EXISTING PLANTING TO REMAIN FROM DAMAGE DUE TO WORK UNDER THIS CONTRACTOR.
- ALL AREAS OF CONSTRUCTION SHALL BE FENCED AND SECURED THROUGHOUT THE PROJECT DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE EXTENT OF FENCING REQUIRED DUE TO STANDING AREAS, JOB SITE TRAILER LOCATIONS, ETC.

5 GENERAL NOTES

SCALE: N.T.S.



CONSULTANT

OWNER

NEW MECHANIC SHOP & OFFICE
13330 FONDREN RD
HOUSTON TX. 77085

ISSUE LOG

	DATE	DESCRIPTION
PRE		
PMT		
①		
②		
③		

PROJECT NO:

CHECKED BY: M.A.T

DATE OF ISSUE:

SHEET No.

SITE PLAN

SHEET No.

C1.0



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0931

Plat Name: Fondren Estates

Applicant: PLS

Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Not to extend Joan Street.

Chapter 42 Section: 42- 135

Chapter 42 Reference:

Sec. 42-135. Street extension. (a) A public street that terminates at the boundary of a plat previously approved by the commission without means of a vehicular turnaround shall be extended into the adjacent property at the time the adjacent property is platted unless: (1) The existing stub street is a local street and is not designated as a collector or major thoroughfare on the major thoroughfare and freeway plan; (2) The existing stub street is not shown as a through street on a current general plan approved by the commission for the subdivision in which the existing street is located or the subdivision that is the subject of the application; (3) The existing stub street is only one lot in depth; (4) The proposed subdivision will not extend residential development; and (5) The extension of the street is not required to meet the intersection spacing requirements of this chapter. If each of these criteria is met, the stub street is not required to be extended.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Joan Street has a right-of-way width of 60 feet and terminates at the center of the west line of proposed Fondren Estates subdivision. Proposed Fondren estates subdivision is 103.68 feet wide, if Joan Street is extended across the proposed Fondren Estates subdivision there would be approximately 21.84 feet left on either side of the street making Fondren Estates infeasible. The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

No hardship created or imposed by the applicant is used as a basis to support the request for this variance. The variance request is based on factors external to subject tract.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Then intent and general purposes of Chapter 42 will be preserved because, the City of Houston is to maintain adequate traffic service flow in the community and that will be maintained since residents living along Joan Street already enjoy easy access to Settlement Road and Tasia Drive that travels north and south out of Carida's South Main Terrace subdivision. To extend Joan Street through proposed Fondren Estates would be unnecessary. Proposed Fondren Estates will be adequately serviced for ingress and egress by Fondren Road.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting this variance will allow the applicant to provide adequate access to proposed Fondren Estates subdivision and current traffic flow patterns along Joan Street will not be disturbed since ingress and egress will be solely from Fondren Road. By granting this variance there will be no impact on public health, safety, or welfare.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification for the variance, with the strict application of Chapter 42 standards and rules would create an undue hardship for the owner and deny reasonable use of the land.

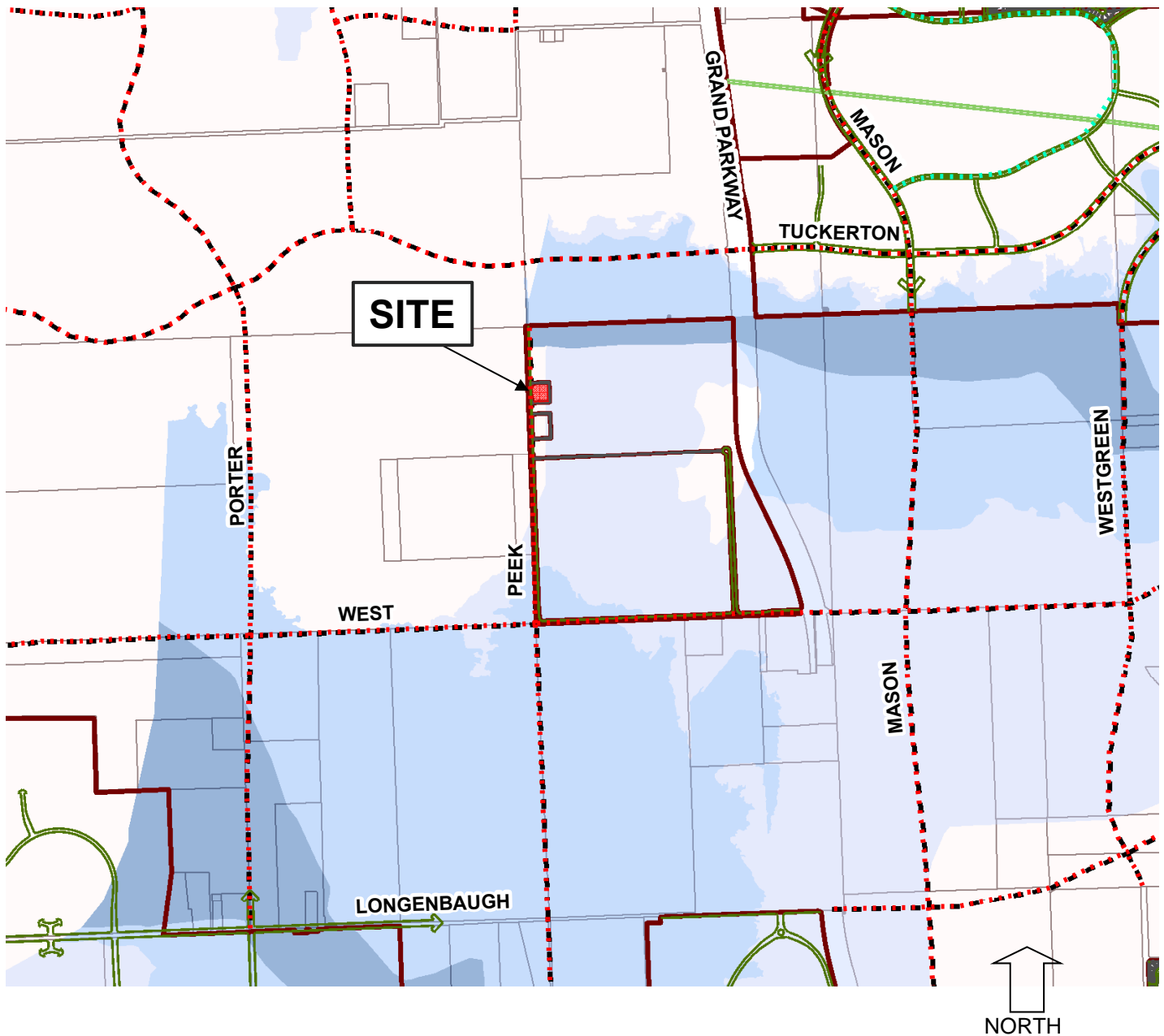
Houston Planning Commission ITEM: 135

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Harris County MUD no 43 Waste Water Treatment Plant no 1

Applicant: Brown Gay Engineers, Inc.



D Variances

Site Location

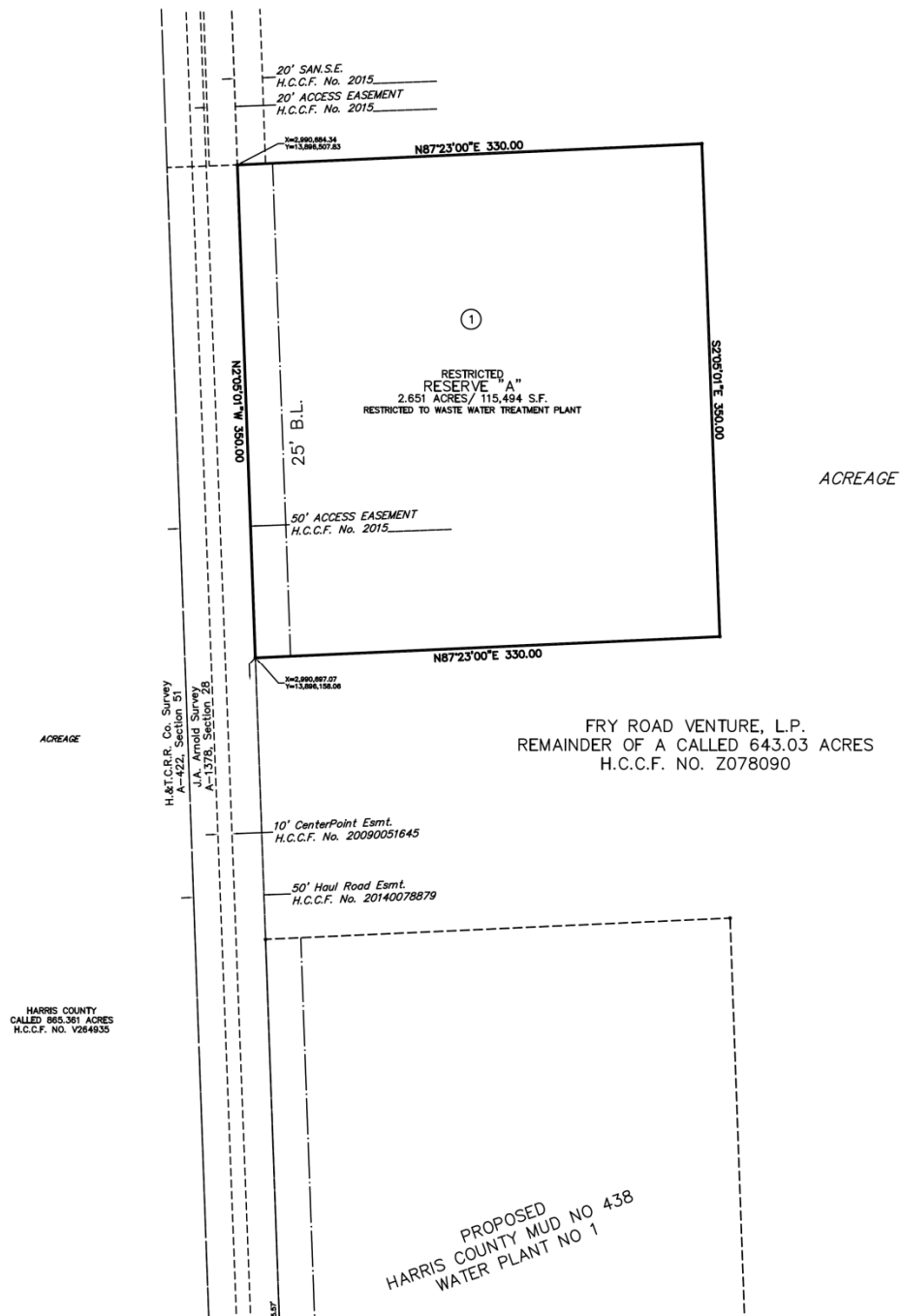
Houston Planning Commission ITEM: 135

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Harris County MUD no 43 Waste Water Treatment Plant no 1

Applicant: Brown Gay Engineers, Inc.



D Variances

Subdivision

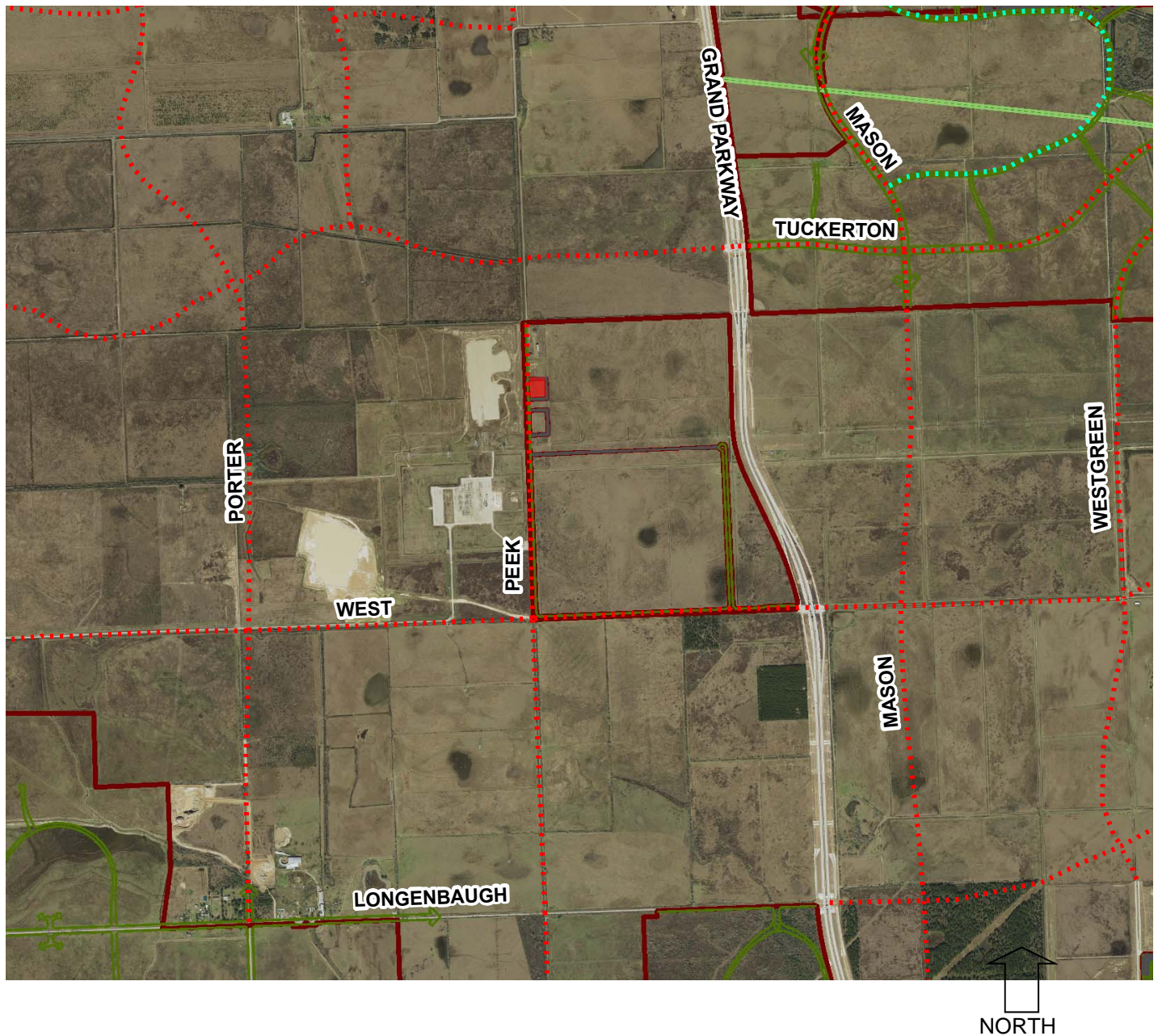
Houston Planning Commission ITEM: 135

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Harris County MUD no 43 Waste Water Treatment Plant no 1

Applicant: Brown Gay Engineers, Inc.



D Variances

Aerial



Application Number: 2015-0877

Plat Name: Harris County MUD no 438 Waste Water Treatment Plant no 1

Applicant: Brown & Gay Engineers, Inc.

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a temporary 50' access easement to service a waste water treatment plant until a public street is dedicated within a recorded plat.

Chapter 42 Section: 190

Chapter 42 Reference:

Sec. 42-190. Tracts for non-single-family use—Reserves. (c) Each reserve shall meet the following requirements for minimum size, the type and width of street or shared driveway on which it may be located, and the minimum frontage, as applicable to the type of reserve:

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The waste water treatment plant is necessary to service future development in the immediate area. Ultimately the waste water treatment plant will have 350 feet of frontage along future Peek Road, a 100' wide major thoroughfare. Strict application of the ordinance would leave the future development in the area without the service of a platted waste water treatment plant and the appropriate waste water service.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The variance request is not the result of a hardship created or imposed by the applicant. The circumstances supporting the request for the variance are based upon the necessity to provide proper and adequate waste water service to the future development in the immediate area.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Granting of the variance will preserve the intent and general purposes of the subdivision ordinance. The developer is proposing to provide a 50 foot access easement from the northern boundary of proposed Peek Road. Peek Road will have an ultimate width of 100 feet. The access easement will contain an all-weather access road to accommodate the construction and maintenance traffic required for the water plant until such time as the public streets are dedicated and constructed that will provide the ultimate access to the waste water treatment plant site.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare. The access easement and all-weather access road will be utilized by authorized construction and maintenance traffic only. The access easement and all-weather access road will not be utilized by the general public for ingress, egress or general traffic circulation for any reason.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance. Not having the waste water treatment plant to provide the required waste water service for the future development would create an impractical development and is the basis for this request.

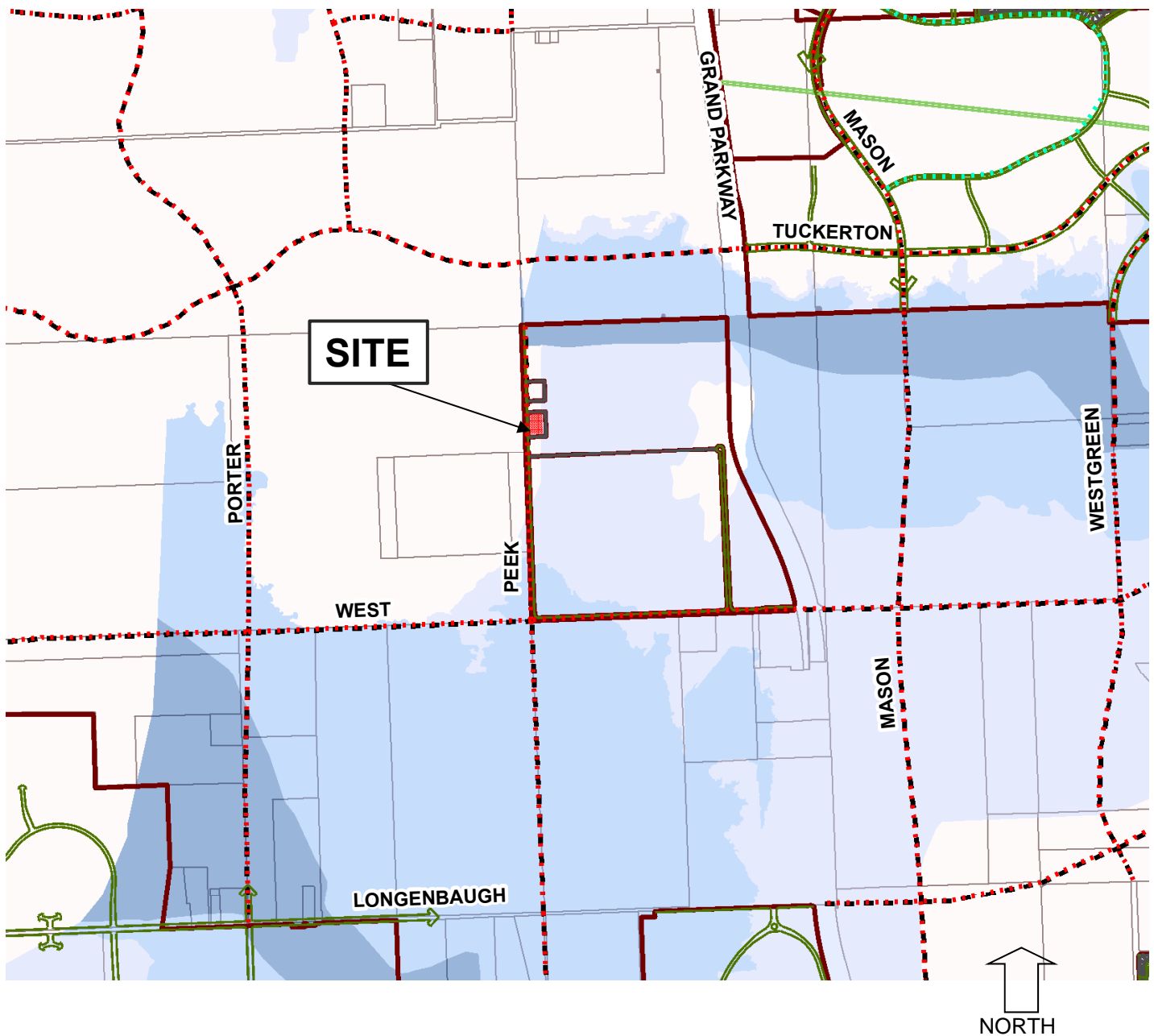
Houston Planning Commission ITEM: 136

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Harris County MUD no 43 Water Plant no 1

Applicant: Brown Gay Engineers, Inc.



D Variances

Site Location

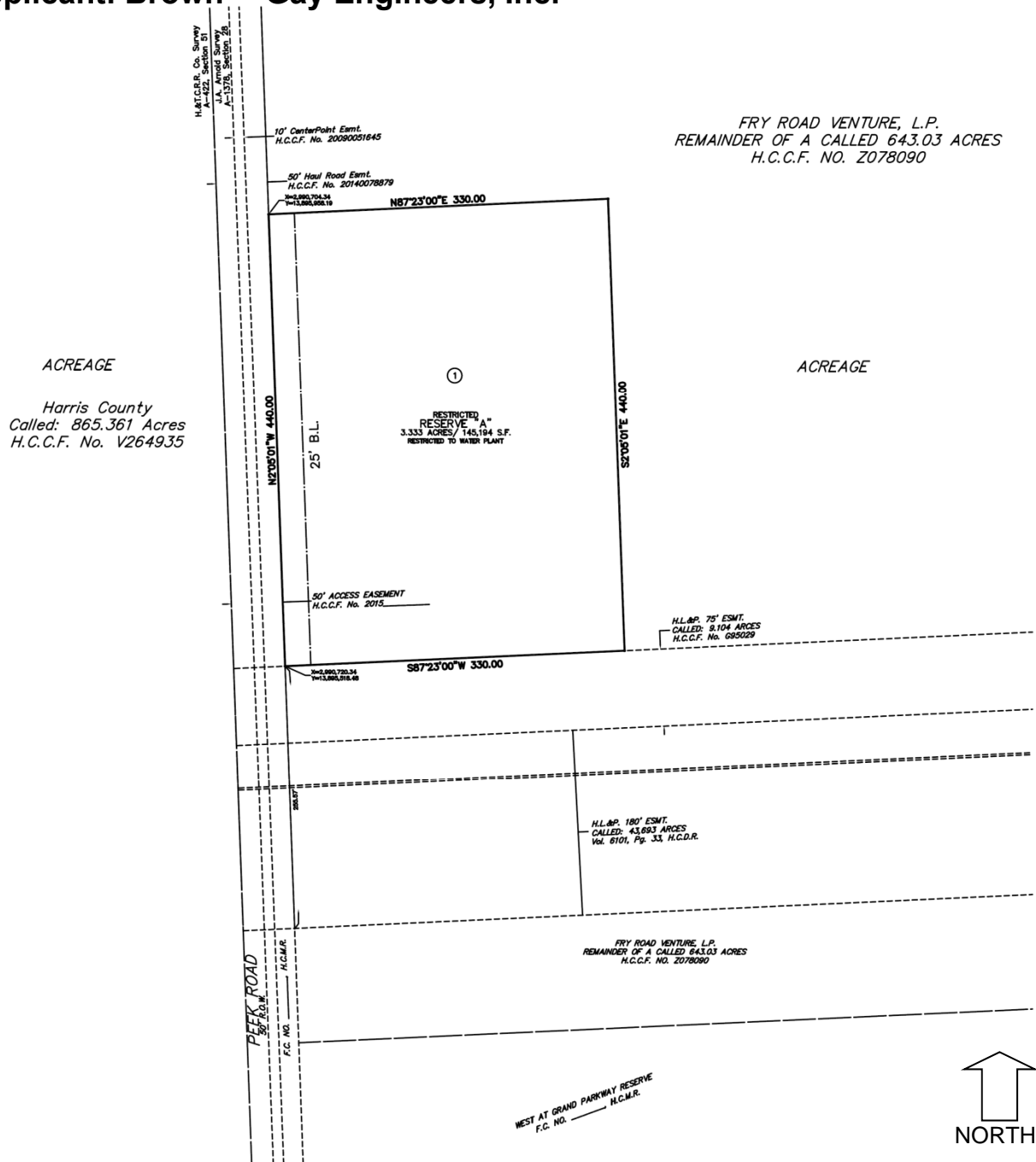
Houston Planning Commission ITEM: 136

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Harris County MUD no 43 Water Plant no 1

Applicant: Brown Gay Engineers, Inc.



D Variances

Subdivision

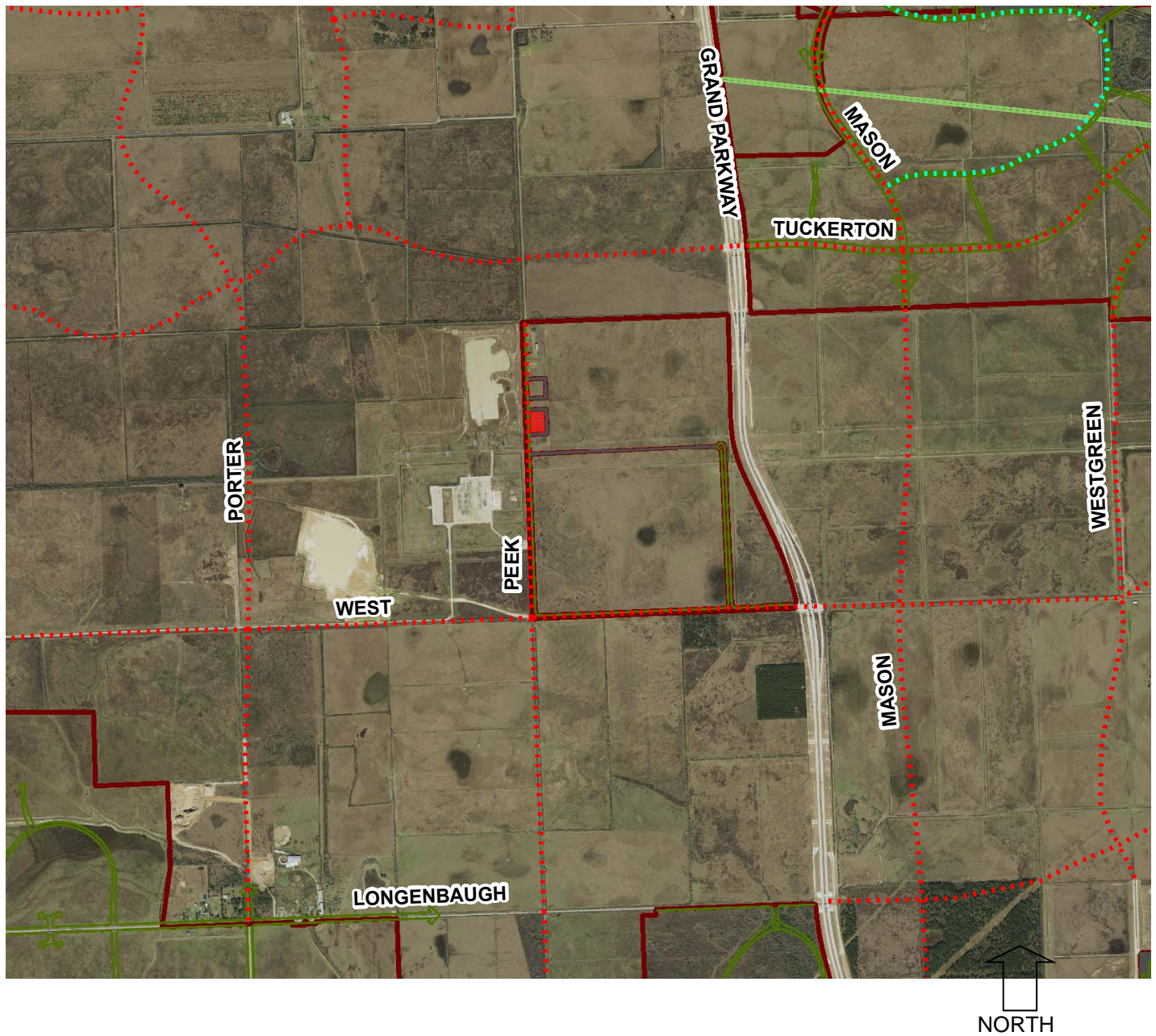
Houston Planning Commission ITEM: 136

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Harris County MUD no 43 Water Plant no 1

Applicant: Brown Gay Engineers, Inc.



D Variances

Aerial



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0875

Plat Name: Harris County MUD no 438 Water Plant No 1

Applicant: Brown & Gay Engineers, Inc.

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a temporary 50' access easement to service a water plant until a public street is dedicated within a recorded plat.

Chapter 42 Section: 190

Chapter 42 Reference:

42-190. Tracts for non-single-family use—Reserves. (c) Each reserve shall meet the following requirements for minimum size, the type and width of street or shared driveway on which it may be located, and the minimum frontage, as applicable to the type of reserve.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The water plant is necessary to service future development in the immediate area. Ultimately, the water plant will have 440 feet of frontage along future Peek Road, a 100' wide major thoroughfare. Strict application of the ordinance would leave the future development in the area without the service of a platted water plant and the appropriate water service.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The variance request is not the result of a hardship created or imposed by the applicant. The circumstances supporting the request for the variance are based upon the necessity to provide proper and adequate water service to the future development in the immediate area

(3) The intent and general purposes of this chapter will be preserved and maintained;

Granting of the variance will preserve the intent and general purposes of the subdivision ordinance. The developer is proposing to provide a 50 foot access easement from the northern boundary of proposed Peek Road. Peek Road will have an ultimate width of 100 feet. The access easement will contain an all-weather access road to accommodate the construction and maintenance traffic required for the water plant until such time as the public streets are dedicated and constructed that will provide the ultimate access to the water plant site.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare. The access easement and all-weather access road will be utilized by authorized construction and maintenance traffic only. The access easement and all-weather access road will not be utilized by the general public for ingress, egress or general traffic circulation for any reason.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance. Not having the water plant to provide the required water service for the future development would create an impractical development and is the basis for this request.

Houston Planning Commission

ITEM: 137

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Herkimer Lawrence Homes

Applicant: Total Surveyors, Inc.



D Variances

Site Location

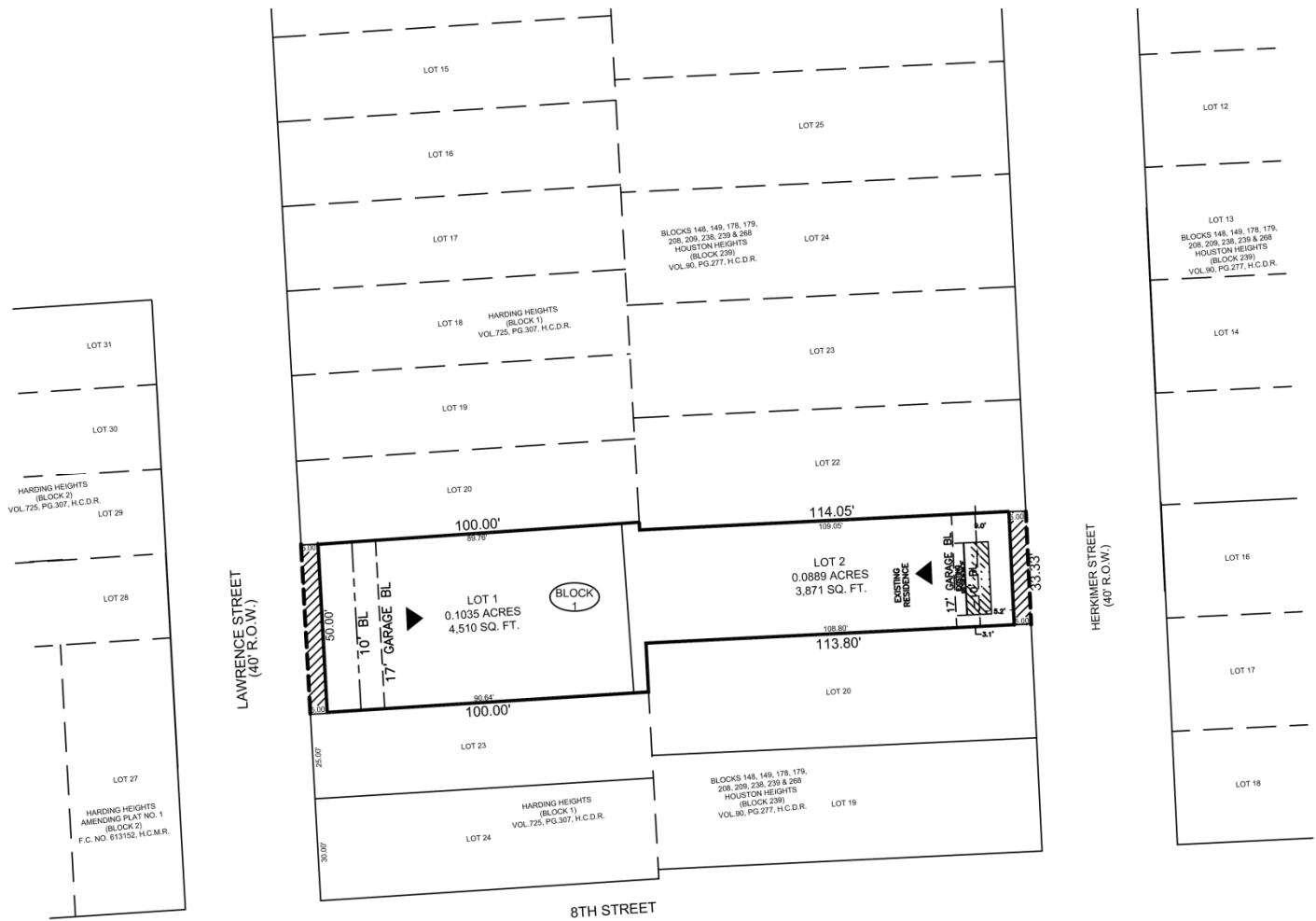
Houston Planning Commission ITEM: 137

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Herkimer Lawrence Homes

Applicant: Total Surveyors, Inc.



D Variances

Subdivision

Houston Planning Commission

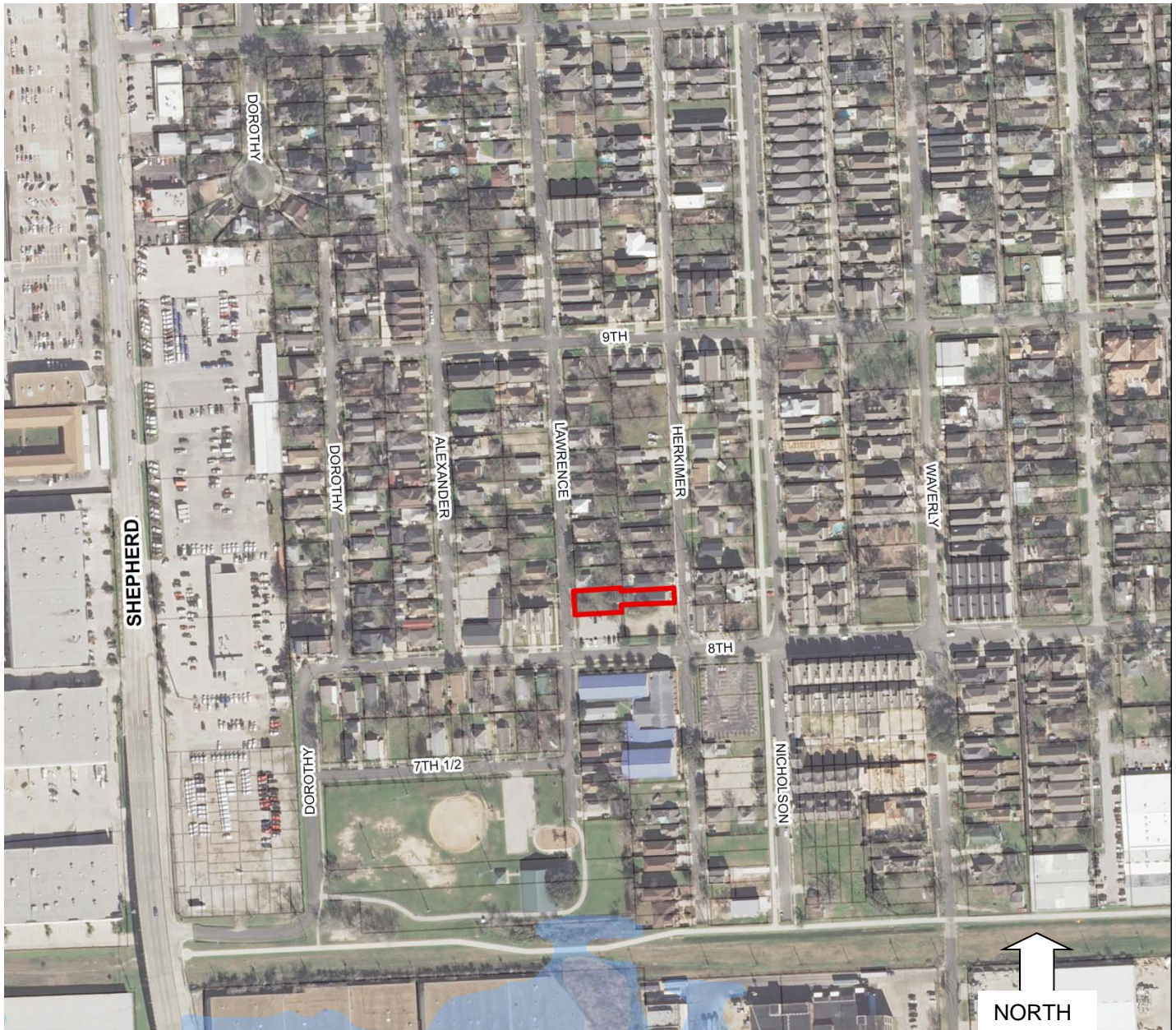
ITEM: 137

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Herkimer Lawrence Homes

Applicant: Total Surveyors, Inc.



D Variances

Aerial



Application Number: 2015-0942

Plat Name: Herkimer Lawrence Homes

Applicant: Total Surveyors, Inc.

Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow a dual building line for an existing structure.

Chapter 42 Section: 42-157(b)

Chapter 42 Reference:

(b) The building line requirement for a subdivision or development in the city restricted to single-family residential use adjacent to a collector street or a local street that is not an alley shall be: (1) Ten feet for the principal structure; and (2) Notwithstanding the other provisions of this section, 17 feet for a garage or carport facing the street. A building above the garage or carport may overhang the building line up to seven feet.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The existing residence located at 803 Herkimer was built in 2009 on the original Lot 21, Block 239, of the Houston Heights. The right-of-way for Herkimer Street was replatted to have a 40' width in 1896. At the time of construction, the existing house was built on a full lot, resulting in no requirement for right-of-way dedication. The home was built, honoring a 10' building line along Herkimer Street, based on a 40' width. This property is being replatted due to an encroachment problem discovered sometime in 2013. As a solution to the encroachment problem. The owner of Lots 21 and 22, Block 1, of Harding Heights, has sold a portion of the two lots to the owner of Lot 21. As a function of the land sale, all of the lots involved are in need of replatting, to correct all errors. The current structure will remain just as it is constructed now. There are no plans for any renovation or improvements to any of the structures on Lot 21, Block 239, of the replat of the Houston Heights. The original subdivision plat does not have any building lines on its face. This is a very old subdivision that has been developed with many newly constructed single family homes on the original lots and thus have not dedicated any right-of-way for Herkimer Street. We are asking for a variance to allow the existing building to remain in place and in the event that the existing building is ever torn down, any new structure will adhere to newly established building line.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances are based on the existing conditions on this the tract. This includes the existing building and its placement on the property, based upon an error creating an encroachment. This building was constructed in 2009, prior to current owner owning the property.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The development pattern of this neighborhood is primarily single family and many of the existing residences on adjacent properties are developed in much the same way as this tract. By allowing the variance, the property will function just as it has for its short life. There is an existing sidewalk in front of this residence which will remain and the current pedestrian and traffic flow will remain just as it is now and has existing, which is part of the intent and general purpose of Chapter 42.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of this variance will maintain the existing traffic patterns and current pedestrian flow surrounding this project. By granting this variance, it will maintain the public health, safety and welfare, in the neighborhood.

(5) Economic hardship is not the sole justification of the variance.

The existing conditions and structures on the property are the justification of the variance.

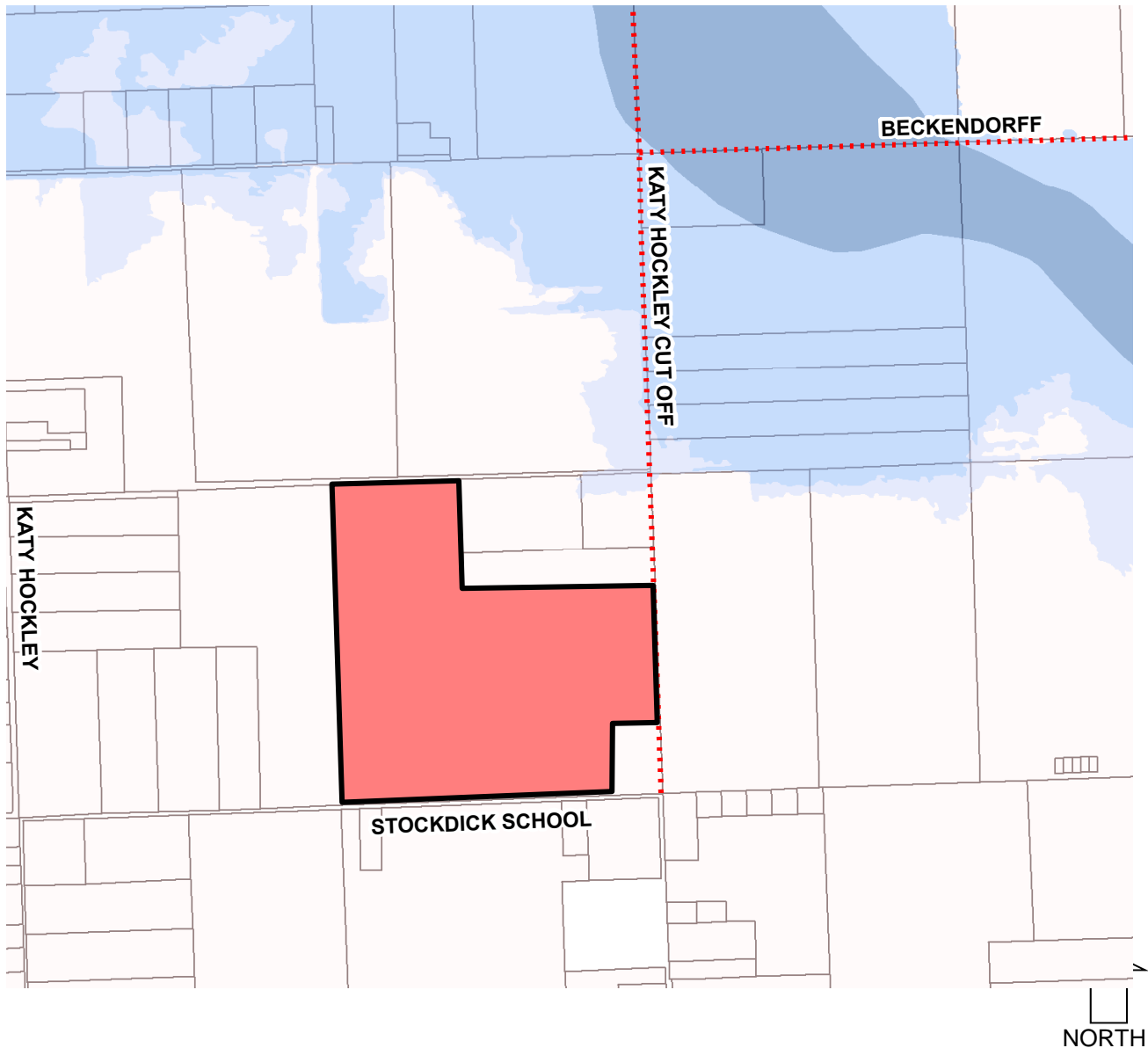
Houston Planning Commission ITEM: 13

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Katy Manor GP

Applicant: LJA Engineering, Inc.



D Variances

Site Location

ITEM: 13

Meeting Date: 05/14/2015

Applicant: LJA Engineering, Inc.



Subdivision

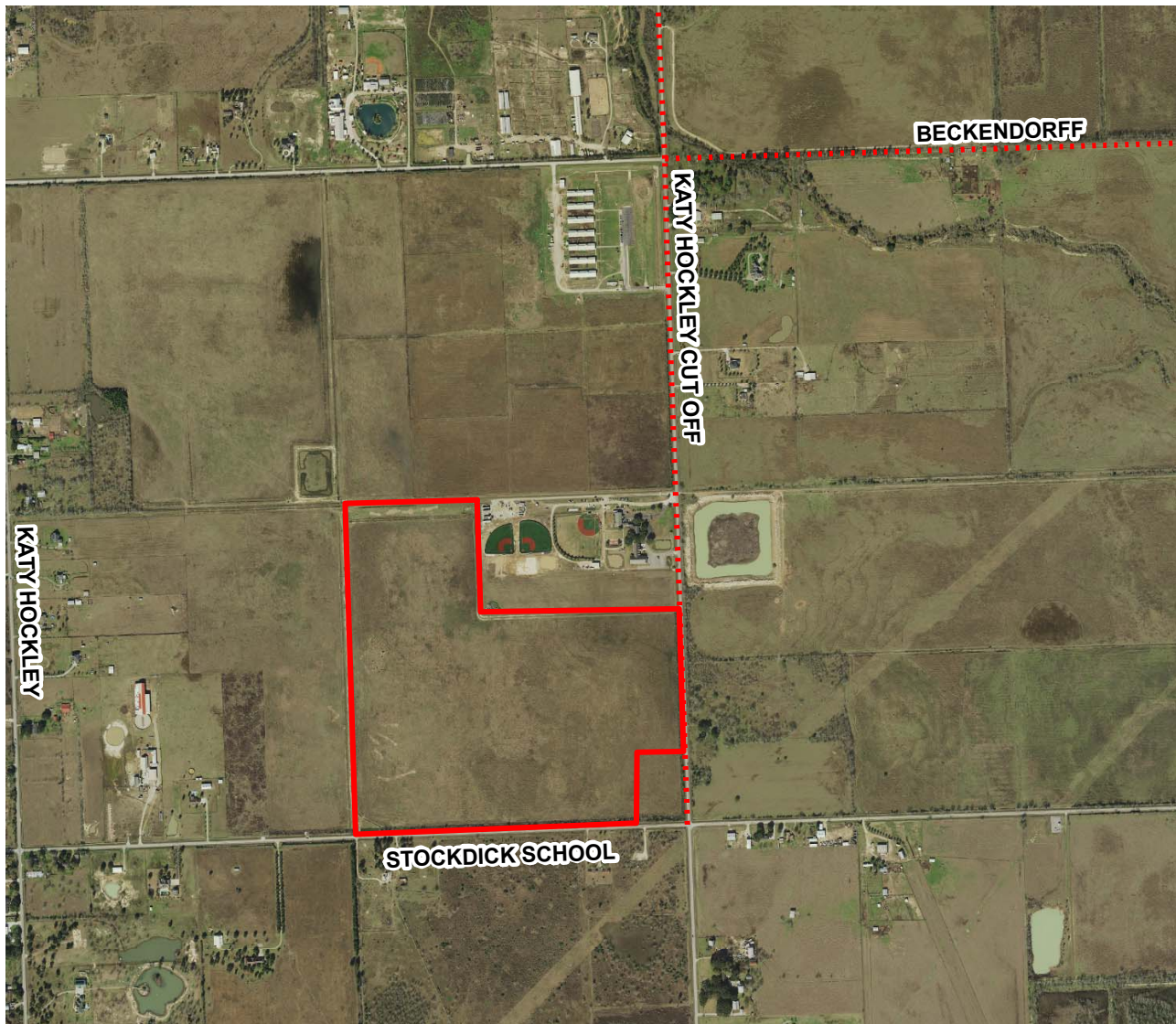
Houston Planning Commission ITEM: 13

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Katy Manor GP

Applicant: LJA Engineering, Inc.



D Variances

Aerial



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0976

Plat Name: Katy Manor GP

Applicant: LJA Engineering, Inc.- (West Houston Office)

Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

To allow street intersection spacing to exceed the 1400' maximum along the northern boundary of the GP

Chapter 42 Section: 128a(1)

Chapter 42 Reference:

42-128(a)(1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Katy Manor is a proposed general plan of 122 acres of land north of Stockdick School Road and west of Katy Hockley Cut Off Road. The property is about 2650' in length on the west with about 34 acres on northeast side that is not owned by this client. The original owner has a 5 acre out tract of the northeast corner of Katy Hockley Cut Off Road and Stockdick School. This general plan takes access off of both major thoroughfares and has a total of five access points. On the north property line we are proposing a northern street stub on the western side of the property. The proposed street stub is 2000' to the west of Katy-Hockley Cut Off Road. A strict application of the rules would require that a street stub be no longer than 1400' to the west of the proposed street stub and more than 600' from Katy Hockley Cut Off Road. The application of this rule would not be feasible as the property owned by T Double HB, LLC (according to Houston My City and HCAD) has a baseball field and other buildings on site. A street stub to the north would not likely connect to a ROW because of the baseball field and other buildings to the north of our property. The next closest street to the north is Beckendorf Road.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Katy Manor is almost a perfect square of 2650' feet sides except for a notch of 34 acres on the northeast end of the property. This "notch" has a baseball field, some outbuildings and a detention area (pond). The proposed Katy Manor provides 5 access points and two that currently have existing ROW. The circumstances supporting the granting of the variance are not the result of a hardship imposed by the client but was created by the existing condition of an adjacent property that has an office building with a baseball field and a detention pond on site.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter have been preserved and maintained as the general plan will have five access points, single-family, recreation, and landscape and open space. There is a 2000' length along the northern property line because the property on the Northeast corner has buildings and a ballfield on it. It is not practical to have a street stub that will never be connected to.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health or safety of the proposed neighborhood. The street connections on the west, south and east are in compliance with the rules and the 600' of excess is not excessive. The granting of the variance will allow the proposed general plan to have the street pattern that is needed to provide good vehicle circulation and amenities for the proposed community.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification for the variance but rather the practicality of providing a northern street stub that doesn't have a chance to make a connection in the future because of the property to the north that has a baseball field, buildings, and a detention pond.

Houston Planning Commission **ITEM: 139**

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Kubricht White

Applicant: E.I.C. Surveying Company



D Variances

Site Location

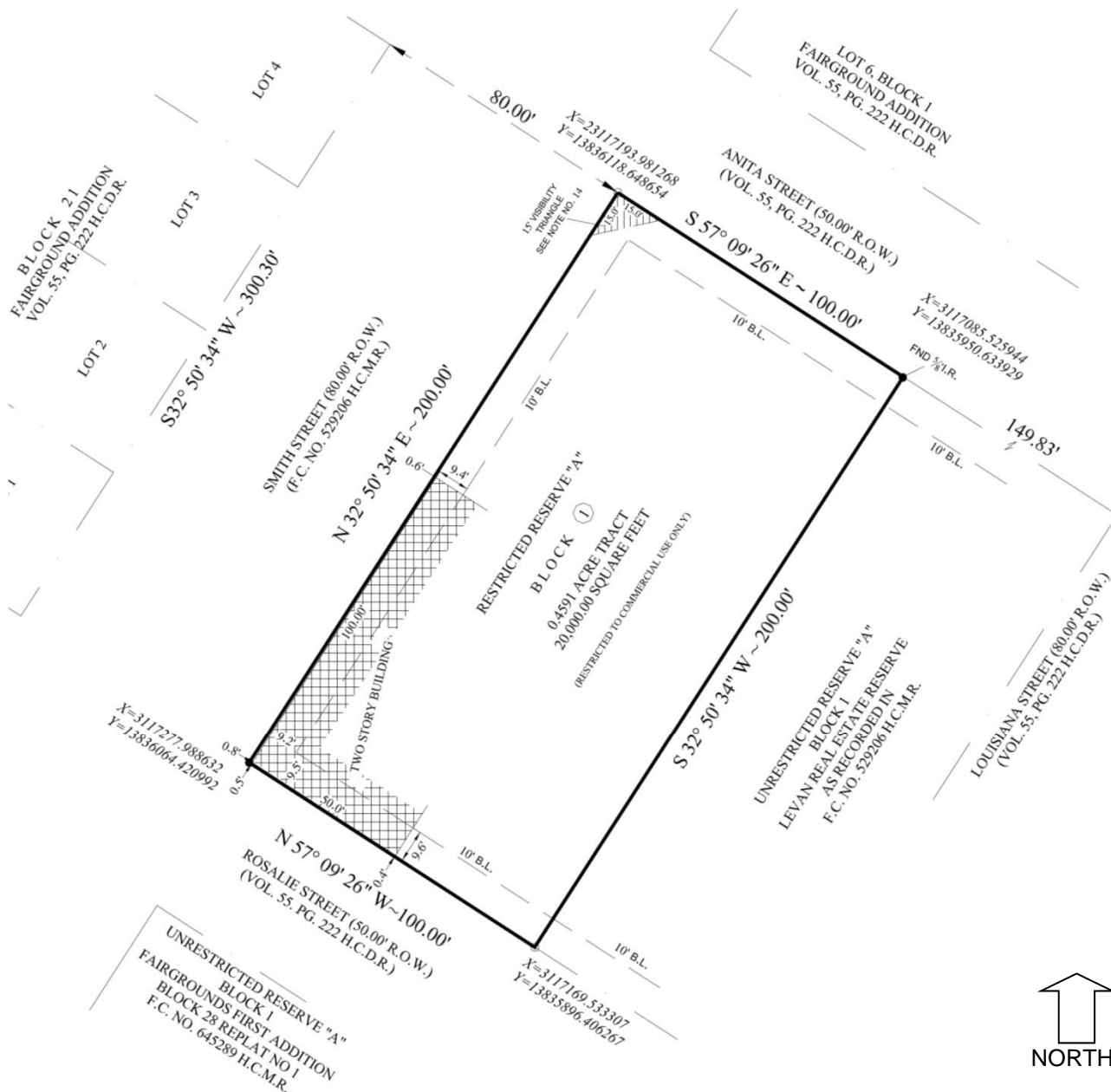
Houston Planning Commission ITEM: 139

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Kubricht White

Applicant: E.I.C. Surveying Company



D Variances

Subdivision

Houston Planning Commission ITEM: 139

Planning and Development Department

Meeting Date: 05/14/2015

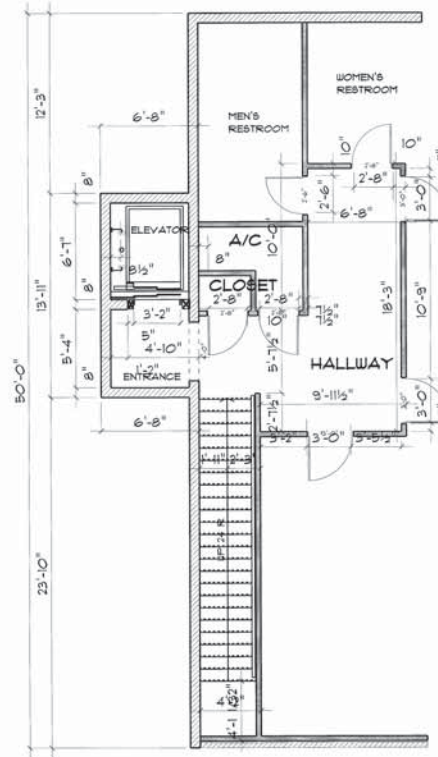
Subdivision Name: Kubricht White

Applicant: E.I.C. Surveying Company



D Variances

Aerial





**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0798

Plat Name: Kubricht White

Applicant: E.I.C. Surveying Company

Date Submitted: 04/17/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Not to have a Visibility Triangle at the intersection of Smith Street and Rosalie Street

Chapter 42 Section: 161

Chapter 42 Reference:

The building line for property adjacent to two intersecting streets shall not encroach into visibility triangle to assure adequate visibility sight lines for vehicular traffic approaching the intersection.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Since the existing building as placed on the ground have not caused objection from the neighbors or anyone else in the community. The owners believe that strict application would make this project infeasible due to the existence of unusual physical characteristics that effect the property in question.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The Existing building was built in 1950 and is only between 0.6'-0.8' set back from the property line along Smith Street, and 0.4-0.5' set back line along Rosalie Street. (see attached Boundary Survey) and Aerial). So the circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The Owners of the proposed subdivision will fully support the intent and general purposes of this chapter will be preserved and maintained. If the existing restaurant building ever to be demolished, any replacement structures for the restaurant shall show the 15'X15' Visibility Triangle at the intersection of Smith Street and Rosalie Street.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Since the existing building, as placed on the ground been there since 1950 have not caused objection from the neighbors or anyone else in the community. The owners believe that granting of the variance will not be injurious to the public health, safety or welfare.

(5) Economic hardship is not the sole justification of the variance.

The owners believe that this letter, the pictures, the boundary survey have proven that economic hardship is not the sole justification of the variance.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0798

Plat Name: Kubricht White

Applicant: E.I.C. Surveying Company

Date Submitted: 04/17/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Dual Building Line 0.00 feet building line where the existing building is and 10 feet building line.

Chapter 42 Section: 150

Chapter 42 Reference:

42-150 Building Line requirement: Collector and local street- Not single Family Residential- 10 feet.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The owners of the proposed subdivision Kubricht White want to build an outside elevator on their property the side of building along Lot 7 to go from the first floor to the second floor of the two story existing restaurant building that was built in 1950 on this property. It is only between 0.6'-0.8' set back from the property line along Smith Street and is only 0.4'-0.5' set back from the line along Rosalie Street (see attached Boundary survey and Aerial). Also see Levan Real Estate Reserve as recorded under Film Code # 529206 of the Map Records of Harris County and Fairgrounds First Addition Block 28 Replat no 1 as recorded under Film code #645289 of the Map Records of Harris County. For this reason strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The subdivision of Fairgrounds as recorded in Volume 55, Page 222 Harris County Deed Records and situated in O. Smith Survey, A-696. City Of Houston, Harris County, Texas was established in 1871. The building was built in 1955 and is only between 0.6'-0.8' set back from the property line along Smith Street and is only 0.4'-0.5' set back from the line along Rosalie Street (see attached Boundary survey and Aerial). For this reason the circumstances supporting the granting of the variance are not the result of hardship created or imposed by the applicant.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The owners of the proposed subdivision will fully support the intent and general purposes of this chapter will be preserved and maintained. If the existing restaurant building ever to be demolished, any replacement structures for the restaurant shall adhere to the 10' building line along Smith Street and Anita Street and Rosalie Street.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Since the existing building was built in 1950, as placed on the ground have not caused objection from the neighbors or anyone else in the community. The owners of the proposed subdivision Damian believe that granting of the variance will not be injurious to the public health, safety or welfare.

(5) Economic hardship is not the sole justification of the variance.

This letter, the pictures, the boundary survey attached that the current owners found themselves at no fault of their own have proven that economic hardship is not the sole justification for granting the variance.

Houston Planning Commission

ITEM: 140

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Museum of Fine Arts Houston Sec 1

Applicant: Knudson, LP



D Variances

Site Location

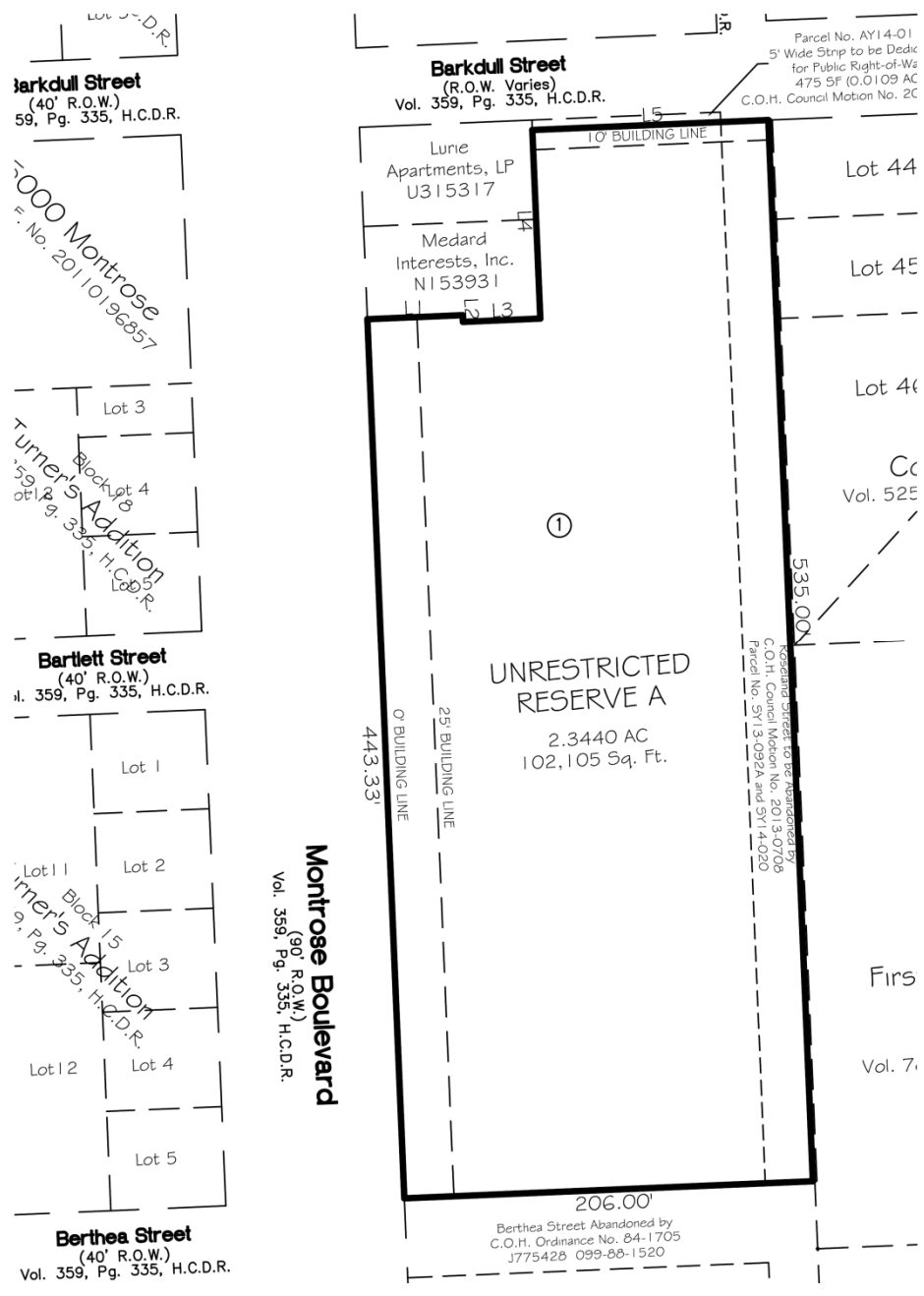
Houston Planning Commission ITEM: 140

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Museum of Fine Arts Houston Sec 1

Applicant: Knudson, LP



D Variances

Subdivision

Houston Planning Commission ITEM: 140

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Museum of Fine Arts Houston Sec 1

Applicant: Knudson, LP

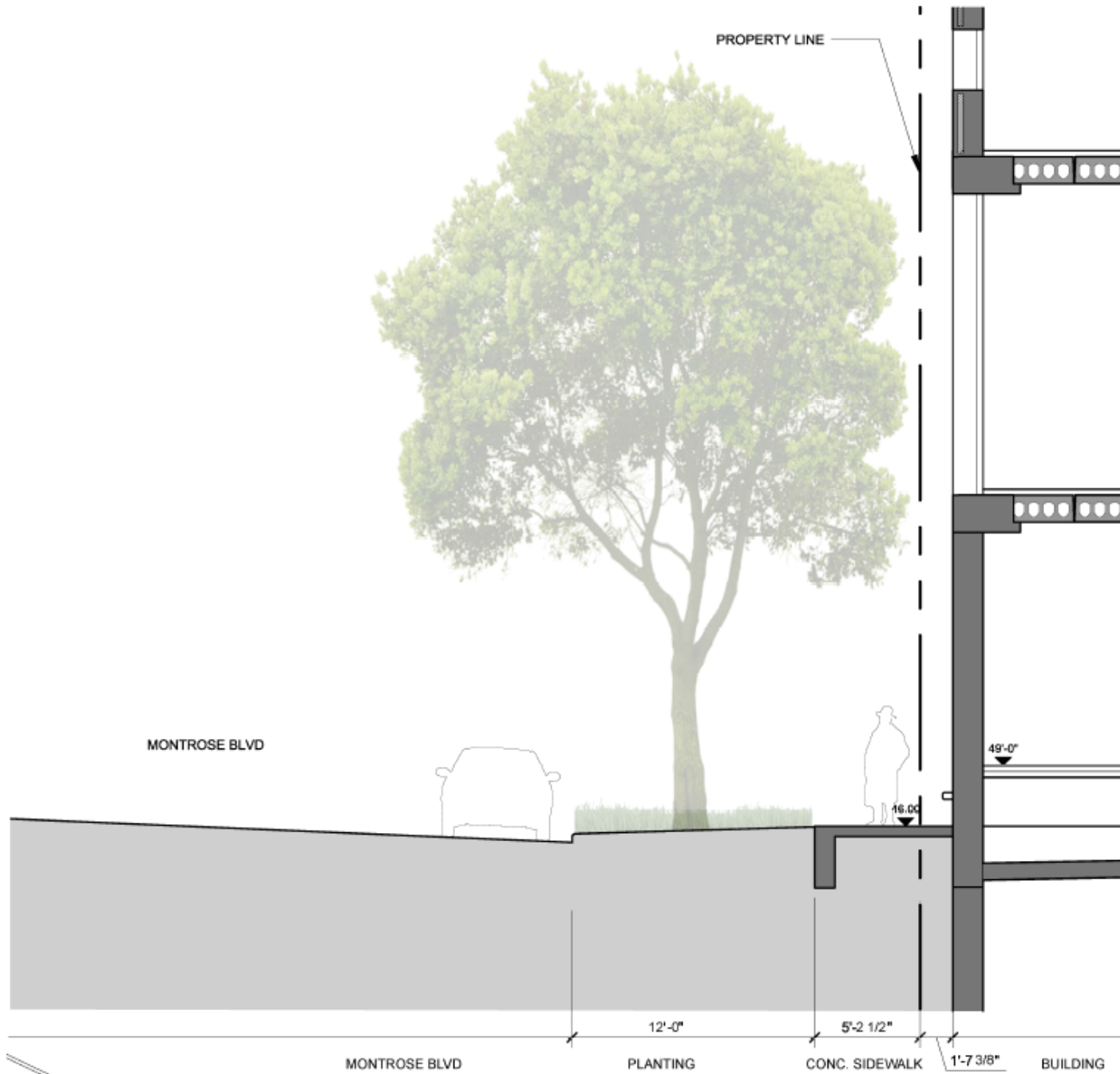


D Variances

Aerial

03 SOUTH ELEVATION

1"=10'-0"







Application Number: 2015-0774

Plat Name: Museum of Fine Arts Houston Sec 1

Applicant: Knudson, LP

Date Submitted: 04/17/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

The applicant is requesting a dual building line along Montrose Boulevard for a distance of 275 feet at zero foot versus a 25 foot building line typically required along a major thoroughfare.

Chapter 42 Section: 152

Chapter 42 Reference:

Sec. 42-152. Building line requirement along major thoroughfares a) The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 foot unless otherwise authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The project site is narrow; 206 feet wide by 443 feet long. The applicant is requesting a variance for a dual building line of zero foot along Montrose Boulevard. Planning Commission previously approved a similar variance we submitted on October 3rd, 2013. At that time, we were in preliminary design for the redevelopment of the Glassell School of Art. The MFAH is proposing to build two levels of parking below grade. This below ground parking garage will ultimately connect to the below ground parking garage to the future exhibition hall at the corner of Main Street and Bissonnet Street. After further study, the underground parking garage was required to be reconfigured and redesigned which adjusted the structure above ground. The underground garage structure will go from property line to property line due to the size of parking spaces and driveways within the garage. The garage will require emergency ingress and egress stairs and well as exhaust fans. These mechanical requirements may be over the allowed height and will be within the 25 foot building line. The MFAH will to continue to secure the Cullen Sculpture Garden owned by the City of Houston after park hours. This will require fencing that may be over the allowed height of six feet and will be within the 25 foot building line. It was requested by staff that we resubmit due to the revisions within the site plan. The dual zero foot building line will allow the architect to provide an inviting pedestrian plaza connecting the Cullen Sculpture Garden as a continuous plaza. The MFAH proposes to construct an 80,000 square foot studio, an auditorium, and plaza space for studios, presentations, and lectures. A leafy plaza will open views to a new, more prominent Glassell School of Art. The long side of the school's L-shaped exterior slopes up from the ground; this forms a stepped amphitheater leading to a trellised rooftop garden. The building will bracket a new plaza that extends the existing Cullen Sculpture Garden. This building will replace the school's existing 35-year-old building. The 14 acres campus is located in the heart of Houston's Museum District. The campus redevelopment will be a major contribution to the City's efforts in improving the art scene and pedestrian experience of Houston. The campus redevelopment will continue to protect and enhance the access to the Cullen Sculpture Garden, its public plazas, reflecting pools, and gardens, as well as improved sidewalks, street lighting, and

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The current site is narrow at 206 feet wide by 443 feet long. The underground parking garage was required to be reconfigured and redesigned which adjusted the structure above ground. The underground garage requires emergency ingress and egress stairs and well as exhaust fans. These mechanical requirements may be over the allowed height and will be within the 25 foot building line. MFAH will to continue to secure the Cullen Sculpture Garden owned by the City of Houston after park hours. This requires fencing that may be over the allowed height and will be within the 25 foot building line. In order to allow the school to expand and provide a better learning atmosphere with state of the art equipment in today's society and open the plaza's to the Cullen Sculpture Garden it is necessary to obtain a variance. The Glassell School of Art will ensure the integrity of Montrose Boulevard as a walkable, pedestrian friendly area.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of Chapter 42 will be preserved and maintained at the plaza level to allow for pedestrian activity in a walkable neighborhood.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Granting the variance will not be injurious to the public health, safety or welfare of the general public. The Glassell School of Art will have an open pedestrian plaza, reflecting pond, and wide sidewalks as a pedestrian realm for the active pedestrian activity in the MFAH campus. This pedestrian plaza serves as the entrance into the redeveloped Glassell School of Art as shown in the site plan to the right.

(5) Economic hardship is not the sole justification of the variance.

Requesting the variance is not due to economic hardship. The underground parking garage was required to be reconfigured and redesigned which adjusted the structure above ground. The garage will require emergency ingress and egress stairs and well as exhaust fans. These mechanical requirements may be over the allowed height and will be within the 25 foot building line. We are also required to continue to secure the Cullen Sculpture Garden after park hours. This requires fencing that may be over the allowed height and will be within the 25 foot building line. Due to the complexity in designing this project and the underground parking structure combined with the underground connecting tunnels, we are asking for a dual zero foot building line to allow flexibility and ensure the pedestrian realm is maintained and vibrant.

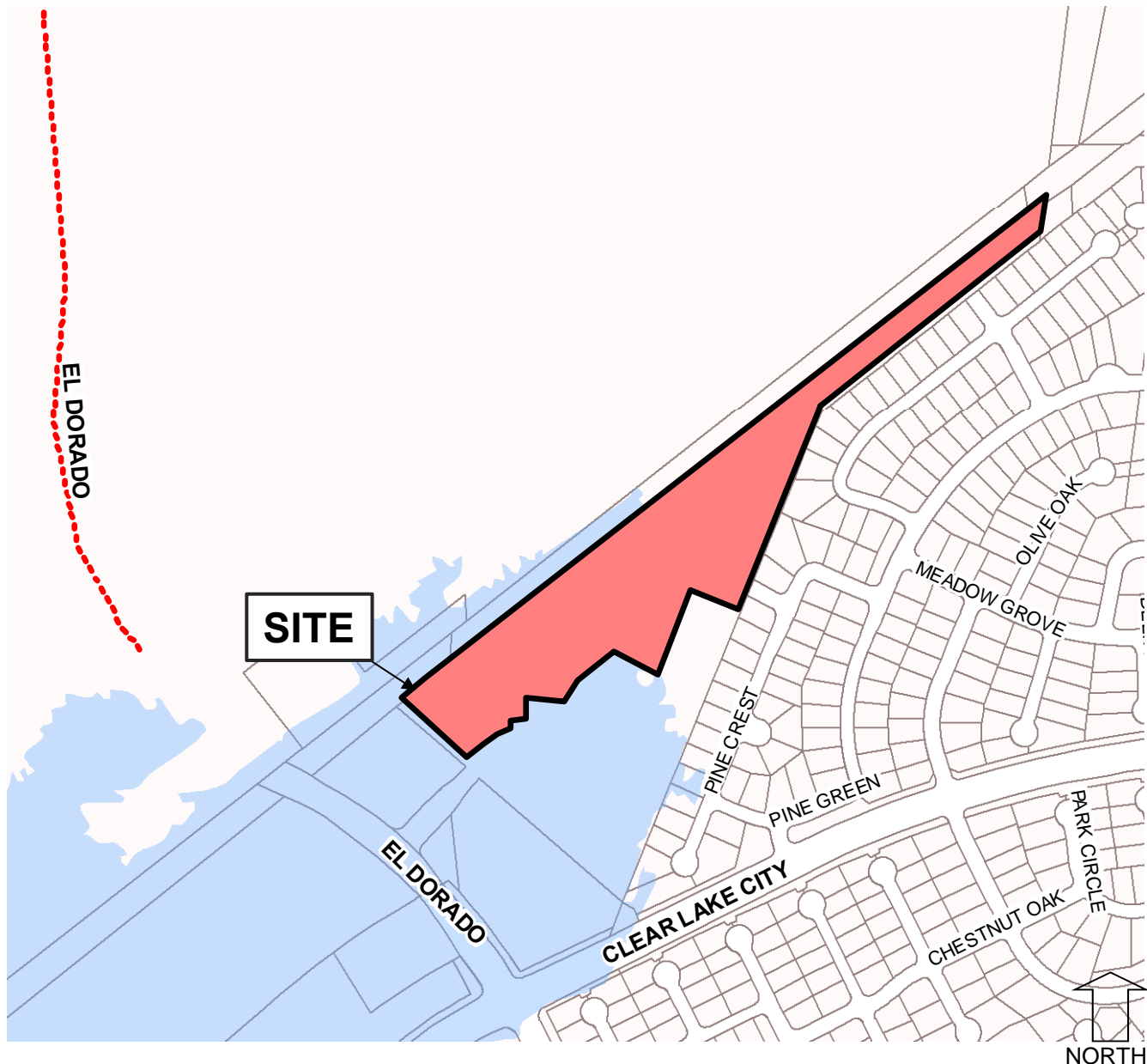
Houston Planning Commission **ITEM: 141**

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Reserve at Clear Lake City Sec 7

Applicant: BGE Kerry R. Gilbert Associates



D Variances

Site Location

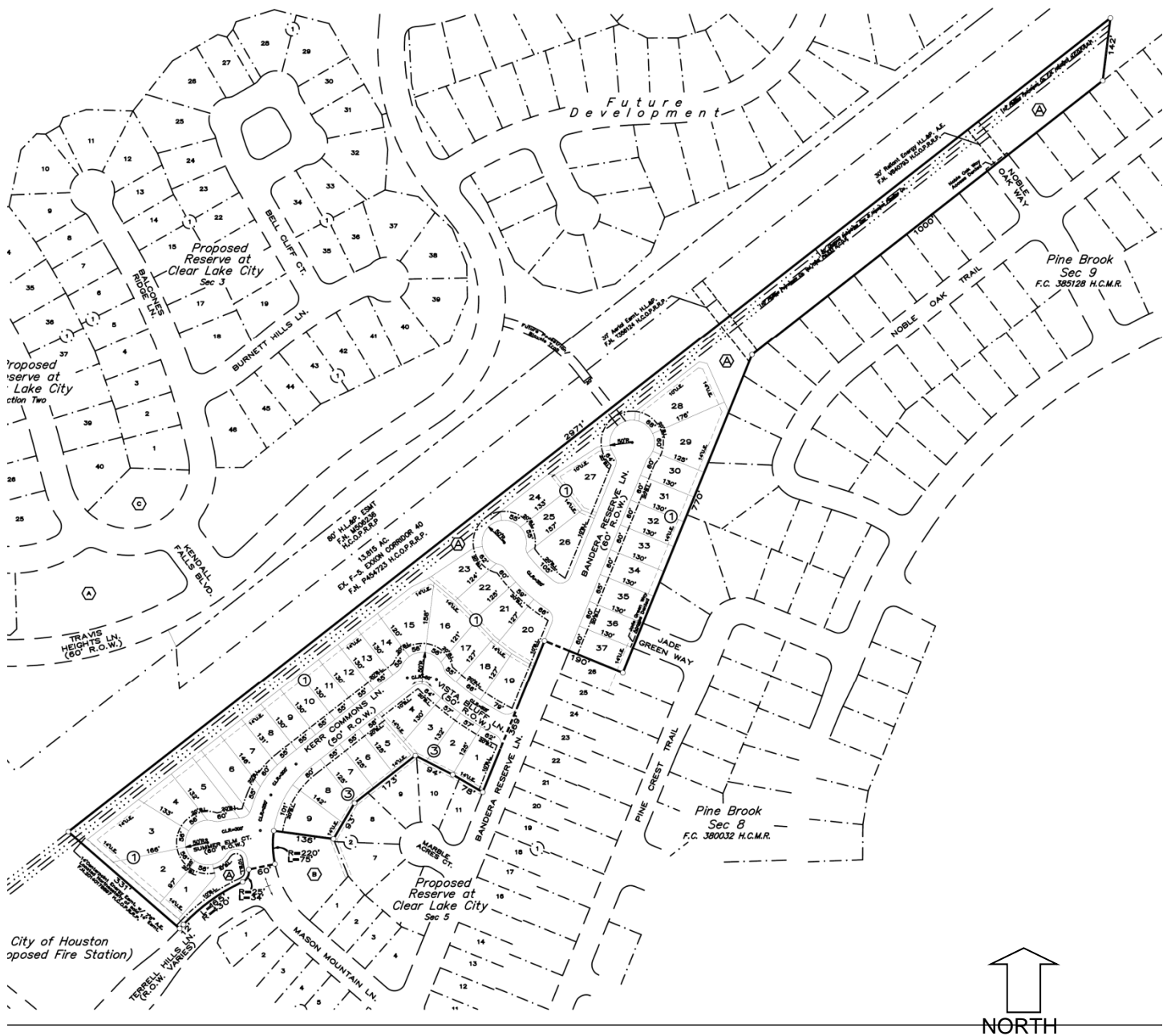
Houston Planning Commission ITEM: 141

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Reserve at Clear Lake City Sec 7

Applicant: BGE Kerry R. Gilbert Associates



D Variances

Subdivision

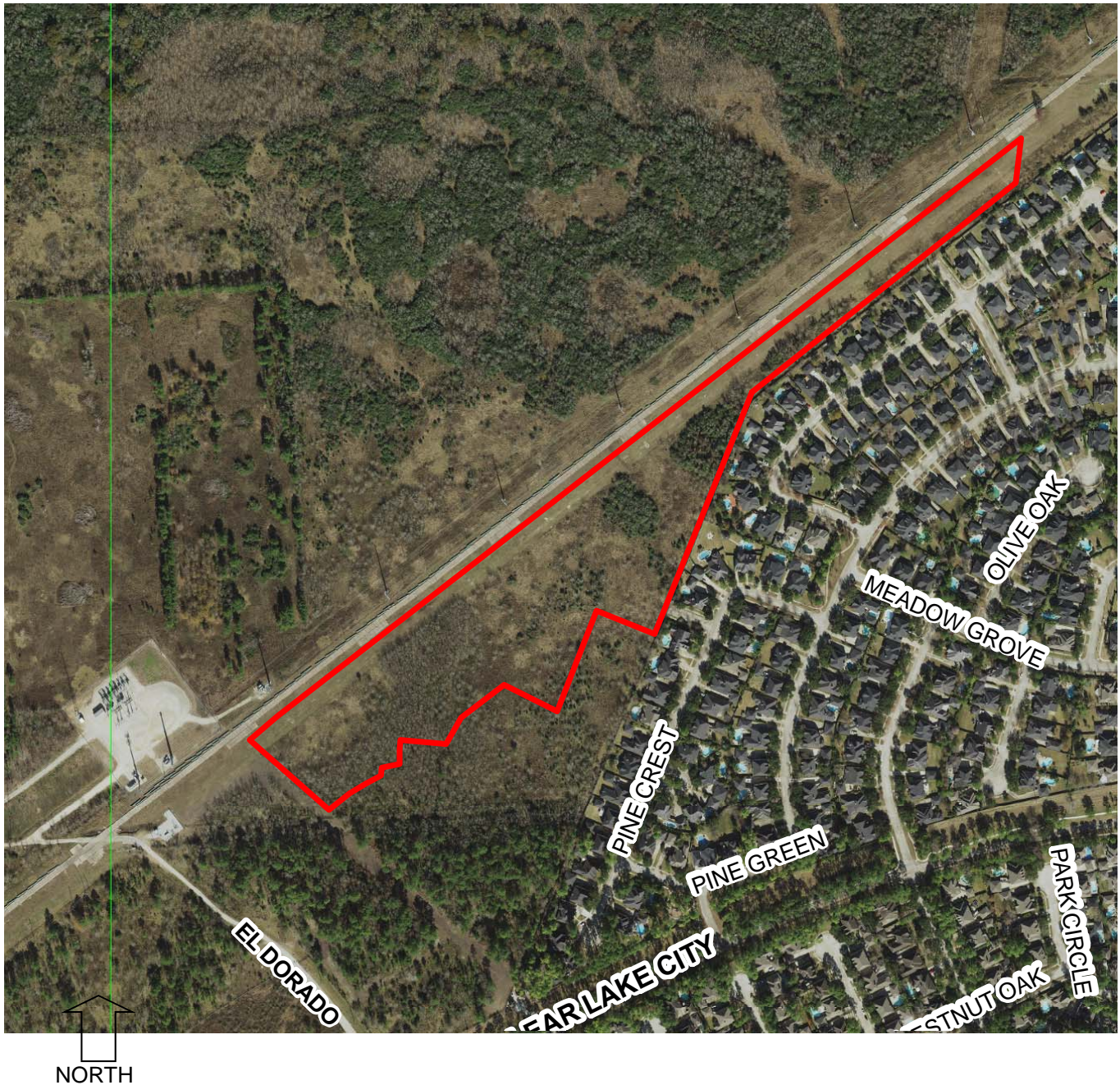
Houston Planning Commission ITEM: 141

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Reserve at Clear Lake City Sec 7

Applicant: BGE Kerry R. Gilbert Associates



D Variances

Aerial



an aerial photo exhibit for
**RESERVE AT
CLEAR LAKE CITY**
SEC 7
± 16.7 ACRES OF LAND
prepared for
TRENDMAKER CLEAR LAKE, LLC



— Land Planning Consultants —
23501 Cinco Ranch Blvd., Suite A-250
Katy, Texas 77494

7000 North Mopac, Suite 330
Austin, TX 78731

2595 Dallas Parkway, Suite 204
Frisco, TX 75034

Tel: 281-579-0340

SCALE
0 100 200 400

MAY 4, 2015
KGA I-211A

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Application Number: 2015-0892

Plat Name: Reserve at Clear Lake City Sec 7

Applicant: BGE|Kerry R. Gilbert Associates

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Not to extend or connect to (nor terminate with a cul-de-sac) the existing stub street Jade Green Way.

Chapter 42 Section: 135

Chapter 42 Reference:

Sec. 42-135. Street extension. (a) A public street that terminates at the boundary of a plat previously approved by the commission without means of a vehicular turnaround shall be extended into the adjacent property at the time the adjacent property is platted...

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The Reserve at Clear Lake City is a + 412-acre master-planned community located southeast of central Houston in the Clear Lake area. The subject site is bounded by the Pine Brook and Bay Oaks neighborhoods to the southeast and south, the Northfork neighborhood to the southwest, a pipeline corridor to the northwest totaling approximately 380' in width, and a 100' H.L.&P. easement to the northeast. Beyond these easements to the northwest and northeast is a large acreage tract populated by multiple drill sites. The overall project is also divided into two tracts by a 100' pipeline corridor in the southern half of the development, and is encumbered by the presence of multiple fault lines. The primary access for the development is from the northern extension of El Dorado Boulevard, a 100' major thoroughfare that crosses Clear Lake City Boulevard to the south. Secondary access is proposed by a collector street that will connect from El Dorado Boulevard to Space Center Boulevard to the northwest. The proposed Section 7 is located in the smaller southern portion of the overall project, with the 100' pipeline fee strip as its northern boundary and the Pine Brook neighborhood adjacent on the southeast. Section 7 builds off of the previously approved Section 5, which provides access to the extension of El Dorado Blvd, just north of its intersection with Clear Lake City Blvd. The Pine Brook neighborhood is a long-established single-family residential community that has lots from several sections backing onto the subject site. Multiple stub streets are also present, including Jade Green Way, which stubs into the proposed Reserve at Clear Lake City Section 7. However, Pine Brook has well-established traffic patterns that have no need for these stub streets. Pine Brook takes its primary access from Clear Lake City Blvd, and most traffic in the area moves along Clear Lake City Blvd to its connection with I-45 further west. The already existing streets provide sufficient circulation for Pine Brook, and the proposed Section 7 has sufficient access to El Dorado Blvd. Extending Jade Green Way into the proposed Section 7 would create an impractical situation that invites cut-through traffic from vehicles trying to circumnavigate the El Dorado / Clear Lake City intersection by traversing through the neighborhoods. This cut-through traffic would create a hazard to the health, safety, and welfare of the current and future residents.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The existing circulation is sufficient for the current and future residents, and additional connections between Pine Brook and the proposed Reserve at Clear Lake City Section 7 would be impractical.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The extension of Jade Green Way is not necessary for circulation and would create a hazard for the health, safety, and welfare of the single-family residential communities; therefore the granting of the variance will preserve and maintain the intent and general purposes of this chapter.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will benefit the health, safety, and welfare of the single-family residential communities by preventing cut-through traffic.

(5) Economic hardship is not the sole justification of the variance.

The safety of the local residents and the impractical nature of the street extension are the supporting circumstances for this request.

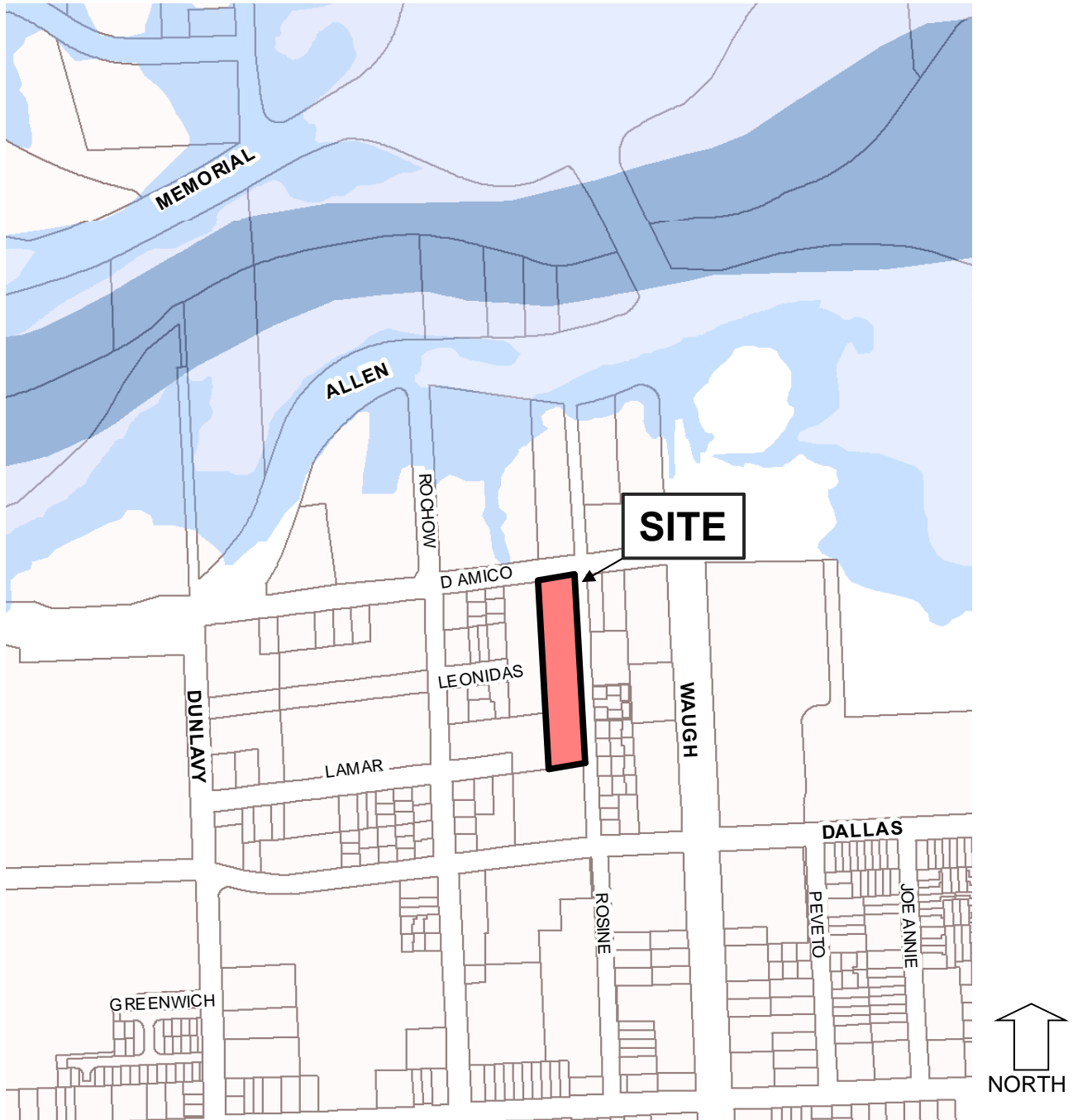
Houston Planning Commission ITEM: 142

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Rosine Gardens (DEF1)

Applicant: The Interfield Group



D Variances

Site Location

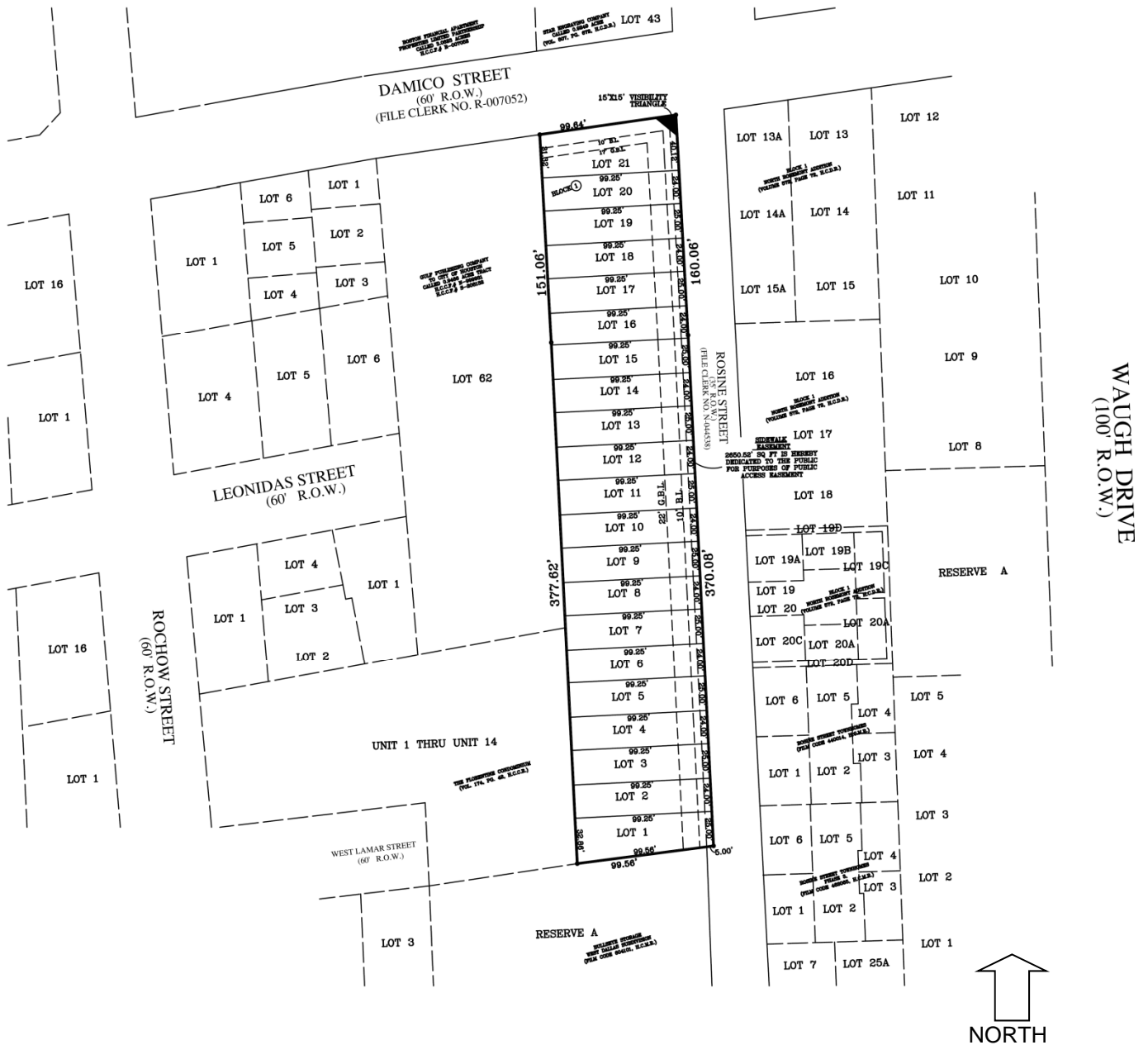
Houston Planning Commission ITEM: 142

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Rosine Gardens (DEF1)

Applicant: The Interfield Group



D Variances

Subdivision

Houston Planning Commission

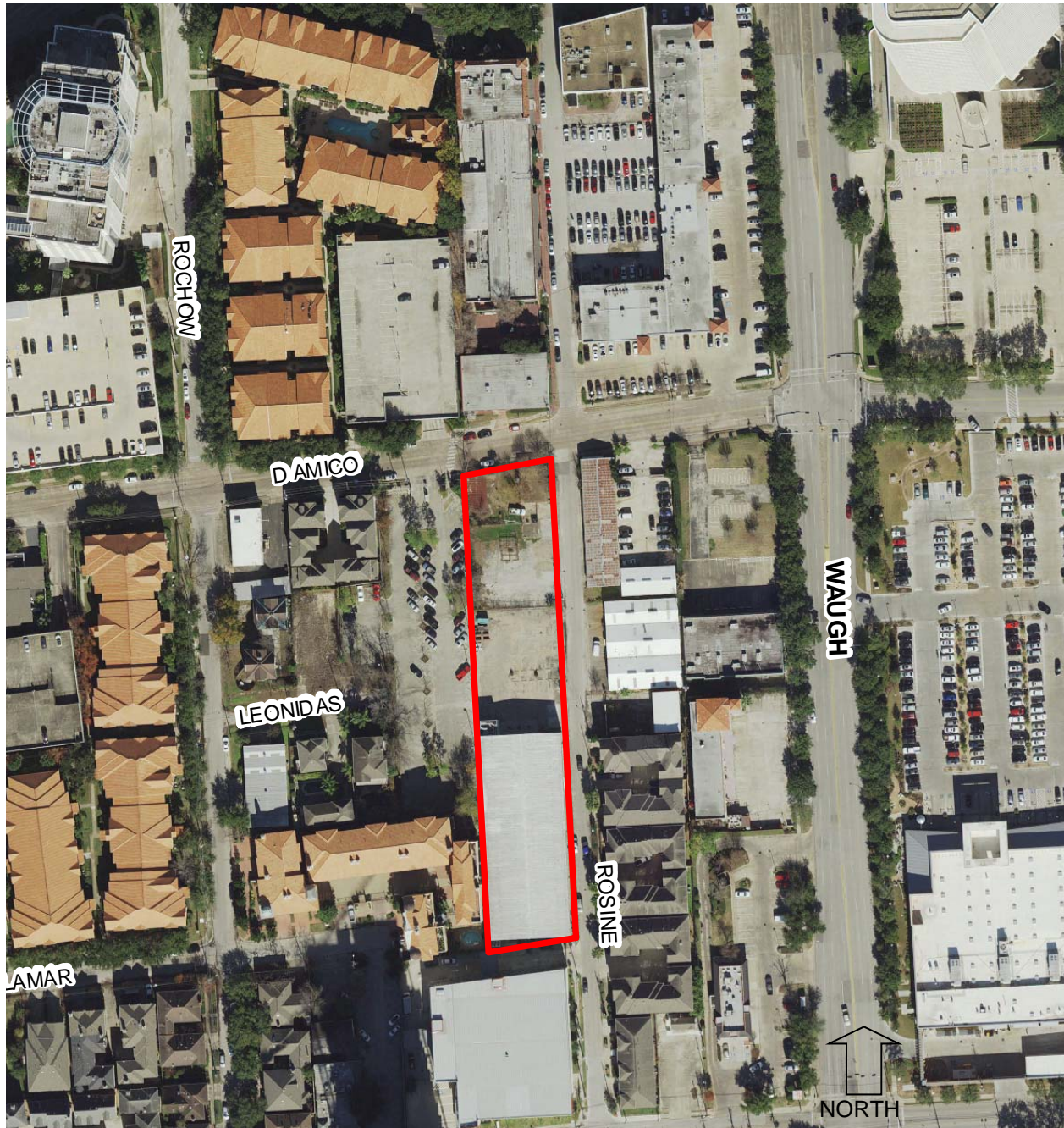
ITEM: 142

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Rosine Gardens (DEF1)

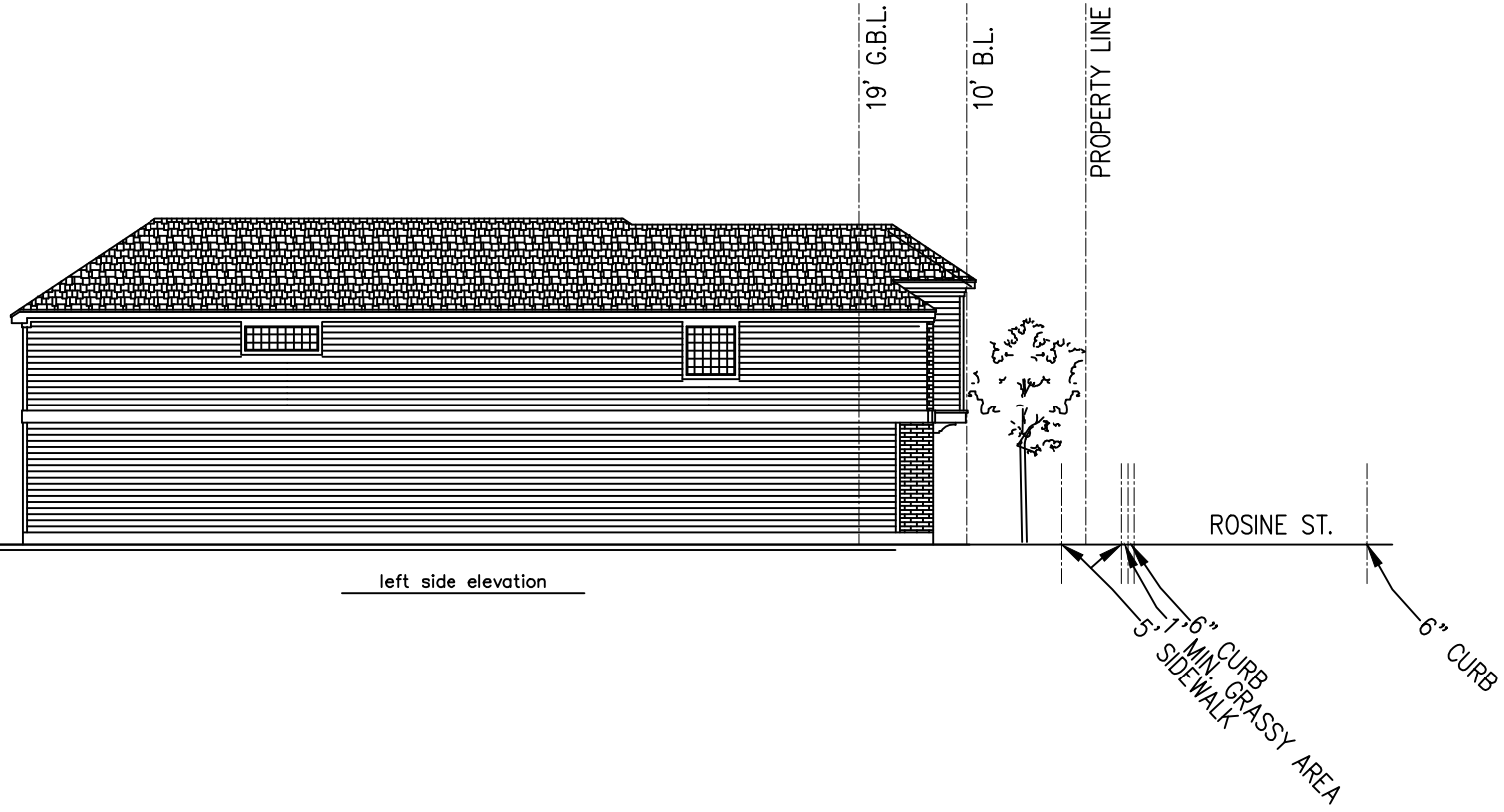
Applicant: The Interfield Group



D Variances

Aerial

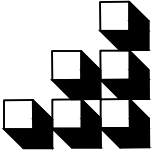
A ROSINE ST. LEFT ELEVATION
SCALE: 1/16"=1'-0"



THE INTERFIELD GROUP
ARCHITECTURE / PLANNING / ENGINEERING

401 STUDEWOOD, SUITE 300
HOUSTON, TEXAS 77007

TEL. (713) 780-0909
TBAE REG. NO. F-5611
TBAE REG. NO. BR741



TITLE
PROPOSED ELEVATIONS

PROJECT
800 ROSINE

DATE: 04/03/15 JOB #: 15024.00

DRAWN BY: OG

CHECKED BY: MFQ

SHEET NO.

SK3



Application Number: 2015-0659

Plat Name: Rosine Gardens

Applicant: The Interfield Group

Date Submitted: 03/23/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Specific variance is being sought and extent to allow no street widening dedication along Rosine Street.

Chapter 42 Section: 122

Chapter 42 Reference:

Chapter 42 Reference: 42-122 – Right-of-Way Widths – Local Streets Sec. 42-122. Right-of-way widths. The minimum right-of-way required for each of the following types of streets or public alleys shall be as follows, subject only to the street width exception areas established pursuant to section 42-123 of this Code: Major thoroughfares (1) The lesser of 100 feet or the right-of-way specified by the street hierarchy classification established by the major thoroughfare and freeway plan; or (2) 100 feet for streets designated on the major thoroughfare and freeway plan for which a street hierarchy classification is not established Collector streets designated on the major thoroughfare and freeway plan The right-of-way width established by the major thoroughfare and freeway plan Other collector streets (1) 60 feet; or (2) 50 feet if all properties on both sides of the collector street consist of single-family residential lots that do not have driveway access to the collector street. Local streets (1) 50 feet if adjacent to exclusively single-family residential lots; or (2) 60 feet if adjacent to any other development Public alleys 20 feet Type 1 permanent access easement The width required if the permanent access easement were a public street Type 2 permanent access easement 28 feet The right-of-way width of a type 2 permanent access easement is coterminous with the pavement width and the terms are used interchangeably. The width shall be measured from edge to edge across the surface of the pavement

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land;
OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Rosine Gardens is located west of Rosine Street, south of Damico Street, east of Rochow Street, north of West Dallas Street. Chapter 42 requires a residential development to front on a 50' right-of-way. In the case of Rosine Patio Homes, the right-of-way of Rosine Street appears to be a recorded as 35'; therefore, owner is required to dedicate one-half the land needed for the right-of-way. In 2000, Rosine Street Townhomes Phase 3, recorded in Harris County Film Code No. 462065, identified Rosine Street as a 60' right-of-way and did not dedicate any of the land needed for street widening purposes. In 2000, Rosine Street Townhomes, recorded in Harris County Film Code No. 440014, identified Rosine Street as a 60' right-of-way and did not dedicate any of the land needed for street widening purposes. Tracts of land north of Rosine Street Townhomes are identified out of North Rosement Addition, and not out of a recent platted subdivision, nor does it appear that any additional right-of-way dedication was provided, in addition to the right-of-way dedication shown in the map of North Rosement Addition, recorded in Volume 572, Page 72 of the Harris County Deed Records. According to the recent survey of subject tract, the front property lines of these lots appear to line up with those of Rosine Street Townhomes to the south. These developments were recently constructed. While life expectancy of a home depends on the quality of construction, there are many known structures that have held up well over the typical life expectancy of a home. Typical industry standards, is to design a home with a life expectancy of a minimum of 50 years. With this said, it is highly unlikely that these recent developments will be re-platted and provide

the needed right-of-way for street widening purposes. There would also be the possibility that the land would not be re-platted, with any new construction being built on existing lots. Rosine Gardens will be an asset to the area. It will provide newly constructed residences with adequate landscaping and a new 5-foot sidewalk which most likely will enhance the pedestrian experience for new and existing surrounding residents.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

No hardship created or imposed by the applicant is used as a basis to support the request for this variance. Variance request is based on factors of nearby surrounding developments, and to be consistent with land use in immediate adjacent properties.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purpose of Chapter 42 will be preserved and maintained, due to the following considerations: a. Proposed development will include a 5-foot sidewalk along Rosine Street. b. Proposed development will dedicate 2.59 feet along the front property line to accommodate new 5-foot sidewalk. c. Development will be landscaped and will preserve and enhance the general character of the community

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare. Development will enhance public welfare, without any way compromising public health or safety.

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance, which is being requested on the basis of a reasonable assessment of prior and nearby prevailing conditions.

Houston Planning Commission

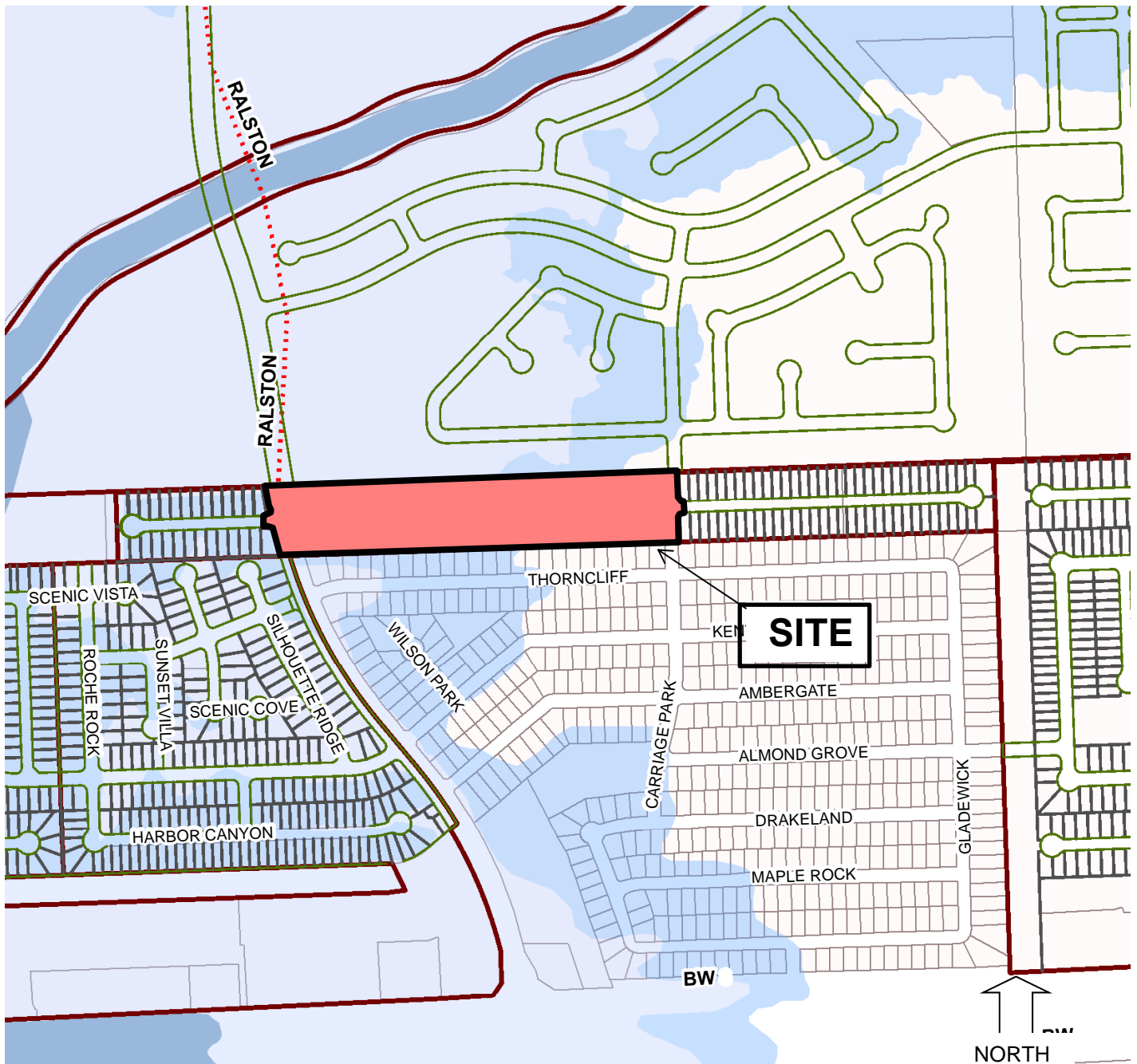
ITEM: 143

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Sunset Ridge West Sec 5 (DEF 1)

Applicant: Benchmark Engineering Corp.



D Variances

Site Location

Houston Planning Commission

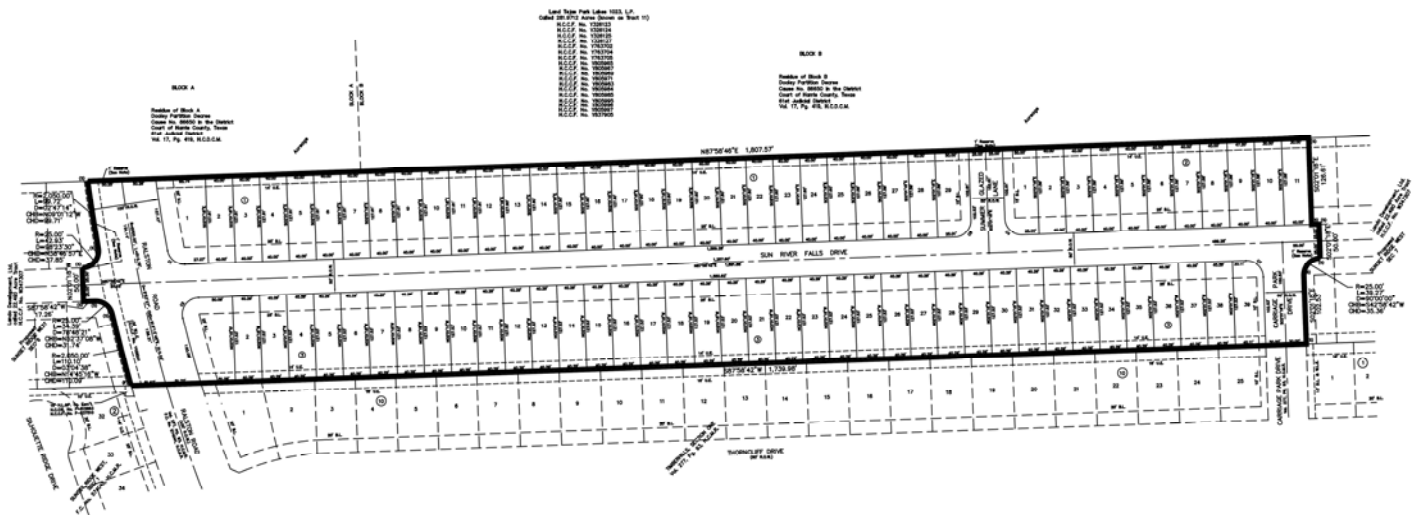
ITEM: 143

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Sunset Ridge West Sec 5 (DEF 1)

Applicant: Benchmark Engineering Corp.



D Variances

Subdivision

Houston Planning Commission

ITEM: 143

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Sunset Ridge West Sec 5 (DEF 1)

Applicant: Benchmark Engineering Corp.



D Variances

Aerial

Houston Planning Commission

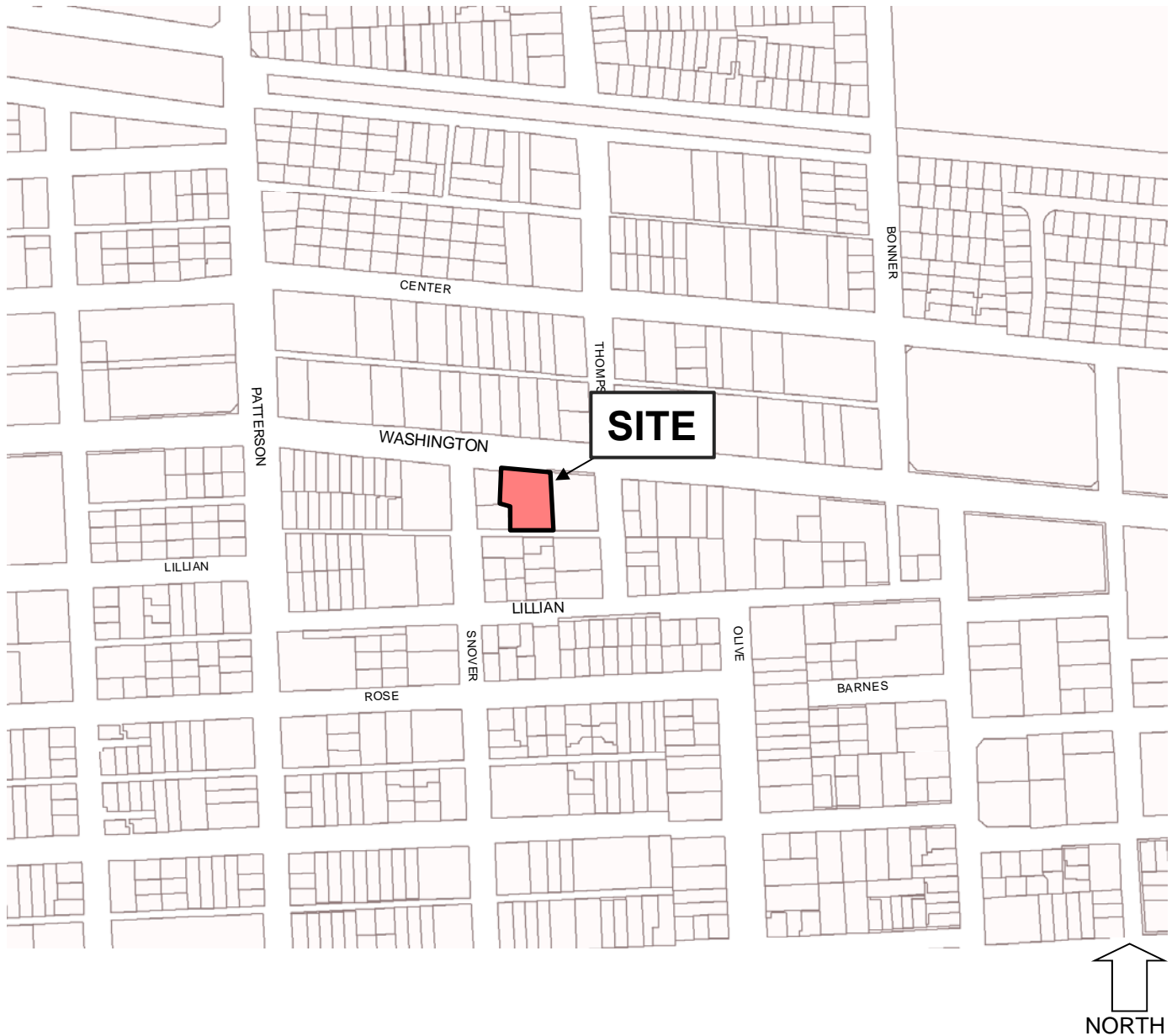
ITEM: 144

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Swan Terrace (DEF 2)

Applicant: Jalayer and Associates, INC.



D Variances

Site Location

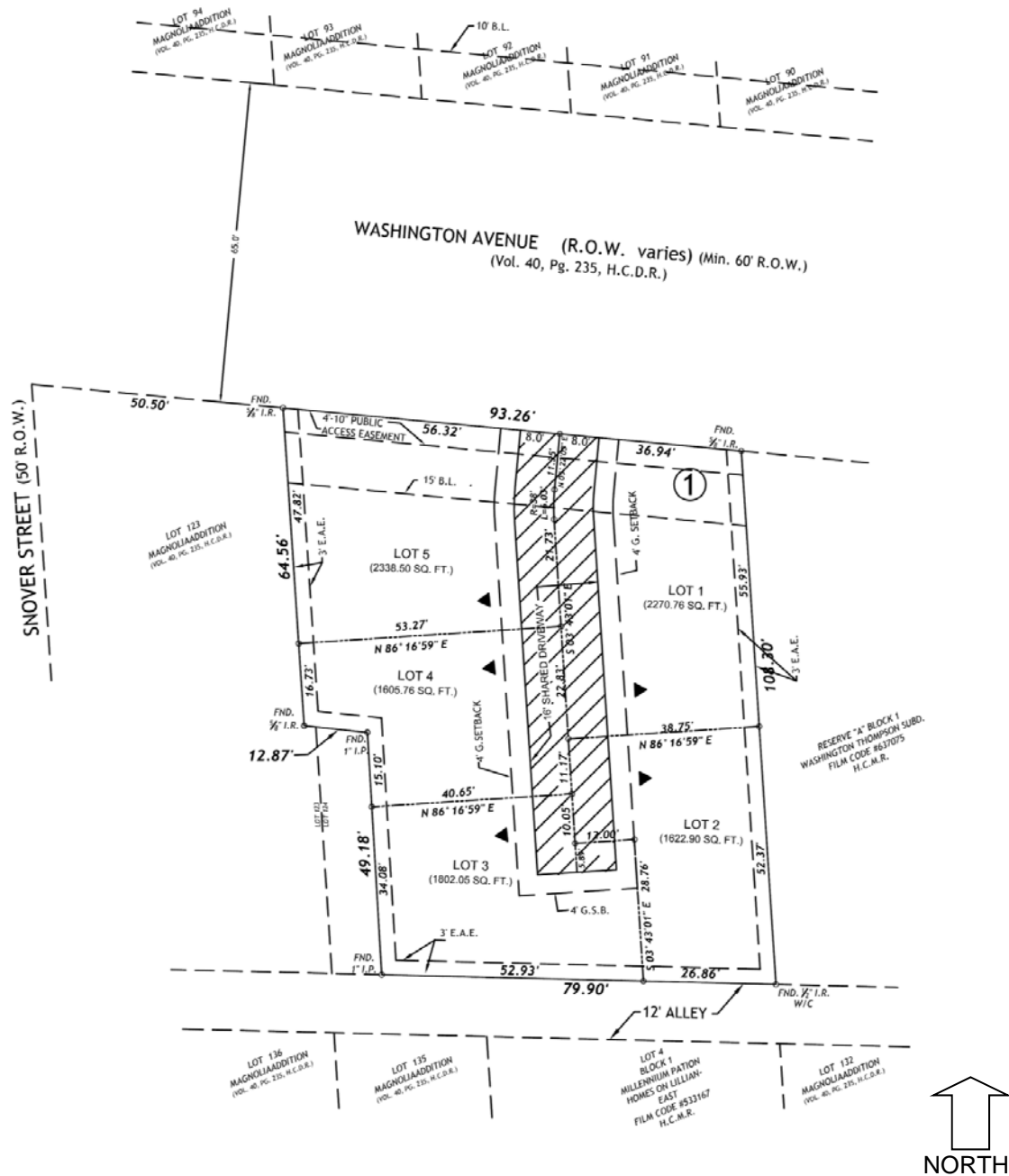
Houston Planning Commission ITEM: 144

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Swan Terrace (DEF 2)

Applicant: Jalayer and Associates, INC.



D Variances

Subdivision

Houston Planning Commission

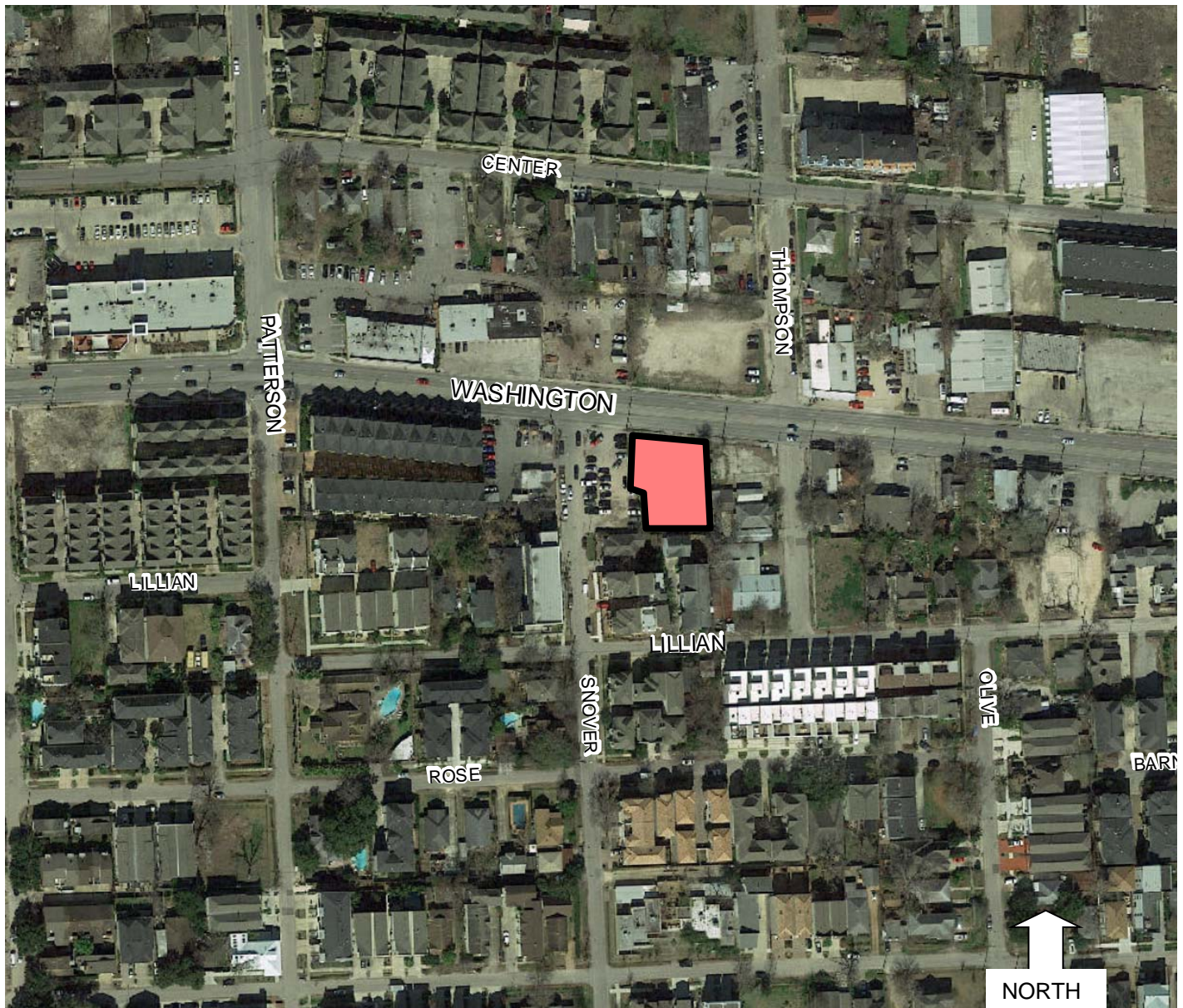
ITEM: 144

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Swan Terrace (DEF 2)

Applicant: Jalayer and Associates, INC.



D Variances

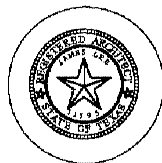
Aerial

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STREET DEVELOPMENT SECTIONAL ELEVATION 'C'
at Center of Shared Drive Looking East

0 1 3 5 10 20'



Swan Terrace Subdivision
4315 Washington Ave., Houston, Texas 77007

DATE: April 24, 2015

Streetfront Development Section
Citiscap International Inc.
6200 Savoy Drive, Suite 500, Houston, Texas 77036 (713) 753-3188

SD.1



Application Number: 2015-0591

Plat Name: Swan Terrace

Applicant: Jalayer And Associates, Inc.

Date Submitted: 03/22/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Not to apply the 25' building line along Washington Avenue

Chapter 42 Section: 152(a)

Chapter 42 Reference:

The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25' feet unless otherwise authorized by this chapter.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land;
OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Subject property as of now is a commercial reserve, present owner wishes to develop it to a single family residential community of five single family lots with one 16' shared driveway taken access from Washington Avenue. Although these lots are not back onto Washington Avenue, they are alongside the major thoroughfare and will take access from the shared driveway only. All vehicle access to and from the Washington Avenue will be denied and will be noted on the plat. The proposed development plan will not only enhance the ongoing upscale re-development of the area but also contribute and assist City's redevelopment effort to this area by providing new buildings of traditional theme with contemporary touch.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The subject property is not rectangular and the property lines are not 90 degrees, the physical nature of the land is difficult to manage to satisfy all the requirements. And to allow the development of this project, it would beautify the neighborhood by adding colors and greenery along Washington Avenue. New street trees, colorful shrubs and ground cover plus a new 6' concrete sidewalk would greatly improve the walkability of this redeveloping neighborhood.

(3) The intent and general purposes of this chapter will be preserved and maintained;

There is an existing driveway so the number of driveway to Washington Avenue would remain the same. All residents would take access from the only shared driveway and there would be no different road configuration after the development.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The shared driveway crossing the building line would be perpendicular to the adjacent major thoroughfare and the building line, all vehicle access would be taken from the shared drive, and thus no vehicle would be back onto Washington Avenue. Plus, a wide, comfortable 6 foot concrete sidewalk with plenty of lights shine from the building balconies and site at night will provide extra lights to the neighborhood. A nice 6' wrought iron fence, 6' concrete sidewalk to increase the walkability, new street trees, shrubs, ground covers and plenty of lights at nights are the extra comfort this project would bring to this neighborhood.

(5) Economic hardship is not the sole justification of the variance.

This project would become a plus to city's redevelopment of this area. Also by granting the 15' building line, this exterior fence of this project would line up with another already developed project "Washington Brownstone" located on the west side along Washington Avenue. The line up of these single home communities will further please the eyes of the public.

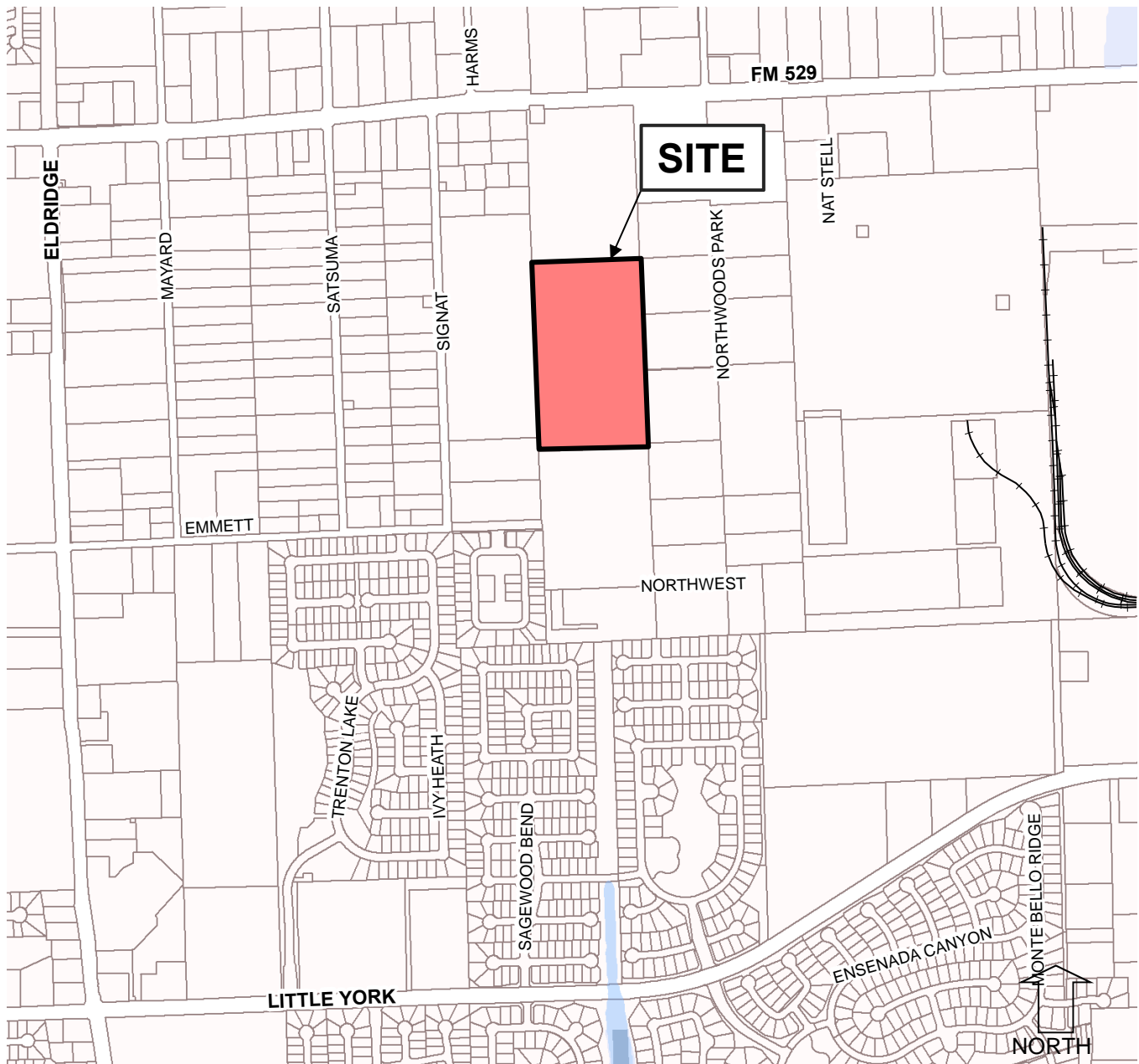
Houston Planning Commission ITEM: 145

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Thrustmaster Sec 2

Applicant: The Pinnell Group, LLC

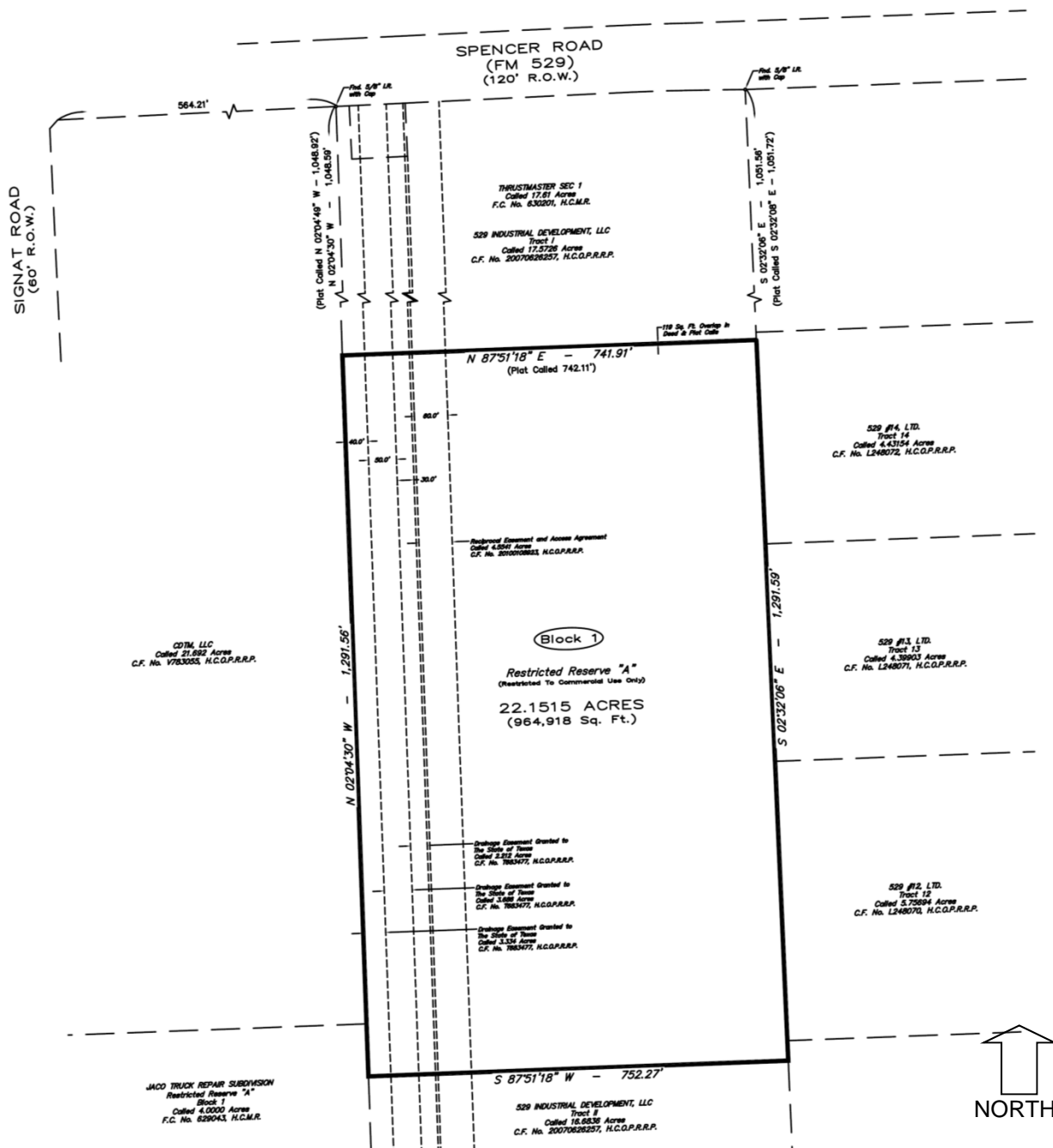


D Variances

Site Location

Meeting Date: 05/14/2015

Applicant: The Pinnell Group, LLC



Subdivision

Houston Planning Commission ITEM: 145

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Thrustmaster Sec 2

Applicant: The Pinnell Group, LLC



D Variances

Aerial



Application Number: 2015-0989

Plat Name: Thrustmaster Sec 2

Applicant: The Pinnell Group, LLC

Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Not to provide a north/south road through THRUSTMASTER SEC 1 and the subject plat (THRUSTMASTER SEC 2), creating a 4,800' distance along F.M. 529, from Signat Drive to Melendy Lane, thus exceeding the 2600' intersection spacing requirement.

Chapter 42 Section: 127

Chapter 42 Reference:

Sec. 42-127. Intersections of major thoroughfares. (a) A major thoroughfare shall intersect with a public local street, a collector street or another major thoroughfare at least every 2,600 feet.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The owner of this property intends on constructing a light industrial building and must plat the property in order to receive building permits from Harris County. The property is out of a 56.43 acre General Plan called THRUSTMASTER, and is the northerly portion of 32.38 acres shown as Reserve A, Section 2 on said General Plan. The General Plan shows a proposed 60' right-of-way along the westerly side of Section 1 and Section 2; However, when Section 1 was submitted, a variance was granted to not dedicate the 60' right-of-way through the property. There is currently a "recorded" 60' reciprocal access easement running north and south through Section 1 and Section 2, from F.M. 529 to the south line of Section 2 of the General Plan (3,300'), which provides legal access to the subject property and the adjoining 16.6836 acres to the south. The adjoining landowners wish to keep this 60' easement and driveway private and NOT dedicate a road to the public for the county to maintain. Another reason for not dedicating a north/south road through the property is that the road would terminate at the southerly line of Section 2 of the General Plan and never extend beyond that line, due to an existing building presently being constructed 80 feet south of the termination point. The "future" road would have to curve around that building, then cross a 100' wide Harris County Flood Control Ditch, then extend through residential homes into a residential subdivision called Villages at Lakepointe, Section 6. Creating what would be a dead-end public road through this tract will not enhance area circulation and is contrary to sound public policy. The residents of Villages at Lakepointe, Section 6 would not appreciate commercial vehicles and 18-wheelers driving through their neighborhood and potentially damaging their roads.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

A variance was granted to not dedicate the road in Section 1 and the same precedence should be followed in Section 2. Dead end roads do not enhance traffic circulation.

(3) The intent and general purposes of this chapter will be preserved and maintained;

For the most part, the area surrounding this property is developed as commercial and light industrial, and traffic circulation currently utilizes F.M. 529, North Eldridge Parkway, West Little York Road and U.S. 290. The residential areas currently have sufficient access and suitable traffic circulation, and the commercial and light industrial areas currently utilize private access easements.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will be in harmony with the current development and surrounding commercial and light industrial properties. There will be no increase traffic flow at the entrance to this property and will not cause any safety issues along F.M. 529.

(5) Economic hardship is not the sole justification of the variance.

The justification for the variance is that a public street through this property would be a dead-end, not adding to area mobility, and is contrary to sound public policy.

Houston Planning Commission

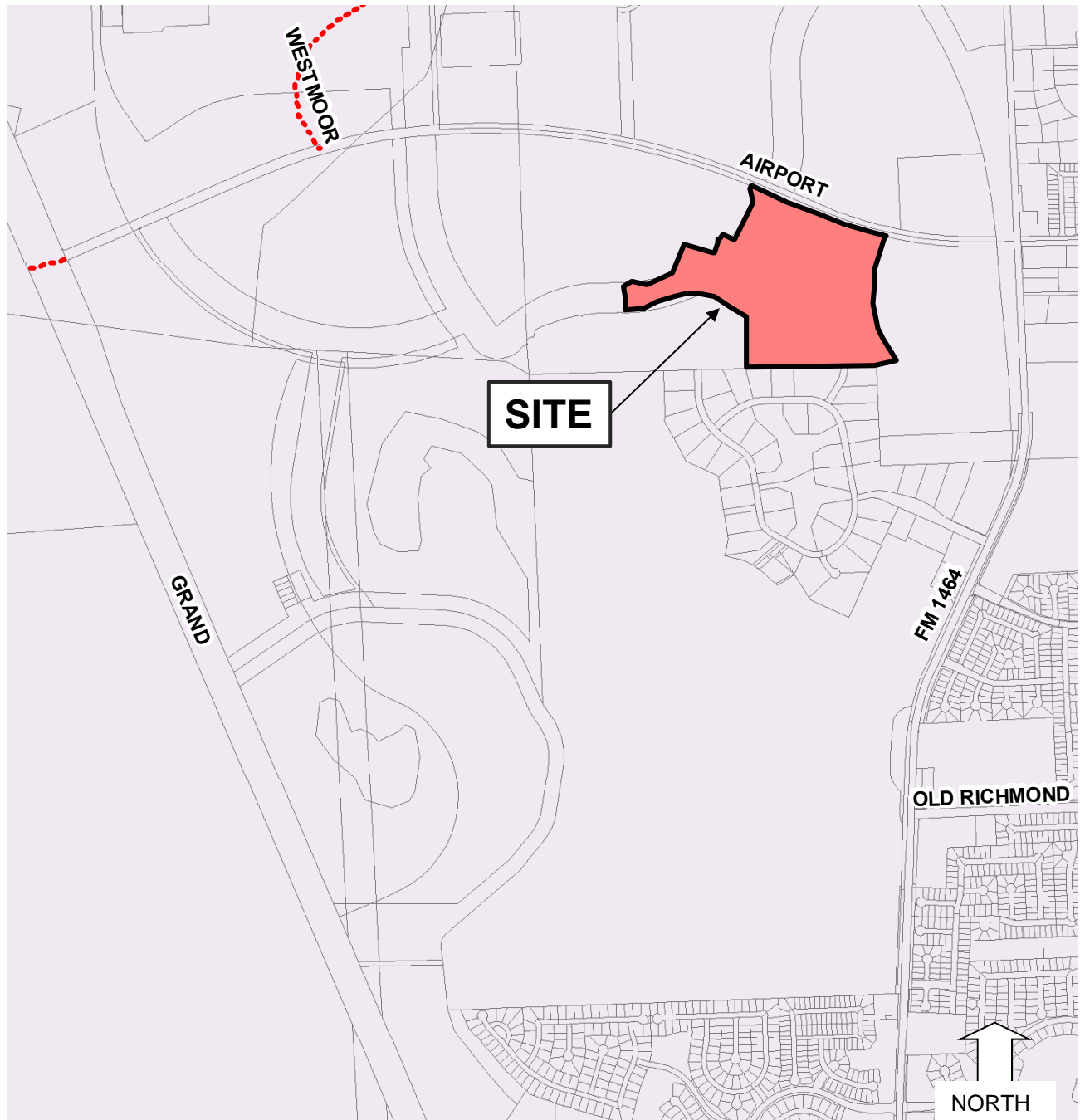
ITEM: 146

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Aliana Sec 45

Applicant: LJA Engineering, Inc.



F Reconsideration of Requirements

Site Location

Houston Planning Commission

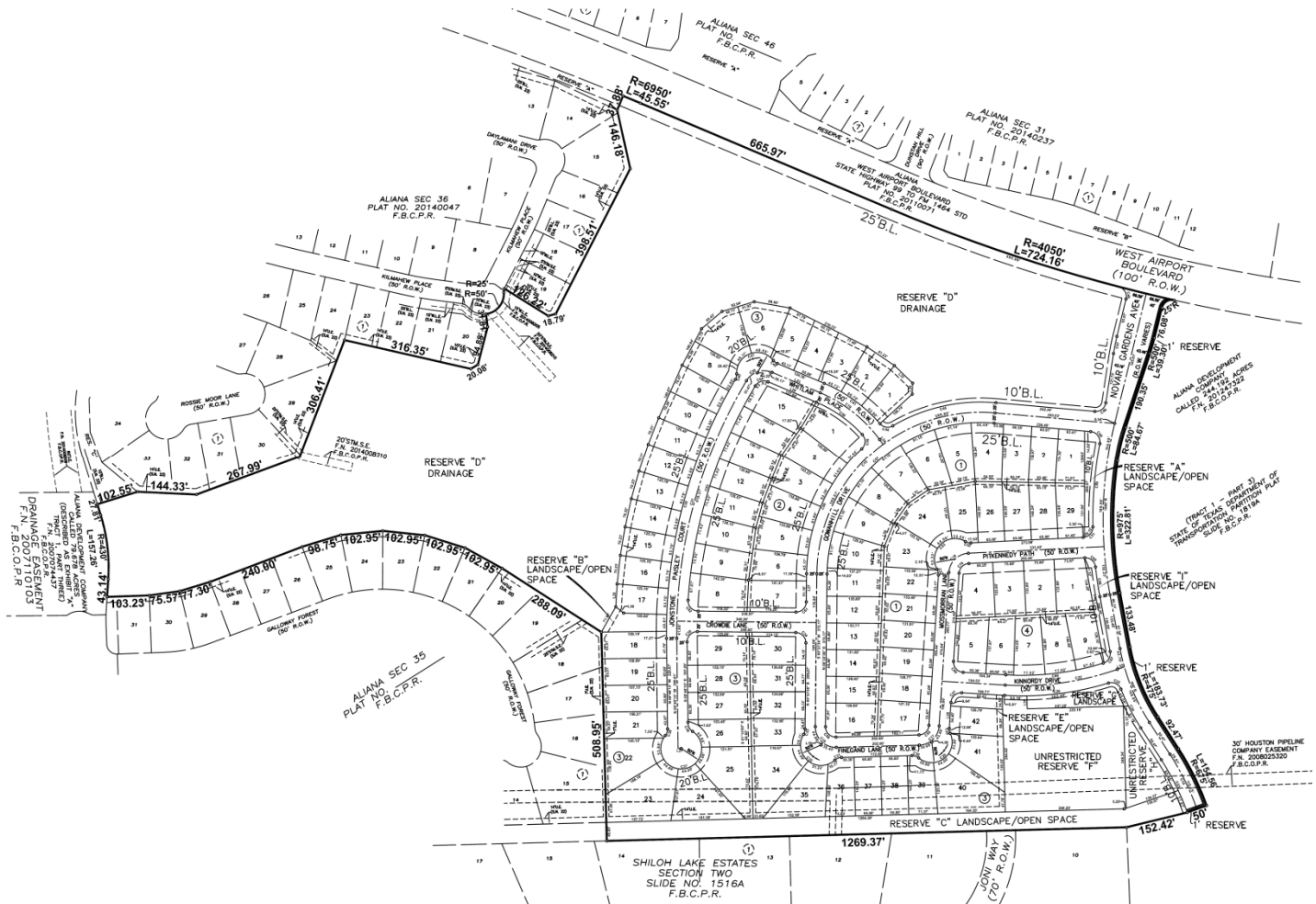
ITEM: 146

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Aliana Sec 45

Applicant: LJA Engineering, Inc.



F Reconsideration of Requirements

Subdivision

Houston Planning Commission

ITEM: 146

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Aliana Sec 45

Applicant: LJA Engineering, Inc.



F Reconsideration of Requirements

Aerial



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**RECONSIDERATION OF REQUIREMENT
Request Information Form**

Application No: 2015-0993
Plat Name: Aliana Sec 45
Applicant: LJA Engineering, Inc.- (West Houston Office)
Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific requirement or condition being sought:

42-127b Allow an intersection of less than 600' between two streets along a major thoroughfare

Chapter 42 Section: 127(b)

Chapter 42 Reference:

Sec. 42-127. Intersections of major thoroughfares. (b) Intersections along a major thoroughfare shall be spaced a minimum of 600 feet apart.

If this request requires a variance or special exception, the applicant must comply with the Plat Submittal Requirements and provide a completed Variance Request Information Form or Special Exception Information Form.

STATEMENT OF FACTS:

A variance is being submitted to address the minimum of 600' intersection spacing.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**VARIANCE
Request Information Form**

Application Number: 2015-0993

Plat Name: Aliana Sec 45

Applicant: LJA Engineering, Inc.- (West Houston Office)

Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

42-127(b). To allow a street intersection spacing of less than 600' along a major thoroughfare.

Chapter 42 Section: 127(b)

Chapter 42 Reference:

Sec. 42-127. Intersections of major thoroughfares. (b) Intersections along a major thoroughfare shall be spaced a minimum of 600 feet apart.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Aliana Section 45 is south of West Airport and west of FM 1464 in Fort Bend County. This proposed plat has 58.5 acres of land and includes 95 lots and 29 acres of reserve most of which is for drainage. Novar Gardens Avenue is a street on the eastern end of the plat. This street is as far east from Dunstan Hill Drive in Aliana Sec 31 as is possible. Dunstan Hill Drive (on the north end of West Airport Boulevard) and Novar Gardens Avenue are 500' apart. Aliana Section 31 is recorded so this street can not move. The proposed Novar Gardens Avenue has been pushed to the eastern boundary of the plat and can not move any further.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstance supporting the granting of the variance is that the entire northern boundary of Aliana Section 45 is restricted to drainage (Reserve D) and the 95 lots proposed in Section 45 will have a second point of access in the future. The impact of the 500' length is somewhat minimized by 90' ROW where Novar Gardens Avenue intersects with West Airport Boulevard.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of this chapter will be preserved and maintained as Aliana Section 45 will have two points of access. Additionally the 90' ROW will allow for a turning radius into the proposed subdivision. The subdivision allows for good vehicular access into the area and the 500' distance should allow for the safety of the area.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to public, health and safety as the distance is 500' and the lots in this section will have two points of access. The granting of this variance will allow the developers to provide the surrounding master planned community to provide the area with the drainage and recreation that is needed.

(5) Economic hardship is not the sole justification of the variance.

Feasibility is the hardship and not economic. The existing Dunstan Hill Drive makes providing a ROW greater than 600' from it impossible within the proposed subdivision. Novar Gardens Avenue is as far to the east as possible.

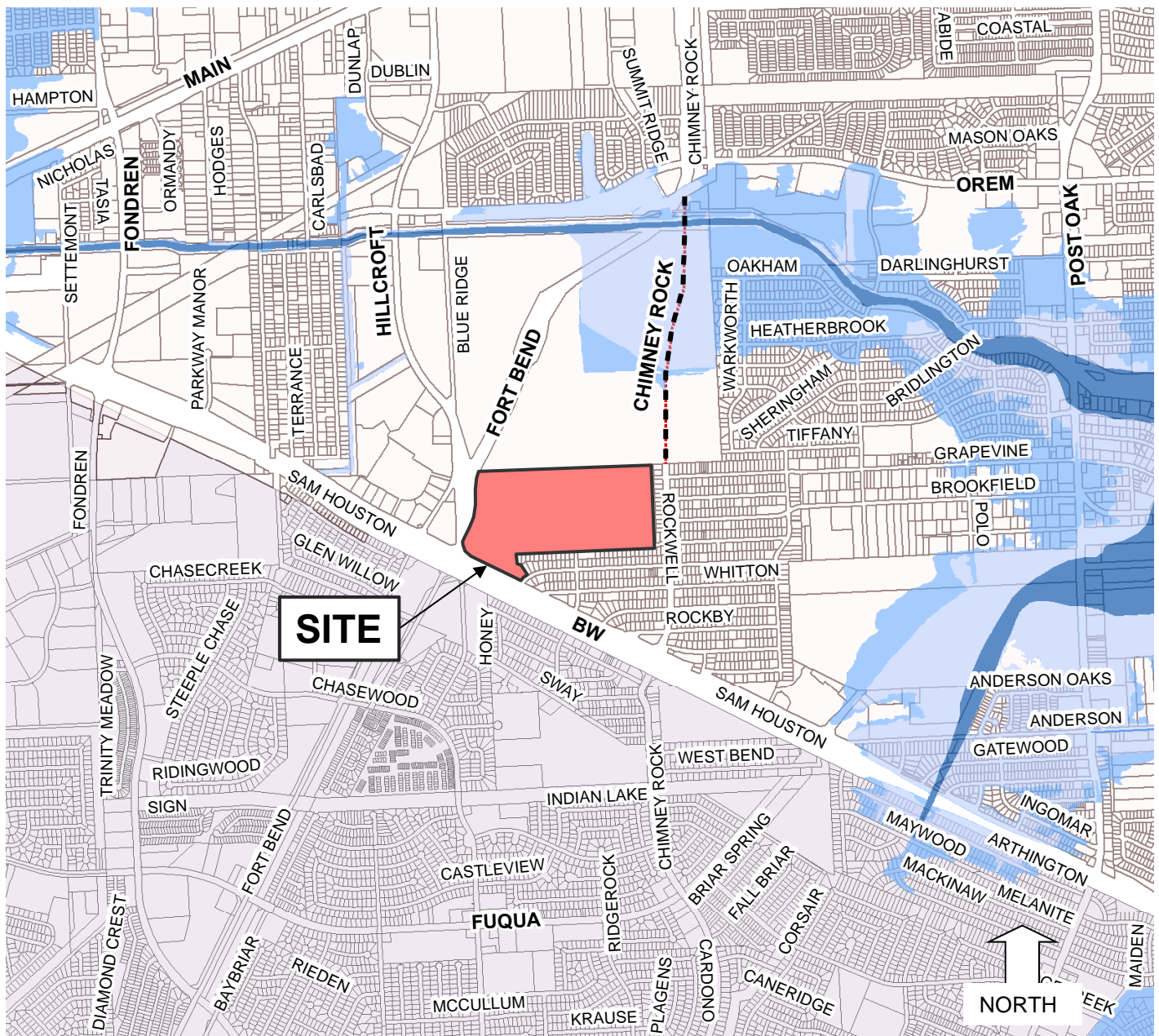
Houston Planning Commission ITEM: 147

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Beltway Southwest Business Park General

Applicant: Windrose Land Services, Inc.



F Reconsideration of Requirements Site Location

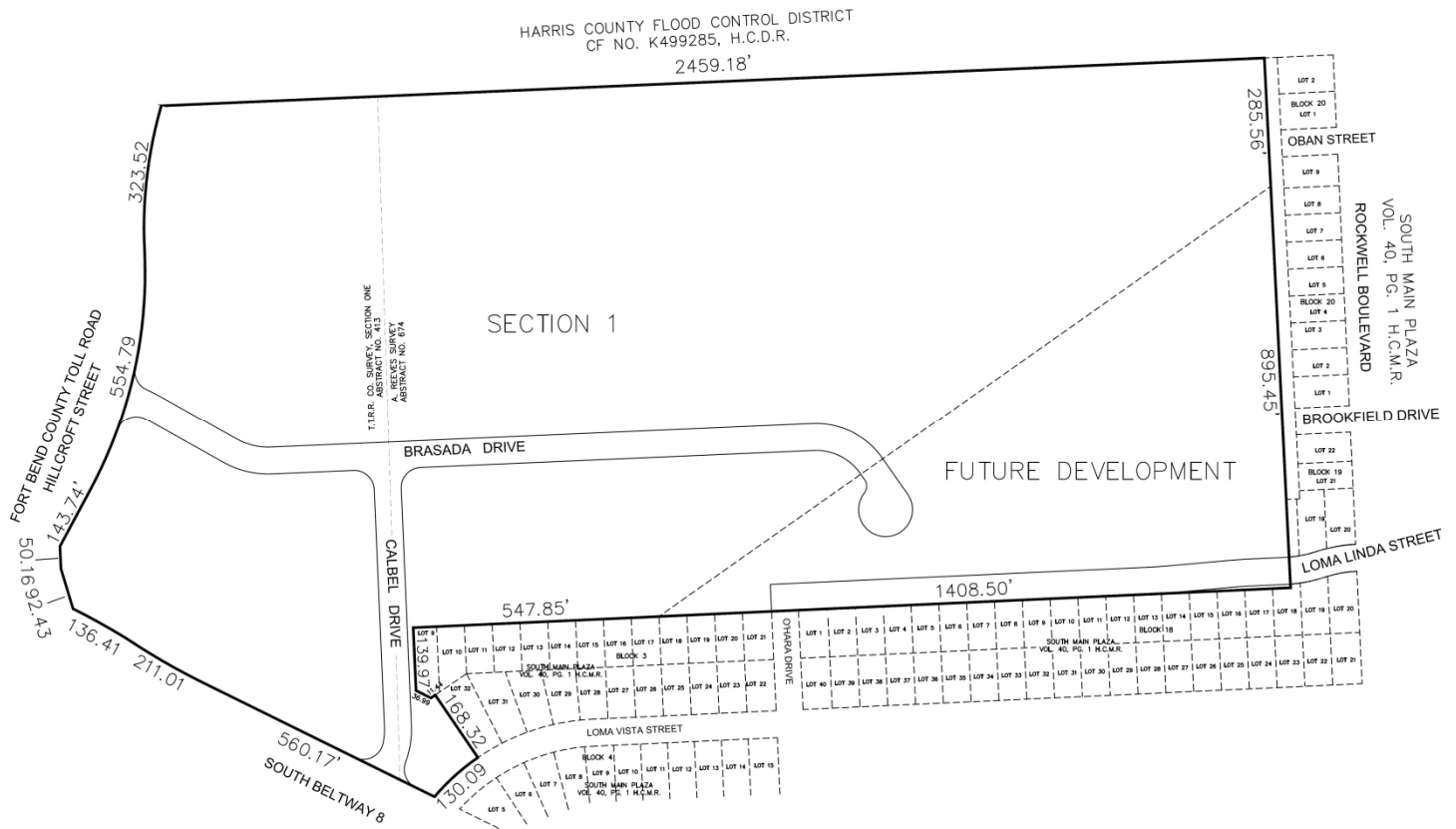
Houston Planning Commission ITEM: 147

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Beltway Southwest Business Park General

Applicant: Windrose Land Services, Inc.



F – Reconsideration of Requirements Subdivision

Houston Planning Commission ITEM: 147

Planning and Development Department

Meeting Date: 05/14/2015

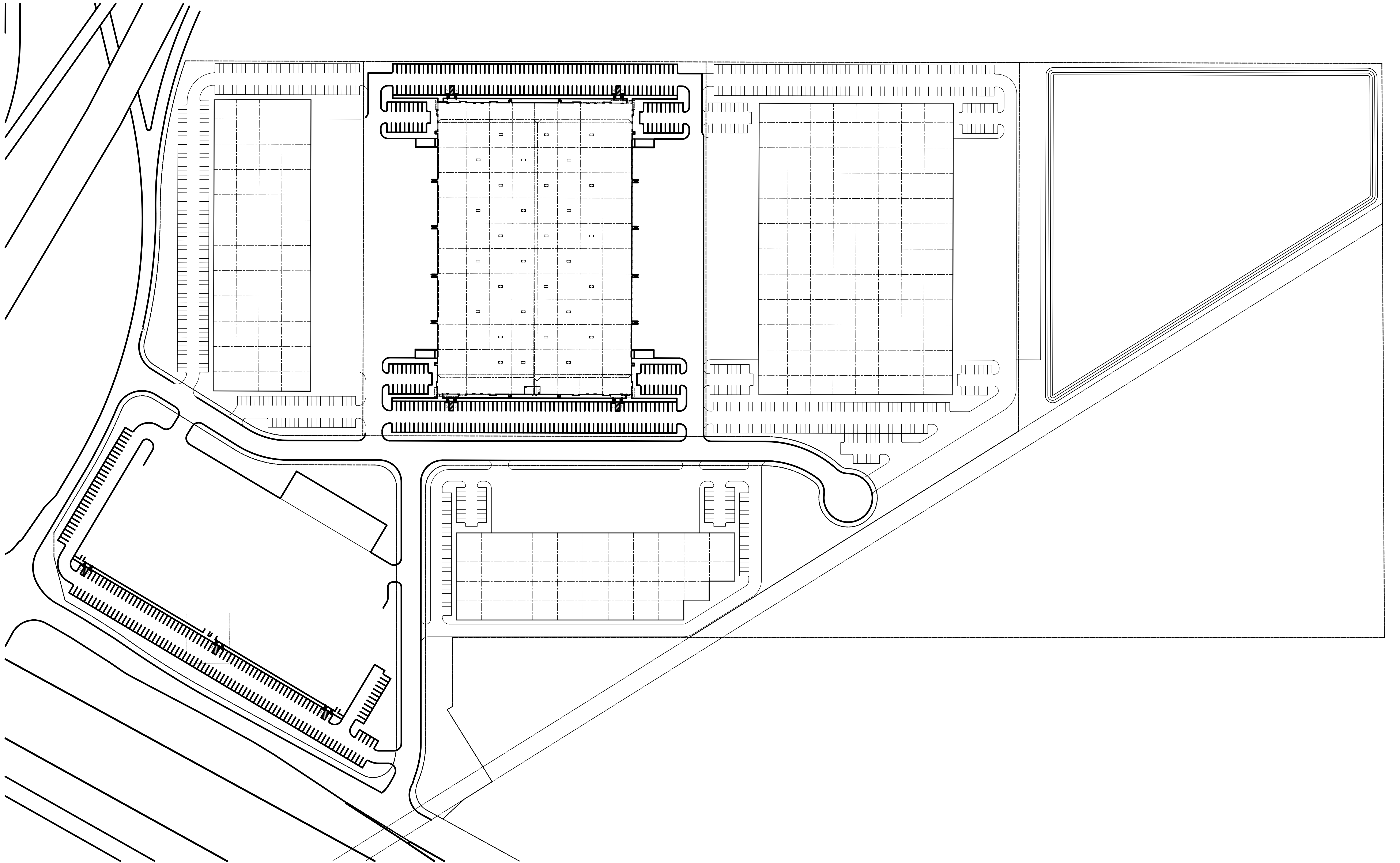
Subdivision Name: Beltway Southwest Business Park General

Applicant: Windrose Land Services, Inc.



F – Reconsideration of Requirements

Aerial





RECONSIDERATION OF REQUIREMENT Request Information Form

Application No: 2015-0901
Plat Name: Beltway Southwest Business Park GP
Applicant: Windrose Land Services, Inc.
Date Submitted: 05/02/2015

(Sec. 42-47 and Sec. 42-81)

Specific requirement or condition being sought:

1) To allow two intersections along a Major Thoroughfare to be within 600'; and, 2) To not extend or terminate with a cul-de-sac Oban Street and Brookfield Drive.

Chapter 42 Section: 127,130,135

Chapter 42 Reference:

Sec. 42-127. Intersections of major thoroughfares. (a) A major thoroughfare shall intersect with a public local street, a collector street or another major thoroughfare at least every 2,600 feet. Sec. 42-130. Intersection exceptions. (a) Nothing in the intersection standards established by sections 42-127 through 42-129 of this Code shall require: (6) The crossing of a stormwater detention facility required by a governmental entity with flood control jurisdiction by a street more than once every 2,000 feet; Sec. 42-135. Street extension. (a) A public street that terminates at the boundary of a plat previously approved by the commission without means of a vehicular turnaround shall be extended into the adjacent property at the time the adjacent property is platted unless: (1) The existing stub street is a local street and is not designated as a collector or major thoroughfare on the major thoroughfare and freeway plan; (2) The existing stub street is not shown as a through street on a current general plan approved by the commission for the subdivision in which the existing street is located or the subdivision that is the subject of the application; (3) The existing stub street is only one lot in depth; (4) The proposed subdivision will not extend residential development; and (5) The extension of the street is not required to meet the intersection spacing requirements of this chapter. If each of these criteria is met, the stub street is not required to be extended.

If this request requires a variance or special exception, the applicant must comply with the Plat Submittal Requirements and provide a completed Variance Request Information Form or Special Exception Information Form.

STATEMENT OF FACTS:

The subject property is 73.2763 acres located at the northeast corner of South Beltway 8 and Hillcroft Avenue. The Fort Bend Parkway Toll Road grade separation/flyover with Beltway 8 is also located adjacent to the property, providing the general area with excellent connectivity to the regional road network. The site is currently vacant and is bordered by a Harris County flood control complex to the north, single-family residential uses to the east and southwest, and freeways to the west and southwest. Given the location and development considerations of the site, the applicant desires to develop the property in to a master planned, commercial/non-residential complex featuring big box footprints and heavy-haul trucking infrastructure. The applicant is requesting two variances. First, the intersection of Calbel Drive - a new street and the main Beltway 8 entrance for the complex - will have to be closer to the intersection with Loma Vista Street than the 600' minimum separation required by ordinance. This is due to the fact TxDOT gore point requirements set the proposed driveway in its current location in order to maintain proper spacing from the Hillcroft Avenue and Fort Bend Parkway Toll Road underpass lane exchanges. Second, the applicant does not wish to extend two streets - Oban Street and Brookfield Drive - in to the site as it would inappropriately mix single-family residential vehicles with commercial/industrial vehicles. Not only is forcing the two street extensions unsafe and inefficient, it is not necessary to meet intersection spacing requirements.



PLANNING & DEVELOPMENT DEPARTMENT

VARIANCE Request Information Form

Application Number: 2015-0901

Plat Name: Beltway Southwest Business Park General Plan

Applicant: Windrose Land Services, Inc.

Date Submitted: 05/02/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

1) To allow two intersections along a Major Thoroughfare to have less than 600' separation; 2) To not extend or terminate with a cul-de-sac Oban Street and Brookfield Drive; and, 3) To exceed intersection spacing requirements along North property line between Beltway 8 and the northeast property corner.

Chapter 42 Section: 127,130,135

Chapter 42 Reference:

Sec. 42-127. Intersections of major thoroughfares. (a) A major thoroughfare shall intersect with a public local street, a collector street or another major thoroughfare at least every 2,600 feet. Sec. 42-130. Intersection exceptions. (a) Nothing in the intersection standards established by sections 42-127 through 42-129 of this Code shall require: (6) The crossing of a stormwater detention facility required by a governmental entity with flood control jurisdiction by a street more than once every 2,000 feet; Sec. 42-135. Street extension. (a) A public street that terminates at the boundary of a plat previously approved by the commission without means of a vehicular turnaround shall be extended into the adjacent property at the time the adjacent property is platted unless: (1) The existing stub street is a local street and is not designated as a collector or major thoroughfare on the major thoroughfare and freeway plan; (2) The existing stub street is not shown as a through street on a current general plan approved by the commission for the subdivision in which the existing street is located or the subdivision that is the subject of the application; (3) The existing stub street is only one lot in depth; (4) The proposed subdivision will not extend residential development; and (5) The extension of the street is not required to meet the intersection spacing requirements of this chapter. If each of these criteria is met, the stub street is not required to be extended.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The subject property is 73.2763 acres located at the northeast corner of South Beltway 8 and Hillcroft Avenue. The Fort Bend Parkway Toll Road grade separation/flyover with Beltway 8 is also located adjacent to the property, providing the general area with excellent connectivity to the regional road network. The site is currently vacant and is bordered by a Harris County flood control complex to the north, single-family residential uses to the east and southwest, and freeways to the west and southwest. Given the location and development considerations of the site, the applicant desires to develop the property in to a master planned, commercial/non-residential complex featuring big box footprints and heavy-haul trucking infrastructure. The applicant is requesting two variances.

First, the intersection of Calbel Drive - a new street and the main Beltway 8 entrance for the complex - will have to be closer to the intersection with Loma Vista Street than the 600' minimum separation required by ordinance. This is due to the fact TxDOT gore point requirements set the proposed driveway in its current location in order to maintain proper spacing from the Hillcroft Avenue and Fort Bend Parkway Toll Road underpass lane exchanges.

Second, the applicant does not wish to extend two streets - Oban Street and Brookfield Drive - in to the site as it would inappropriately mix single-family residential vehicles with commercial/industrial vehicles. Not only is forcing the two street extensions unsafe and inefficient, it is not necessary to meet intersection spacing requirements.

Third, the applicant cannot extend O'Hara Drive through their site to provide a north-south street in order to meet east-west intersection spacing requirements. The current block length from the Fort Bend Parkway Toll Road to Rockwell Drive along the north property line is just over 2,600 feet. Not only would extending O'Hara have the same negative consequences as extending the residential streets that abut the east property line, but there is an existing flood channel

and regional flood complex located adjacent to and north of the site that make an extension impossible and highly contrary to the public's best interest. Crossing the flood channel itself is sound enough justification not to require a north-south street, but it would be highly inappropriate to try and extend a public street through a regional detention complex that has been designed to mitigate storm water detention for the area.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The circumstances supporting the variance were not caused by the applicant and have been in place for many years. The location on two freeways and adjacent street system makes this site perfect for heavy commercial use. While this area has definitely seen a shift in favor of commercial, heavy-haul truck activity, the adjacent single-family residential neighborhood was developed decades ago. In order to achieve the highest and best use for the property without sacrificing the safety and enjoyment of the residential occupants, the traffic patterns of the two uses must not be intertwined. Regarding the driveway spacing along Beltway 8 and the Fort Bend Parkway Toll Road, the applicant has no choice but to locate Calbel Drive where it is shown. TxDOT has already approved this location and the gore point regulations prohibit the drive from being relocated any closer to Hillcroft. The hardship for the Beltway 8 spacing were caused by the expansion of the Toll Road right-of-way, which was totally outside of the applicant's control. The ability of the applicant to extend O'Hara is negated by a pre-existing flood control ditch and regional detention facility. As crossing this channel in to the detention facility is an impossibility, the only result of extending O'Hara would be to mix the heavy-haul commercial truck traffic with the residential traffic to the south with no tangible benefit to the mobility of either use.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Requiring the applicant to extend any of the three residential streets through a heavy-haul commercial complex is contrary to the intent of Chapter 42 as it would force the introduction of commercial/industrial traffic to established single-family areas. The street extensions from the east are not required to meet Chapter 42 intersection spacing requirements and they provide no improvement in mobility, as the residential area has more than adequate east/west and north/south access to Beltway 8. The residential area currently has four street intersections on Beltway 8 ranging from Rockwell Boulevard to the east to Loma Vista Street to the west. The extension from the south would satisfy intersection spacing requirements, but the road could not go any further north than the applicant's north property line. As mobility north of the site is impossible and mixing of the commercial and residential traffic patterns is also a concern, the intent and general purposes of Chapter 42 can only be preserved by not requiring O'Hara to be extended. The driveway spacing variance for Calbel Drive is simply the only possible option for the applicant. TxDOT regulations prohibit locating the street intersection any closer to Hillcroft than is proposed. Without this driveway then the complex would not have access to Beltway 8, and prohibiting an entrance on an adjacent freeway to service such a large complex is not in accordance with the intent of the City's development regulations.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variances will not be injurious to the public's health, safety, or welfare as the street network in the area – Beltway 8, Hillcroft Avenue, the Fort Bend Parkway Toll Road, and Rockwell Boulevard - provide adequate vehicular and emergency access to the surrounding area. The proposed public streets in the commercial complex maintain separation from the residential area and provide viable service for the heavy-haul vehicles that will frequent the area. Forcing the applicant to connect to existing, well-established residential streets is contrary to sound public policy as it would mix commercial and residential traffic. The existing residential streets were not constructed to handle heavy-haul vehicles. Connecting to the residential street system will give the trucks a viable outlet to S. Post Oak to the east, avoiding the need to turnaround on Beltway 8 or the toll road. This will result in numerous cut-through trips in the subdivision that will be damaging to the residential streets and dangerous to the vehicular and pedestrian traffic.

(5) Economic hardship is not the sole justification of the variance.

The conditions supporting the variance are the unique physical characteristics of the site, particularly the limitations imposed by the built-out environment and the inappropriateness of connecting inappropriate land uses. Without the requested variances, the applicant would have no option for connectivity on Beltway 8 due to TxDOT restrictions and there would be residential streets cutting through a heavy-haul commercial complex. Either one of these conditions - a major complex without access to an adjacent freeway or the mixing of incompatible traffic patterns - are not responsible development practices and are more importantly not in accordance with the intent of the City's Code of Ordinances.

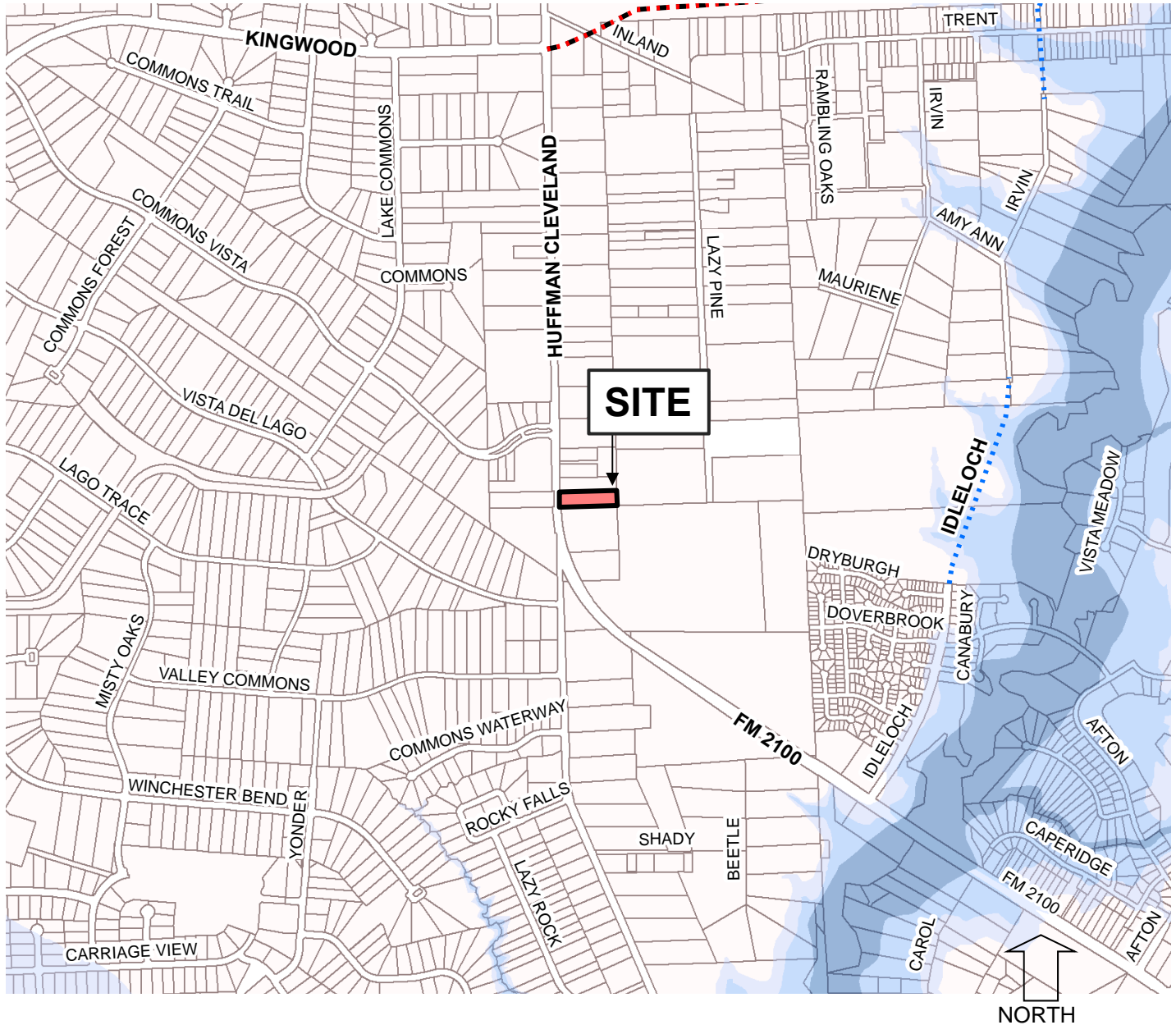
Houston Planning Commission ITEM: 14

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Huffman Dollar General

Applicant: Linfield, Hunter Junius, Inc.



F- Reconsideration of Requirements

Site Location

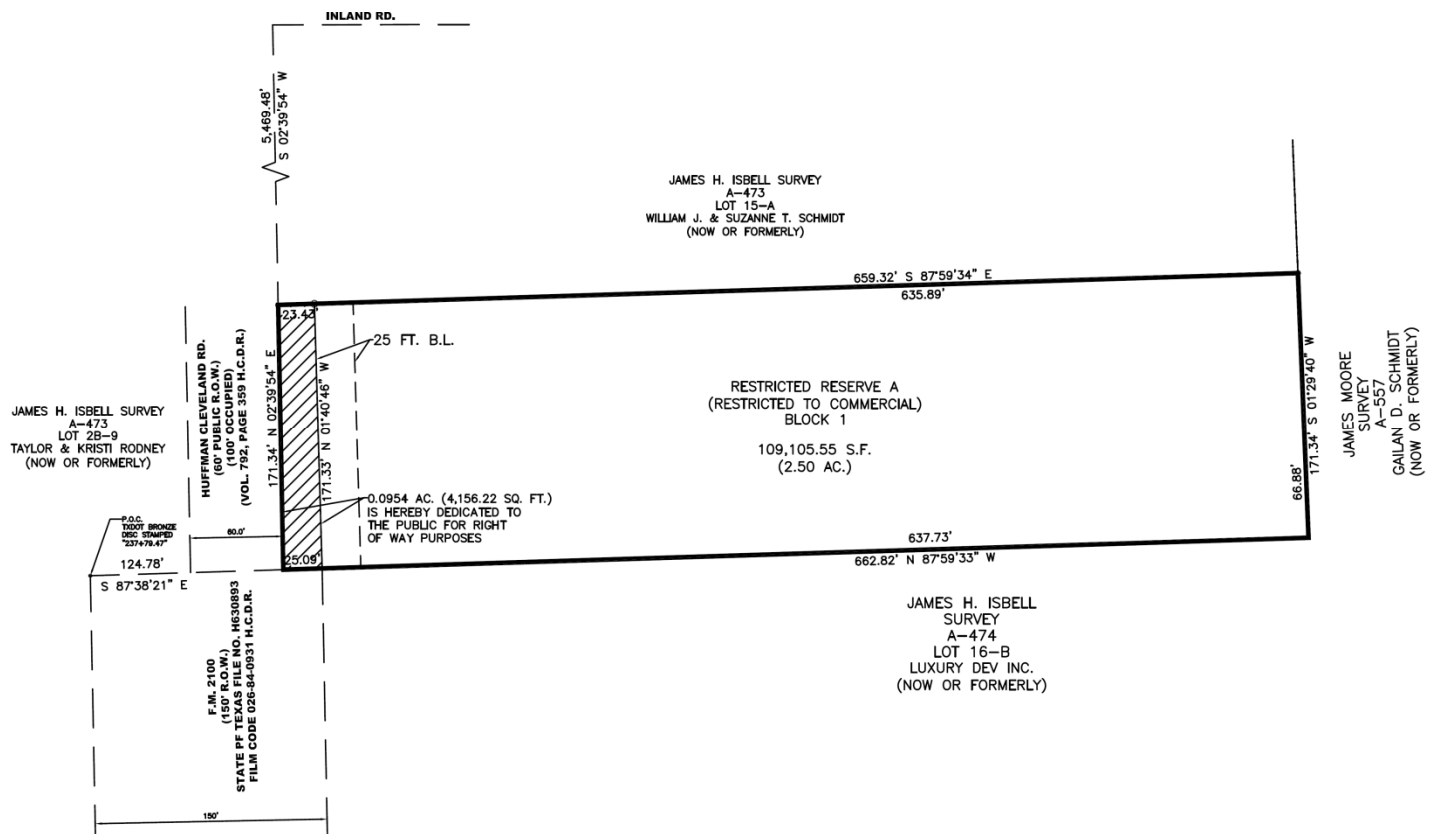
Houston Planning Commission ITEM: 14

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Huffman Dollar General

Applicant: Linfield, Hunter Junius, Inc.



F- Reconsideration of Requirements

Subdivision

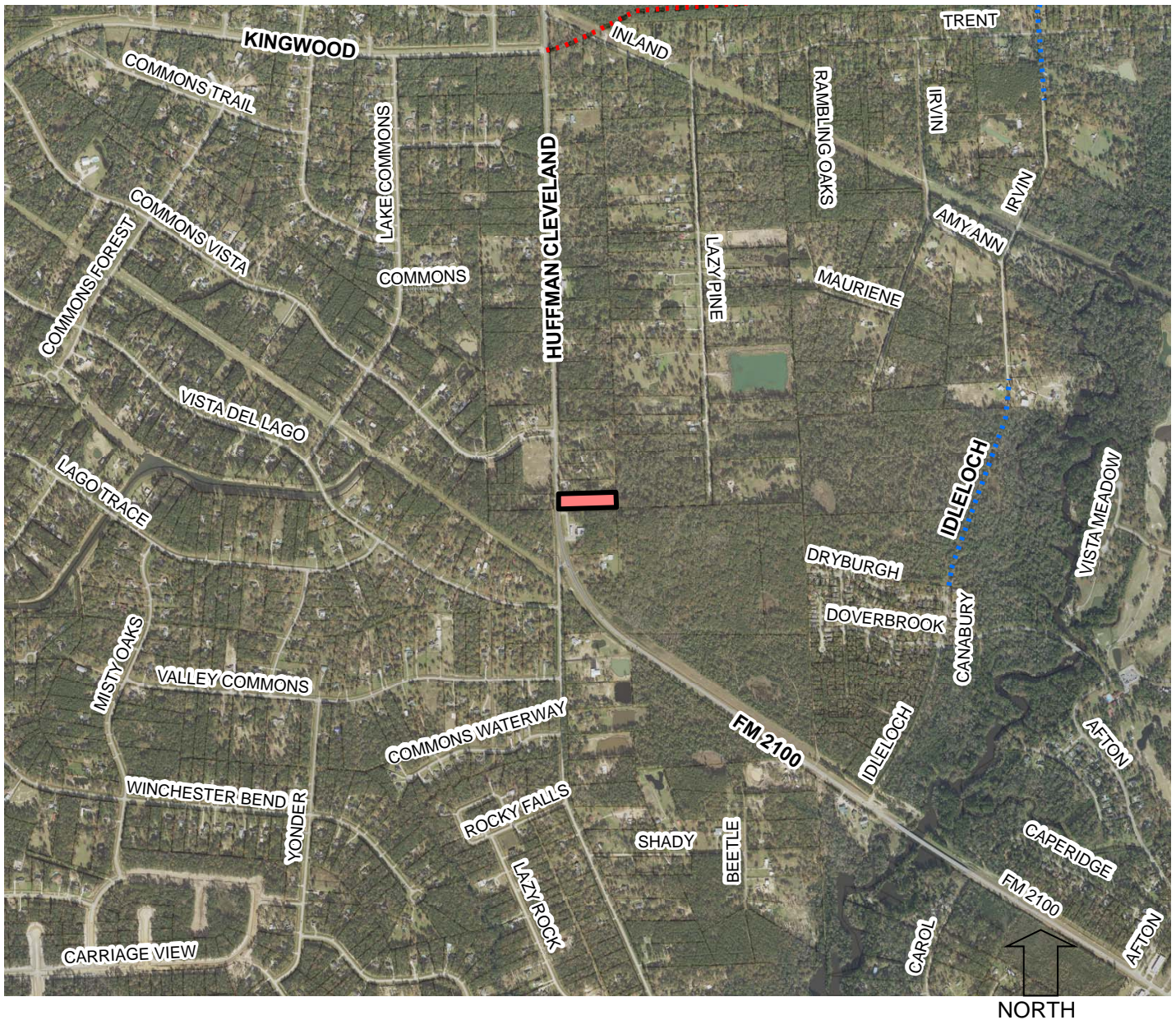
Houston Planning Commission ITEM: 14

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: Huffman Dollar General

Applicant: Linfield, Hunter Junius, Inc.



F- Reconsideration of Requirements

Aerial



RECONSIDERATION OF REQUIREMENT Request Information Form

Application No: 2015-0982
Plat Name: Huffman Dollar General
Applicant: Linfield, Hunter & Junius, Inc.
Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific requirement or condition being sought:

The site location on Huffman Cleveland Rd. currently has intersecting roads within the required 2,600 foot required interval per requirements of Section 42-127. If street is still determined to be required then see below for requested information. (1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; If the street cut through the proposed Dollar General tract is required then the remaining street frontage would be reduced from 171.33 feet to 111.33 feet per the minimum 60 foot right of way dedication requirement stated in City of Houston Code of Ordinance Section 42-122 for a local street. The building, dumpster pad, and loading area require a minimal 130 feet in width to develop the smallest prototypical Dollar General store. In addition to the required right of way dedication a 10' building setback line per City of Houston Code of Ordinance Section 42-150 and existing overhead utilities within a prescriptive 20 foot easement constrain the location of the building. In addition to the constraints caused by the above mentioned right of way dedication, building setback line, and prescriptive utility easement the road would dead end to the rear property line of the adjacent residential tract. The extension of the street stub through the residential tract would not be required per exceptions listed in the City of Houston Code of Ordinance Section 42-135. In addition to the required street cut, building and parking area, the remaining property required for the sanitary septic system, water well, and detention pond will be more than what can be provided, not only for a Dollar General development, but also for future commercial developments attempting to develop the property. (2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant; Per City of Houston Code of Ordinance Section 42-127 the proposed plat meets all of the requirements and a variance is not be requested. A reconsideration of the requirements is being requested to remove the comment referencing Section 42-127 from the final CPC 101. Further, the current frontage of the site is already minimal and the required street would dead end at the rear of a current residential property which will unlikely ever be extended since the adjacent property meets all of the exceptions listed in Section 42-135. Requiring an east west street within the

Chapter 42 Section: 127

Chapter 42 Reference:

42-127 (a) "a major thoroughfare shall intersect with a public local street, a collector street or another major thoroughfare at least every 2,600 feet."

If this request requires a variance or special exception, the applicant must comply with the Plat Submittal Requirements and provide a completed Variance Request Information Form or Special Exception Information Form.

STATEMENT OF FACTS:

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; If the street cut through the proposed Dollar General tract is required then the remaining street frontage would be reduced from 171.33 feet to 111.33 feet per the minimum 60 foot right of way dedication requirement stated in City of Houston Code of Ordinance Section 42-122 for a local street. The building, dumpster pad, and loading area require a minimal 130 feet in width to develop the smallest prototypical Dollar General store. In addition to the required right of way dedication a 10' building setback line per City of Houston Code of Ordinance Section 42-150 and existing overhead utilities within a prescriptive 20 foot easement constrain the location of the building. In addition to the constraints caused by the above mentioned right of way dedication, building setback line, and prescriptive utility easement the road would dead end to the rear property line of the adjacent residential tract. The extension of the street stub through the residential tract would not be required per exceptions listed in the City of Houston Code of Ordinance Section 42-135. In addition to the required street cut, building and parking area, the remaining property required for the sanitary septic system, water well, and detention pond will be

more than what can be provided, not only for a Dollar General development, but also for future commercial developments attempting to develop the property. (1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy; (2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant; Per City of Houston Code of Ordinance Section 42-127 the proposed plat meets all of the requirements and a variance is not be requested. A reconsideration of the requirements is being requested to remove the comment referencing Section 42-127 from the final CPC 101. Further, the current frontage of the site is already minimal and the required street would dead end at the rear of a current residential property which will unlikely ever be extended since the adjacent property meets all of the exceptions listed in S



Application Number: 2015-0982

Plat Name: Huffman Dollar General

Applicant: Linfield, Hunter & Junius, Inc.

Date Submitted: 05/04/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Reconsideration of requirements with a variance is being sought for requiring a street cut through the proposed platted Dollar General property.

Chapter 42 Section: 42-127 (a)

Chapter 42 Reference:

A major thoroughfare shall intersect with a public local street, a collector street or another major thoroughfare at least every 2,600 feet.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

The site location on Huffman Cleveland Rd. currently has intersecting roads within the required 2,600 foot required interval. If the street cut through the proposed Dollar General tract is required then the remaining street frontage would be reduced from 171.33 feet to 111.33 feet per the minimum 60 foot right of way dedication requirement stated in City of Houston Code of Ordinance Section 42-122 for a local street. The building, dumpster pad, and loading area require a minimal 130 feet in width to develop the smallest prototypical Dollar General store. In addition to the required right of way dedication a 10' building setback line per City of Houston Code of Ordinance Section 42-150 and existing overhead utilities within a prescriptive 20 foot easement constrain the location of the building. In addition to the constraints caused by the above mentioned right of way dedication, building setback line, and prescriptive utility easement the road would dead end to the rear property line of the adjacent residential tract. The extension of the street stub through the residential tract would not be required per exceptions listed in the City of Houston Code of Ordinance Section 42-135. In addition to the required street cut, building and parking area, the remaining property required for the sanitary septic system, water well, and detention pond will be more than what can be provided, not only for a Dollar General development, but also for future commercial developments attempting to develop the property. Per the above information and translation of the code the site is within the 2,600 foot street intersection threshold from the north and south as required in Section 42-127. If the road is still required then it would remove 60 feet of the 171.34 feet from the properties current available frontage creating a site too small to be developed by Dollar General and future developments.

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Per City of Houston Code of Ordinance Section 42-127 the proposed plat meets all of the requirements and a variance is not be requested. A reconsideration of the requirements is being requested to remove the comment referencing Section 42-127 from the final CPC 101. Further, the current frontage of the site is already minimal and the required street would dead end at the rear of a current residential property which will unlikely ever be extended since the adjacent property meets all of the exceptions listed in Section 42-135. Requiring an east west street within the proposed development would be impractical and would not improve traffic circulation.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Correct, the code states, "a major thoroughfare shall intersect with a public local street, a collector street or another major thoroughfare at least every 2,600 feet." Since the site intersects a public local street, a collector street or another major thoroughfare within the required 2,600 feet then the intent and general purposes of this chapter will be preserved

and maintained. Further, the purpose of the section from Chapter 42 is to create sufficient circulation and access for the surrounding areas. The road will likely not be extended through the adjacent property due to the adjacent property meeting all of the exceptions listed in Section 42-135.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

Correct, the granting of the variance will not be injurious to the public health, safety or welfare. If the street is required it would dead end to the rear of a residential property creating an area likely to be prone to vandalism and illegal activities.

(5) Economic hardship is not the sole justification of the variance.

Correct, given the above-mentioned minimal width of the Dollar General development and requirements for the roadway the site is not wide enough to provide enough room for the proposed Dollar General Store and the required street to both be constructed. Applying the referenced code excerpt at this location is impractical given site conditions and existing parcel configuration.

Houston Planning Commission ITEM: 149

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: SLC Realty Area Fifty One

Applicant: The Pinnell Group, LLC



F Reconsideration of Requirements

Site Location

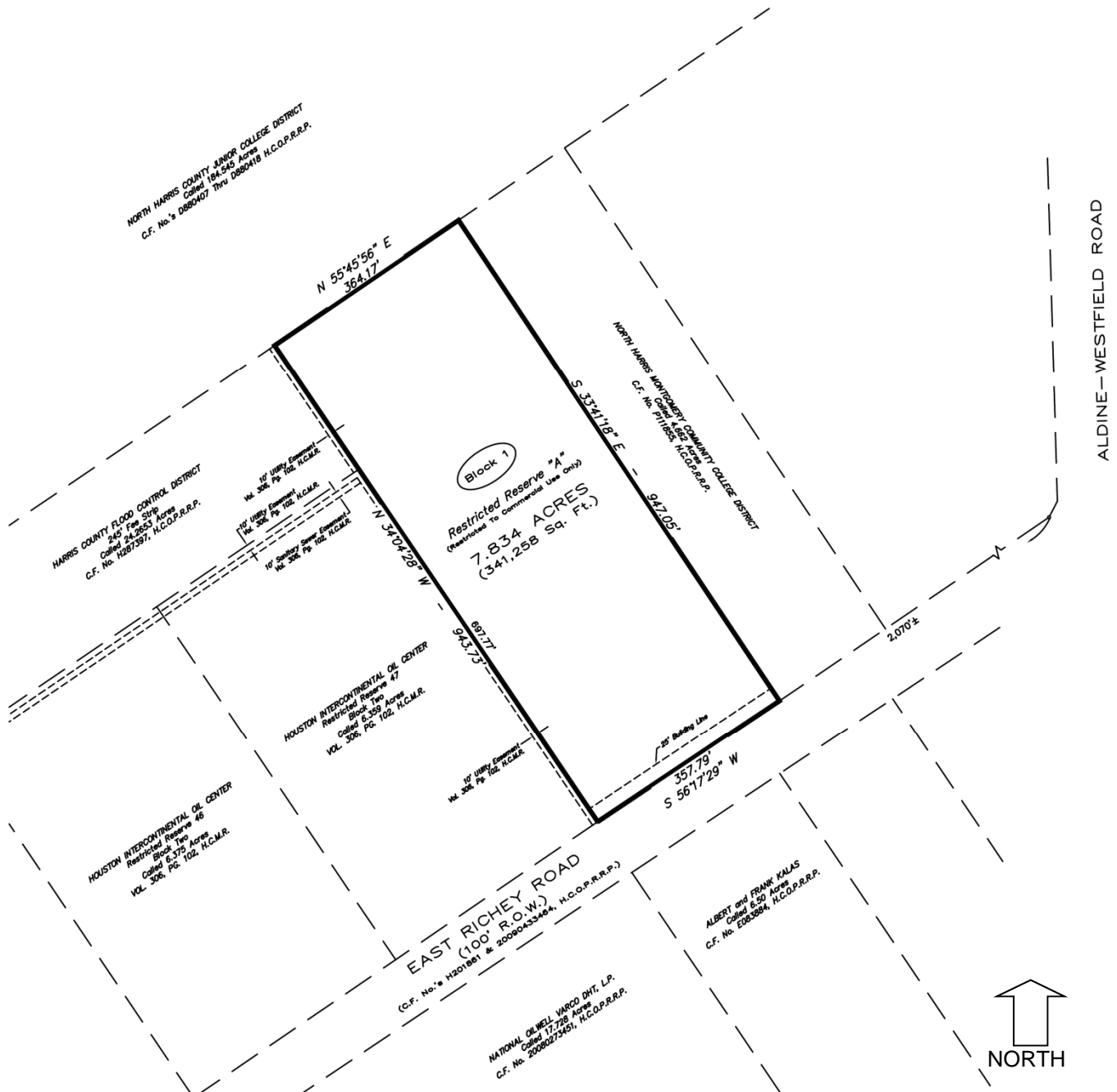
Houston Planning Commission ITEM: 149

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: SLC Realty Area Fifty One

Applicant: The Pinnell Group, LLC



F Reconsideration of Requirements

Subdivision

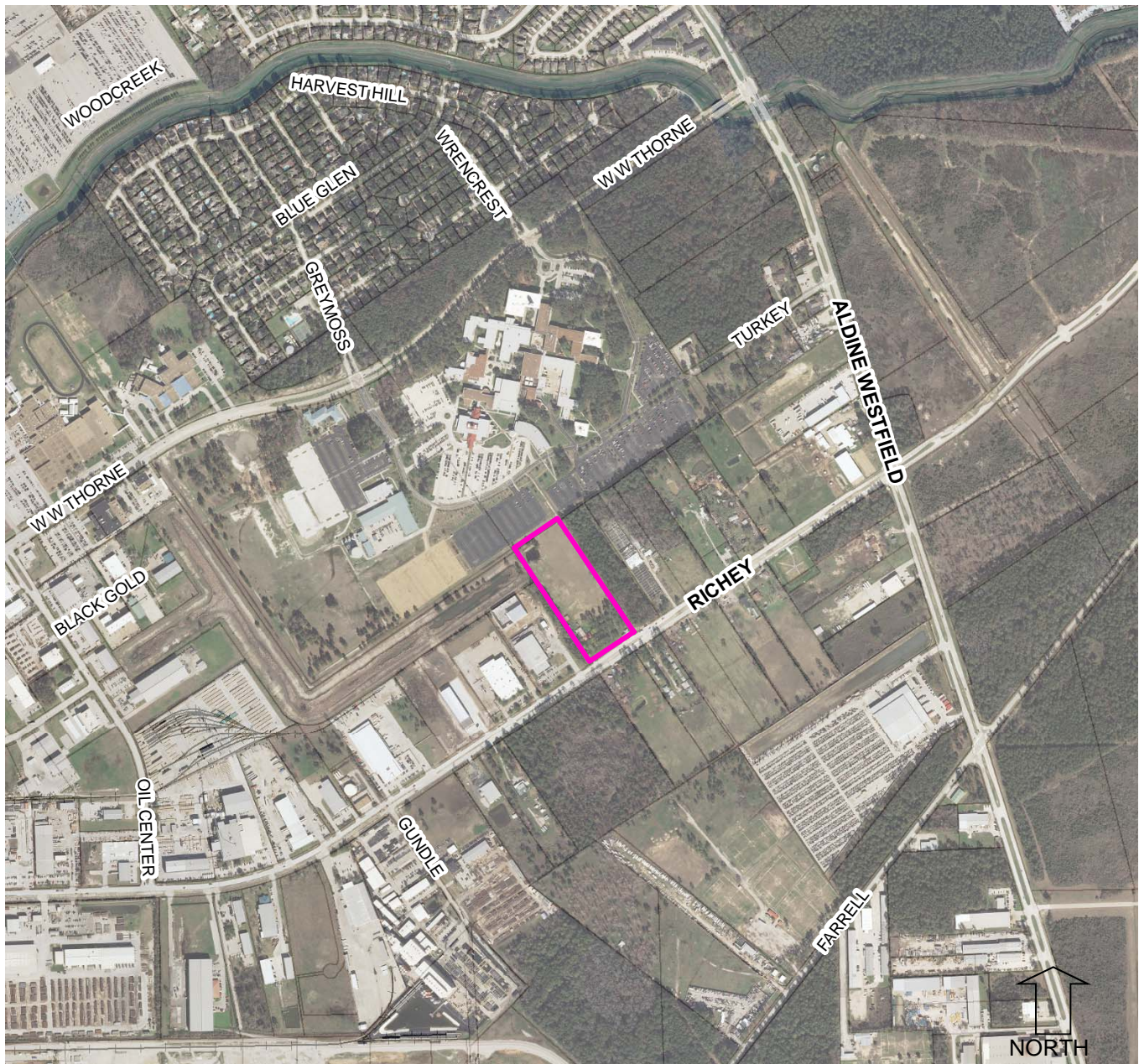
Houston Planning Commission ITEM: 149

Planning and Development Department

Meeting Date: 05/14/2015

Subdivision Name: SLC Realty Area Fifty One

Applicant: The Pinnell Group, LLC



F Reconsideration of Requirements

Aerial



**PLANNING &
DEVELOPMENT
DEPARTMENT**

**RECONSIDERATION OF REQUIREMENT
Request Information Form**

Application No: 2015-0880
Plat Name: SLC Realty Area Fifty One
Applicant: The Pinnell Group, LLC
Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific requirement or condition being sought:

Not to provide a north/south road through the tract, creating a 6,000' distance along Richey Road thus exceeding the 2600' intersection spacing requirement.

Chapter 42 Section: 42-127

Chapter 42 Reference:

42-127

If this request requires a variance or special exception, the applicant must comply with the Plat Submittal Requirements and provide a completed Variance Request Information Form or Special Exception Information Form.

STATEMENT OF FACTS:

Variance Required



Application Number: 2015-0880

Plat Name: SLC Realty Area Fifty One

Applicant: The Pinnell Group, LLC

Date Submitted: 05/01/2015

(Sec. 42-47 and Sec. 42-81)

Specific Variance is being sought and extent of variance:

Not to provide a north/south road through the tract, creating a 6,000' distance along Richey Road thus exceeding the 2600' intersection spacing requirement.

Chapter 42 Section: 42-127

Chapter 42 Reference:

Sec. 42-127. Intersections of major thoroughfares. (a) A major thoroughfare shall intersect with a public local street, a collector street or another major thoroughfare at least every 2,600 feet.

Statement of Facts

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR

(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

This property is to be developed for industrial use. It is immediately adjacent to and south of the Lone Star College North Harris College campus. The campus is not platted, is not subdividing its property, and was established prior to the passage of Chapter 42 in 1982. If a north/south road were to be provided through this tract, its extension through to West W. Thorne Drive would go through the college parking lot and buildings. The campus has a loop circulation system that connects West W. Thorne Drive with Aldine Western and plans to build a driveway connection from the portion of the loop they have named Hurricane Lane south to Richey Road. This future driveway will go through the parcel purchased by the college immediately east of this industrial tract, which has an existing curb cut and median crossover already in place. Creating what would be a dead-end public road through this tract will not enhance area circulation and is contrary to sound public policy. Further, it would create a security problem for the industrial facility.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The college campus was in place prior to the adoption of Chapter 42.

(3) The intent and general purposes of this chapter will be preserved and maintained;

Area circulation will be provided by the (public) college driveway system of driveways.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The public welfare will be protected by the circulation system being provided by the college.

(5) Economic hardship is not the sole justification of the variance.

The justification for the variance is that a public street through this property would be a dead-end, not adding to area mobility, and is contrary to sound public policy.



Houston Planning Commission

VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to planning.variances@houstontx.gov prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at www.houstonplanning.com.

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
JRP COMPANY	Bobby Philips Jenifer Pool	832-622-3819 832-594-8420	OEMTWR@GMAIL.COM JRPCOM@AOL.COM		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
201 Westmoreland	15040234	77006	5356B	492N	C

HCAD ACCOUNT NUMBER(S): 0370320000010
PROPERTY LEGAL DESCRIPTION: LOTS 10, 11, 12, & 13 BLOCK 4 WESTMORELAND
PROPERTY OWNER OF RECORD: THOMAS P ROBINSON
ACREAGE (SQUARE FEET): 25,000 sq. ft.
WIDTH OF RIGHTS-OF-WAY: WESTMORELAND STREET 100q GARROTT STREET 60q
EXISTING PAVING SECTION(S): WESTMORELAND STREET 40q GARROTT STREET 35q
OFF-STREET PARKING REQUIREMENT: 2
OFF-STREET PARKING PROVIDED: 2
LANDSCAPING REQUIREMENTS: Complies
LANDSCAPING PROVIDED: Complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]: 7,626 sq. ft.
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]: 12qopen metal fence

PURPOSE OF VARIANCE REQUEST: To allow the replacement of an existing 8qhigh open metal fence with a 12qhigh open metal fence, on the zero lot line, along Westmoreland and Garrott Streets instead of the ordinance required building line.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

CHAPTER 42 REFERENCE (S): Sec. 42-155 Building Line requirement. Collector and local streets— Uses other than single-family residential (a) The building line requirement for a tract used or to be used for other than single-family residential purposes adjacent to a street that is a collector street or local street that is not an alley shall be ten feet unless otherwise required or authorized by this chapter.

42-272.(2). The buffer area shall include a ten foot landscape buffer from the property line of the abutting development. The landscape buffer shall include: **(a)** An eight foot tall solid masonry wall along the property line or an 8 foot tall wooden fence if a utility easement runs along the property line.

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE): HCAD identifies this property as Lots 10, 11, 12, & 13, Block 4 of the Westmoreland subdivision. The property is an historical building original constructed in 1885 as a single family residence at the corner of Westmoreland Street and Garrott Street, both local streets. The fence is not regarded as historical and can be modified. Currently there is an existing 8+open metal fence with a brick base and on a zero lot line and does not provide adequate security necessary for this historical building.

Lots 10, 11, 12, & 13, Block 4 currently has a single family home per HCAD records.

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@houstontx.gov.

- (1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or**

This is property has functioned as a single family home lot since 1885. Requiring the limit 8ft to the fence would create an undue hardship in that the existing fence is inadequate for the necessary security of this historical building.

- (1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

Requiring the limit of 8ft height for fences per Sec. 42-150 and Sec. 42-272 would create an undue hardship by not allowing adequate security for this historical building.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

- (2) **The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

Since all other homes on West Lane have been built with the current front building line and 10qbuilding line along the southern side of the property and a zero line for a 12qfence, approved by the River Oaks Property Owners (See attached) the variance will in no way impose undue circumstances on the surrounding homes.

- (3) **The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purposes of Chapter 42 is to provide sensible development, not prohibit development. Lots 10, 11, 12, & 13, Block 4 is an existing lot that does not allow any options for development other than single family. The intent and general purposes of this chapter will be preserved by allowing sensible development and encouraging the uses that are already present in this neighborhood and the 12qfence on zero lot line preserve and maintain the intent of Chapter 42.

- (4) **The granting of the variance will not be injurious to the public health, safety or welfare;**

Westmoreland Street and Garrott street are both local streets and do not serve as a major artery in the neighborhood. The granting of the variance will not be injurious to the public health, safety or welfare as there are other properties in the area with fences that are generally the same size. The 12+open metal fence will have an attractive and appealing appearance congruent with the appearance of the neighborhood. .

- (5) **Economic hardship is not the sole justification of the variance.**

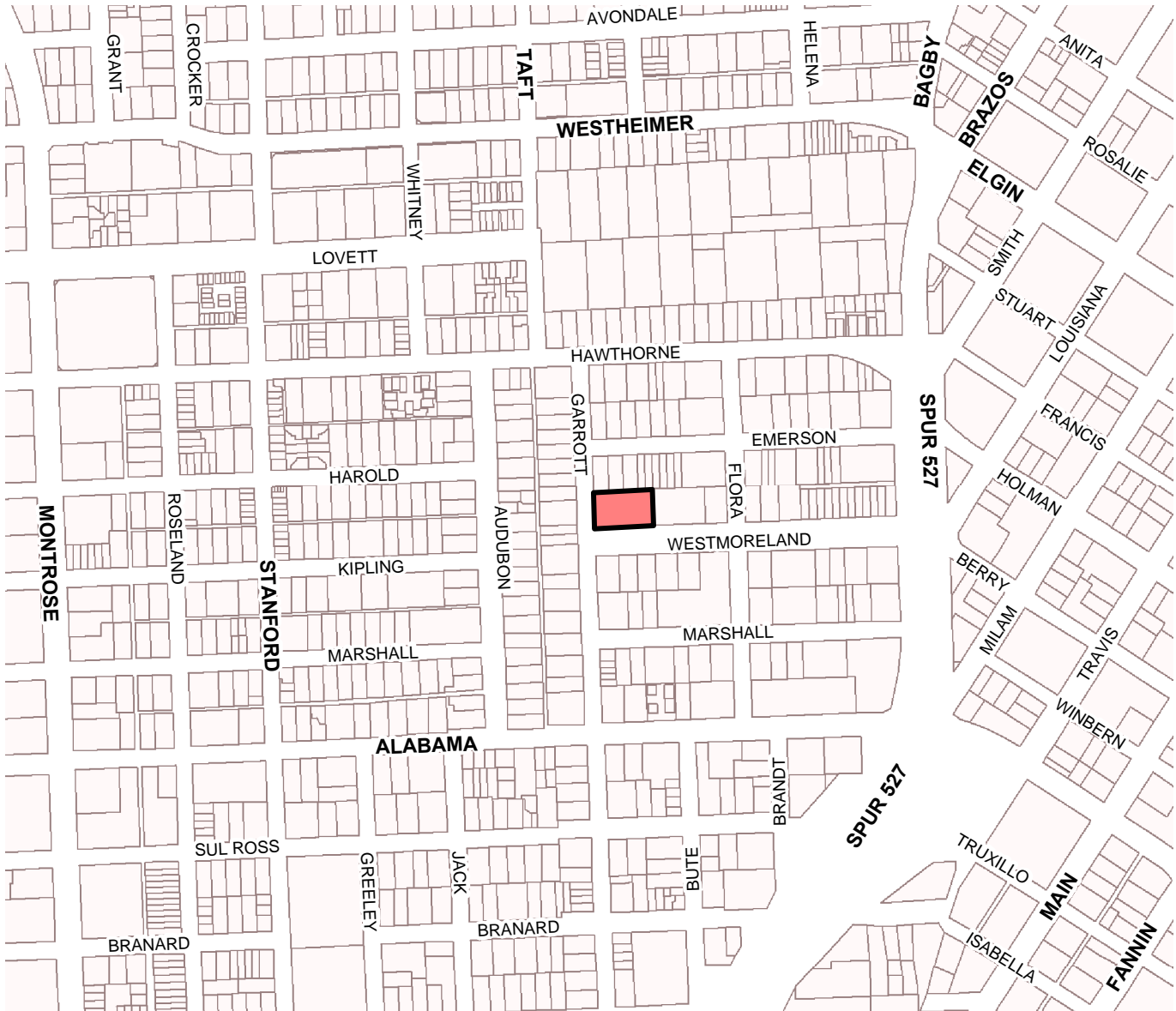
The hardship is that this property is an existing condition with an 8qopen fence on zero lot line. Lots 10, 11, 12, & 13, Block 4 is an historical single family home. The request to not limit the fence to 8q per Sec. 42-150 and Sec. 42-272 (2) (a) will allow for a 12qfence for adequate security. Without these variances the lot will not be reasonably secure. Lots that are sensibly developed and have nice homes on them is a better use of the land.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

LOCATON MAP



DEVELOPMENT PLAT VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 165

Meeting Date: 05/14/2015

Houston Planning Commission

AERIAL MAP

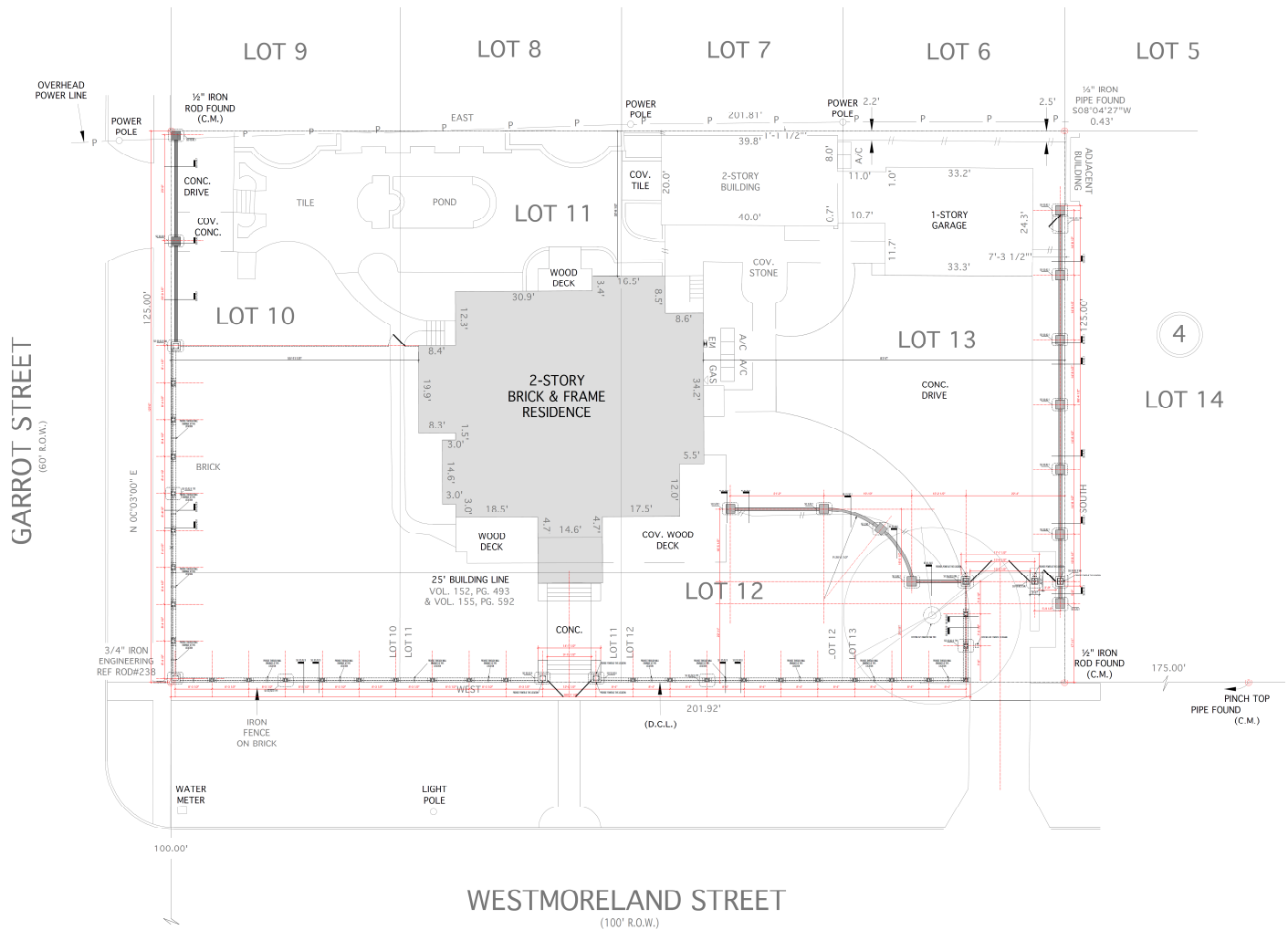


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

SITE PLAN



DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to planning.variances@houstontx.gov prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at www.houstonplanning.com.

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Owens Management Systems, LLC	Joyce Owens	713-643-6333	jo@omsbuild.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
3819 S MacGregor Way	15016166	77021	5455	533H	D

HCAD ACCOUNT NUMBER(S):	0611370600019
PROPERTY LEGAL DESCRIPTION:	Tract 2A, Block 60, Riverside Terrace Sec 12
PROPERTY OWNER OF RECORD:	Claude D & Taneah D Vaughn
ACREAGE (SQUARE FEET):	0.328 acres / 14,061 sf
WIDTH OF RIGHTS-OF-WAY:	S MacGregor Way- 100qROW
EXISTING PAVING SECTION(S):	50qPaving Section
OFF-STREET PARKING REQUIREMENT:	complies
OFF-STREET PARKING PROVIDED:	complies
LANDSCAPING REQUIREMENTS:	complies
LANDSCAPING PROVIDED:	complies
EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	8,795 sq. ft.
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	9,588 sq.ft. (Enclosing existing 793 sf porch & staircase)

PURPOSE OF VARIANCE REQUEST: To allow the enclosure of the existing open porch and stair case to encroach average 13.5 feet into the 25qbuilding line along S MacGregor Way a major thoroughfare.

CHAPTER 42 REFERENCE(S): 42-152 . The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

A variance is requested to allow for a 12-foot reduced building line for the enclosure of an existing second floor balcony on the west side of house, the enclosure of the first floor porch on the east side of the house to create for a staircase to the second floor and a new wall section framing the front entrance within the existing porch area.

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@houstontx.gov.

- (1a) **The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or**
- (1b) **Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

S MacGregor Way is a 100-foot thoroughfare, with a 50-foot paved section and 30-foot undeveloped section on the south side of S. MacGregor Way with curb and gutter. The subject lot has 93-feet depth. The existing home is set back 12 feet from the property line, creating a 42-foot setback from the back of curb to the house. Within the undeveloped right-of-way, there is a portion of the semi-circle paved driveway that is maintained by the homeowner.

Riverside Terrace Section 12 is deed restricted. The original deed restrictions filed in 1935 calls for a 75-foot building line. However, the deed restrictions clearly state that 75 feet and the same restrictions shall be placed on the property on the North side of South MacGregor Way (except as to building lines) or more. See Volume 991, Page 443 of the Deed Records of Harris County. The proposed development meets all of the stipulations of the deed restrictions pertaining to lots on north side of S. MacGregor Way.

The existing structure is a two-story home, originally constructed in 1952 prior to the adoption of the Major Thoroughfare Plan. In 2003, the owner applied for remodel permit but permits were not issued. The current owner purchased the property in 2014. They are in the remodel permitting process. The interior remodel building permits have been approved by Code Enforcement. The new façade will be Mediterranean style.

The existing structure has an average 13-foot encroachment of the existing second floor open terrace and 3 feet for the first floor open porch. The development has an existing semi-circular driveway.

- (2) **The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The circumstances supporting the granting of the variance are due to the lot configuration and Brays Bayou. Per 2014 FIRM map, a portion of the back of the property is in the 500 and 100 year flood plains. Per CIP and Public Works & Engineering, there are no plans to increase the paved section of the right-of-way.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

There are 2 other platted lots on the north side of S. MacGregor Way: Tract A (corner lot), Tract A-1 (3807 S MacGregor Way) & Tract A-2 (3819 S MacGregor Way), from Scott Street to Calhoun with an average of 90-feet in depth. Tracts A-1 and A-2 are vacant land. There is a multi-family garden apartment development directly behind the 3 platted lots that is accessed from Scott Street. The remainder of the land is Brays Bayou owned by the Harris County Flood Control District.

The character of the three lots differs from all to the lots on the South side of S. MacGregor Way. The lots on the South side of S MacGregor Way, from Scott to Roseneath, are at least 225 feet deep and 22,500 square feet. The residential lots from Roseneath to Calhoun are at least 220 feet deep.

The remodel on the west side of the house is to enclose the second story bedroom and eliminate the terrace. The enclosure of the existing open porch on the east side to the house is to remodel the open patio to create a staircase to the second floor. There will be no habitable space added to the east side of the house. No additional square footage is added to the footprint of the house.

The existing structure has one staircase to the second floor on the east side of the house. To improve life-safety measures and provide additional egress option in emergency situations, the owner proposes to add a staircase to the west side of the house. The proposed staircase would come through the second floor bedroom. To maintain the existing bedroom square footage, the terrace will be enclosed. The interior remodel plans include staircase reconfiguration to include the west porch area.

The front entrance of the house will receive a face lift to include a defined entrance. The remodel is within the existing porch area.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The existing house was constructed in 1952 prior to the adoption of the Major Thoroughfare Plan. S. MacGregor Way, from the Braeswood east to Ardmore is 3 lanes, one direction and primarily serves commercial developments. However, at Ardmore Street, S. MacGregor Way becomes 2-lane, east & west flow, and services residential neighborhoods less traveled. S MacGregor Way terminates at Calhoun.

Per the most current data, 2012 City of Houston Traffic Count Report, the ADT for S. MacGregor, from Almeda to Ardmore is 10,422; from Ardmore to Scott is 4,995; and from Scott to Calhoun (subject property location) is 1,343. This segment of S. MacGregor Way serves more as a Collector Street.

There is 30'± undeveloped ROW from the back of curb to the property line. Existing 12'± from the property line to the 25' building line. The structure is 42'± from the paved section of S. MacGregor Way and separated by a semi-circular driveway. This complies with the spirit of the ordinance.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The granting of the variance will not be injurious to the public health, safety or welfare. The house elevation, in its current state, is substandard to homes in Riverside Terrace Section 12. The proposed exterior remodel is Mediterranean style and will compliment the neighborhood. The existing semi-circular driveway allows for vehicles to safely enter S. MacGregor Way eliminating backing onto ROW.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

(5) Economic hardship is not the sole justification of the variance.

Economic hardship is not the sole justification of the variance. It is to upgrade the façade to meet the style and quality of the homes in Riverside Terraces Sec. 12 without increasing the footprint.

The granting of the variance is consistent with the development variance granted to 3807 S. MacGregor Way for a 10-foot building line for new construction in 2008 . project #08056392.

DEVELOPMENT PLAT VARIANCE



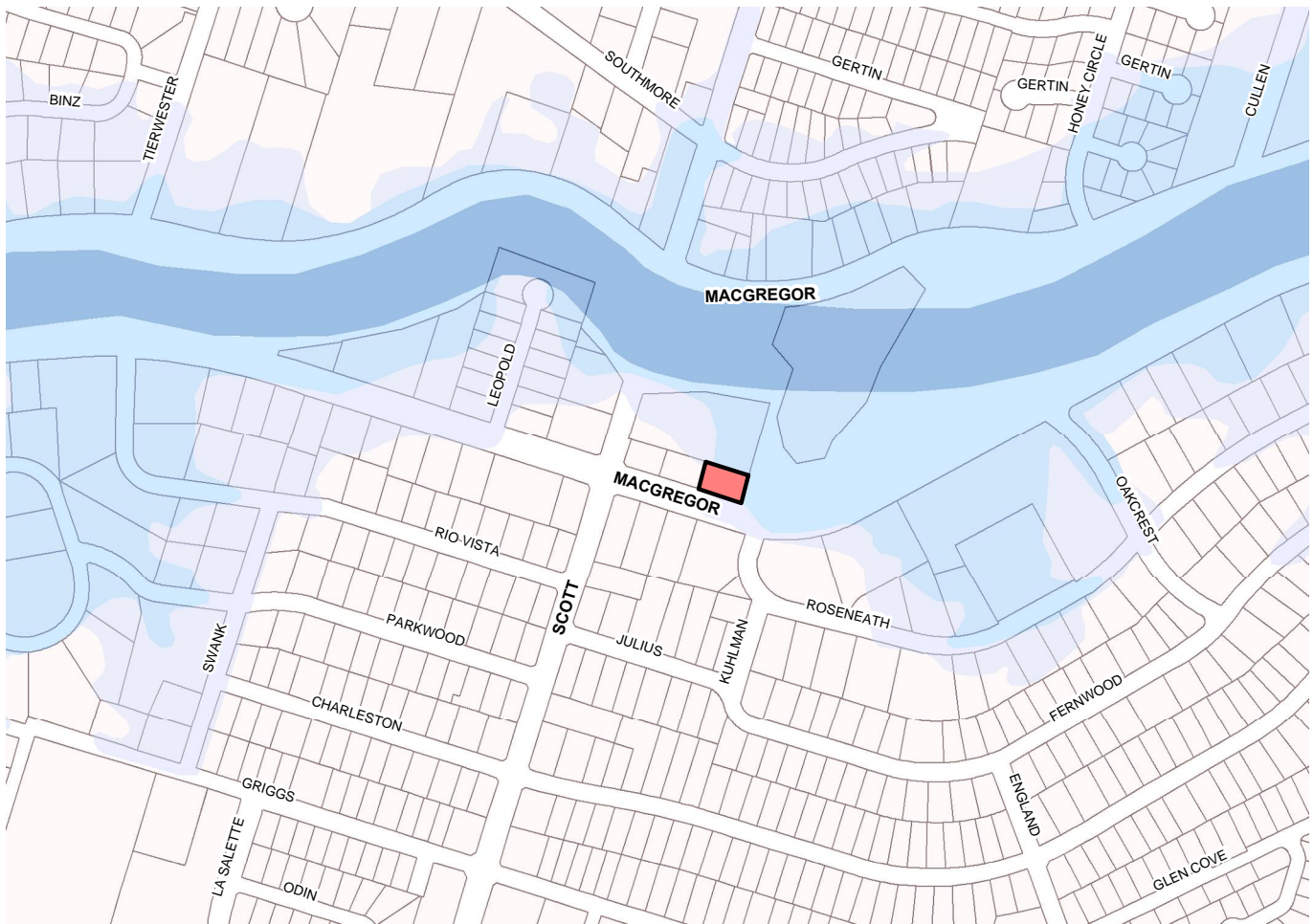
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 164

Meeting Date: 05.14.15

Houston Planning Commission

LOCATION MAP



DEVELOPMENT PLAT VARIANCE



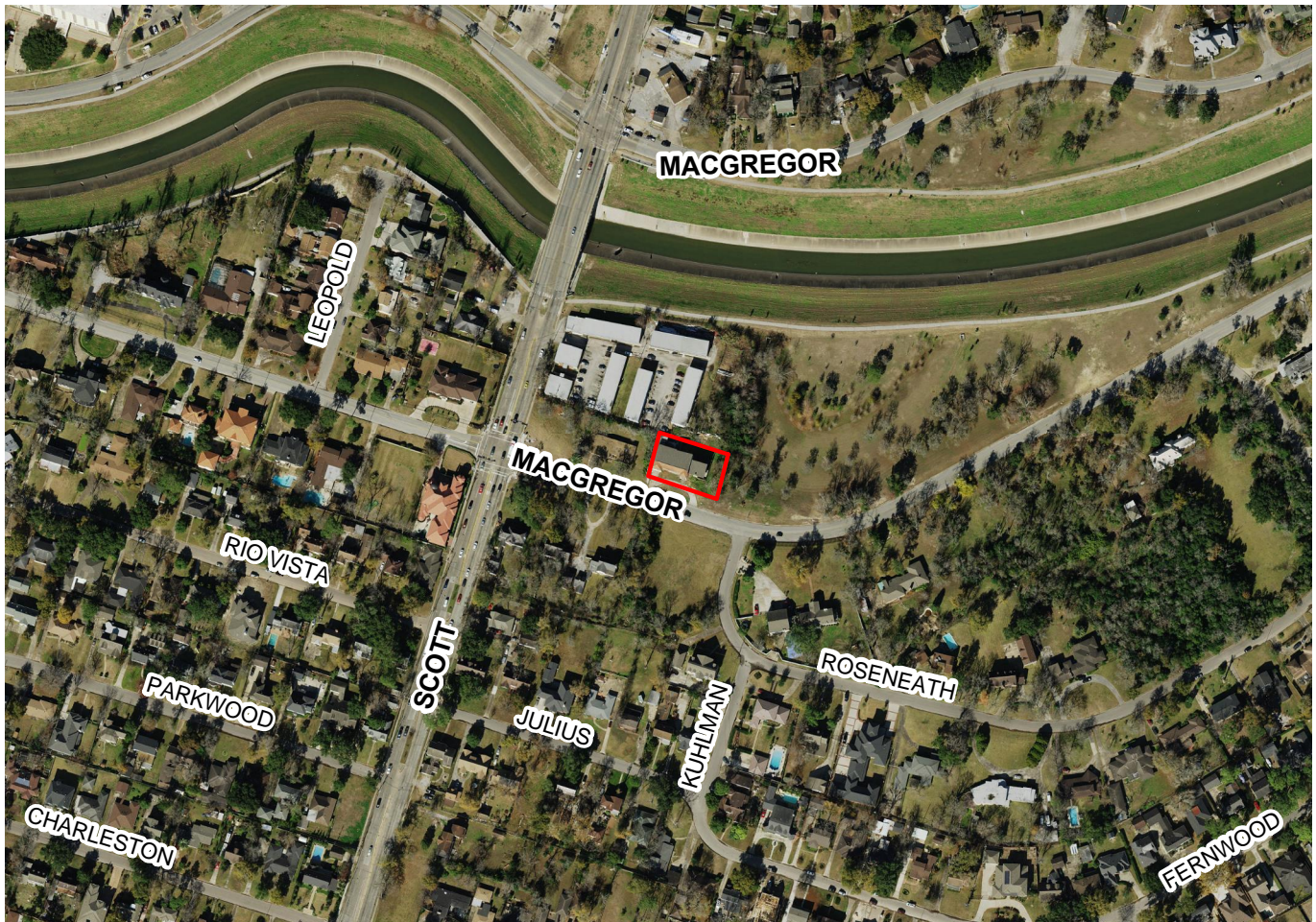
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 164

Meeting Date: 05.14.15

Houston Planning Commission

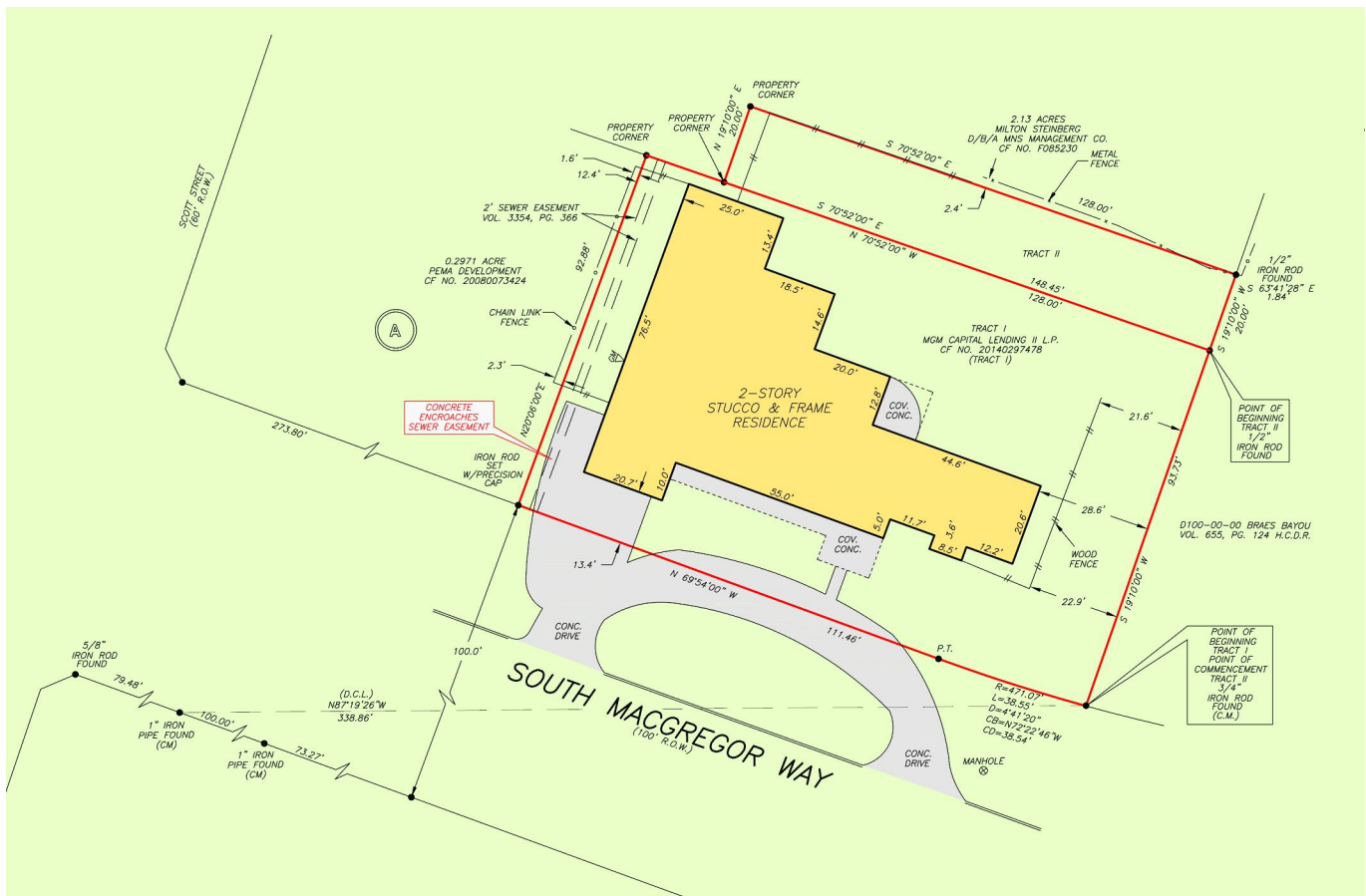
AERIAL MAP



DEVELOPMENT PLAT VARIANCE



EXISTING CONDITONS SURVEY

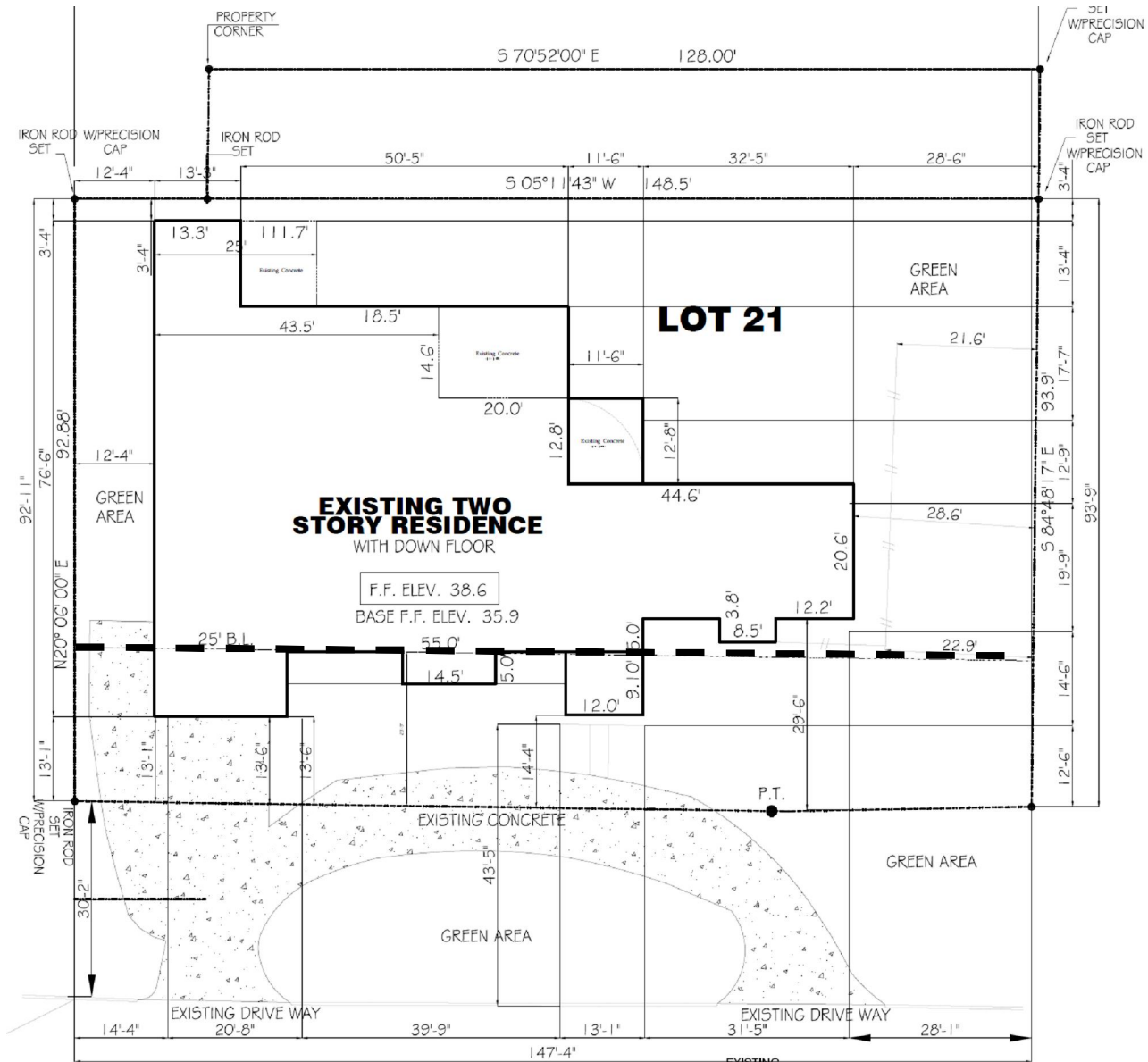


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

EXISTING SITE PLAN

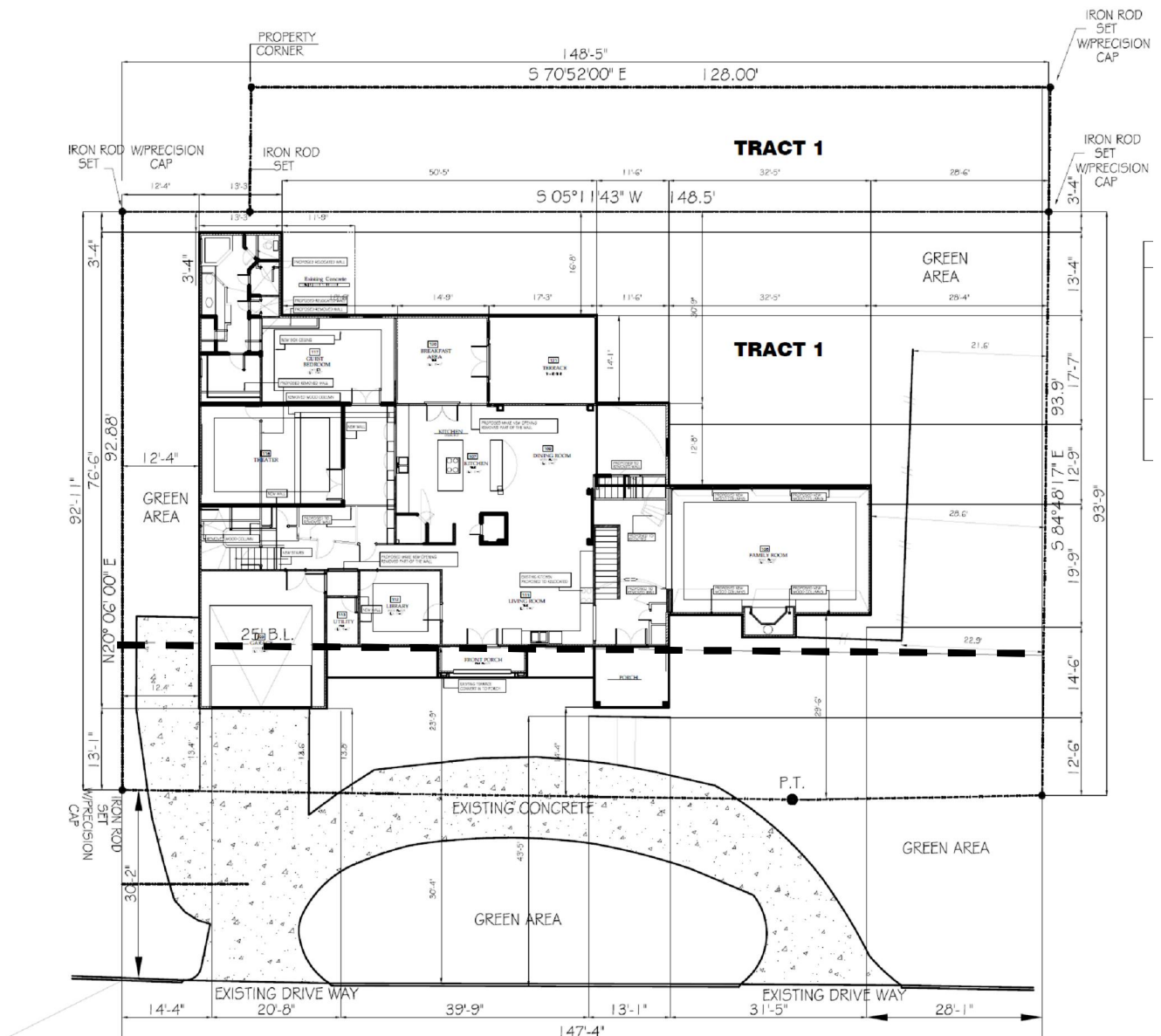


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

FIRST FLOOR PLAN



DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

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APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS
Richard Grothues Designs, Inc.	Richard Grothues	713.449.9191	rick@rgrothuesdesigns.com

PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
6638 North Main Street	14085559	77009	5359A	453S	H

HCAD ACCOUNT NUMBER(S):	0350840280009
PROPERTY LEGAL DESCRIPTION:	TRS 9 & 10 BLK 28 SUNSET HEIGHTS
PROPERTY OWNER OF RECORD:	PC HOMES LLC
ACREAGE (SQUARE FEET):	4,325 SF
WIDTH OF RIGHTS-OF-WAY:	North Main 60qROW, East 27 th 50qROW
EXISTING PAVING SECTION(S):	40qand 18qrespectively
OFF-STREET PARKING REQUIREMENT:	Two Spaces
OFF-STREET PARKING PROVIDED:	Meets Requirements
LANDSCAPING REQUIREMENTS:	One Tree
LANDSCAPING PROVIDED:	Meets Requirements

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	Single Family Residence; 810 SF
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	Single Family Residence; 2,811 SF

PURPOSE OF VARIANCE REQUEST: To allow an encroachment of the front porch of 2q9 ½+and 3 steps along East 27th Street into the 10qbuilding line instead of the allowed 30+encroachment.

CHAPTER 42 REFERENCE(S): 42-151: E ceptions to Building Line requirement.

b) For a building line requirement of 10 feet or greater established by this article, an encroachment shall be permitted as follows: 1) An encroachment of up to 30 inches into the building line requirement shall be permitted

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

for eaves, bay windows, balconies, fireplace chimneys and decorative features if the minor encroachment is cantilevered into the building line requirement; and

2) An encroachment of up to five feet into the building line requirement shall be permitted for open stairways and wheelchair ramps.

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE): The site consists of 2 lots that are located at the corner of a major thoroughfare and a local street. The front building line is 25q with a side building line of 10q and the minimum clearance to adjacent lots is 3q. The corner of the 2 combined lots where they meet the intersection of the 2 streets form an unspecified radius. Given the radius is unspecified it is unclear where the true building line is located. Furthermore the front 25q building line would taper to meet the side 10q building line, which leaves to true nature of the building lines to interpretation.

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@houstontx.gov.

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or

(1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The property line radius of the 2 lots was never clearly defined on the original plat for Sunset Heights in 1910. A clear definition of the building line cannot be determined given the insufficient information on the original plat. The city ordinances were originally adopted in 1968 and later modified in 1985. The lots were originally platted in 1910 with no setback restrictions.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

Originally this project was permitted as a remodel to the existing house. During the process of remodel the house fell down and had to be demolished. The contractor worked under the existing remodel permit unaware of the need to pull a new permit. He then poured new foundation footings where the old house had been located.

The original house was constructed shortly after 1910 when Sunset Heights was originally platted and the lot was created. During this time no building setback lines existed. The original house encroached into the

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

now present building lines quite a bit, so much so, that a corner of the house was almost up against the front property line. If you notice from the pictures you will see that the property line radius of 40q is set back quite a bit from the street radius, which is at a standard 12q. The original project had been budgeted to only be a remodel of the existing house. In the attempt to conserve cost and ease the hardship on the owner from the unforeseen complications, the new design utilizes the new footings that were poured. Seven of these footings at the front of the property will no longer be used, thus removing the encroachment into the front building line. However, based on the constraints presented by the footings and the shape of the lot, the design for the house was confined to the perimeter shape established by the footings.

The location of the lot impacted the design as well, since the lot is a corner lot on a major thoroughfare (North Main Street) the need to bring the front entry of the house onto the local street (East 27th Street) was important. The primary use of the properties on North Main are Commercial and if the entry of the house faced that direction a disconnection to the neighboring houses on East 27th Street would form. By providing the front entry on East 27th Street this creates a unity within the neighborhood. Given this, the entry needed to be more clearly defined. To accomplish this a small front porch with a balcony above was added to the front façade of the house. The house is elevated to provide a sense of place within the neighborhood and maintain the character of the original houses in Sunset Heights. In order to achieve this design, the front porch and balcony encroach into the building line by 2q 9 1/2% and have 3 stair steps in front. This entry design establishes character to the house and opens it up into the neighborhood.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The encroachment into the side building line will be kept to a minimum. The intent of which is to not crowd the side street. The distance from the back of the curb to the side property line is approximately 15q.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

The encroachment of the side building line will still allow for the 15q x 15q visibility triangle and not interfere with the public right-of-way.

(5) Economic hardship is not the sole justification of the variance.

Due to the existing conditions and the existing house on the lot, we are not basing the variance request on economic hardships.

DEVELOPMENT PLAT VARIANCE



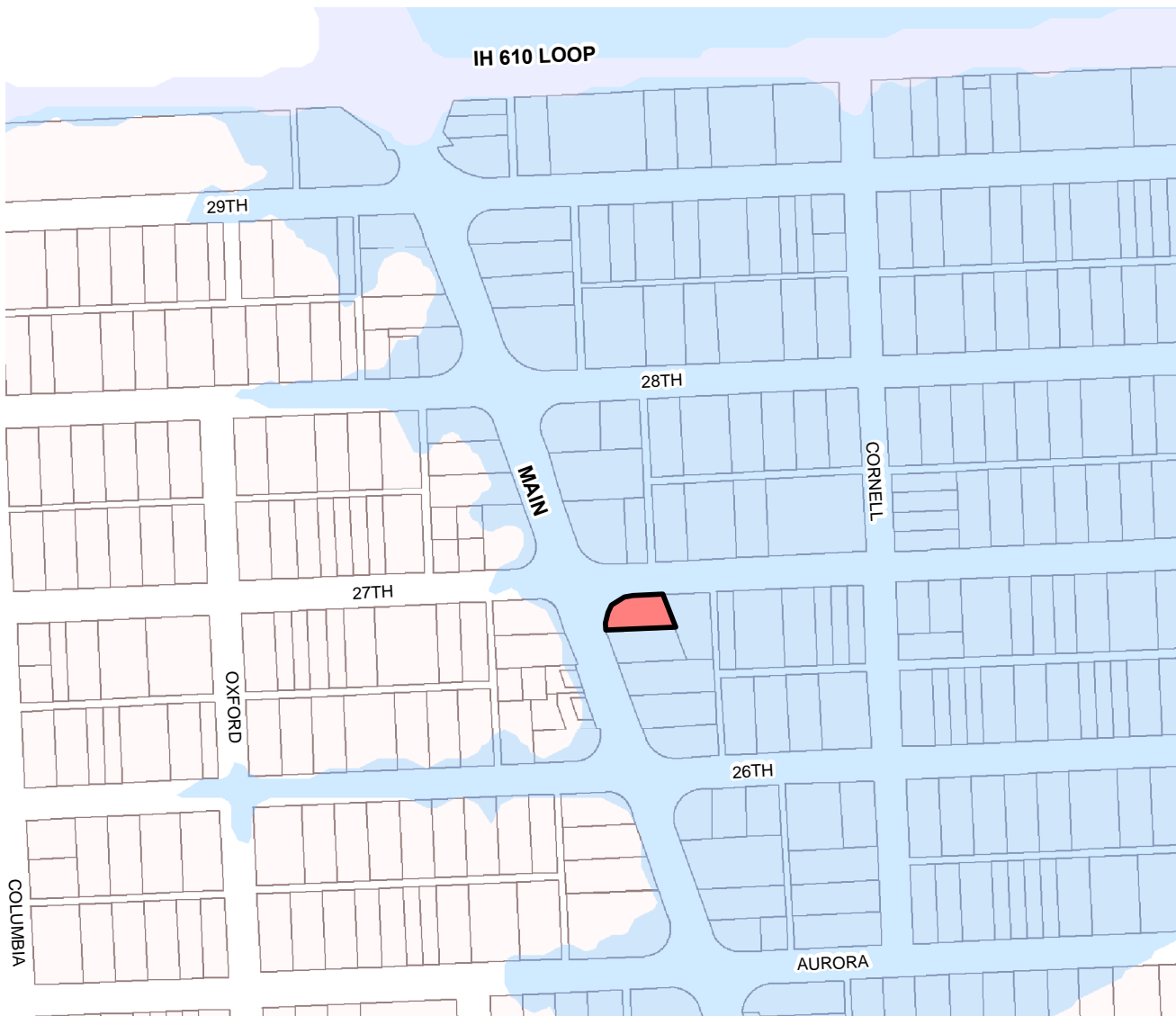
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 163

Meeting Date: 05/14/2015

Houston Planning Commission

SITE MAP



DEVELOPMENT PLAT VARIANCE



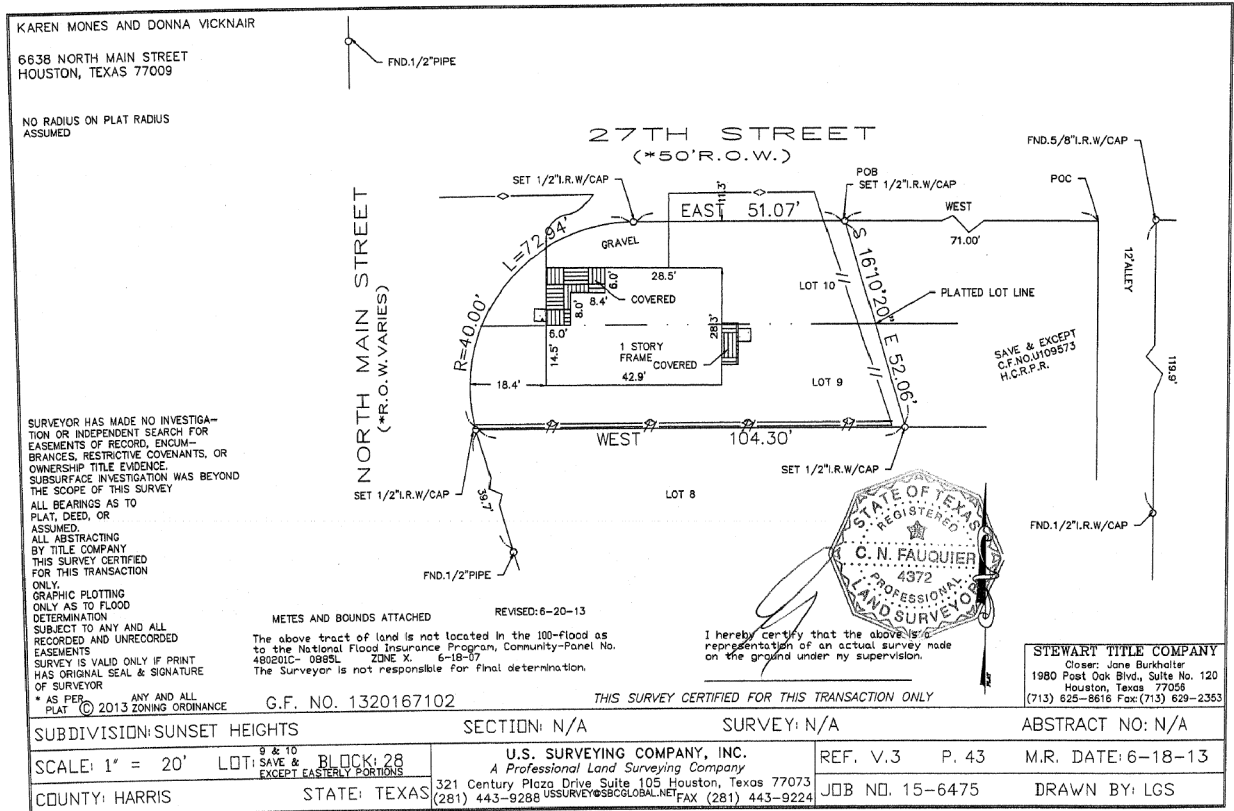
PLANNING &
DEVELOPMENT
DEPARTMENT

Houston Planning Commission

ITEM: 163

Meeting Date: 05/14/2015

SURVEY

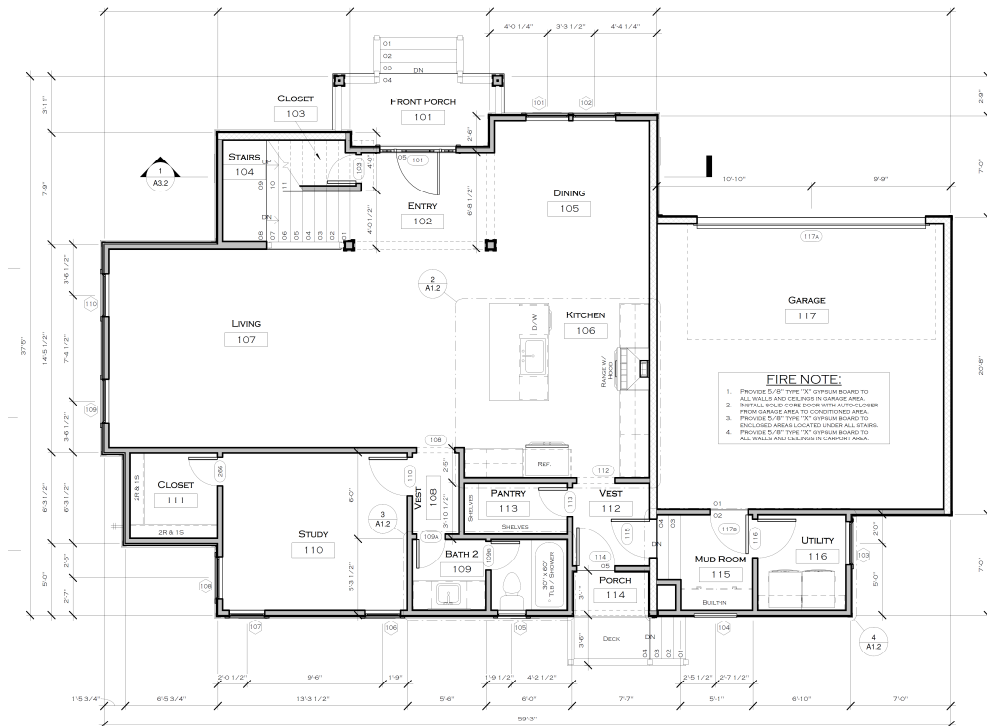


DEVELOPMENT PLAT VARIANCE

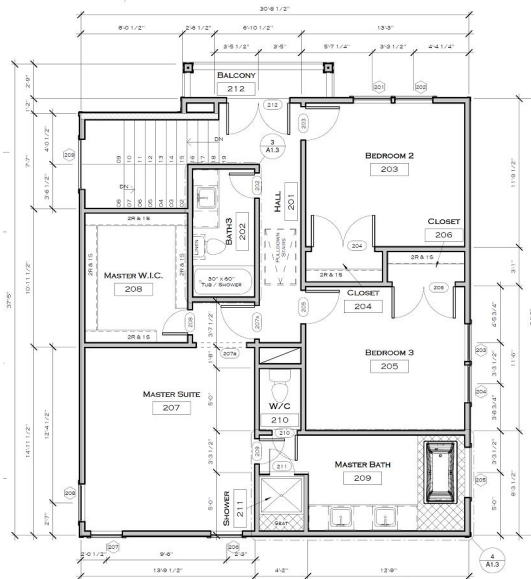


Houston Planning Commission

First Floor Plan



Second Floor Plan



DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

Elevations



DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

Elevations



DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

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APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Richard Grothues Designs, Inc.	Rick Grothues	713.449.9191	rick@rgrothuesdesigns.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
2100 Woodhead Street	15036131	77019	5357C	492R	C

HCAD ACCOUNT NUMBER(S):	0520490160008
PROPERTY LEGAL DESCRIPTION:	Lot 8 Block 16 Hyde Park Main
PROPERTY OWNER OF RECORD:	2100 Woodhead LLC
ACREAGE (SQUARE FEET):	0.1144 acres (5,000 sf)
WIDTH OF RIGHTS-OF-WAY:	Indiana Street 60q Woodhead Street 60q
EXISTING PAVING SECTION(S):	Indiana Street 20q Woodhead Street 30q
OFF-STREET PARKING REQUIREMENT:	Meets Requirements
OFF-STREET PARKING PROVIDED:	12
LANDSCAPING REQUIREMENTS:	Meets Requirements
LANDSCAPING PROVIDED:	Meets Requirements

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	Multi Family; 9,282 sf
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	Multi Family; 9,282 sf.

PURPOSE OF VARIANCE REQUEST: To extend the roof, enclose portions of the balconies to increase the living space within the 10qbuilding line on the third floor.

CHAPTER 42 REFERENCE(S): **42-155 Building Line Requirement. Collector and Local Streets.** Uses other than single-family residential (a) The building line requirement for a tract used or to be used for other than single-family residential purposes adjacent to a street that is a collector street or local street that is not an alley shall be ten feet unless otherwise required or authorized by this chapter.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE): The current building was constructed around 1964 and was built up to the property lines. The second floor abuts the property lines at Woodhead and Indiana. The third floor had open balconies and enclosed space abutting the same two streets.

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@cityofhouston.net.

- (1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or**

The current building was constructed around 1964 and was built up to the property lines. The second floor abuts the property lines at Woodhead and Indiana. The third floor had open balconies and enclosed space abutting the same two streets. At some point the balconies were covered with a metal awning and then enclosed with a screen. The request is to completely enclose the balconies and utilize this space a living space but keeping the classification of the apartment units as efficiencies.

- (1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**
- (2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The building lines were established long after the building was originally constructed. We are not extending the building past any of the original exterior walls.

- (3) The intent and general purposes of this chapter will be preserved and maintained;**

The building will be maintained as it was designed as far as the extremities of its boundary. We will preserve as much as possible of the visibility and usability of the land and respect the use and function of the public Right-of-way.

- (4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The allowance of the variance will not create any further obstructions into the public land. The sidewalks will be reconstructed and widened to allow for foot traffic in and around the property.

- (5) Economic hardship is not the sole justification of the variance.**

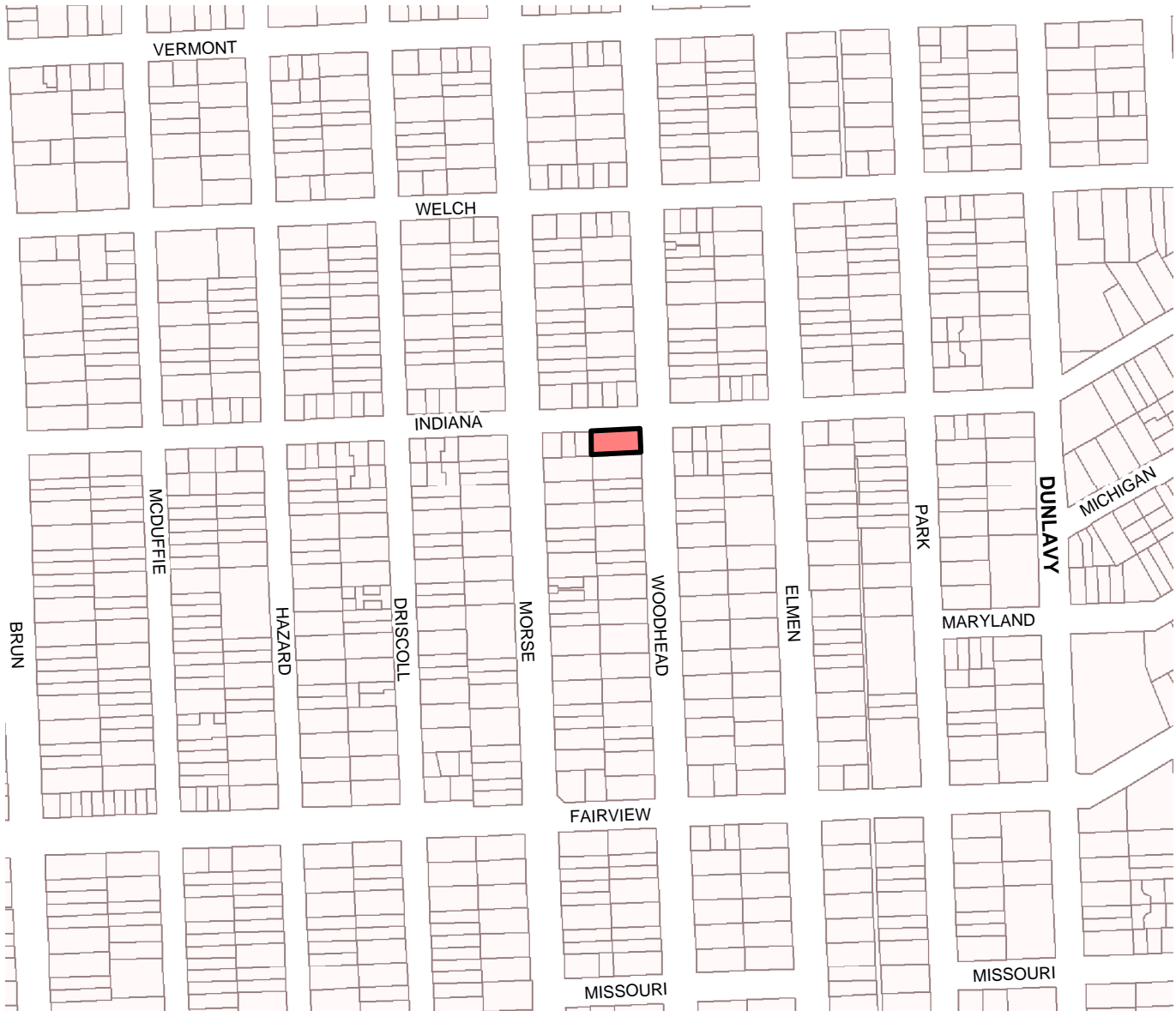
The building will remain with the same number of one bedroom and efficiency units as it was originally constructed with.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

AREA MAP



DEVELOPMENT PLAT VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 166

Meeting Date: 05/14/2015

Houston Planning Commission

AERIAL MAP

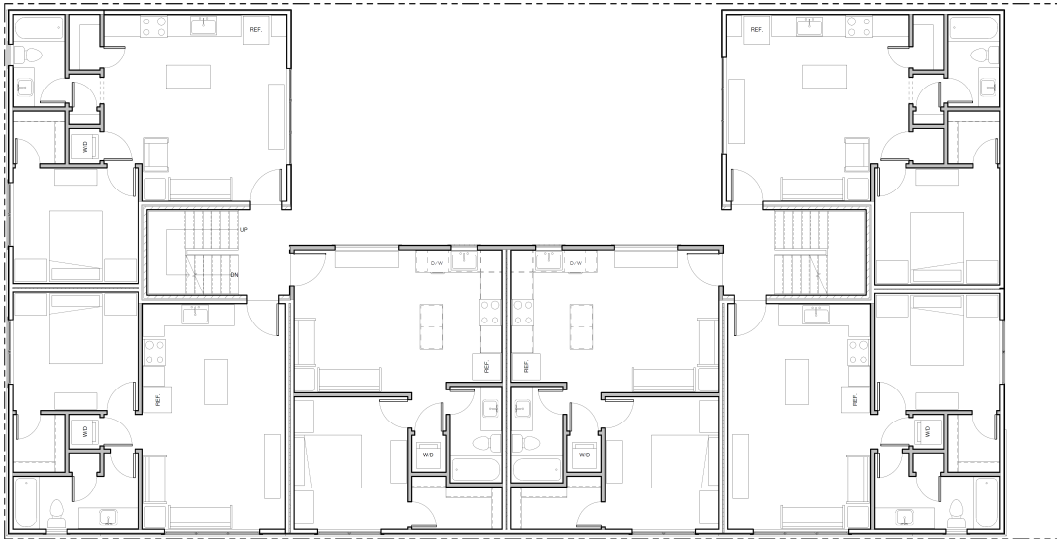


DEVELOPMENT PLAT VARIANCE



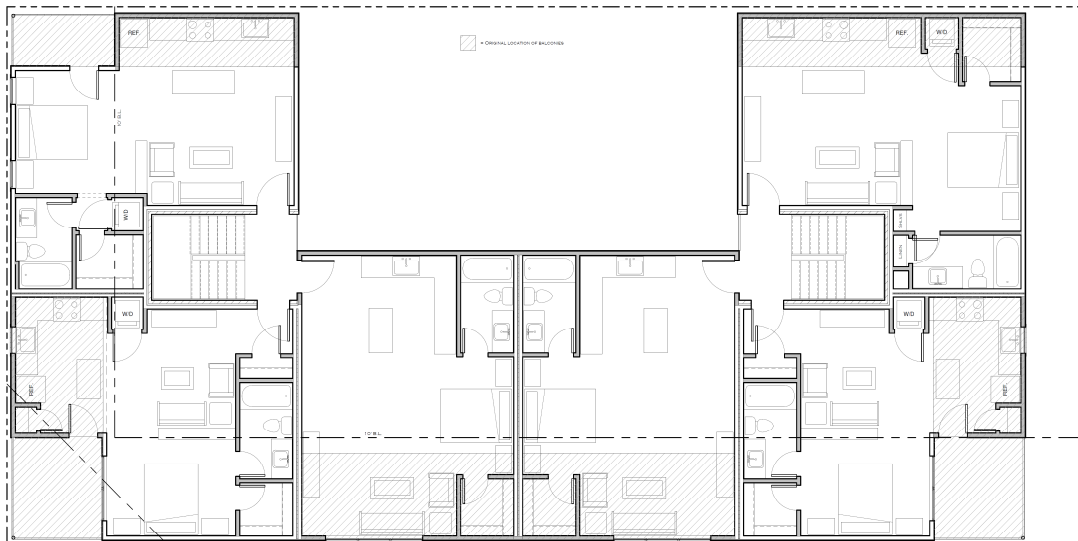
Houston Planning Commission

Second Floor Plan



① Second Floor Plan
1/4" = 1'-0"

Third Floor Plan



① Third Floor Plan
1/4" = 1'-0"

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

Variance Request Diagrams

- Items in yellow and green require a development plat variance.
- Items in blue do not require variance requests.
- Items in magenta are interior remodel conditions only.

Area Calculations	
Name	Area

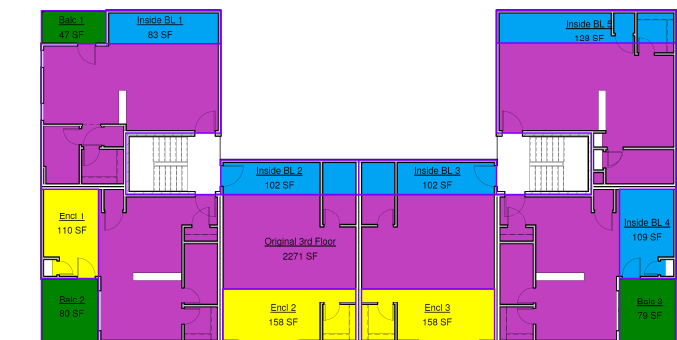
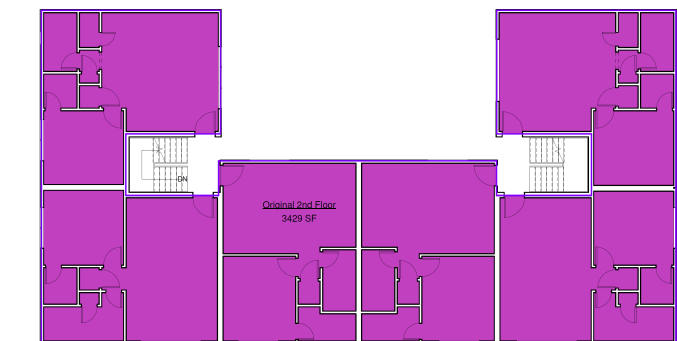
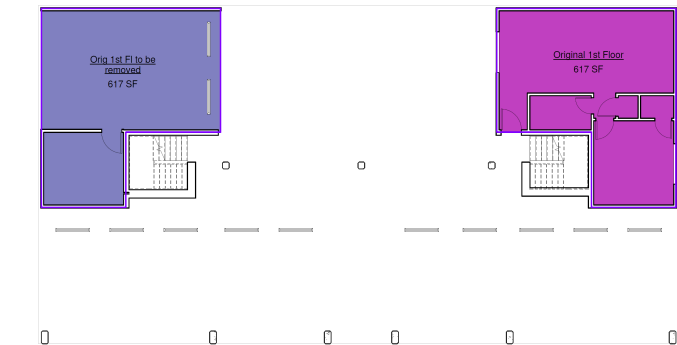
Encl 1	110 SF
Encl 2	158 SF
Encl 3	158 SF
	425 SF

Original 1st Floor	617 SF
Original 2nd Floor	3429 SF
Original 3rd Floor	2271 SF
	6317 SF

Inside BL 1	83 SF
Inside BL 2	102 SF
Inside BL 3	102 SF
Inside BL 4	109 SF
Inside BL 5	128 SF
	524 SF

Balc 1	47 SF
Balc 2	80 SF
Balc 3	79 SF
	207 SF

Orig 1st Fl to be removed	617 SF
	617 SF
	8089 SF



DEVELOPMENT PLAT VARIANCE

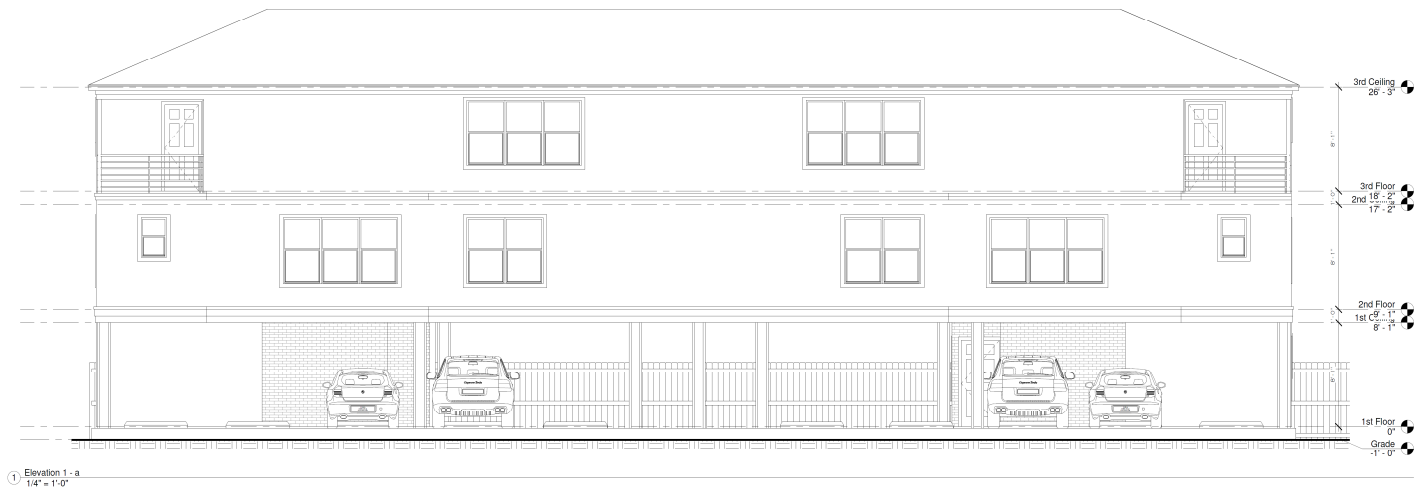


Houston Planning Commission

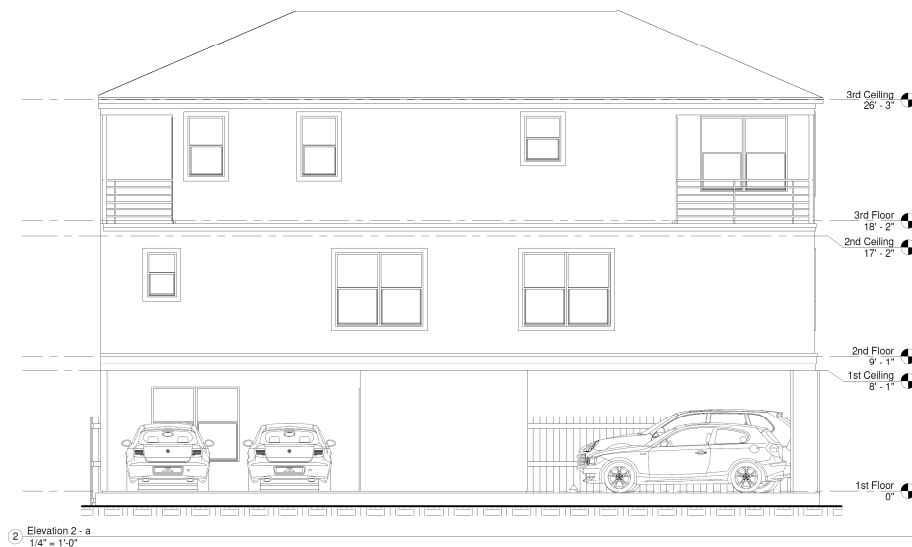
ITEM: 166

Meeting Date: 05/14/2015

Building Elevations



Indiana Avenue Elevation



Woodhead Street Elevation

DEVELOPMENT PLAT VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 166

Meeting Date: 05/14/2015

Houston Planning Commission

Rendered Perspective



① 3D View 1_2
1/2" = 1'-0"

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

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APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Zohreh Mossanna	Zohreh Mossanna	832-875-5667	suziemossanna@yahoo.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
12819 Hansel Lane	14117822	77024	4957	489G	G

HCAD ACCOUNT NUMBER(S):	087070000003
PROPERTY LEGAL DESCRIPTION:	Lot 3 Blk 10, Memorial Bend Sec 2
PROPERTY OWNER OF RECORD:	Zohreh Mossanna
ACREAGE (SQUARE FEET):	9600 SF
WIDTH OF RIGHTS-OF-WAY:	Hansel Road-60' ROW; Beltway 8- 300'
EXISTING PAVING SECTION(S):	Hansel Road-21' ROW; Beltway 8- varies
OFF-STREET PARKING REQUIREMENT:	complies
OFF-STREET PARKING PROVIDED:	complies
LANDSCAPING REQUIREMENTS:	complies
LANDSCAPING PROVIDED:	complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	3075 SF
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	402 SF addition

PURPOSE OF VARIANCE REQUEST: Above mentioned addition is encroaching the building line from the feeder road of the beltway. The addition is already constructed by a general contractor without a permit and the home owner was not aware of the situation.

CHAPTER 42 REFERENCE(S): 42-152 - The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

I am asking planning commission to please allow me to complete the conversion of my outside patio for a living room space so I could take care of my grandchildren. I assure the commission that this addition will not harm the health and the safety of the citizen of this great city that I have been living for many years and more to come

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@houstontx.gov.

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or

(1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

The addition to the living area has been completed by a General Contractor not applying for a building permit and not knowing anything about the Building Line.

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The applicant did not know that the contractor has not pull a building permit for the addition until She was notified by the association. The contractor has left the site/structure (project) as-is (unfinished) and has not returned to the job site. The association has no objection to the structure but having a City's building permit.

(3) The intent and general purposes of this chapter will be preserved and maintained;

There has been no building line enforcement from the beltway 8 feeder road site until the road improvement. There are several residence either new or addition also have encroach the building line along the feeder road.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

In no way the conversion of my patio to a living space for my 5 grandchildren will be causing any harm to health and safety of the public.

(5) Economic hardship is not the sole justification of the variance.

The uncompleted structure has created an unsafe access from the outside to the residence because is an open structure and easy to break in.

DEVELOPMENT PLAT VARIANCE



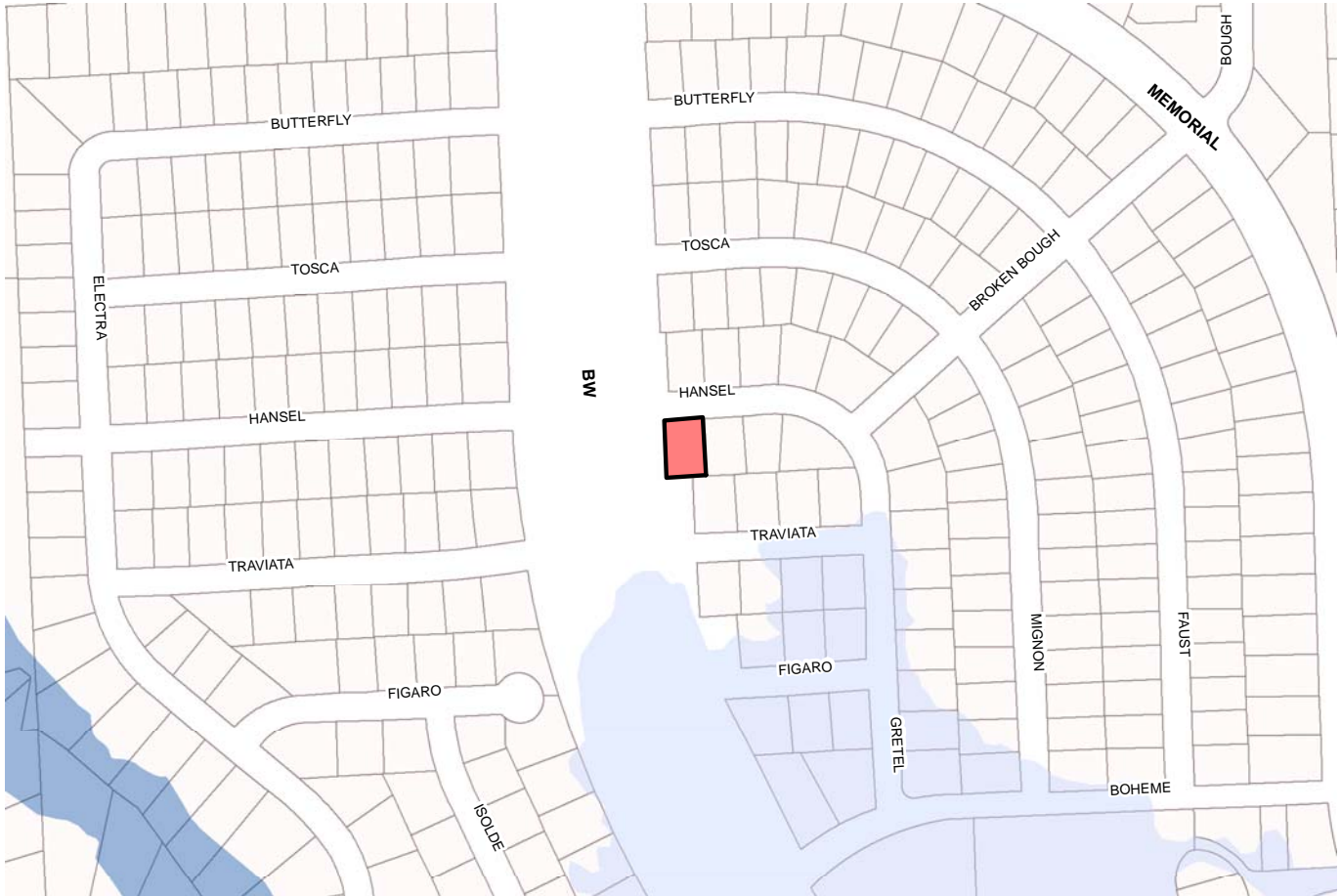
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 162

Meeting Date: 05.14.15

Houston Planning Commission

LOCATION MAP



DEVELOPMENT PLAT VARIANCE



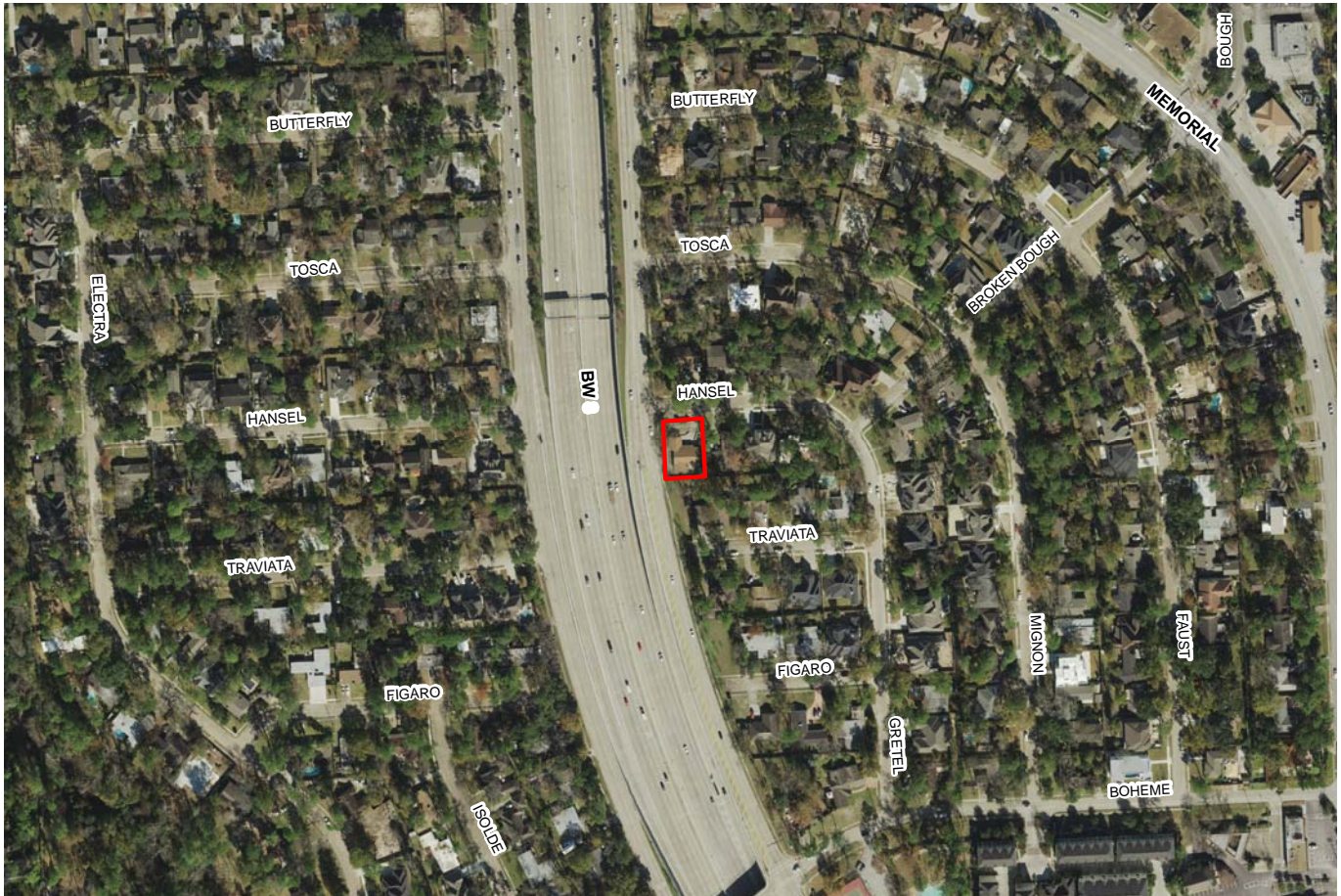
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 162

Meeting Date: 05.14.15

Houston Planning Commission

AERIAL MAP



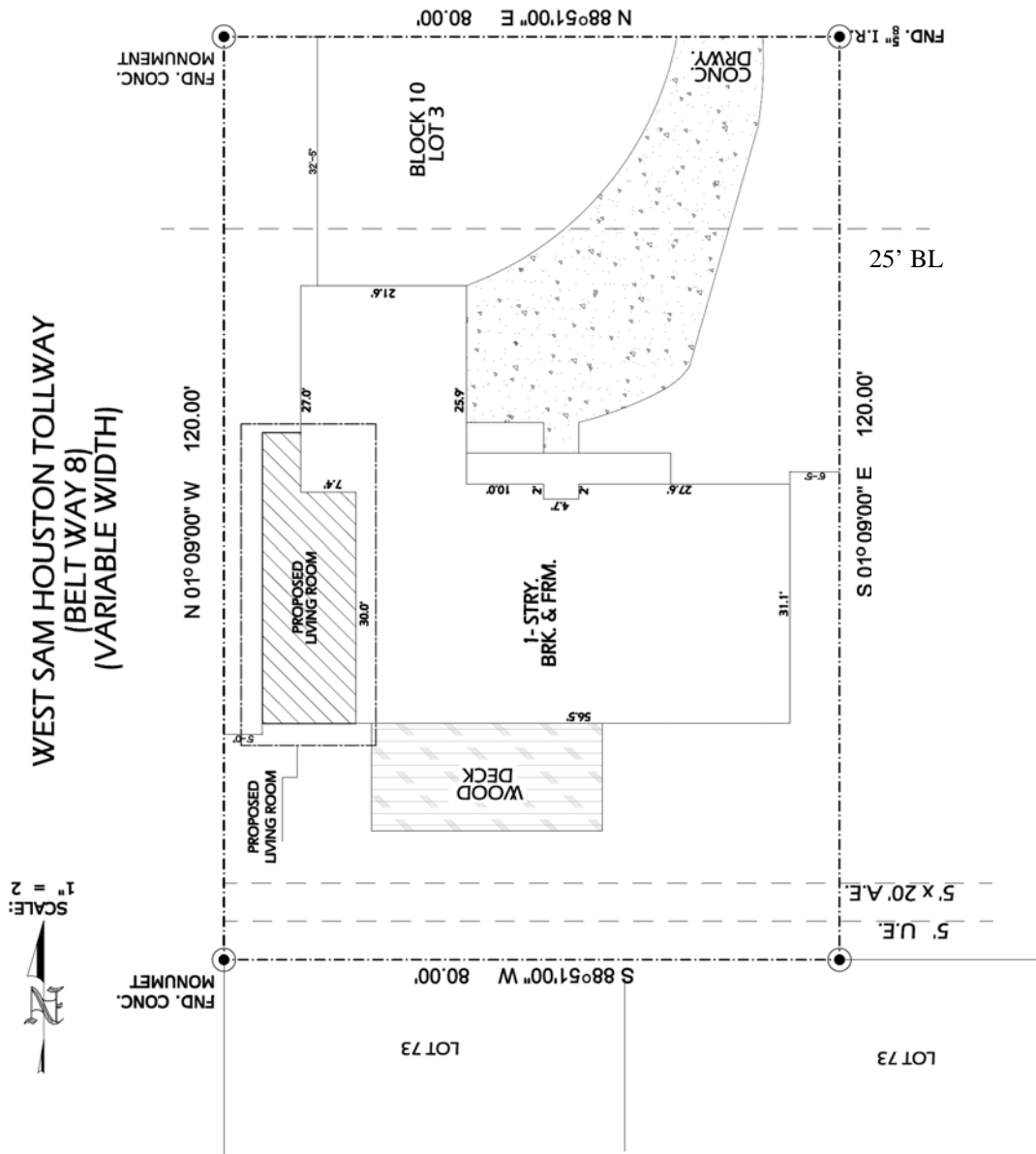
DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

SITE PLAN

HANSEL LANE
60' ROW

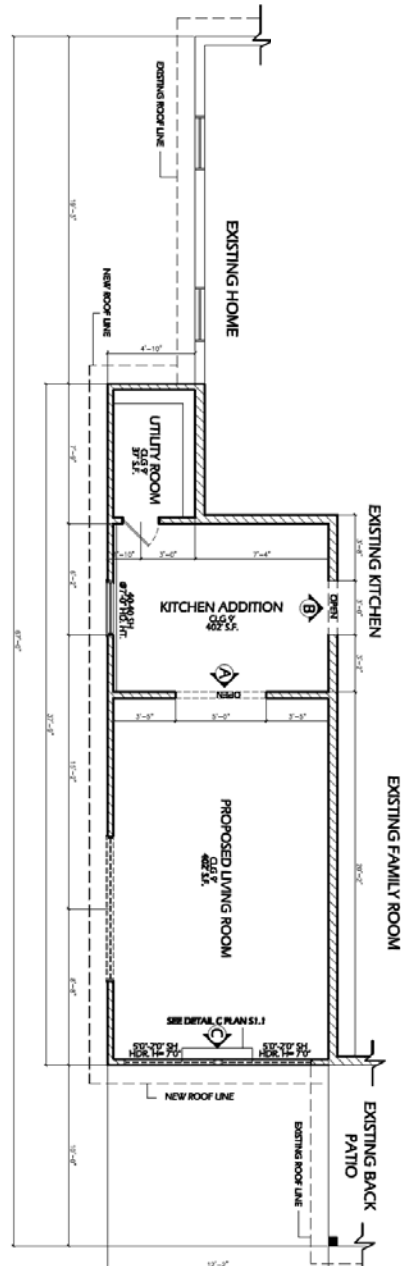


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

FLOOR PLAN

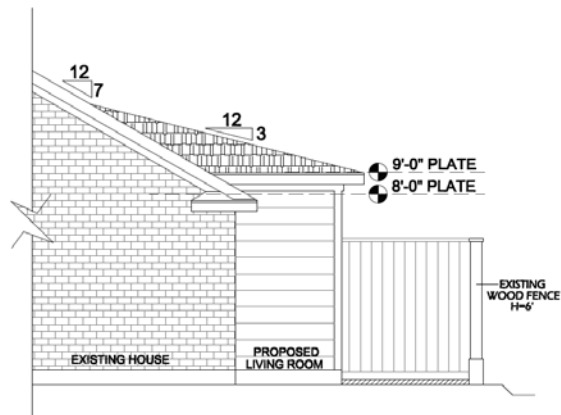
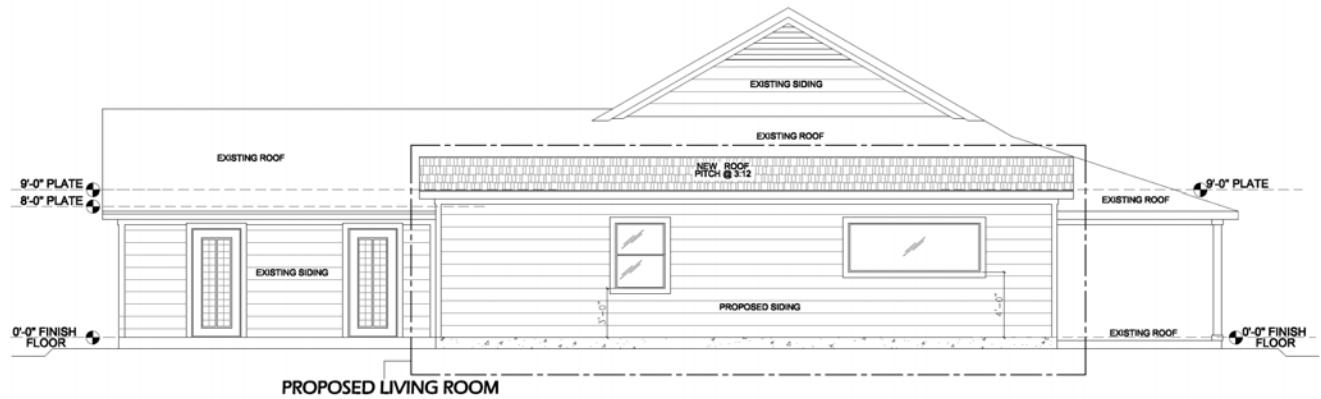


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

ELEVATION



DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to planning.variances@houstontx.gov prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at www.houstonplanning.com.

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
El Muelle Seafood JRP Company	Carlos Sanchez Jenifer Pool	281-847-5844 832-594-8420	Carlossp26@hotmail.Com Jrpcom@aol.Com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
6705 Airline Drive	15004879	77076	5361B	413X	H

HCAD ACCOUNT NUMBER(S):	1641230000031
PROPERTY LEGAL DESCRIPTION:	Tract 12 Gusemano
PROPERTY OWNER OF RECORD:	El Muelle Seafood Restaurant
ACREAGE (SQUARE FEET):	9,758
WIDTH OF RIGHTS-OF-WAY:	Airline Dr 80' & Parker Rd 120'
EXISTING PAVING SECTION(S):	Airline Dr 77' & Parker Rd 72'
OFF-STREET PARKING REQUIREMENT:	Complies
OFF-STREET PARKING PROVIDED:	Complies
LANDSCAPING REQUIREMENTS:	Complies
LANDSCAPING PROVIDED:	Complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	Restaurant - 1504 SF
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	Dining Room Addition 862 SF

PURPOSE OF VARIANCE REQUEST: To allowed for the expansion of existing restaurant by 862 SF on the left side of the restaurant along Parker Road, a divided boulevard, by allowing the additional area to encroach 7'-3" into the 25' building line of Parker Road per Sec. 42-152. (a).

CHAPTER 42 REFERENCE(S): Sec. 42-152. (a) The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

APPLICANT'S STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

HCAD identifies this property as Tract 12 of the Gusemano subdivision and has been a local restaurant serving the local community since 1984. Parker Road has had recent pavement, curb and gutters upgrades.

The restaurant is located at the intersection of Airline Drive and Parker Road and is 68'-7" from the back of the curb along Parker Road and 38'-1" from the curb along Airline Road. The original plat indicated a 10' building line along Parker Road and the addition of 15' to the restaurant would be within that building line. With the addition of 15' to the restaurant there will remain 58'-7" from the curb on Parker Road.

The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@cityofhouston.net.

(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or

The terms of Chapter 42 Building Lines along a thoroughfare creates a hardship by depriving the owner the use of the property with a 10' building line as described in the original plat. Without the variance no additional expansion of the restaurant will be practical along Parker Road a divided boulevard.

(1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;

Requiring a 25' building line per Sec. 42-152 (a) along Parker Road which has a 10' building line per subdivision plat, the property would create an undue hardship

(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;

The property owner's variance request will take into consideration the original 10' building line per the original plat. The 25' building line per Sec. 42-152 (a) along Parker Road is an additional burden created by the ordinance not the actions of the property owner.

(3) The intent and general purposes of this chapter will be preserved and maintained;

The intent and general purposes of Chapter 42 is to provide sensible development, not prohibit development. Tract 12 is an existing property that does not allow any options for development other than commercial. The intent and general purposes of this chapter will be preserved by allowing sensible development and encouraging the uses that are already present in this development.

(4) The granting of the variance will not be injurious to the public health, safety or welfare;

DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

The granting of the variance will not be injurious to the public health, safety or welfare as the property after expansion will still be 58'-7" behind the curb along Parker Road.

(5) Economic hardship is not the sole justification of the variance.

The request to not provide a 25' building line per Sec. 42-152 (a) along Parker Road will allow the property to be useable within the original plat building line. The economic impact is not necessarily a consideration of the variance request. The expansion of the building does not violate the intent of provisions in Chapter 42 - Building Lines.

This variance will allow the full and reasonable use of the existing property without creating a City or public concern under Chapter 42 - Building Lines

DEVELOPMENT PLAT VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 161

Meeting Date: 05.14.15

Houston Planning Commission

LOCATION MAP



DEVELOPMENT PLAT VARIANCE



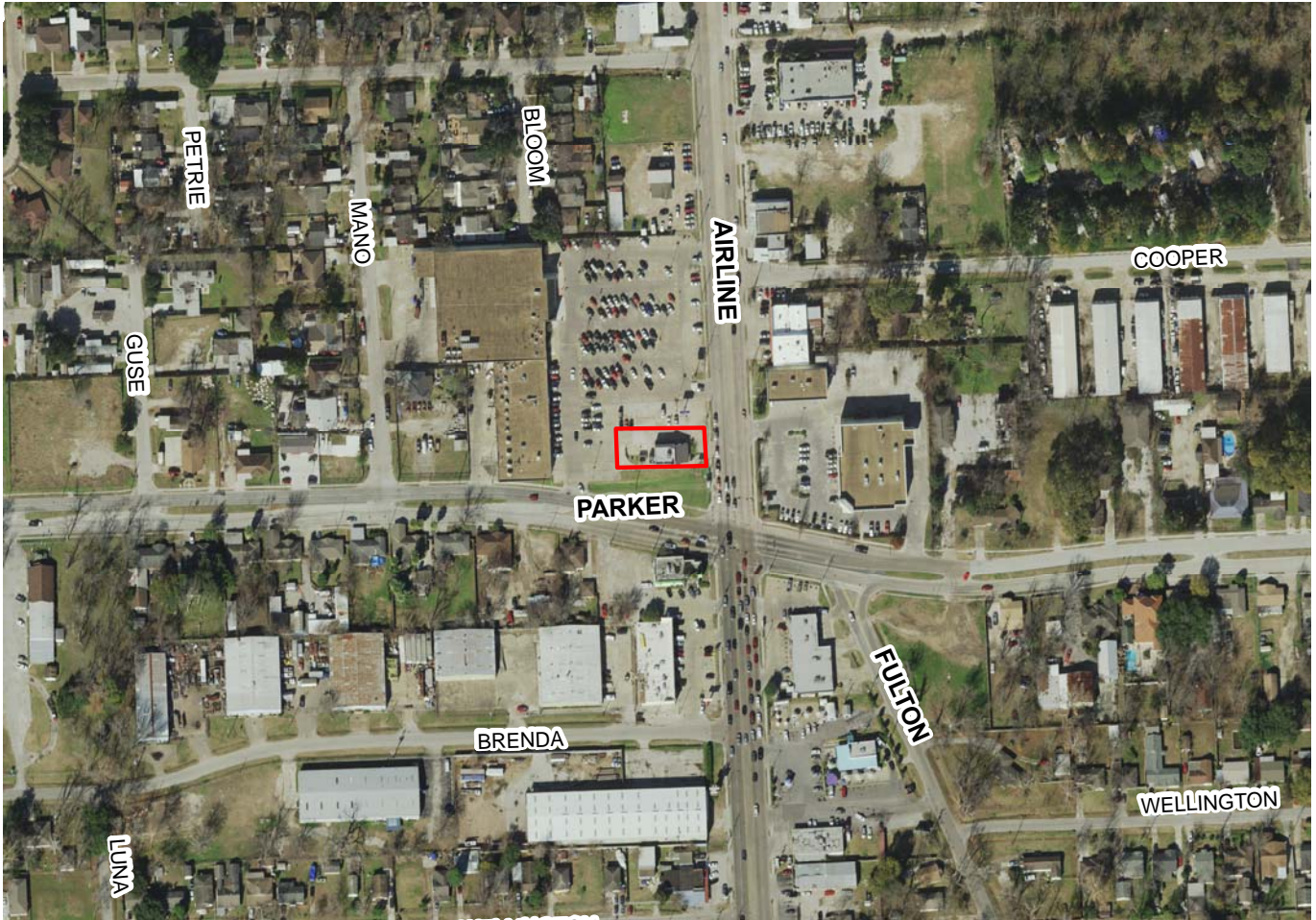
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: 161

Meeting Date: 05.14.15

Houston Planning Commission

AERIAL MAP

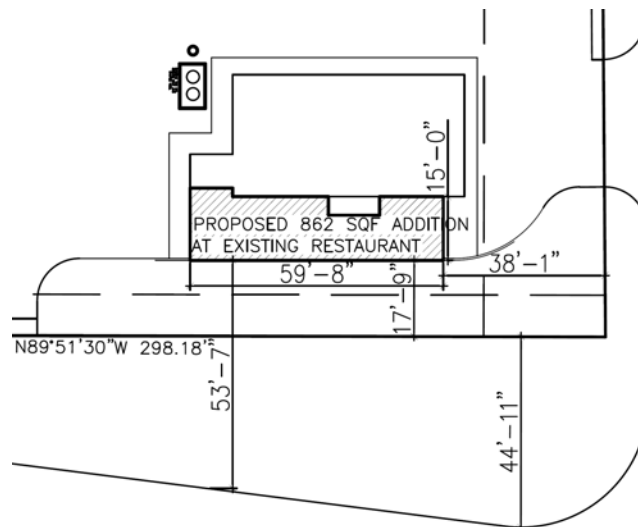
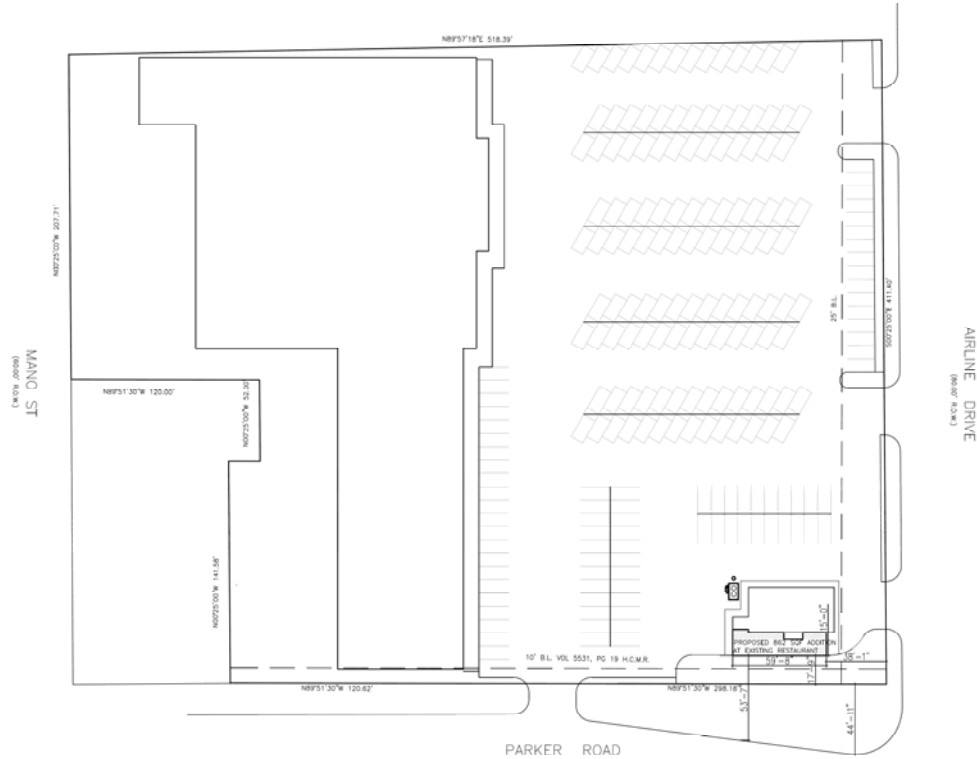


DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

SITE PLAN



DEVELOPMENT PLAT VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

An applicant seeking a variance to the Parking Standards of Chapter 26 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to planning.variances@houstontx.gov prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at www.houstonplanning.com.

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS
Houston Independent School District	Kedrick Wright	(713) 556-9329	kwright7@houstonisd.org

PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
Energy Institute High School 3501 Southmore Blvd	15021855	77004	5455	533D	D

HCAD ACCOUNT NUMBER(S):	0410310320015
PROPERTY LEGAL DESCRIPTION:	TRS 1D & 58 ABST 545 C Martinez
PROPERTY OWNER OF RECORD:	Houston Independent School District
ACREAGE (SQUARE FEET):	12.17 acres (530,134 SF)
WIDTH OF RIGHTS-OF-WAY:	Southmore = 70'-0", Tierwester = 60'0+
EXISTING PAVING SECTION(S):	Southmore = 42'-0", Tierwester = 24'0+(approximately)
OFF-STREET PARKING REQUIREMENT:	413 spaces required (184 bicycle parking)
OFF-STREET PARKING PROVIDED:	357 spaces provided
LANDSCAPING REQUIREMENTS:	Project Complies

EXISTING STRUCTURE(S) [SQ. FT.]:	Vacant
PROPOSED STRUCTURE(S) [SQ. FT.]:	114,117 Sq. Ft. (Total)

PURPOSE OF VARIANCE REQUEST: To request a reduction in the required number of off-street parking spaces provided on site **from 413** parking spaces to 357.

CHAPTER 26 REFERENCE(S): **Section 26-492**, Class 5 - Religious & Educational, c. School, 3. Senior High School - 1.0 parking spaces per every 3 occupants. **Section 26-497**. Reduced parking space requirement for additional bicycle spaces. (b) The maximum reduction in the number of parking spaces under this section shall be 10 percent of the number of parking spaces required by Sec 26-492 of this Code.

OFF-STREET PARKING VARIANCE



Houston Planning Commission

APPLICANT STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

We are requesting a reduction in the required number of parking spaces based on the actual Houston ISD planned occupant load instead of the City of Houston Public Works occupant load.

Designed to serve a total of 813 students and 85 staff members, the design of the new Energy Institute High School is comprised of three separate buildings connected by an exterior courtyard. Based on our internal calculations, assuming this were a typical high school, the reduced occupant load would be 1,071 occupants. (See Exhibit B)

Due to the separation of buildings, the City of Houston requires three separate permits and three separate occupant loads. Because the design of Energy Institute consists of three separate buildings, the cumulative Design Occupant Load increases to 2,157 occupants. The parking count for 2,157 occupants is 719 parking spaces, (706 parking spaces with proposed 50 bicycle spaces).

Energy Institute is not designed for 2,157 occupants and there is no room on the site to ever expand the campus to 2,157 occupants. Energy institute is designed for 813 students and a Design Occupant Load of 1,071. The required parking for 1,071 occupants is 357 spaces.

APPLICANT'S STATEMENT OF FACTS:

The applicant must clearly identify how the requested variance meets the criteria in ALL items (1) through (5); and, if applicable, the sixth (6) condition. The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@houstontx.gov.

(1) The imposition of the terms, rules, conditions, policies and standards of this article would deprive the owner or applicant of the property of reasonable use of the land or building;

If Houston ISD is required to provide the required number of spaces per the parking ordinance:

1. The District will be required to provide more than double the amount of parking that is needed.
2. The amount of impervious cover would greatly reduce the District's ability to meet the City's Storm Water Detention requirements.
3. Although Energy Institute does not have an athletics program, they do have a physical education curriculum. The District will not have room to dedicate greenspace for physical education or other outdoor learning opportunities.
4. The additional impervious surface will adversely affect the District's pursuit of LEED Gold certification.
5. HISD is committed to achieving LEED Certification on each of our new schools and a key component of the site is minimizing paved areas to what is needed. The additional impervious surface would also result in the removal of existing mature trees on the site.

OFF-STREET PARKING VARIANCE



Houston Planning Commission

- (2) That the circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant and that in granting the variance the general purposes of this article are being observed and maintained;

The proposed EIHS campus is comprised of three separate buildings. Buildings (A) and (B) are the primary buildings used for curriculum education. Building (C) includes the dining commons, kitchen and fitness classroom. In a typical school, these spaces are considered part of the overall building and considered a non-simultaneous use space. Since Building (C) is considered a standalone building, we were not able to consider these spaces non-simultaneous use. As a result 837 additional occupants must be accounted for, thereby increasing our required parking by 362 spaces.

Houston ISD is designing all new schools in the most compact footprint possible. Our square foot requirement per student is 140 SF. This SF requirement requires the designers to be very efficient as they prepare the plans.

We have prepared a comparative summary of similar high schools which are 100% magnet and have analyzed the modes of transportation used by students, staff and teachers to arrive at the school. Based on this analysis, created with the assistance of HISD demographer and General Manager for Transportation, we can project the future parking needs of the Energy Institute High School.

EXISTING:

Existing Campus Transportation Comparison													
School Name	Magnet Program	Current Enrollment	Magnet Enrollment	Bus			Drive		Other*		Teacher, Visitor & Staff parking	Parking Spaces Used	Current Parking Spaces
				No.	Magnet Trans.	Percent	No.	Percent	No.	Percent	No.		
DeBakey HSHP	Health Professions	700	700	455	455	65%	95	14%	150	21%	90	185	500
HS Performing and Visual Arts	Performing Arts	710	710	210	210	30%	450	63%	50	7%	69	150	150
Energy Institute HS	Energy	360	360	288	288	80%	4	1%	68	19%	45	55	79
HS Law Enforcement and Criminal Justice	Law	492	492	300	300	61%	40	8%	152	31%	50	90	205

*This data was collected from the business managers and principals at each campus, the District's General Manager of Transportation and independent Traffic Impact Analysis.

NOTES:

1. The Energy Institute High School is currently located at 1808 Sampson St. In its current configuration, the campus serves freshman and sophomore students only.
2. As noted in the chart above the transportation for the existing EIHS represents 80% bus riders, 1% drivers, and 19% other, i.e. parent drop-off, walk, ride their bike, ride the METRO, etc.
3. The proposed new facility, located at 3501 Southmore Blvd., will accommodate 813 freshman through senior level students. The projected staff count is 85.
4. Approximately 13 busses service the EIHS. In addition to HISD bus transportation, the proposed site is served by a Metro stop at the corner of Tierwester and Southmore. It is likely that this stop will be utilized by both teachers and students to travel to and from the school.

OFF-STREET PARKING VARIANCE



Houston Planning Commission

5. Please refer to the table on the following page for the basis of providing 357 spaces in lieu of the ordinance required amount.

PROJECTED:

Projected Transportation Requirements for new campus													
											X	Y	X + Y
School Name	Maximum Enrollment (including Magnet students)	Magnet Enrollment	HISD Bus			Drive		Other		Teacher, Visitor & Staff parking	Parking spaces required	Event parking*	Total spaces required
			# of Riders	Magnet Trans.	%	Quantity	%	Quantity	%	Quantity			
Energy Institute HS	813	813	528	528	65%	200	25%	85	10%	100	85	50	350
*Based on 1 parking space per 3 seats, Energy's 470 seat "cafetorium" requires 157 parking spaces. Because events using the "cafetorium" by visitors to campus will generally occur after school hours, we are providing 32% of that total as a buffer in case of overlap of use by school and after hour events													

NOTES:

- Campus administration has projected a Maximum of 200 student drivers and 85 teacher/staff drivers. This allows for 72 additional parking spaces for daily visitor and event buffer parking.
- The future projections of 65% bus riders, 25% drivers, and 10% other, as shown in the chart above is the anticipated transportation needs once juniors and seniors are added to the curriculum.
- The Energy Institute High School is a 100% Magnet program. Currently 80% of the student population is transported via bus. Campus administration has projected 65% of the student population will be transported via bus once juniors and seniors are added to the program.

(3) The intent of this article is preserved;

Adequate and convenient parking will be provided on the school site. All parking lots will be easily visible and will have security lighting.

(4) The parking provided will be sufficient to serve the use for which it is intended;

Adequate and accessible parking will be provided for the students, staff and visitors of the Energy Institute High School. Daily student, staff and visitor needs along with special event parking needs have been addressed.

(5) The granting of such a variance will not be injurious to the public health, safety or welfare; and

The new Energy Institute High School will have adequate parking for students, staff and visitors to prevent overflow parking in the surrounding neighborhood.

(6) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII, chapter 33, of this Code.

Not applicable.

OFF-STREET PARKING VARIANCE



Houston Planning Commission

STANDARDS FOR VARIANCES

(a) The commission is authorized to consider and grant variances from the provisions of this article by majority vote of those members present and voting, when the commission determines that the first five of the following conditions exist, and if applicable, the sixth condition, exists:

- (1) The imposition of the terms, rules, conditions, policies and standards of this article would deprive the owner or applicant of the property of reasonable use of the land or building;
- (2) That the circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant and that in granting the variance the general purposes of this article are being observed and maintained;
- (3) The intent of this article is preserved;
- (4) The parking provided will be sufficient to serve the use for which it is intended;
- (5) The granting of such a variance will not be injurious to the public health, safety or welfare; and
- (6) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII, chapter 33, of this Code.

(b) In addition, if the variance involves an off-site parking facility, the commission must determine that a proposed off-site parking facility will be located so that it will adequately serve the use for which it is intended. In making this determination, the following factors, among other things, shall be considered:

- (1) The location of the proposed building and the proposed off-site parking facility.
- (2) Existing and potential parking demand created by other occupancies in the vicinity.
- (3) The characteristics of the occupancy, including employee and customer parking demand, hours of operation, and projected convenience and frequency of use of the off-site parking.
- (4) Adequacy, convenience, and safety of pedestrian access between off-site parking and the occupancy.
- (5) Traffic patterns on adjacent streets, and proposed access to the off-site parking.
- (6) The report and recommendation of the director and the traffic engineer.

Any variance granted under the provisions of this section will apply only to the specific property and use upon which the commission was requested to grant a variance by the applicant and shall not constitute a change of this article or any part hereof. All variances as granted shall be in writing shall be signed by the secretary of the commission and maintained as a permanent record of the commission.

OFF-STREET PARKING VARIANCE



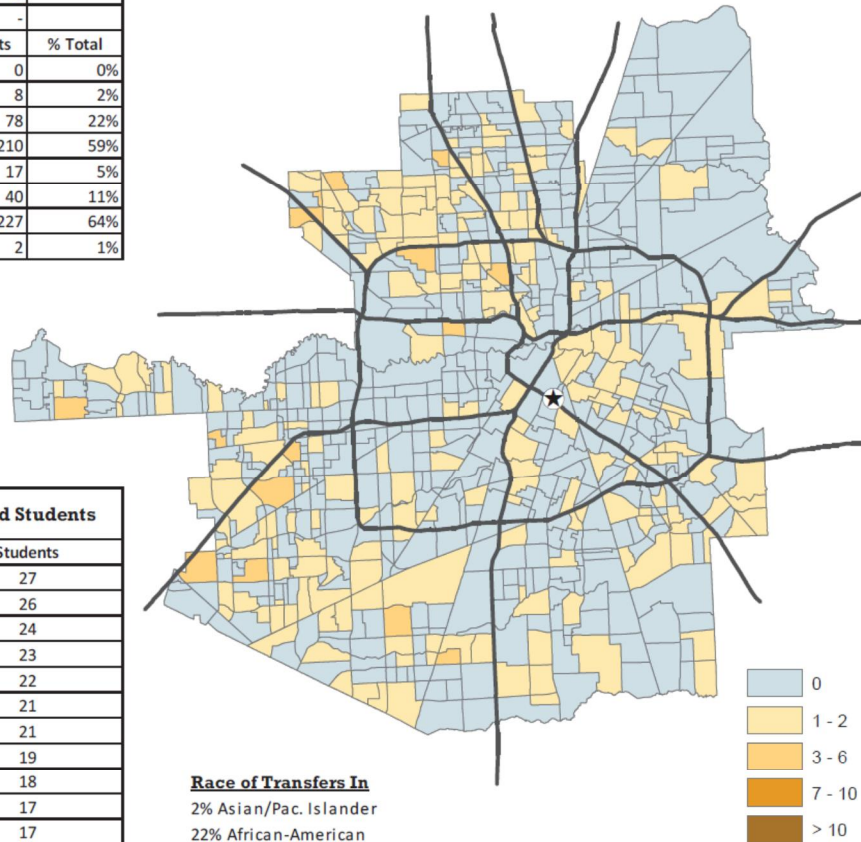
Houston Planning Commission



Energy Institute High School

STEM Magnet

Campus Enrollment and Capacity		
Snapshot 2014	Students	Share
Living in Zone	0	0%
Transfers In	353	100%
Membership	353	
Facility Capacity	0	
Facility Utilization	-	
Group	Students	% Total
American Indian	0	0%
Asian/Pac. Islander	8	2%
African-American	78	22%
Hispanic	210	59%
Multi-Racial	17	5%
White	40	11%
Econ. Disadvantaged	227	64%
Immigrant	2	1%



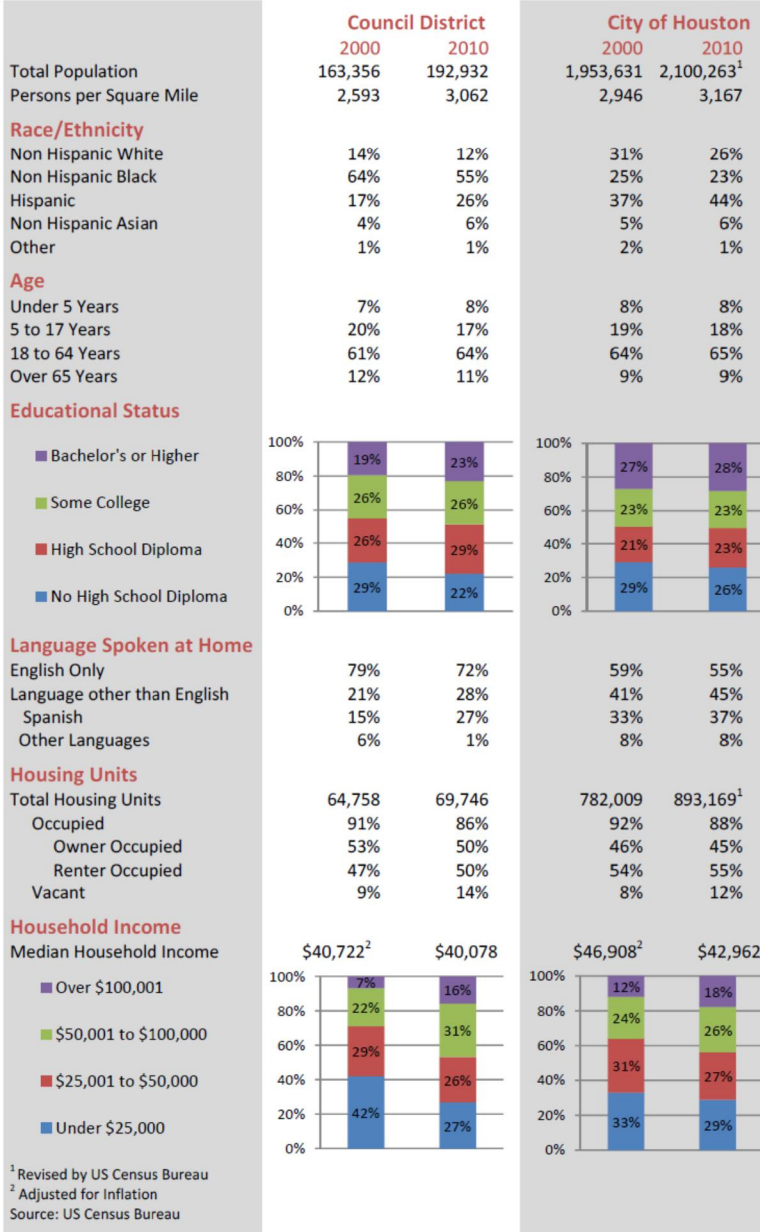
Home Campus of Enrolled Students	
Campus	Students
Scarborough	27
Waltrip	26
Sharpstown	24
Madison	23
Westbury	22
Lee	21
Sam Houston	21
Worthing	19
Reagan	18
Out of District	17
Sterling	17
Washington	16
Wheatley	14
Westside	13
Davis	12
Austin	12
Lamar	11
Chavez	9
All Other Schools	31

OFF-STREET PARKING VARIANCE



Houston Planning Commission

D Council District Profile



Council Office:

Dwight Boykins, Council Member
Phone: 832-393-3001
Email: districtd@houstonTX.gov

District Landmarks:

Texas Medical Center
Hermann Park / The Houston Zoo
Museum District
Emancipation Park
Texas Southern University
University of Houston

Special Districts:

OST / Alameda Corridors TIRZ
Midtown TIRZ
HCID 16
HCRID #1
Five Corners Improvement District
Midtown Management District
Greater Southeast Management District

Super Neighborhoods:

Astrodome Area
Greater Hobby Area
Greater OST / South Union
Greater Third Ward
MacGregor
Medical Center Area
Midtown
Minnetex
Museum Park
South Acres / Crestmont Park
South Belt / Ellington
South Park
Sunnyside

October 2014



PLANNING &
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DEPARTMENT

713-837-7701 pd.planning@HoustonTX.gov

OFF-STREET PARKING VARIANCE



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

ITEM: IV
Meeting Date: 05/14/15



CITY OF HOUSTON
Public Works and Engineering Department

Annise D. Parker

Mayor

Dale A. Rudick, P.E.
Director
1002 Washington Avenue
Houston, Texas 77002
T – 832-394-9494
www.houstontx.gov

April 24, 2015

Dan Bankhead, AIA, CEFPI
General Manager of Facilities Design
HISD Construction and Facility Services Department
3200 Center Street
Houston, Texas 77007-5909

RE: Code Interpretation, Section 1004.1 Houston Adopted IBC (2006), Actual Occupant Load, #14018070, 3501 Southmore Street, Blds. A, B and C, Houston, Texas.

Dear Mr. Dan Bankhead:

This is to respond to your Code Interpretation request received April 10, 2015 to clarify the maximum anticipated occupant load based on the specific use of the new educational facility located at 3501 Southmore Street, Houston. This interpretation more accurately represents the actual occupant load based on non-simultaneous use of the facility.

This proposed HISD facility consists of three (3) separate structures. Buildings A and B include educational classrooms with accessory office space, Groups E and B occupancies. Building C is a multi-use assembly building with a small portion designated as a classroom, Groups E, A2, and A3 occupancies. All structures are Type 2B construction protected throughout by fire sprinkler systems and fire alarms. Based on information from the owner and the building designer, during normal business hours the multi-use assembly portion of Building C will serve as a cafeteria to displaced occupants from the two adjacent educational structures. On occasion, after normal business hours, Building C will be used for assembly while the two adjacent structures are not in use. Section 1004.1.1 Exception authorizes the Building Official to set the actual number of occupants of a space, floor or building although it may be less than that determined by calculations based on the occupant load factors of Table 1004.1.1 Houston Adopted IBC (2006). Were the facility a single structure, areas designated as non-simultaneous use spaces would typically not be included in the building's minimum calculated design occupant load. Because there are three separate structures present at this facility each structure requires a separate Certificate of Occupancy and occupant load that is representative of each building's minimum code required design occupant load. This applies in order to address specific life safety design requirements associated with the use of each structure. However, it is our understanding that the owners will not utilize all the three structures of this facility such that each structure will be occupied to its design capacity at the same time. As a result, the actual occupant load designed and assigned for each structure is: 531 for Building A, 790 for Building B, and 933 for Building C, the anticipated combined occupant load present at any given time will only be 1376 occupants maximum. This combined occupant load represents Buildings A and B during normal business hours, as well as the simultaneous occupant load of Building C based on 43 students and 12 employees.

This letter is a clarification for parking allocation requirements regulated by the Planning Department. The design of each building must accommodate the calculated occupant load, as determined by the City of Houston Plan Analyst at the time of submittal. This will utilize Table 1004.1.1 Houston Adopted IBC (2006) with respect to life safety, plumbing fixtures and egress requirements.

If you have questions regarding this review, please contact Michael Howard at (832) 394-9042.

Sincerely,

Thomas J. Hosey
FOR: Thomas J. Hosey
Building Official

TJH:SB:MGH

Council Members: Brenda Stardig Jerry Davis Ellen R. Cohen Dwight Boykins Dave Martin Richard Nguyen Oliver Pennington Edward Gonzalez Robert Gallegos
Mike Laster Larry V. Green Stephen C. Costello David W. Robinson Michael Kubosh C.O. "Brad" Bradford Jack Christie, D.C. Controllor: Ronald C. Green

OFF-STREET PARKING VARIANCE



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

ITEM: IV
Meeting Date: 05/14/15



Department of Public Works & Engineering
Planning & Development Services Division



REQUEST FOR A REDUCED OCCUPANT LOAD FOR AN EDUCATIONAL OCCUPANCY

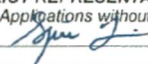
The purpose of this form is to calculate an *actual* occupant load in an educational space that is governed by Texas Educational Agency (TEA) rules that limit maximum class sizes. The code review will be based on the *design* occupant load. Once the code review is approved, the *actual* value will be used to correlate the Wastewater Capacity Reservation letter with the Certificate of Occupancy. This will eliminate unnecessary Wastewater Capacity fees for the school.

PART I. APPLICATION - Use the instructions in Part II, to help complete this form.

General Information

1. School Name:	Energy Institute High School - Building 'B'	5. Date:	1/2/2015 Revised 2/20/15
School District:	HISD		
2. Project Address	3501 Southmore Boulevard	6. Project Number:	VLK: 1420.00 COH # TBD pending ROL Review
Mailing Address:	Houston, TX 77004		
3. Contact Name:	Tim Kunz - VLK Architects	7. Phone:	(281) 671-2300
Email:	tkunz@vlkarchitects.com	Fax:	(281) 671-2313
4. District Representative:	Sizwe Lewis - HISD	8. Phone:	(713) 556-9292
Email:	SLEWIS9@houstonisd.org	Fax:	(713) 556-9277

Occupant Load Calculation.

9. Number of Buildings:	(2 of 2) - Building 'B'	12. Total TEA student allocation per building:	741 (Bldg. B)
(1 unless Temporary Buildings)			
10. Number of Classrooms:	15	13. Assigned School Staff per building:	+ 49 (Bldg. B)
11. Design Occupant Load:	903	14. Additional Occupant Load:	+ **Optional**
DISTRICT REPRESENTATIVE SIGNATURE **REQUIRED*** <i>Note: Applications without the signature will not be processed.</i> 		15. Actual Occupant Load:	= 790 (Bldg. B) 87.5% DoL

Comments and Explanations - Please list any additional information to assist with approval

PART II. DEFINITIONS AND INSTRUCTIONS

Definitions: Use these definitions to help with the terms in Part I of the form.

TEA - The Texas Education Agency.

DESIGN OCCUPANT LOAD - The number of persons for which the means of egress of a building or a portion thereof is designed. Using the formulas in Section 1004 of the Building Code.

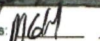

ACTUAL OCCUPANT LOAD - The number of students allowed by TEA in an educational space plus the maximum number of staff assigned to those students. This may be increased by a proposed simultaneous use that adds more people.

Instructions: Use these instructions to complete the Occupant Load Calculation of Part I. Application.

- | | |
|---|---|
| 1. Enter the name of the school and district for which the request is being made. | 9. Enter the total number of buildings. Only 1 (one) building is allowed per request, unless they are temporary buildings. |
| 2. Enter the project address as it appears on the building permit application. Enter mailing address. | 10. Enter the number of classrooms. |
| 3. Enter the name and email of the person requesting the occupant load reduction. | 11. Enter the Design Occupant Load, calculated by Section 1004.1.1 of the Building Code. |
| 4. Enter the name and email of the district representative. | 12. Enter the value assigned by TEA. |
| 5. Enter today's date. | 13. Enter the number of staff assigned to this school by the district. |
| 6. Enter the project number. | 14. This is an <u>optional</u> additional number of persons, groups or organizations that will be using the school simultaneously- during school hours. Enter the number of additional persons that would be using the school in the box. |
| 7. Enter the phone number and fax number of the person requesting the occupant load reduction. | 15. Enter the sum of boxes 10, 11, and 12 (if used). |
| 8. Enter the phone number and fax number of the district representative. | |

PART III. FEES

STANDARD REQUEST: \$67.09 (\$41.29 + \$25.80 Administrative Fee)

FOR OFFICE USE ONLY			
Approving Initials: 	Building Official: 	Date: _____	Receipt # _____

Form No: CE-1131 01/03/112

(832) 394-6039

Public Works & Engineering

Page 10 of 15

OFF-STREET PARKING VARIANCE



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

ITEM: IV
Meeting Date: 05/14/15



Department of Public Works & Engineering
Planning & Development Services Division



REQUEST FOR A REDUCED OCCUPANT LOAD FOR AN EDUCATIONAL OCCUPANCY

The purpose of this form is to calculate an *actual* occupant load in an educational space that is governed by Texas Educational Agency (TEA) rules that limit maximum class sizes. The code review will be based on the *design* occupant load. Once the code review is approved, the *actual* value will be used to correlate the Wastewater Capacity Reservation letter with the Certificate of Occupancy. This will eliminate unnecessary Wastewater Capacity fees for the school.

PART I. APPLICATION - Use the instructions in Part II, to help complete this form.

General Information

1. School Name:	Energy Institute High School - Building 'A'	5. Date:	1/2/2015
School District:	HISD		Revised 2/20/15
2. Project Address	3501 Southmore Boulevard	6. Project Number:	VLK: 1420.00
Mailing Address:	Houston, TX 77004		COH # TBD pending ROL Review
3. Contact Name:	Tim Kunz - VLK Architects	7. Phone:	(281) 671-2300
Email:	tkunz@vlkarchitects.com	Fax:	(281) 671-2313
4. District Representative:	Sizwe Lewis - HISD	8. Phone:	(713) 556-9292
Email:	SLEWIS9@houstonisd.org	Fax:	(713) 556-9277

Occupant Load Calculation.

9. Number of Buildings:	(1 of 2) - Building 'A'	12. Total TEA student allocation per building:	507 (Bldg. A)
10. Number of Classrooms:	14	13. Assigned School Staff per building:	+ 24 (Bldg. A)
11. Design Occupant Load:	615	14. Additional Occupant Load:	+ **Optional**
DISTRICT REPRESENTATIVE SIGNATURE **REQUIRED**		15. Actual Occupant Load:	= 531 (Bldg. A)
Note: Applications without the signature will not be processed.			86% RoL

Comments and Explanations - Please list any additional information to assist with approval

PART II. DEFINITIONS AND INSTRUCTIONS

Definitions: Use these definitions to help with the terms in Part I of the form.

TEA - The Texas Education Agency.

DESIGN OCCUPANT LOAD - The number of persons for which the means of egress of a building or a portion thereof is designed. Using the formulas in Section 1004 of the Building Code.

ACTUAL OCCUPANT LOAD - The number of students allowed by TEA in an educational space plus the maximum number of staff assigned to those students. This may be increased by a proposed simultaneous use that adds more people.

Instructions: Use these instructions to complete the Occupant Load Calculation of Part I. Application.

- | | |
|---|---|
| 1. Enter the name of the school and district for which the request is being made. | 9. Enter the total number of buildings. Only 1 (one) building is allowed per request, unless they are temporary buildings. |
| 2. Enter the project address as it appears on the building permit application. Enter mailing address. | 10. Enter the number of classrooms. |
| 3. Enter the name and email of the person requesting the occupant load reduction. | 11. Enter the Design Occupant Load, calculated by Section 1004.1.1 of the Building Code. |
| 4. Enter the name and email of the district representative. | 12. Enter the value assigned by TEA. |
| 5. Enter today's date. | 13. Enter the number of staff assigned to this school by the district. |
| 6. Enter the project number. | 14. This is an <u>optional</u> additional number of persons, groups or organizations that will be using the school simultaneously- during school hours. Enter the number of additional persons that would be using the school in the box. |
| 7. Enter the phone number and fax number of the person requesting the occupant load reduction. | 15. Enter the sum of boxes 10, 11, and 12 (if used). |
| 8. Enter the phone number and fax number of the district representative. | |

PART III. FEES

STANDARD REQUEST \$67.09 (\$41.29 + \$25.80 Administrative Fee)

FOR OFFICE USE ONLY			
Approving Initials: <i>MBH</i>	Building Official: <i>[Signature]</i>	Date: <i>5/23/15</i>	Receipt #

Form No: CE-1131 01/03/12

(832) 394-9039

Public Works & Engineering

Page 10 of 15

OFF-STREET PARKING VARIANCE



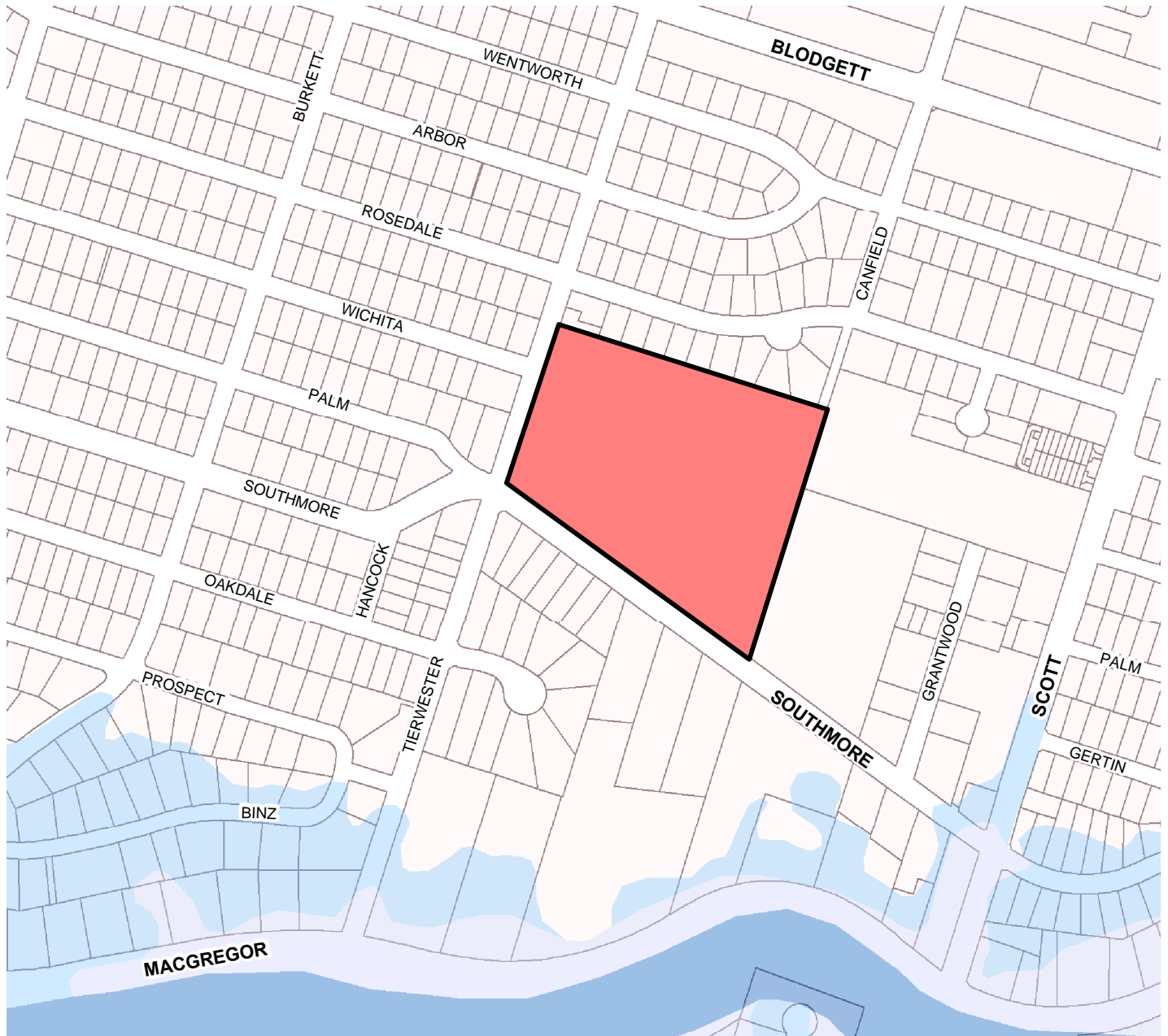
PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: IV

Meeting Date: 05/14/15

Houston Planning Commission

SITE MAP



OFF-STREET PARKING VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: IV

Meeting Date: 05/14/15

Houston Planning Commission

AERIAL MAP



OFF-STREET PARKING VARIANCE

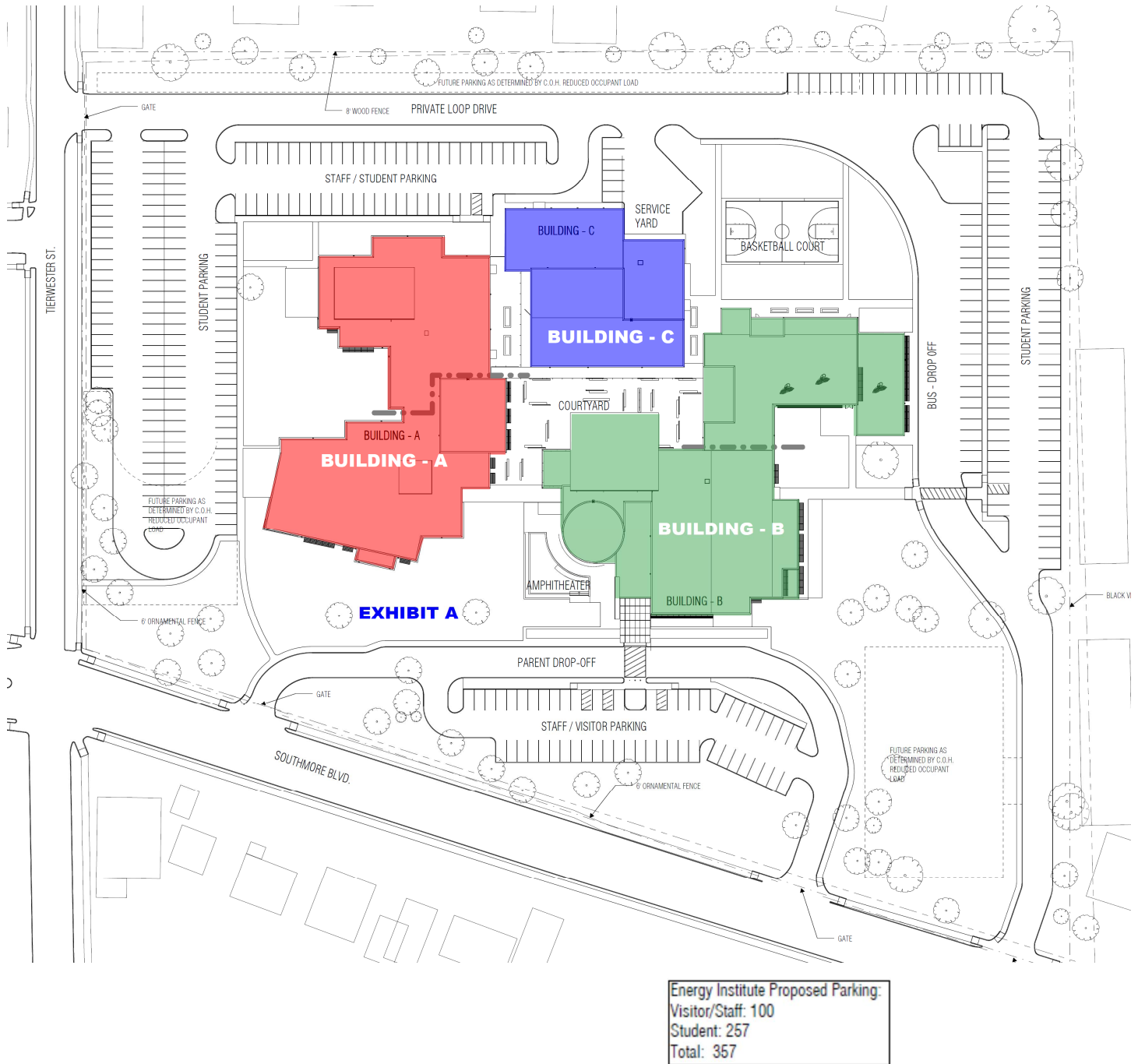


Houston Planning Commission

ITEM: IV

Meeting Date: 05/14/15

PROPOSED SITE PLAN _ EXHIBIT A

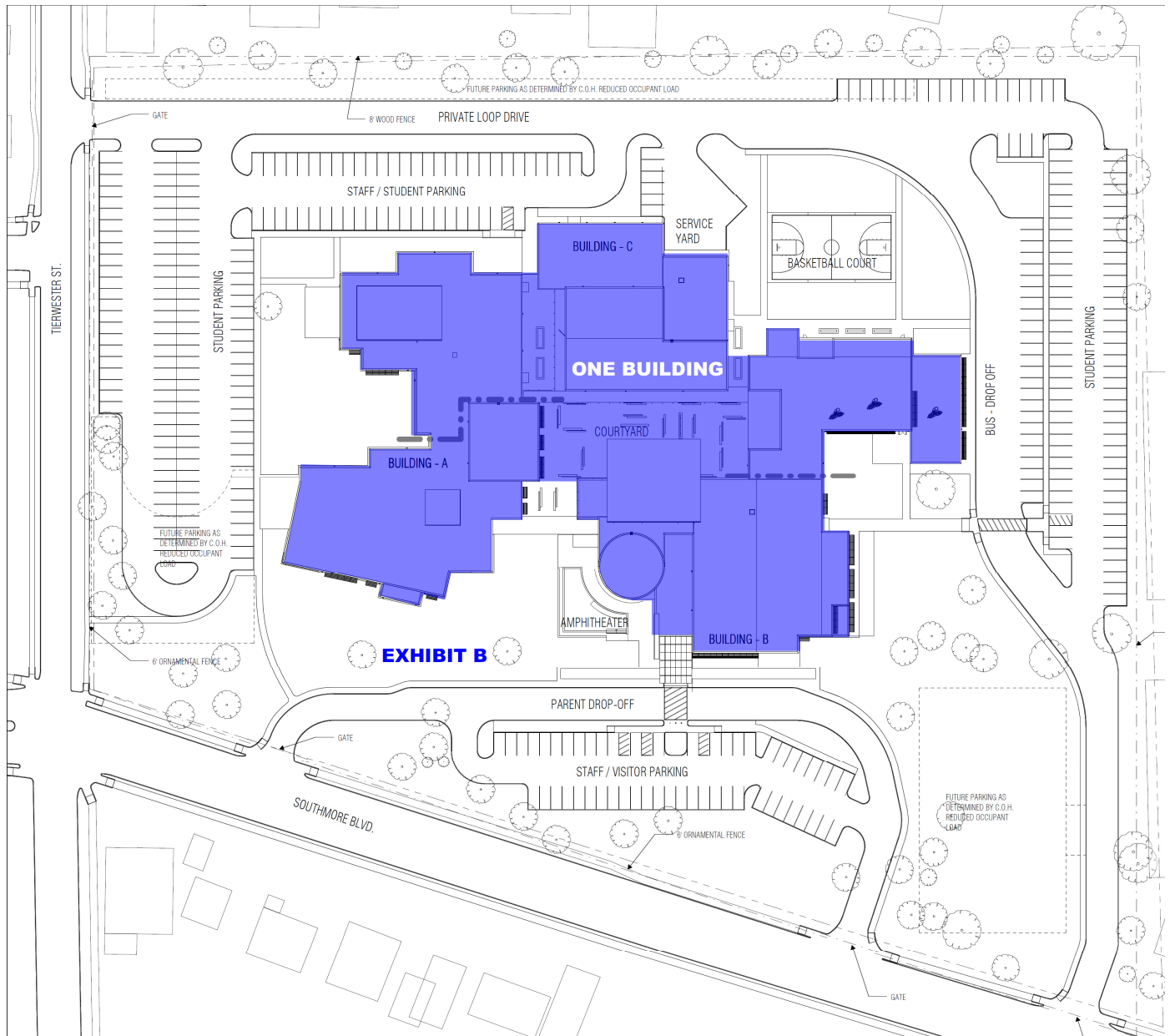


OFF-STREET PARKING VARIANCE



Houston Planning Commission

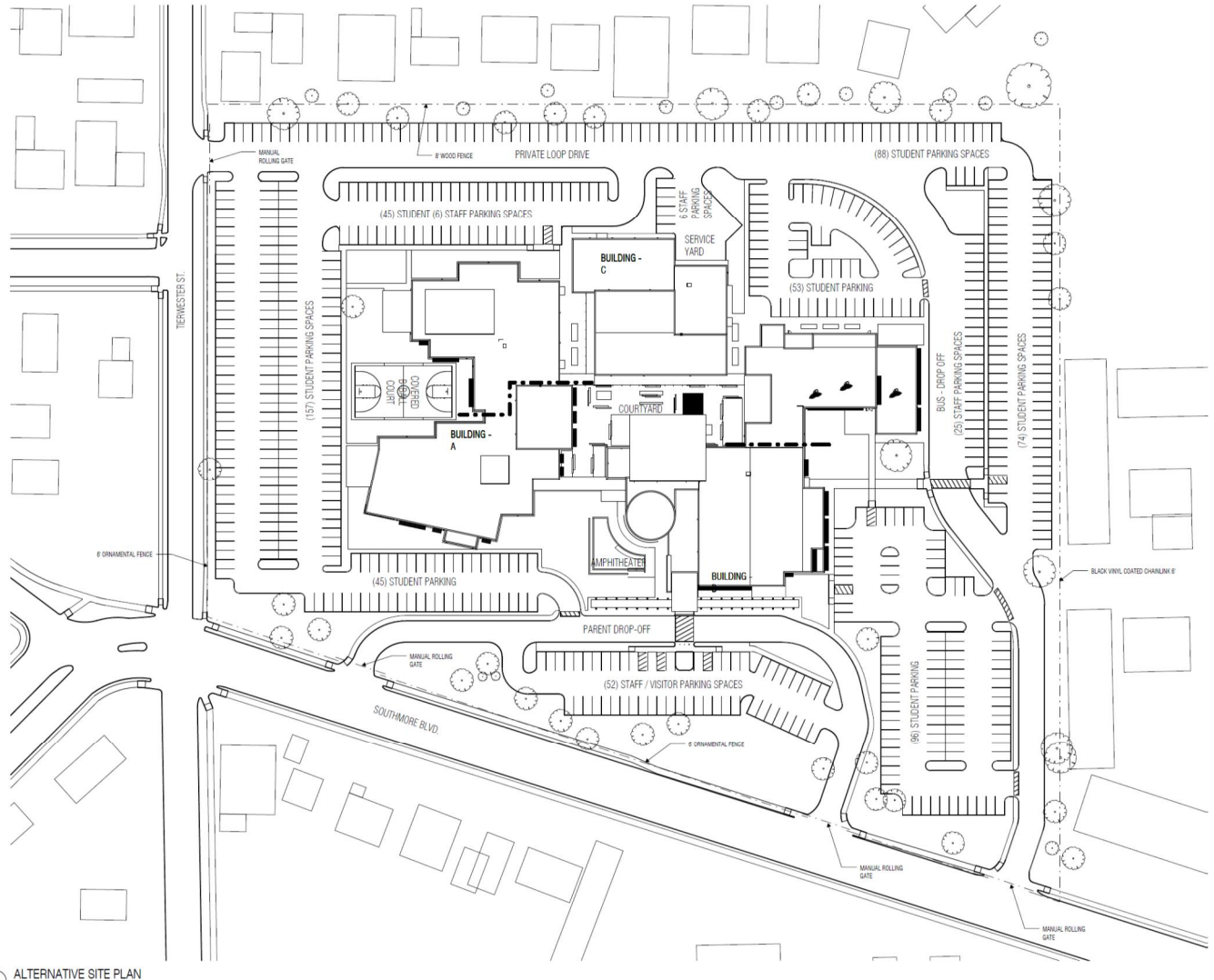
PROPOSED SITE PLAN _ EXHIBIT B



OFF-STREET PARKING VARIANCE



PROPOSED SITE PLAN _ REQUIRED PARKING



1 ALTERNATIVE SITE PLAN
SCALE: 1" = 40'-0"

OFF-STREET PARKING VARIANCE



Houston Planning Commission

ITEM: IV

Meeting Date: 05/14/15

PROPOSED SITE PLAN



OFF-STREET PARKING VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

ITEM: IV

Meeting Date: 05/14/15

Houston Planning Commission



FRONT



ENTRY



CENTRAL COURTYARD



INTERIOR

OFF-STREET PARKING VARIANCE



Houston Planning Commission

VARIANCE REQUEST APPLICATION

An applicant seeking a variance to the Parking Standards of Chapter 26 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to planning.variances@houston.tx.gov prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at www.houstonplanning.com.

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Houston Independent School District	Kedrick Wright	713-556-9329	kwright7@houstonisd.org		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
520 Mercury Drive Furr High School	# 14114072	77013	5658	495H	I

HCAD ACCOUNT NUMBER(S):	0432110000019
PROPERTY LEGAL DESCRIPTION:	TRS 1D & 58 ABST 545 C MARTINEZ
PROPERTY OWNER OF RECORD:	Houston Independent School District
ACREAGE (SQUARE FEET):	96,900 SF
WIDTH OF RIGHTS-OF-WAY:	Oates - 60ft; Mercury - 100 ft
EXISTING PAVING SECTION(S):	Oates - Asphalt, open ditch; Mercury - Concrete curb and gutter
OFF-STREET PARKING REQUIREMENT:	562 off-street parking spaces (with 256 bicycle spaces)
OFF-STREET PARKING PROVIDED:	295 off-street parking spaces provided
LANDSCAPING REQUIREMENTS:	Project Complies

EXISTING STRUCTURE(S) [SQ. FT.]:	175,749 S.F.
PROPOSED STRUCTURE(S) [SQ. FT.]:	1 4,006 S.F..

PURPOSE OF VARIANCE REQUEST: To request a reduction in the required number of off-street parking spaces provided on site from 562 parking spaces to 295. (Current onsite parking space is 282 parking spaces.)

CHAPTER 26 REFERENCE(S): Section 26-492, Class 5 - Religious & Educational, c. School, 3. Senior High School - 1.0 parking spaces per every 3 occupants. Section 26-497. Reduced parking space requirement for

OFF-STREET PARKING VARIANCE



Houston Planning Commission

additional bicycle spaces. (b) The maximum reduction in the number of parking spaces under this section shall be 10 percent of the number of parking spaces required by Sec 26-492 of this Code.

APPLICANT STATEMENT OF FACTS

SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

Houston Independent School District strives to provide each new high school campus with, at minimum, a regulation sized football field, soccer field, softball field, baseball field and tennis courts. Building the required 624 off-street parking spaces would prevent the new Furr HS from having a regulation baseball and softball fields and tennis courts, which are all part of the Physical Education program. These exclusions would prevent the new Furr from having comparable athletic and Physical Education facilities to other new high schools in HISD. HISD is requesting a reduction in the required number of off-street parking spaces from 562 to 295 at the new Furr High School. This request is based on the projected parking needs of the proposed new school. Based on demographic analysis of the current school, comparative analysis with similar programs/schools within HISD, development projections of the surrounding area and demographic analysis of the surrounding community, we feel 295 off-street parking spaces will adequately serve the new campus now and for the next 25-30 years, please see the attached demographic analysis. HISD is committed to providing an equitable educational experience as part of the 2012 Bond Program. The District has made sacrifices to the athletic and Physical Education program to fit the proposed 410 off-street parking spaces.

APPLICANT'S STATEMENT OF FACTS:

The applicant must clearly identify how the requested variance meets the criteria in ALL items (1) through (5); and, if applicable, the sixth (6) condition. The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at planning.variances@cityofhouston.net.

(1) The imposition of the terms, rules, conditions, policies and standards of this article would deprive the owner or applicant of the property of reasonable use of the land or building;

If Houston ISD is required to build the required number of off-street parking spaces, the District will not have adequate room on-site to provide the new Furr High School with comparable athletic and Physical Education facilities as compared to other new high schools in the District. Specifically, Furr will not have regulation sized baseball and softball fields and tennis courts. All of which are vital to the athletic and physical educational programs

OFF-STREET PARKING VARIANCE



Houston Planning Commission

- (2) That the circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant and that in granting the variance the general purposes of this article are being observed and maintained;

Houston ISD is designing all new schools in the most compact footprint possible. Our square foot requirement per student is 140 SF. This SF requirement requires the designers to be very efficient as they prepare the plans.

We have prepared a comparative summary of similar high schools with magnet programs and have analyzed the modes of transportation used by students, staff and teachers to arrive at the school as well as the environmental and existing site conditions. Based on this analysis, created with the assistance of HISD demographer and General Manager for Transportation, as well as our Design Consultants, we can project the future parking needs and address and protect the environmental well-being of the Furr High School Community.

Existing Campus Transportation Comparison													
School Name	Magnet/Charter Program	Current Enrollment	Magnet Enrollment	Bus			Drive		Other*		Teacher, Visitor & Staff parking	Parking Spaces Used	Current Parking Spaces
				No.	Magnet Trans.	Percent	No.	Percent	No.	Percent	No.		
Sterling	Aviation Science	818	48	293	17	36%	50	6%	448	55%	100	150	234
Sharpstown	Leadership	1,323	150	218	36	16%	75	6%	1,030	78%	130	205	351
Milby HS	Science Institute	1,960	400	350	250	18%	85	4%	1,525	78%	190	275	424
Furr HS	STEM Magnet	1021	260	361	66	33%	57	4%	797	62%	80	137	205
*This data was collected from the business managers and principals at each campus, the District's General Manager of Transportation and independent Traffic Impact Analysis.													

*This data was collected from the business managers and principals at each campus, the District's General Manager of Transportation and independent Traffic Impact Analysis.

Ebbert L. Furr High School currently has an enrollment of 1,021 students. The existing Ebbert L. Furr High School houses the Reach Charter School which has enrollment of 260 charter students. Of the 1,021 regular zoned students attending Ebbert L. Furr High School, 361 of the regular zoned students ride the HISD Bus to school. Of the 260 magnet students, 66 ride the HISD bus to school. The remainder of the students either walk to school or are dropped off.

The Reach Charter School will move to a different site once the new Furr High School is completed further reducing the need for parking spaces.

Ebbert L. Furr High School is served by two Metro stops located at corner of Mercury Drive and the IH 10 Service Road. Per the principal, teachers as well as students use Metro to travel to school. (*Reference Transit Location Stop Map*)

Please see the table below for the basis of the request to provide 295 parking spaces in lieu of the ordinance required amount. The new Furr High School will be designed to accommodate an overall enrollment of 1,200 regular zoned and magnet students. A 20% increase in the enrollment of magnet students, HISD Bus Riders (Zoned Riders and Magnet Transfers), Student Drivers, and teacher and staff augmentation is projected. This projected 20% growth of student, teacher, and staff drivers as well as visitors will require about 165 parking spaces. We have included 80 event parking spaces in the projection to accommodate after school events and programs bringing the total parking spaces required to 245 spaces. The proposed onsite parking is 295 parking spaces which is 50 more parking spaces than our projection.

OFF-STREET PARKING VARIANCE



Houston Planning Commission

ITEM: V

Meeting Date: 05/14/15

Projected Transportation Requirements for new campus:			HISD Bus			Drive		Other (Walk or Dropped Off)		Teacher, Visitor/Staff Parking			
School Name:	Max Enrollment	Max Magnet Enrollment	# of Riders	Magnet Trans.	%	Quantity	%	Quantity	%	Quantity	Parking Spaces required	Event parking *	Total Spaces Reqd.
Furr HS	1200	312	396	79	31%	69	10%	735	49%	96	165	80	245

*Event parking for auditorium requires 167 spaces. Events using the auditorium by visitor to campus will occur after school hours.

Provide 80 spaces as a buffer in case of overlap of use by school and after hours event.

As you can see from the table above, the calculation shows that a total of 245 spaces should adequately serve the school and community. We are proposing to provide 295 spaces. In the event additional parking is required in the future, the areas where the paved parking is proposed to be eliminated could be paved and used as parking space.

(3) The intent of this article is preserved;

Adequate and accessible parking will be provided for the students, staff and visitors of Furr High School. The reduced number of off-street parking spaces will be sufficient to prevent overflow street parking in the surrounding community.

(4) The parking provided will be sufficient to serve the use for which it is intended;

As detailed in the above table, Adequate and accessible parking will be provided for the students, staff and visitors of the new Furr High School. Daily student, staff and visitor needs along with special event parking needs have been addressed. Sixteen (16) Handicap parking spaces as well as parking spaces for bicycles will be provided.

(5) The granting of such a variance will not be injurious to the public health, safety or welfare; and

The new Furr High School will have adequate off-street parking spaces for students, faculty, staff and visitors. The parking will be conveniently and strategically located to prevent parking on the surrounding streets. Providing convenient off-street parking will keep the campus parking and traffic onsite and away from the surrounding community.

(6) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII, chapter 33, of this Code.

Not applicable.

OFF-STREET PARKING VARIANCE



Houston Planning Commission

STANDARDS FOR VARIANCES

(a) The commission is authorized to consider and grant variances from the provisions of this article by majority vote of those members present and voting, when the commission determines that the first five of the following conditions exist, and if applicable, the sixth condition, exists:

- (1) The imposition of the terms, rules, conditions, policies and standards of this article would deprive the owner or applicant of the property of reasonable use of the land or building;
- (2) That the circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant and that in granting the variance the general purposes of this article are being observed and maintained;
- (3) The intent of this article is preserved;
- (4) The parking provided will be sufficient to serve the use for which it is intended;
- (5) The granting of such a variance will not be injurious to the public health, safety or welfare; and
- (6) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII, chapter 33, of this Code.

(b) In addition, if the variance involves an off-site parking facility, the commission must determine that a proposed off-site parking facility will be located so that it will adequately serve the use for which it is intended. In making this determination, the following factors, among other things, shall be considered:

- (1) The location of the proposed building and the proposed off-site parking facility.
- (2) Existing and potential parking demand created by other occupancies in the vicinity.
- (3) The characteristics of the occupancy, including employee and customer parking demand, hours of operation, and projected convenience and frequency of use of the off-site parking.
- (4) Adequacy, convenience, and safety of pedestrian access between off-site parking and the occupancy.
- (5) Traffic patterns on adjacent streets, and proposed access to the off-site parking.
- (6) The report and recommendation of the director and the traffic engineer.

Any variance granted under the provisions of this section will apply only to the specific property and use upon which the commission was requested to grant a variance by the applicant and shall not constitute a change of this article or any part hereof. All variances as granted shall be in writing shall be signed by the secretary of the commission and maintained as a permanent record of the commission.

OFF-STREET PARKING VARIANCE



PLANNING &
DEVELOPMENT
DEPARTMENT

Houston Planning Commission

ITEM: V
Meeting Date: 05/14/15



Revised 2/16/2015
Department of Public Works & Engineering
Building Code Enforcement Branch



REQUEST FOR A REDUCED OCCUPANT LOAD FOR AN EDUCATIONAL OCCUPANCY

The purpose of this form is to calculate an *actual* occupant load in an educational space that is governed by Texas Educational Agency (TEA) rules that limit maximum class sizes. The code review will be based on the *design occupant load*. Once the code review is approved, the *actual* value will be used to correlate the Wastewater Capacity Reservation letter with the Certificate of Occupancy. This will eliminate unnecessary Wastewater Capacity fees for the school.

PART I. APPLICATION - Use the instructions in Part II, to help complete this form.

General Information			
1. School Name:	Ebbert L. Furr High School	5. Date:	February 09, 2015
School District:	Houston Independent School District	6. Project Number:	1411407
2. Project Address:	520 mercury Drive, Houston, Texas 77013	7. Phone:	281-841-1507
Mailing Address:	3200 Center Street, Houston, Texas 77007	Fax:	281-370-6504
3. Contact Name:	Roderick Sias	8. Phone:	751-556-9329
Email:	Rod Sias@Vanir.com	Fax:	281-370-6504
4. District Representative:	Kedrick Wright		
Email:	kwright7@houstonisd.org		
Occupant Load Calculation			
9. Number of Buildings: (1 unless Temporary Buildings)	1	12. Total TEA student allocation per building:	1,731
10. Number of Classrooms:	45	13. Assigned School Staff per building:	+ 141
11. Design Occupant Load:	Floor 1 = 381+180 = 561 Floor 2 = 518+104 = 620 Floor 3 = 319+231 = 550	14. Additional Occupant Load: **Optional**	+ 0
DISTRICT REPRESENTATIVE SIGNATURE ** REQUIRED*** <i>Note: Applications without the signature will not be processed.</i>		15. Actual Occupant Load:	= 1,872
Comments and Explanations - Please list any additional information to assist with approval			

PART II. DEFINITIONS AND INSTRUCTIONS

Definitions: Use these definitions to help with the terms in Part I of the form.

TEA - The Texas Education Agency.

DESIGN OCCUPANT LOAD - The number of persons for which the means of egress of a building or a portion thereof is designed. Using the formulas in Section 1004 of the Building Code.

ACTUAL OCCUPANT LOAD - The number of students allowed by TEA in an educational space plus the maximum number of staff assigned to those students. This may be increased by a proposed simultaneous use that adds more people.

Instructions: Use these instructions to complete the Occupant Load Calculation of Part I. Application.

- Enter the name of the school and district for which the request is being made.
- Enter the project address as it appears on the building permit application. Enter mailing address.
- Enter the name and email of the person requesting the occupant load reduction.
- Enter the name and email of the district representative.
- Enter today's date.
- Enter the project number.
- Enter the phone number and fax number of the person requesting the occupant load reduction.
- Enter the phone number and fax number of the district representative.
- Enter the total number of buildings. Only 1 (one) building is allowed per request, unless they are temporary buildings.
- Enter the number of classrooms.
- Enter the Design Occupant Load, calculated by Section 1004.1.1 of the Building Code.
- Enter the value assigned by TEA.
- Enter the number of staff assigned to this school by the district.
- This is an optional additional number of persons, groups or organizations that will be using the school simultaneously- during school hours. Enter the number of additional persons that would be using the school in the box.
- Enter the sum of boxes 10, 11, and 12 (if used).

PART III. FEES

STANDARD REQUEST \$69.56 (\$42.87 + \$26.75 Administrative Fee)

FOR OFFICE USE ONLY			
Approving Initials:	Building Official:	Date:	Receipt #
MCW	[Signature]	2-20-15	

Form No: CE-1131 rev 01/01/2014

(832) 394-9039

Public Works & Engineering

Page 1 of 1

OFF-STREET PARKING VARIANCE



PLANNING & DEVELOPMENT DEPARTMENT

Houston Planning Commission

ITEM: V

Meeting Date: 05/14/15



Overall HISD boundary map, with high school zones' boundary lines. The Furr HS boundary is highlighted in red. See enlarged map attached.

Furr High School

STEM Magnet/Futures Academy

At time of this study, this is the number of students living within the Furr HS zone that attend Furr HS.

Campus Enrollment and Capacity		
Snapshot 2014	Students	Share
Living in Zone	777	77%
Transfers In	238	23%
Membership	1,015	
Facility Capacity	1,407	
Facility Utilization	72%	
Group	Students	% Total
American Indian	0	0%
Asian/Pac. Islander	5	0%
African-American	171	17%
Hispanic	804	79%
Multi-Racial	12	1%
White	23	2%
Econ. Disadvantaged	977	96%
Immigrant	66	7%

Zone Enrollment by Demographic Group							
Grades 9-12	2012	2013	2014	1yr△	2yr△		
American Indian	2	0	0	0%	0	-2	
Asian/Pac. Islander	11	9	8	1%	-1	-3	
African-American	241	249	239	22%	-10	-2	
Hispanic	797	788	822	74%	34	25	
Multi-Racial	2	2	11	0%	9	9	
White	22	21	23	2%	2	1	
Total	1,075	1,069	1,103		34	28	
Econ. Disadvantaged	930	946	968	87%	22	38	
Immigrant	8	17	66	2%	49	58	
Grade 8	254	250	277		27	23	

This star represents the location of the Furr HS campus.

Schools the Zone Population Attend		
Campus	Type	Students
Furr	Zone	777
REACH	HISD	102
Jordan	HISD	40
Reagan	HISD	25
Lamar	HISD	17
HAIS	HISD	12
Chavez	HISD	10
LECIHS	HISD	10
Young Women's	HISD	9
East Early Clg.	HISD	9
All Other Schools	HISD	92
Total in HISD		1,103
Campus	Type	Students
North Shore HS	GPISD	32
Galena Park HS	GPISD	23
Yes Prep East End	Charter	19
Deer Park HS	DPIPSD	12
Houston Can North	Charter	9
Texas Virtual Acad.	Charter	7
KIPP Generations	Charter	6
Houston Can Hobby	Charter	4
Phoenix School	Charter	2
Other Public School		13
Total in Charters/Other Districts		127
Not in Public School		413
Census Estimate (Fall 2013)		1,643

326

Transfers Out

Race of Transfers Out

1% Asian/Pac. Islander
29% African-American
69% Hispanic
1% White
0% Multi-Racial

This outline is the boundary of Houston ISD.

Of the total 1,643 high school aged persons living within the Furr HS zone, this is number that attend a Houston ISD school.

238

Transfers In

Race of Transfers In

0% Asian/Pac. Islander
11% African-American
87% Hispanic
2% White
0% Multi-Racial

Top 5 Home Campuses

Wheatley 177
Kashmere 16
Austin 9
Worthing 7
Sterling 6

Of the transfers into Furr HS, the majority come from the high school zones adjacent to Furr's zone.

This is the total number of high school aged persons living within the Furr HS zone.

OFF-STREET PARKING VARIANCE

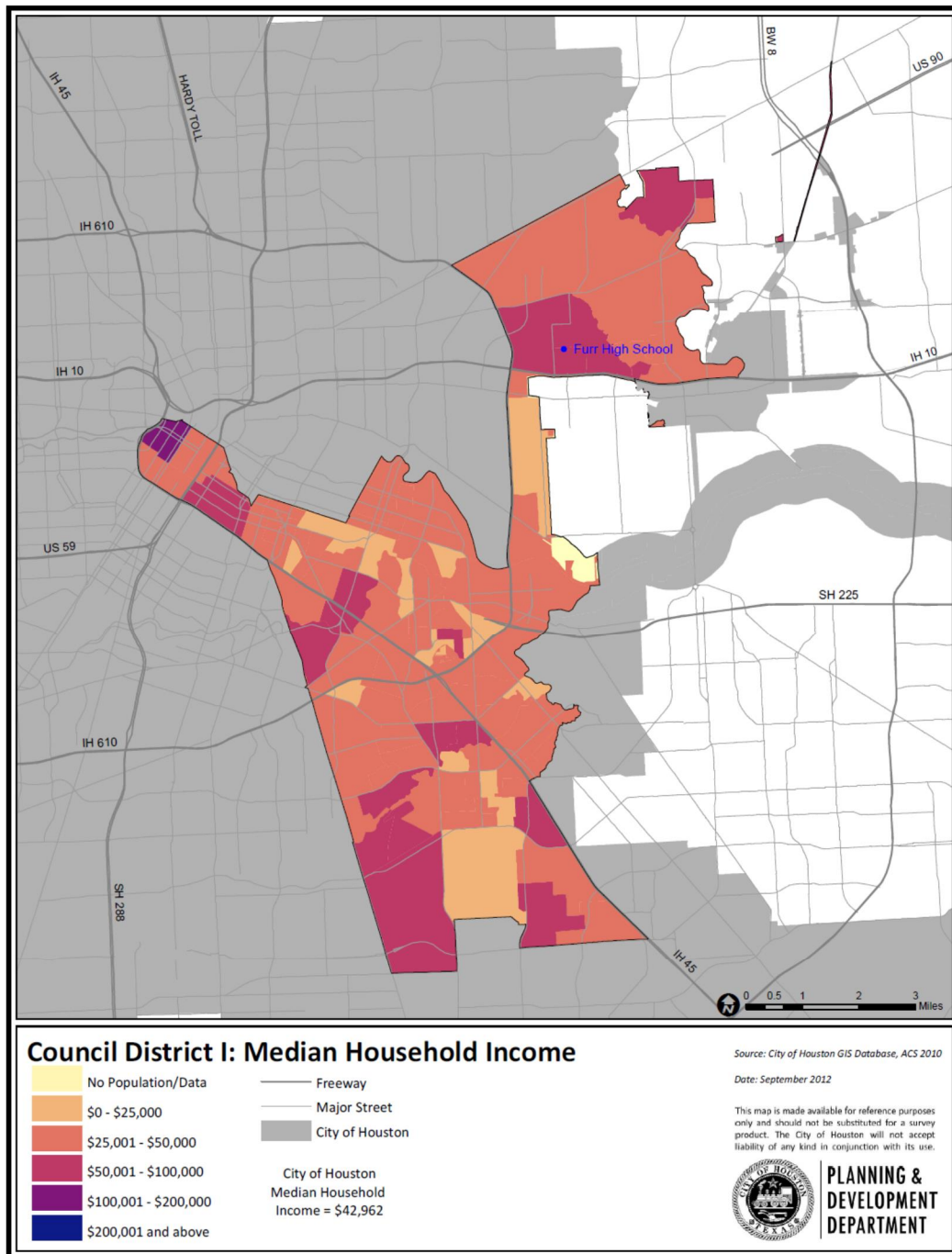


PLANNING &
DEVELOPMENT
DEPARTMENT

Houston Planning Commission

ITEM: V

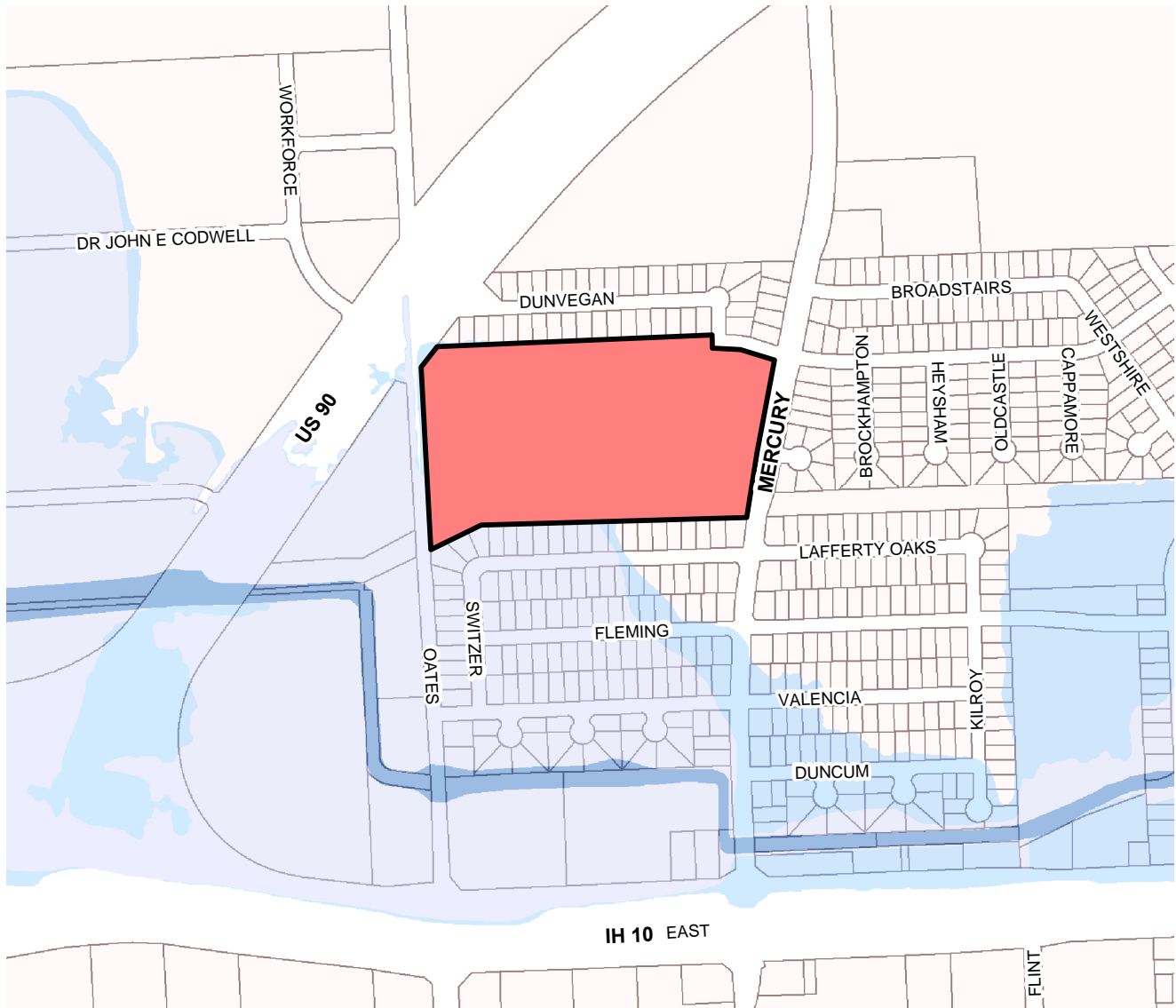
Meeting Date: 05/14/15



OFF-STREET PARKING VARIANCE



SITE MAP



OFF-STREET PARKING VARIANCE



PLANNING &
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DEPARTMENT

Houston Planning Commission

ITEM: V

Meeting Date: 05/14/15

AERIAL MAP



OFF-STREET PARKING VARIANCE



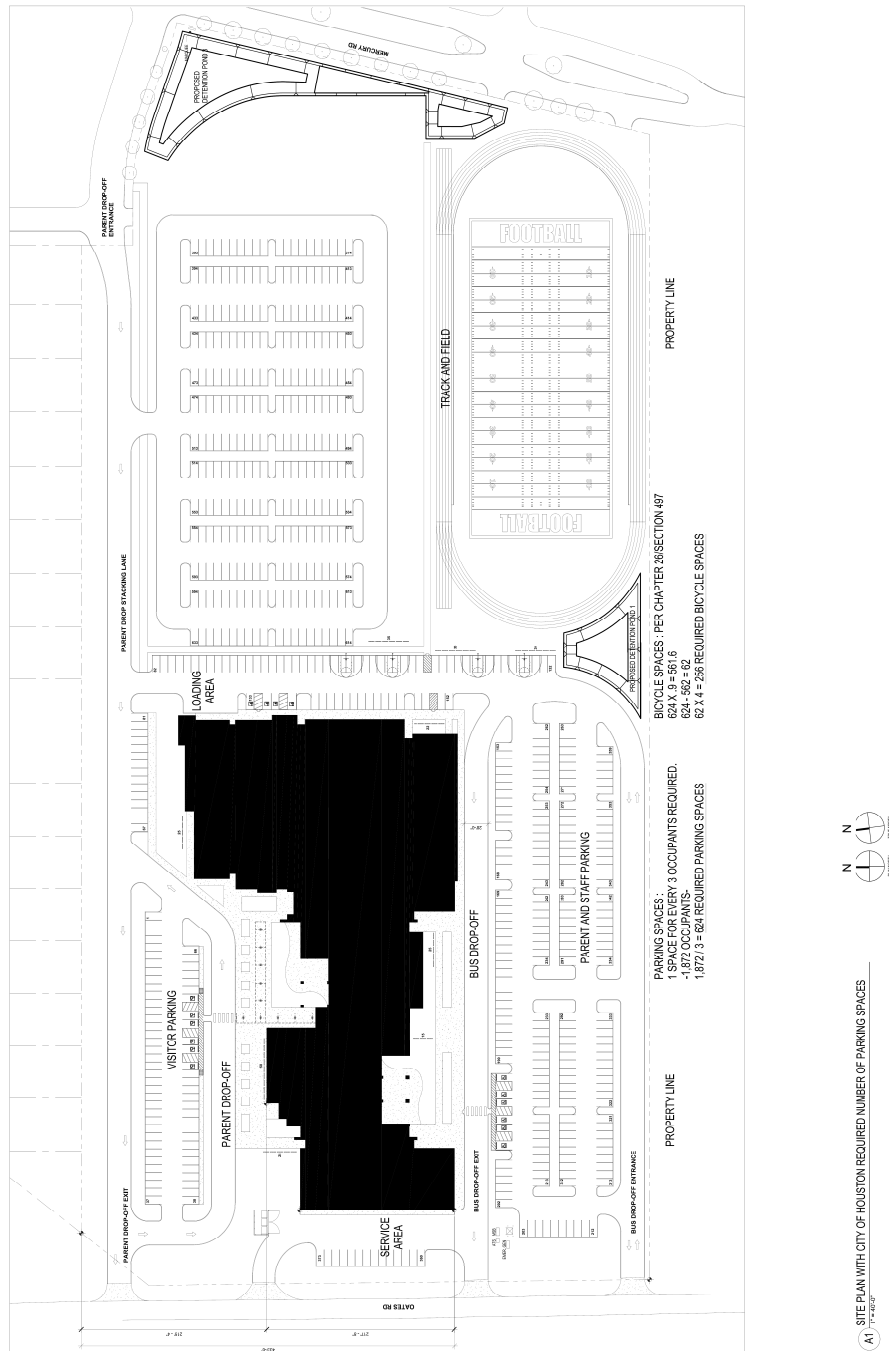
PLANNING &
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Houston Planning Commission

ITEM: V

Meeting Date: 05/14/15

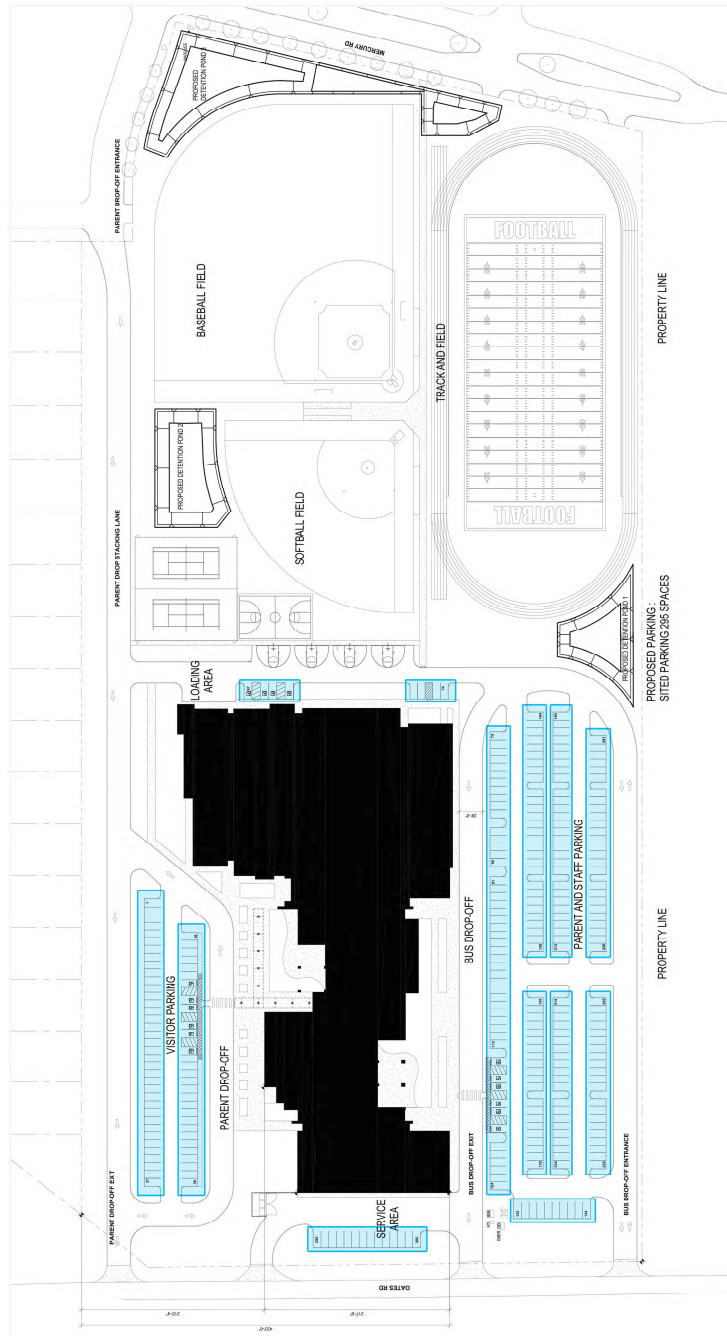
PROPOSED SITE PLAN



OFF-STREET PARKING VARIANCE



SITE PLAN WITH REQUIRED SPACES



(A) SITE PLAN WITH REDUCED NUMBER OF PARKING SPACES
1" = 100' 0"

OFF-STREET PARKING VARIANCE

AGENDA: VI

SMLSA Application No. 391: Navigation Subdivision, Blocks 1, 2, 3, 4, 5, 6, 7 and 8

BACKGROUND:

The Planning and Development Department received an application for the establishment of a Special Minimum Lot Size Area (SMLSA) for Navigation Subdivision. Analysis shows that a minimum lot size of 4,790 square feet exists for the area. A petition was signed by the owners of 71% of the property within the proposed SMLSA. An application was filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-204. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

PROCEDURES:

Following acceptance of an initially complete application, the Planning Director notifies all owners of property within the proposed SMLSA. Any property owner who wishes to vote for or against the creation of the minimum lot size area may return the response form within thirty days. The Director shall forward a complete application to Planning Commission for public hearing and consideration upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 55% of the property within the proposed SMLSA

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSA shall contain no less than five block faces, composed of 5 lots or more on each blockface;
- at least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- the proposed SMLSA does not include a significant area developed as or restricted to a use that is not single family residential and;
- does not include a significant area that does not share a lot size character with the rest of the proposed area
- that the applicant has demonstrated sufficient support of 55% for the establishment of the proposed SMLSA;
- that the establishment of the SMLSA will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSA has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSA is enforceable for forty (40) years from the effective date of the ordinance.

STAFF ANALYSIS:

This application includes eight-four (84) properties in Navigation Subdivision

Analysis of the application resulted in the following findings:

- *The boundaries of the proposed SMLSA must contain not less than five (5) blockfaces composed of five (5) lots or more on each blockface;*

The application contains nine (9) blockfaces with at least 5 lots on 5 blockfaces

- *At least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*

Land use of the properties consists of sixty-nine (69) single-family residential properties representing 82% of the total lots.

- *The applicant has demonstrated sufficient support for the SMLSA;*

The applicant obtained 58% support from property owners in the proposed SMLSA

- *Establishment of the SMLSA will further the goal of preserving the area lot size character;*

A minimum lot size of 4,790 square feet exists on fifty-six (56) of eighty-four (84) lots in the area.

- *The proposed SMLSA has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*

The subdivision was platted in 1938, and some of the houses were constructed in the 1930s. The establishment of a 4,790 square foot minimum lot size will preserve the lot size character of the area.

- *The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*

Fifty-six (56) out of eighty-four (84) lots representing 70% of the application area is at least 4,790 square feet in size.

Public notice of the public hearing was transmitted to all property owners in the area.

ATTACHMENTS:

1. Staff Analysis Summary Page
2. Map of Support
3. Map of Lots that meet SMLSA
4. Land Use Map
5. Aerial Map
6. Protest Letter
7. Application
8. HCAD Map

SPECIAL MINIMUM LOT SIZE AREA YOUR SUBDIVISION

ADDRESS	Lot size (in sq ft)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
4523 IRA ST	12,036	2.7%	2.7%	Y	Y	SFR
617 N EASTWOOD AVE	9,072	2.0%	4.7%	Y	Y	COM
617 N EASTWOOD ST	9,021	2.0%	6.7%	Y	Y	COM
713 N EASTWOOD ST	6,544	1.4%	8.1%		Y	SFR
707 N EASTWOOD ST	6,392	1.4%	9.5%	Y	Y	SFR
605 EASTWOOD ST	5,952	1.3%	10.8%	Y	Y	SFR
611 N EASTWOOD ST	5,952	1.3%	12.1%	Y	Y	SFR
615 N EASTWOOD ST	5,952	1.3%	13.5%	Y	Y	SFR
602 N EASTWOOD ST	5,764	1.3%	14.7%	Y	Y	SFR
601 N SUPER ST	5,763	1.3%	16.0%	Y	Y	SFR
602 N SUPER ST	5,763	1.3%	17.3%		Y	SFR
606 N EASTWOOD ST	5,763	1.3%	18.6%	Y	Y	VAC
610 N EASTWOOD ST	5,763	1.3%	19.8%	Y	Y	SFR
714 N SUPER ST	5,749	1.3%	21.1%		Y	SFR
604 N SUPER ST	5,742	1.3%	22.4%	Y	Y	SFR
607 N SUPER ST	5,742	1.3%	23.6%	Y	Y	SFR
611 N SUPER ST	5,742	1.3%	24.9%	Y	Y	SFR
614 N EASTWOOD ST	5,742	1.3%	26.2%	Y	Y	SFR
615 N SUPER ST	5,742	1.3%	27.4%			SFR
618 N EASTWOOD ST	5,742	1.3%	28.7%	Y	Y	SFR
618 N SUPER ST	5,742	1.3%	30.0%		Y	SFR
619 N SUPER ST	5,742	1.3%	31.3%		Y	SFR
620 N SUPER ST	5,742	1.3%	32.5%	Y	Y	SFR

Special Minimum Lot Size Area

Planning and Development Department

622 N EASTWOOD ST	5,742	1.3%	33.8%	Y	Y	SFR
701 N SUPER ST	5,742	1.3%	35.1%		Y	SFR
702 N SUPER ST	5,742	1.3%	36.3%	Y	Y	SFR
706 N SUPER ST	5,742	1.3%	37.6%	Y	Y	SFR
707 N SUPER ST	5,742	1.3%	38.9%	Y	Y	SFR
710 N SUPER ST	5,742	1.3%	40.1%		Y	SFR
711 N SUPER ST	5,742	1.3%	41.4%	N	Y	SFR
614 N SUPER ST	5,741	1.3%	42.7%			SFR
702 N EASTWOOD ST	5,741	1.3%	43.9%	Y	Y	SFR
715 N SUPER ST	5,704	1.3%	45.2%			MF
543 N EASTWOOD ST	5,225	1.2%	46.4%	Y		SFR
714 N EASTWOOD ST	5,163	1.1%	47.5%	Y	Y	SFR
714 N EASTWOOD ST	5,163	1.1%	48.6%	Y	Y	SFR
529 N EASTWOOD ST	5,035	1.1%	49.7%	Y		SFR
531 EASTWOOD ST	5,035	1.1%	50.9%	Y	Y	SFR
535 N EASTWOOD ST	5,035	1.1%	52.0%			SFR
537 N EASTWOOD ST	5,035	1.1%	53.1%			SFR
0 DRENNAN ST	5,000	1.1%	54.2%			COM
4415 NAVIGATION BLVD	4,992	1.1%	55.3%			COM
507 N EASTWOOD ST	4,982	1.1%	56.4%	Y	Y	SFR
511 N EASTWOOD ST	4,982	1.1%	57.5%		Y	SFR
513 N EASTWOOD ST	4,982	1.1%	58.6%	Y		SFR
519 N EASTWOOD ST	4,982	1.1%	59.7%		Y	SFR
523 N EASTWOOD ST	4,982	1.1%	60.8%	Y		SFR
4515 IRA ST	4,970	1.1%	61.9%	Y	Y	SFR
4519 IRA ST	4,970	1.1%	63.0%	Y	Y	SFR
4525 IRA ST	4,970	1.1%	64.1%		Y	SFR
538 EASTWOOD ST	4,957	1.1%	65.2%	Y	Y	MF
543 N SUPER ST	4,874	1.1%	66.3%	Y	Y	SFR

Special Minimum Lot Size Area

Planning and Development Department

0 N SUPER ST	4,790	1.1%	67.3%			COM
4419 NAVIGATION BLVD	4,790	1.1%	68.4%			COM
4503 NAVIGATION ST	4,790	1.1%	69.4%	N		COM
4503 NAVIGATION ST	4,790	1.1%	70.5%	N		COM
0 N SUPER ST	4,770	1.1%	71.6%			COM
502 N EASTWOOD ST # 4	4,770	1.1%	72.6%			MF
508 N EASTWOOD ST	4,770	1.1%	73.7%			MF
512 EASTWOOD ST	4,770	1.1%	74.7%	Y	Y	SFR
512 N SUPER ST	4,770	1.1%	75.8%		Y	SFR
514 N EASTWOOD ST	4,770	1.1%	76.8%	Y	Y	SFR
515 N SUPER ST	4,770	1.1%	77.9%			SFR
516 N EASTWOOD ST	4,770	1.1%	78.9%	Y	Y	SFR
516 N SUPER ST	4,770	1.1%	80.0%	Y	Y	SFR
517 N SUPER ST	4,770	1.1%	81.0%	Y	Y	MF
518 N EASTWOOD ST	4,770	1.1%	82.1%	Y	Y	SFR
518 N SUPER ST	4,770	1.1%	83.1%			SFR
521 N SUPER ST	4,770	1.1%	84.2%			SFR
524 N SUPER ST	4,770	1.1%	85.3%		Y	SFR
528 N EASTWOOD ST	4,770	1.1%	86.3%	Y	Y	SFR
528 N SUPER ST	4,770	1.1%	87.4%		Y	SFR
529 N SUPER ST	4,770	1.1%	88.4%		Y	SFR
531 N SUPER ST	4,770	1.1%	89.5%	Y		SFR
532 N EASTWOOD ST	4,770	1.1%	90.5%	Y	Y	SFR
532 N SUPER ST	4,770	1.1%	91.6%	Y		SFR
533 N SUPER ST	4,770	1.1%	92.6%	Y	Y	SFR
534 N EASTWOOD ST	4,770	1.1%	93.7%	Y	Y	SFR
536 N EASTWOOD ST	4,770	1.1%	94.7%	Y	Y	SFR
536 N SUPER ST	4,770	1.1%	95.8%	Y	Y	SFR
539 N SUPER ST	4,770	1.1%	96.8%		Y	SFR

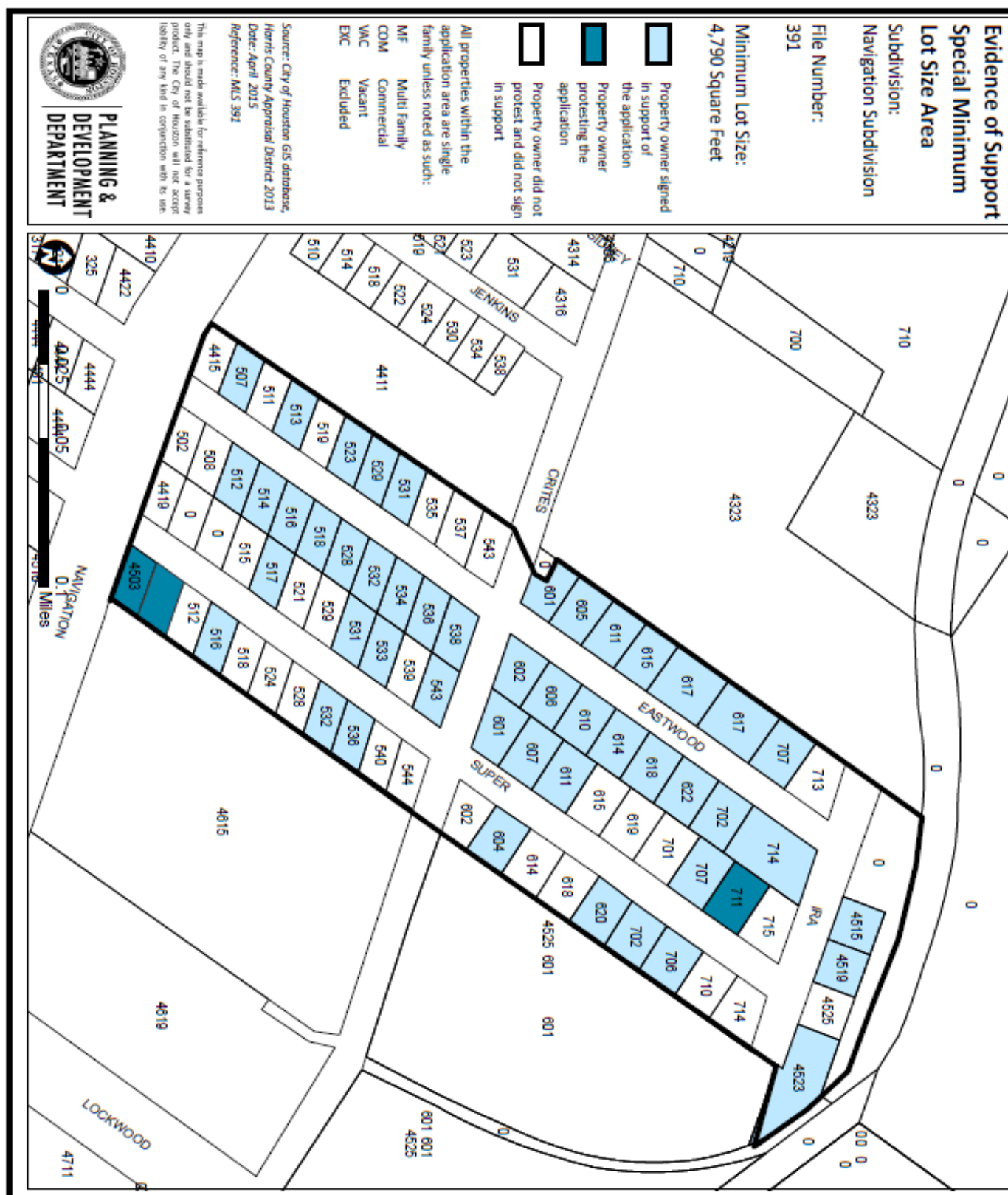
Special Minimum Lot Size Area

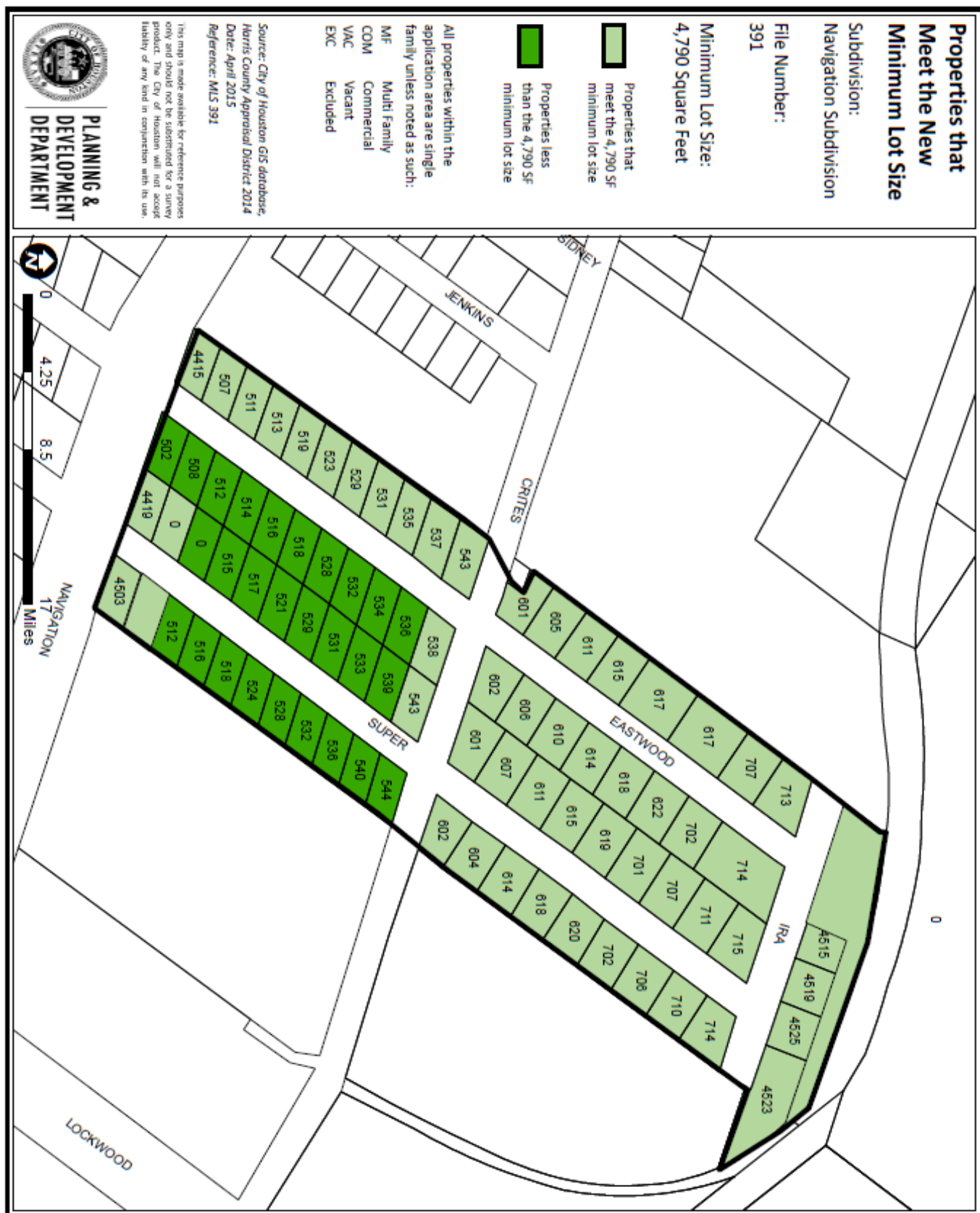
Planning and Development Department

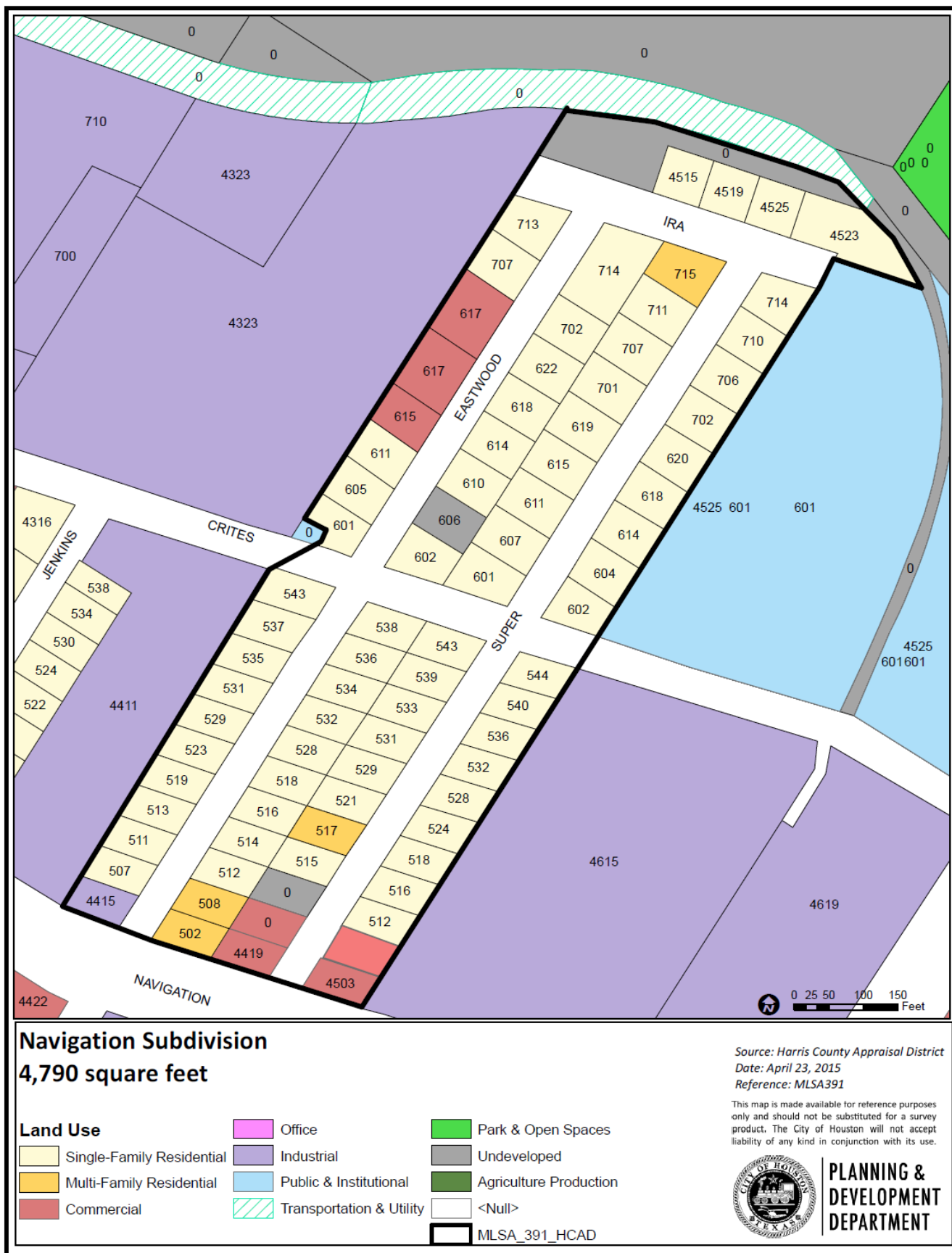
540 N SUPER ST	4,770	1.1%	97.9%			SFR
544 N SUPER ST	4,761	1.1%	99.0%		Y	SFR
601 N EASTWOOD ST	4,733	1.0%	100.0%	Y	Y	SFR

This application qualifies for a Special Minimum Lot Size of:	4,790 sq ft
Response forms received in support of the SMLSA:	49
Response forms received in opposition of the SMLSA:	3
Percentage of property owners in support of the SMLSA boundary: (must be at least 55%)	58.3%
Percentage of property owners signed the petition for the SMLSA application: (must be at least 10%)	60%

# of developed or restricted to no more than two SFR Units	69
# of Multifamily lots	5
# of Commercial lots	9
# of Vacant Lots	1
# of Excluded Lots	0
TOTAL NUMBER OF LOTS	84
Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 80%):	82%









Navigation Subdivision
4,790 square feet

Source: Harris County Appraisal District
Date: April 23, 2015
Reference: MLSA391

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING &
DEVELOPMENT
DEPARTMENT**

 MLSA_391_HCAD

April 29, 2015

To whom it may concern:

Good afternoon,

I am here to represent my mother and the majority of property owners on N. Super St. who do not speak English and/or are senior citizens so that is the reason I have volunteered to help translate and voice their concerns...

As property owners we are extremely concerned with the application submitted in regards to our properties.

We now understand that the application restricts the use of our property and directly affects our property values.

The main reason we all purchased our homes in this area is because our properties have no restrictions on the use of our land.

We all agree that we do not want to loose this right and we do not agree with the application submitted by another property owner.

We also feel that it is extremely unfair that the applicant submitting the application has had the privileged to use their property as they wish for not only residential but also commercial use but is now applying to take this privilege away from other property owners.

Therefore, we disagree 100% and do not support the application.

As homeowners we ask that you deny or modify the application to exclude our lots.

We have provided our names, signatures, addresses and phone numbers so you know which lots should not be made part of the application.

Sincerely, All concerned property owners: see attachment with English and Spanish letters signed 4/29/2015

Thank you.

April 28, 2015

Dear Planning Commission:

As homeowners we are extremely concerned with a recent application submitted by a property owner.

We understand that this application restricts our rights on what all we can do on our property as well as impacting our property value. The main reason we purchased property in this area is due to the fact that there ~~are~~ no restrictions in regards to the use of our property and we all agree that we want it to stay this way. We feel real strong about this and don't appreciate nor support the application being submitted.

As property owners we all agree to have the application denied and if not denied than modified to remove our lots from submitted application. We 100% DISAGREE AND DO NOT SUPPORT SUCH Application.

Sincerely,

April 28, 2015

Estimado Dept. Planning,

Como propietarios estamos extremadamente preocupados con la reciente aplicación.

Entendemos que la aplicación restringe nuestros derechos sobre nuestra propiedad y que también directamente impacta el valor de nuestras propiedades. La razón principal que todos nosotros compramos nuestras propiedades es porque ~~las~~ propiedades no tienen restricciones sobre que podemos hacer en nuestras propiedades ni en el uso que les quieramos dar. Todos nosotros estamos de acuerdo que no queremos que este derecho se nos quite. No apoyamos ni tampoco estamos de acuerdo con la aplicación que un propietario a sometido.

Como propietarios les pedimos que cancelen o modifiquen para que nuestros terrenos no se incluyan en dicha petición.

Todos estamos 100% Desacuerdo y No Apoyamos La aplicación.

Sinceramente,

4-29-2015

- S.G. ① SANJUANITA GUERRA - 602 N. SUPER (713-551-1910)
- J.M. ② JORGE MARTINEZ - 543 N. SUPER (713-926-9650)
- ~~574~~ ③ P E MAIL E F O A R E S 5 9 8 N Super
713 923 7068
- ④ Auxelia Lucia 713-928-3962
518 N SUPER 77011
- ⑤ ALICIA CHAVEZ 714 N SUPER
- ⑥ RUBEN LUCIO 518 SUPER Houston Tex 77011
- ⑦ GREGORIO R. REYES 607 N SUPER 77011
713 - 923-5230
- ⑧ Miguel A. Martinez 832-217-9250/615 N. SUPER
- ⑨ Maribel Cruces 488 N. Super 832-839-0278
- ⑩ FERNANDO y MARIA GRIMALDO - 620 N. SUPER 77011
713-928-8624
- ⑪ Boss Lopez 832-883-9031
707 NORTH SUPER 77011
- ⑫ IRENE GARZA 832-884-1838
711 N. SUPER ST.
- ⑬ Maria Irene Pina 832-213-76-89
710 N Super Houston, TX 77011
- ⑭ Arturo De Los Angeles
Juana De Los Angeles 713-921-2481
512 N. Super Houston TX 77011
- ⑮ ELVIRA GONZALEZ 601 N SUPER Houston, TX 77011
713 923 7129
- ⑯ Oralia Lopez
544 N. Super
Houston, TX 77011

Special Minimum Lot Size Area Application

According to
Section 42-197 of Chapter 42 of the Code of Ordinances



PLANNING &
DEVELOPMENT
DEPARTMENT

Please complete entire application form.

1. Location:

BLOCK 1	LOTS 1-6	BLOCK 6	LOTS 1-10
BLOCK 2	LOTS 1-6	BLOCK 7	LOTS 1-23
BLOCK 3	LOTS 1-5	BLOCK 8	LOTS 1-11
BLOCK 4	LOTS 1-18		
BLOCK 5	LOTS 1-9	NAVIGATION ADDITION	

Example: Blocks 15 - 19, Lots 1-37, in Cocker Spaniel Subdivision

2. Contacts:

Primary Applicant	MARYHELEN ORTEGA	Phone #	713-8190586
Address	617 N. EASTWOOD ST.	E-mail	
City	HOUSTON	State	TX, Zip 77011
Alternate Applicant	ROLANDO MARTINEZ	Phone #	832-4664153
Address	604 N. EASTWOOD ST.	E-mail	
City	HOUSTON SUPER ST.	State	TX, Zip 77011

3. Project Information (Staff Use Only-Do Not Fill In):

File #	391	Key Map #	TIRZ
Lambert #		Super N'hood	Census Tract
City Council District	H		

4. Submittal Requirements:

	Please Check
Completed application form (this page)	<input checked="" type="checkbox"/>
Signed petition signed by the applicant (page 5)	<input checked="" type="checkbox"/>
Signed petition of support signed by 10% of lot owners within the boundary area (page 6)	<input checked="" type="checkbox"/>
Signed deed restriction statement (page 6)	<input checked="" type="checkbox"/>
Three (3) recommended locations for a community meeting (page 7)	<input checked="" type="checkbox"/>
Sample of Notification Sign (page 10)	<input checked="" type="checkbox"/>
Copy of deed restrictions, if applicable	<input checked="" type="checkbox"/>
Map or sketch showing the address, land use and the size of all lots within boundary area	<input checked="" type="checkbox"/>



AGENDA: VII

SMLSB Application No. 527: 5000 block of W Hunting Street, east side, between Pardee and N George Streets

BACKGROUND:

The Planning and Development Department received an application for the establishment of a Special Minimum Lot Size Block (SMLSB) for the 5000 block of W Hunting Street, east side, between Pardee and N George Streets. Analysis shows that a minimum lot size of 7,454 sf exists for the block face. A petition was signed by the owners of 26% of the property within the proposed Special Minimum Lot Size Block. No protest was filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-197. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

PROCEDURES:

Following acceptance of a completed application, the Planning Director notifies all owners of property within the proposed SMLSB. Any property owner who wishes to protest the creation of the minimum lot size block may file a protest within thirty days of the notice letter. The Director can grant administrative approval upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 51% of the property within the proposed SMLSB; and
- receives no timely protest filed by a property owner within the proposed SMLSB.

Upon finding that an application meets the above criteria, the Director forwards the request to City Council for consideration of establishing the SMLSB. Should the application not meet one or more criteria, the application must be forwarded to the Planning Commission for public hearing and consideration.

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSB shall include all properties within at least one block face, and no more than two opposing blockfaces;
- at least 60% of the area to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- that the applicant has demonstrated sufficient support for the establishment of the proposed SMLSB;
- that the establishment of the SMLSB will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSB has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSB is enforceable for twenty years from the effective date of the ordinance.

STAFF ANALYSIS:

The application includes four (4) lots along the 5000 block of W Hunting Street, east side, between Pardee and N George Streets.

Analysis of the application resulted in the following findings:

- *The boundaries of the proposed SMLSB must include all properties within at least one block face, and no more than two opposing block faces;*
The application comprises one block face, the east side of W Hunting Street.
- *At least 60% of the lots to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*
Land uses of the properties consist of four (4) of four (4) single-family residential properties (representing 100% of the total lots within the boundary area).
- *The applicant has demonstrated sufficient support for the SMLSB;*
The applicant obtained one (1) of four (4) signatures of support from property owners in the proposed SMLSB (owning 26% of the total area). There was no protest.
- *Establishment of the SMLSB will further the goal of preserving the area lot size character;*
A minimum lot size of 7,454 sf exists on three (3) lots in the block face.
- *The proposed SMLSB has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*
The subdivision was platted in 1946. The houses originate from the 1950s. The establishment of a 7,454 sf minimum lot size will preserve the lot size character of the area.
- *The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*
Three (3) out of four (4) lots (representing 82% of the application area) are at least 7,454 square feet in size.

Public notice of the public hearing was transmitted to all property owners on the block face.

ATTACHMENTS:

1. Calculation Analysis
2. Map of Support
3. Application
4. Boundary Map

SPECIAL MINIMUM LOT SIZE BLOCK

Application No. **527**

Date Received: **3/23/2015**

Date Complete: **3/27/2015**

Street(s) Name: **W Hunting St**

**5000 block
W Hunting
St**

Lot(s)

Cross Streets: **Pardee St** and

N George St

Side of street: **East**

MINIMUM LOT SIZE:

<u>Address</u>	<u>Land Use</u>	<u>Signed in Support</u>	<u>Lot size (in Sq Feet)</u>
5002 W Hunting	SFR	Y	9,408
0 N Hunting (Lot 201)	SFR		7,440
0 N Hunting (Lot 200)	SFR		7,454
5020 W Hunting	SFR		12,580

Evidence of Support (must be 51% or more by area for Director administrative approval):

Of **36,882** Square Feet in the Proposed Application Area **9,408** Square Feet are Owned by Property Owners Signing in Support of the Petition = **26%**

Single Family Calculation:

Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 60%):

4	# developed or restricted to no more than two SFR Units	Of		Total number of SFR lots in the Proposed Application Area	Total number of lots in the Proposed Application Area	100%
			4	4		
0	# of Multifamily lots					
0	# of Commercial lots					
0	# of Vacant Lots					
4	Total					

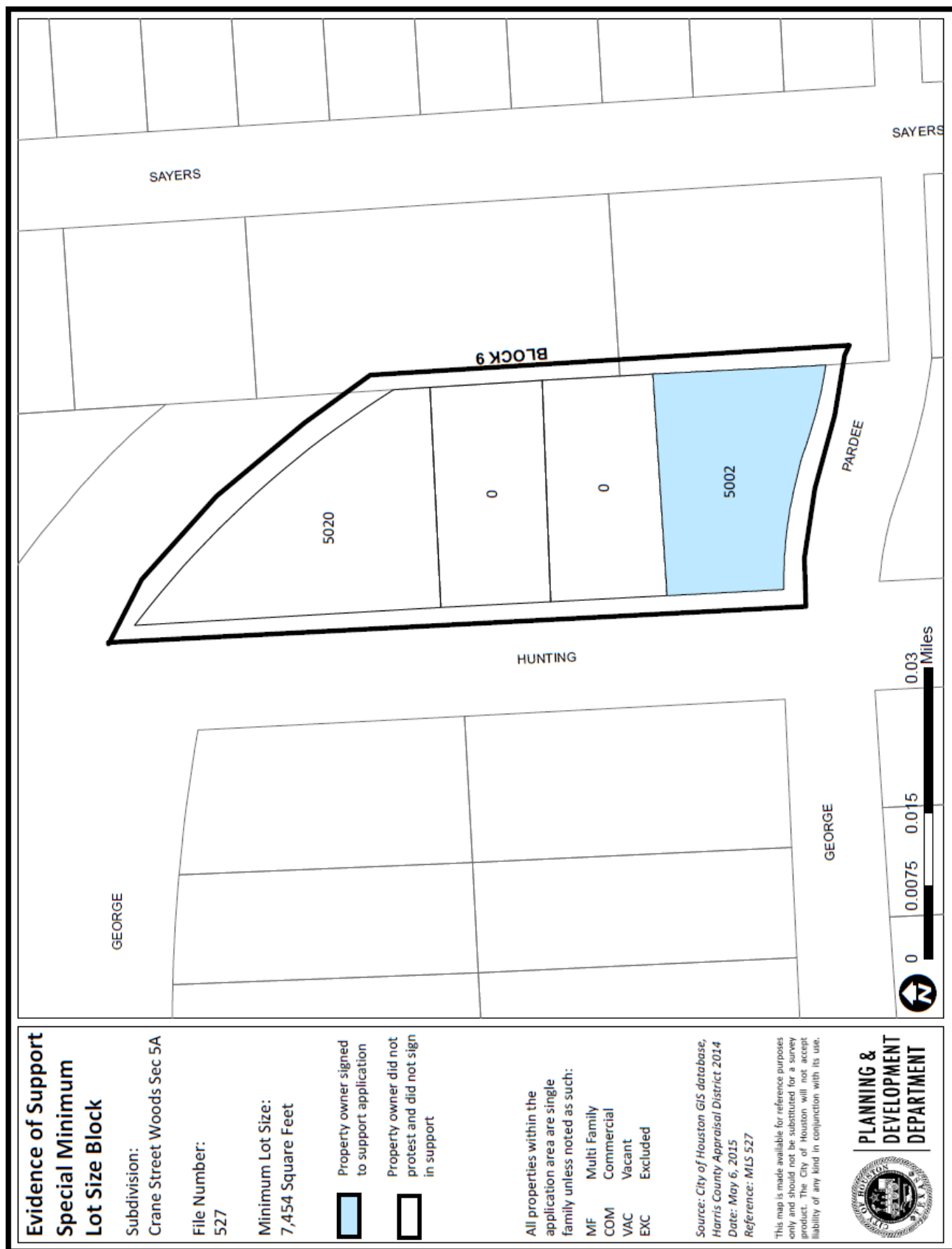
Minimum Lot Size Calculations:

Total # of lots 4 = Total sq. ft. 36,882 = / # of lots 9,221 average sq. ft.
8,431 median sq. ft.

70 %

Lots ranked by size	Size	% by Area	Cumulative % by Area
1	12,580	34.1%	34.1%
2	9,408	25.5%	59.6%
3	7,454	20.2%	79.8%
4	7,440	20.2%	100.0%
	0	0.0%	100.0%
	0	0.0%	100.0%
	0	0.0%	100.0%
	0	0.0%	100.0%
	0	0.0%	100.0%
	0	0.0%	100.0%
	0	0.0%	100.0%
	0	0.0%	100.0%
	0	0.0%	100.0%
Total	36,882	100.0%	

This application qualifies for
a **7,454** Square Feet Special Minimum Lot Size





Special Minimum Lot Size Block Application

According to

Section 42-197 of Chapter 42 of the Code of Ordinances



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Please complete entire application form.

1. Location:

General Location:

Example: North side of Golden Retriever Drive between Boxer and Schnauzer Streets

Specific Legal Description

Block 9^{Lots} 199-202 IN CRANE STREET WOODS
SUBDIVISION SECTION 5A

Example: Blocks 15, Lots 1-5, in Cocker Spaniel Subdivision

2. Contacts:

Primary

Applicant

CAROLYN MURRAY

Phone #

832-643-9207.0

Address

5002 W. HUNTING ST.

E-mail

City

HOUSTON, TEXAS

State

Zip

77026

Alternate

Applicant

PAULINE JUSTICE

Phone #

(713) 876-4413

Address

3520 LE BAOIE ST.

E-mail

City

HOUSTON, TEXAS

State

Zip

77026

3. Project Information (Staff Use Only-Do Not Fill In):

File #

527

Key Map #

TIRZ

Lambert #

Super N'hood

Census Tract

City Council District

B

4. Submittal Requirements:

Please Check

Completed application form (this page)

☐

Petition signed by the applicant (page 4)

☐

Evidence of support from the property owners within the boundary (page 5)

☐

Signed deed restriction statement (page 6)

☐

Copy of deed restrictions, if applicable

☐

Sample of Notification Sign (page 8)

☐

Map or sketch showing the address, land use and size of all lots within boundary area

☐

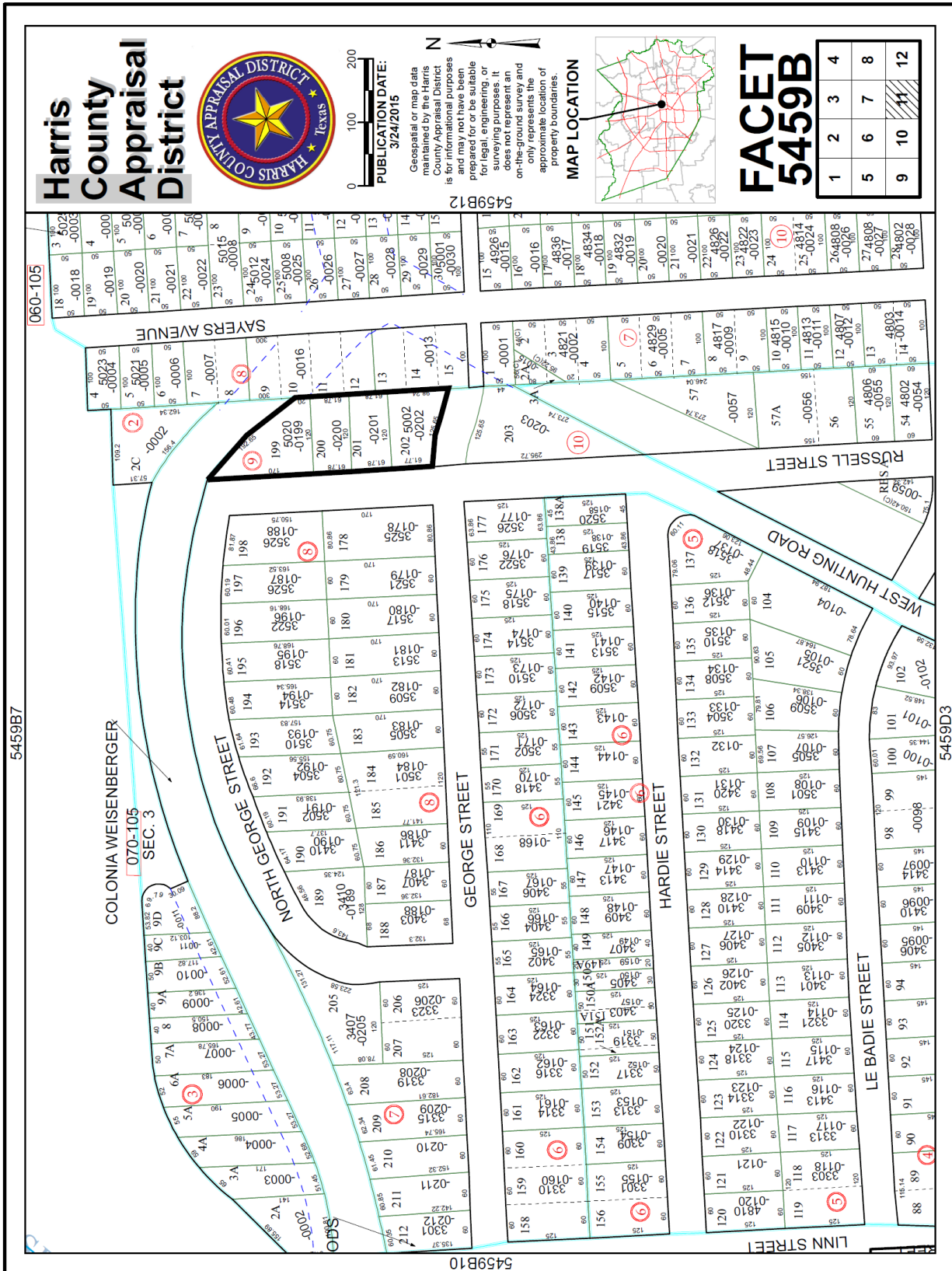
Data showing the actual size of each lot

☐

City of Houston

Special Minimum Lot Size Block

Planning Commission Staff Report
Planning and Development Department






JERRY DAVIS
City Council Member
District B

City of Houston Planning Commission
900 Bagby, Public Level
Houston TX 77002

In lieu of the absence of zoning, deed restrictions have become Houston's neighborhood's character preservation mechanism. Unfortunately, many of our neighborhoods have expired and outdated deed restrictions and the civic associations cannot afford an attorney to make the needed changes. With the passage of the amendments of Chapter 42 of the City of Houston Municipal Code, communities like Kashmere Gardens can protect themselves from the infringement on the characteristics of their neighborhood by submitting an application with the City of Houston Planning Department. Crane Street Woods Section 5A is a subdivision in the Kashmere Gardens community that is energized about capitalizing on the application process.

When a community is as engaged and energized about their neighborhood and what it will be and look like in the future, it inspires me. Our City needs more subdivisions like Crane Street Woods. Consequently, I would like to formally submit my support for the minimum lot size block application for the Crane Street Woods Subdivision Section 5A.

Sincerely,


Jerry V. Davis
Vice Mayor Pro Tem
& Houston City Council Member,
District B

AGENDA: VIII

SMLSB Application No. 526: 1000 block of Kern Street, north and south side, between Norhill Street and Michaux Street

BACKGROUND:

The Planning and Development Department received an application for the establishment of a Special Minimum Lot Size Block (SMLSB) for the 1000 block of Kern Street, north and south side between Norhill Street and Michaux Street. Analysis shows that a minimum lot size of 3,783 square feet exists for the block face. A petition was signed by the owners of 48% of the property within the proposed Special Minimum Lot Size Block. 7 protests were filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-197. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

PROCEDURES:

Following acceptance of a completed application, the Planning Director notifies all owners of property within the proposed SMLSB. Any property owner who wishes to protest the creation of the minimum lot size block may file a protest within thirty days of the notice letter. The Director can grant administrative approval upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 51% of the property within the proposed SMLSB; and
- receives no timely protest filed by a property owner within the proposed SMLSB.

Upon finding that an application meets the above criteria, the Director forwards the request to City Council for consideration of establishing the SMLSB. Should the application not meet one or more criteria, the application must be forwarded to the Planning Commission for public hearing and consideration.

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSB shall include all properties within at least one block face, and no more than two opposing blockfaces;
- at least 60% of the area to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- that the applicant has demonstrated sufficient support for the establishment of the proposed SMLSB;
- that the establishment of the SMLSB will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSB has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSB is enforceable for twenty years from the effective date of the ordinance.

STAFF ANALYSIS:

The application includes twenty five (25) lots along the 1000 block of Kern Street, north and south side between Norhill Street and Michaux Street.

Analysis of the application resulted in the following findings:

- *The boundaries of the proposed SMLSB must include all properties within at least one block face, and no more than two opposing block faces;*
The application comprises two block faces, the 1000 block of Kern Street, north and south sides between Norhill Street and Michaux Street.
- *At least 60% of the lots to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*
Land uses of the properties consist of twenty five (25) single-family residential properties (representing 100% of the total lots within the boundary area).
- *The applicant has demonstrated sufficient support for the SMLSB;*
The applicant obtained twelve (12) of twenty five (25) signatures of support from property owners in the proposed SMLSB, representing 48% of the total area. There were seven (7) protests, representing 35% of the total area.
- *Establishment of the SMLSB will further the goal of preserving the area lot size character;*
A minimum lot size of 3,783 square feet exists on 14 of the 25 lots in the application area.
- *The proposed SMLSB has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*
The Stude's First Addition subdivision was platted in 1911. The larger lots within the application area are lots from this original subdivision. The houses originate from the 1920s. Four additional subdivisions were platted in 2006, 2007 and 2009, with homes being built soon after.
- *The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*
Fourteen (14) out of twenty five (25) lots (representing 72% of the application area) are at least 3,783 square feet in size.

Public notice of the public hearing was transmitted to all property owners on the block face.

ATTACHMENTS:

1. Calculation Analysis
2. Map of Support

Special Minimum Lot Size Block

Planning and Development Department

3. Additional Maps
4. Protest Letters
5. Application
6. Boundary Map

SPECIAL MINIMUM LOT SIZE BLOCK

Application No. **526**

Date Received: **3/25/2015**

Date Complete: **3/27/2015**

Street(s) Name: **Kern Street**

**1000 block
of Kern
Street**

Lot(s)

Cross Streets: **Norhill Street** and

Michaux Street

Side of street: **North and
South**

MINIMUM LOT SIZE:

<u>Address</u>	<u>Land Use</u>	<u>Signed in Support</u>	<u>Lot size (in Sq Feet)</u>
1001 Kern Street	SFR		5,000
1004	SFR		5,000
1005	SFR		5,000
1006	SFR		2,500
1007	SFR	Y	2,500
1008	SFR		2,500
1009	SFR	Y	2,500
1010	SFR		2,500
1012	SFR		2,500
1014	SFR		5,000
1015	SFR		5,000
1018	SFR	Y	5,000
1019	SFR	Y	7,500

Special Minimum Lot Size Block

Planning and Development Department

1022	SFR	Y	5,000
1025	SFR		7,500
1026	SFR		5,000
1027 A	SFR	Y	2,400
1027 B	SFR		2,300
1029	SFR		2,400
1030	SFR	Y	5,000
1034	SFR	Y	2,500
1036	SFR	Y	2,500
1037	SFR	Y	3,783
1038	SFR	Y	5,000
1039	SFR	Y	4,117

Evidence of Support (must be 51% or more by area for Director administrative approval):

Of **100,000** Square Feet in the Proposed Application Area **47,800** Square Feet are Owned by Property Owners Signing in Support of the Petition = **48%**

Single Family Calculation:

Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 60%):

25	# developed or restricted to no more than two SFR Units	Of	Total number of SFR lots in the Proposed Application Area	Total number of lots in the Proposed Application Area	100%
			25	25	
0	# of Multifamily lots				
0	# of Commercial lots				
0	# of Vacant Lots				
25	Total				

Minimum Lot Size Calculations:

[illegible]

70 %

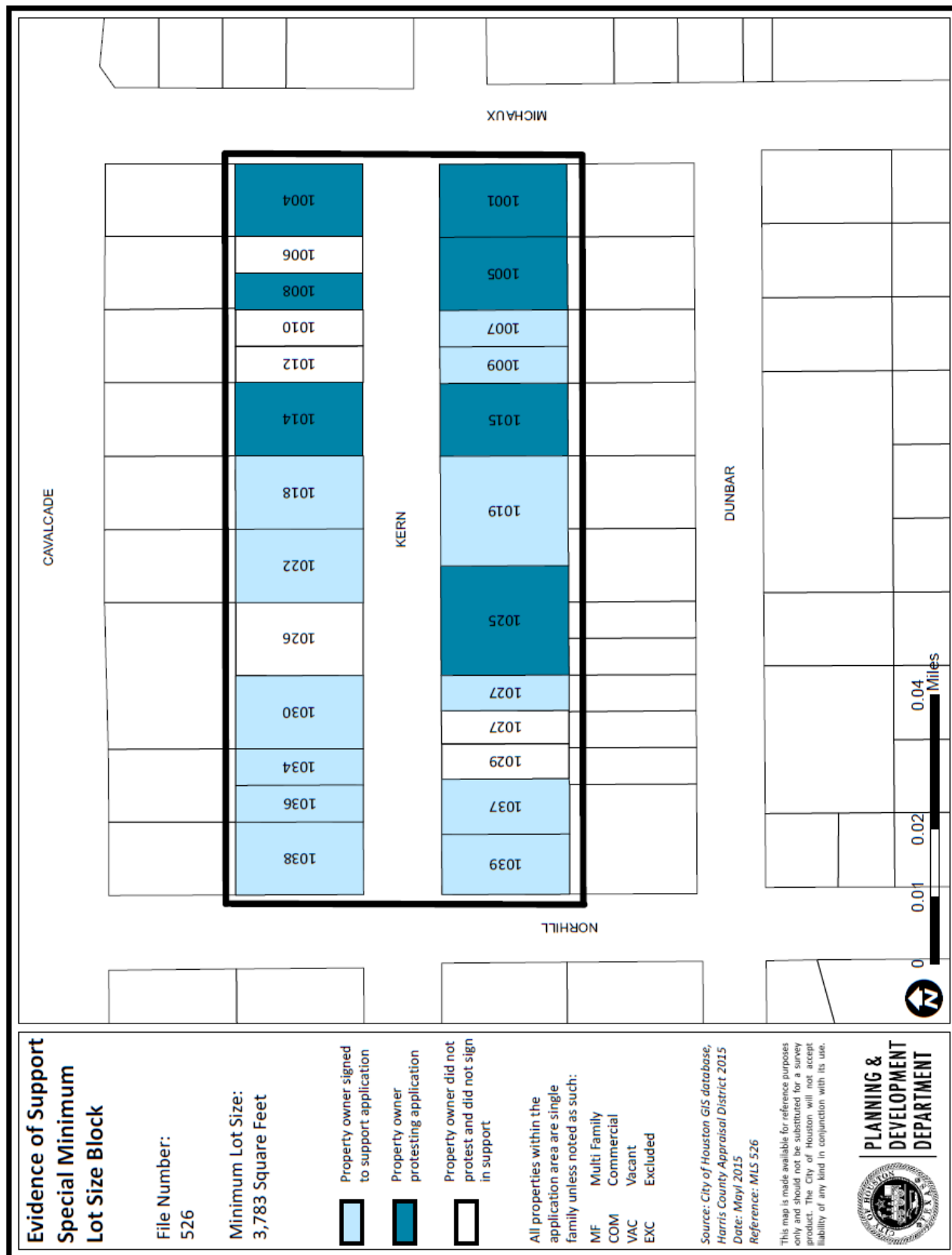
lots ranked by size	Size	% by Area	Cumulative % by Area
1	7,500	7.5%	7.5%
2	7,500	7.5%	15.0%
3	5,000	5.0%	20.0%
4	5,000	5.0%	25.0%
5	5,000	5.0%	30.0%
6	5,000	5.0%	35.0%
7	5,000	5.0%	40.0%
8	5,000	5.0%	45.0%
9	5,000	5.0%	50.0%
10	5,000	5.0%	55.0%
11	5,000	5.0%	60.0%
12	5,000	5.0%	65.0%
13	4,117	4.1%	69.1%
14	3,783	3.8%	72.9%
15	2,500	2.5%	75.4%
16	2,500	2.5%	77.9%
17	2,500	2.5%	80.4%
18	2,500	2.5%	82.9%
19	2,500	2.5%	85.4%
20	2,500	2.5%	87.9%
21	2,500	2.5%	90.4%
22	2,500	2.5%	92.9%
23	2,400	2.4%	95.3%
24	2,400	2.4%	97.7%
25	2,300	2.3%	100.0%
Total	100,000	100.0%	

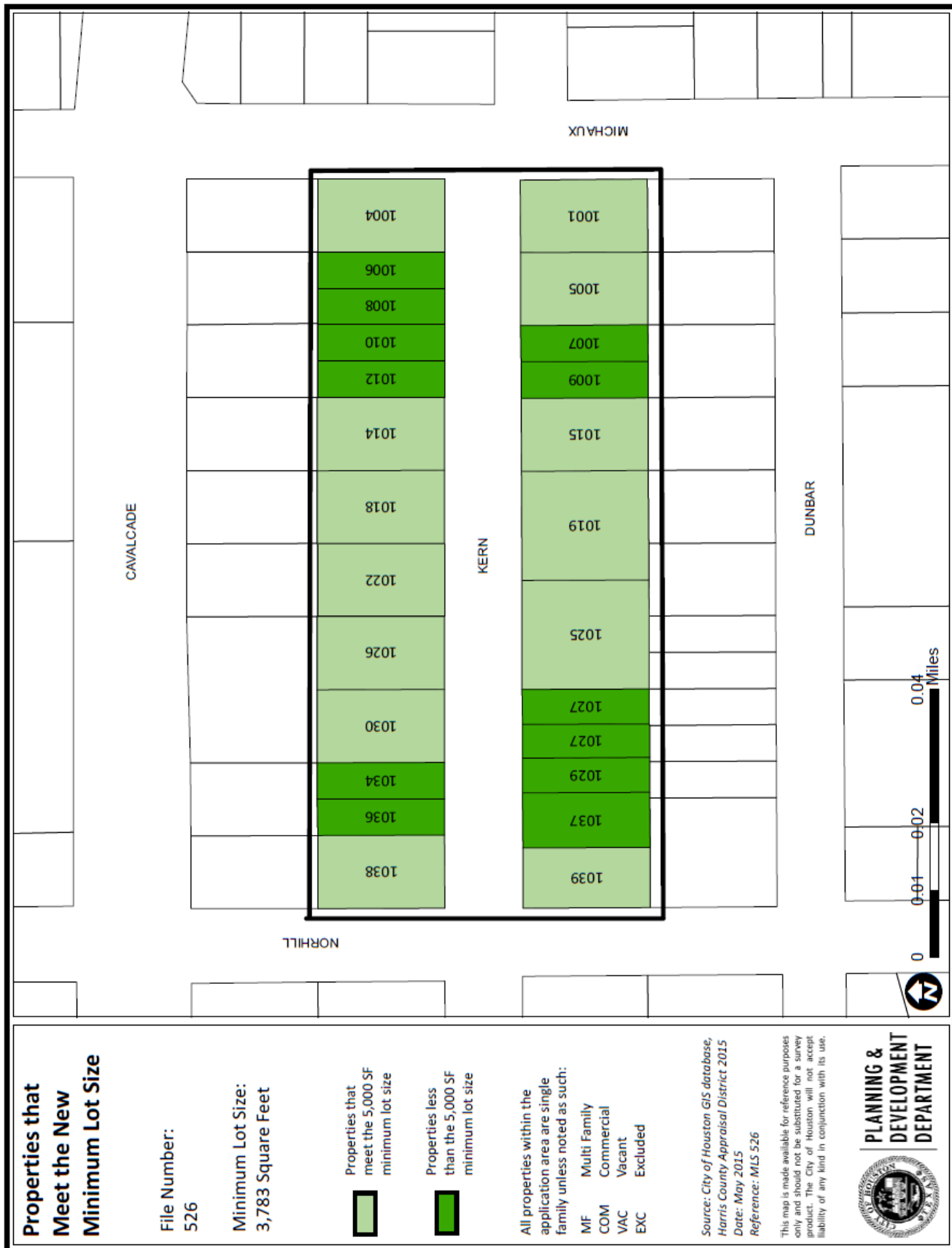
This application qualifies for a **3,783** Square Feet Special Minimum Lot Size

City of Houston

Special Minimum Lot Size Block

Planning Commission Staff Report
Planning and Development Department





Andrews, Christopher - PD

From: Andrews, Christopher - PD
Sent: Tuesday, March 31, 2015 1:32 PM
To: 'Novid Rezai'
Subject: RE: Public Information Request

Good Afternoon Novid,

Thank you for your protest. I will include it in the application. I am sending the public notification letters to property owners today, so please look for that information to arrive tomorrow or Thursday.

Please let me know if you have any other questions.

Chris Andrews

Christopher Andrews - Planner
City of Houston Planning & Development Department, Community Sustainability Division
611 Walker, 6th Floor, Houston, Texas 77002
(832) 393-6520
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From: Novid Rezai [REDACTED]
Sent: Tuesday, March 31, 2015 9:56 AM
To: Andrews, Christopher - PD
Subject: Re: Public Information Request

Good Afternoon Chris,

I just received all the information regarding the application for minimum lot size for the 1000 block of Kern st. I would like to inform you that I am placing a protest against this application as a property owner on this street. There are 11 lots smaller than the suggested minimum lot size.

One lot is actually 3783 sqft.

There is nothing that indicates this application will preserve the character of the street since there is new construction with front loaders at different parts of the street.

Not being able to subdivide the lots will put undo and unjust economic burden on all homeowners on this street. This action will reduce the number of buyers by eliminating all developers, as lots will only be good only for single family homes. All around our block, there are apartment complexes as well as new construction townhomes. It makes no sense for us to put limits on our land as our neighbors across michaux and norhill and 900 block of kern can do as they please.

There is an old apartment complex across from my property on 1001 Kern st. There are several warehouses and other large apartment complexes and multifamily units all around the 1000 block of Kern St. It is unfair to only target one small block amongst all other industrial and multifamily complexes for single family dwellings.

The suggested minimum lot sizes will render all of our properties useless for further development and therefore decrease our property value. The existence of several divided lots on the street further hinders our ability to build only single family homes and be able to recover the cost of the investment.

If you need sales figure I will be more than glad to provide them. The last single family home on this block sold for under \$200000 which was 1001kern st. in November. The highest price for a 5000 was paid in 2008 for 220k. In comparison, new construction on small lots sold for over 450k.

At this time, I respectfully ask for your support in this matter.

Please feel free to call me anytime

Novid Rezai

Champions Real Estate Group

Phone: (832) 533-0115

Email: [REDACTED]

On Friday, March 27, 2015 9:21 AM, "Andrews, Christopher - PD" <Christopher.Andrews@houstontx.gov> wrote:

Novid,

Please also contact Suzy Hartgrove with your information request. suzy.hartgrove@houstontx.gov

Chris

Christopher Andrews - Planner

City of Houston Planning & Development Department, Community Sustainability Division

611 Walker, 6th Floor, Houston, Texas 77002

(832) 393-6520

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From: Andrews, Christopher - PD

Sent: Friday, March 27, 2015 9:20 AM

To: [REDACTED]

Cc: Benavides, Patricia - PD

Subject: Public Information Request

Good Morning Novid,

Please find attached a public information request form for the Special Minimum Lot Size Block of 1000 Kern Street, application MLS 526. Please complete the form and send it to Patricia Benavides at Patricia.Benavides@houstontx.gov.

Chris Andrews

Christopher Andrews - Planner

City of Houston Planning & Development Department, Community Sustainability Division

611 Walker, 6th Floor, Houston, Texas 77002

(832) 393-6520

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Andrews, Christopher - PD

From: Andrews, Christopher - PD
Sent: Monday, April 13, 2015 8:11 AM
To: [REDACTED]
Subject: RE: lot restrictions on Kern Street

Good Morning Mr. Baker,

I have saved and noted your protest. Please note that the public hearing for this application will take place Thursday, May 14, 2015 at 2:30 PM, at the regular meeting of the Houston Planning Commission. You have the opportunity to present your opposition to this ordinance at that meeting as well. Please know that your protest will also be included in the agenda materials that is presented to Planning Commission and department staff.

Thank you, and please let me know if you have any other questions.

Chris Andrews

Christopher Andrews - Planner
City of Houston Planning & Development Department, Community Sustainability Division
611 Walker, 6th Floor, Houston, Texas 77002
(832) 393-6520
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From: GB Baker [REDACTED]
Sent: Sunday, April 12, 2015 6:50 PM
To: Andrews, Christopher - PD
Subject: lot restrictions on Kern Street

Chris,

I am Gerald Bernard Baker. I am a homeowner at 1008 Kern Street, Houston, 1009.

I vote for NO lot size restrictions.

No restrictions will allow more town homes to be built which will generate higher property values and more Houston tax payers.

Please feel free to contact me via email or telephone at your convenience.

Thank you,

Bernard Baker
713 582 0929
[REDACTED]

Andrews, Christopher - PD

From: Jim Curtis [REDACTED]
Sent: Friday, April 10, 2015 10:43 AM
To: Andrews, Christopher - PD
Subject: Minimum lot size for 1000 block of keen

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Christopher

We just spoke and for the record I am opposed to the minimum lot sizes. I live at 1004 kern st. Please add my opposition to the record. Please feel free to call 713-385-0672

Sent from my iPhone

Andrews, Christopher - PD

From: Kathleen Brackman [REDACTED]
Sent: Monday, April 13, 2015 6:40 PM
To: Andrews, Christopher - PD
Subject: Protest Minimum Lot Size Application 1000 block Kern St

Hello Christopher,

I would like to register my protest for the minimum lot size application that has been submitted for the 1000 block of Kern Street.

I am not sure what information you require from me at this time, but my husband and I own the property at 1025 Kern Street - Gerald & Kathleen Brackman.

My husband's family has owned this property for more than 100 years, it is considered to be 1 1/2 lots (7500 sq ft). My husband and I have owned the property since 1992 and have lovingly restored it to its original splendor. During this time we have also watched the block go from bad to worse and have been very happy with all of the recent development that has provided greatly needed improvements to the street.

We are protesting this application for many reasons, but here are a few:

I can guess that anyone would rather have a new townhouse built on the lot next door to them as opposed to dilapidated former HORSE STABLES turned into slum apartments. That is what backed up to the side of our property until the owner finally agreed to sell the property to a developer. Prior to the new development, we tried repeatedly (to no avail) to have something done about the below standard conditions as it was both a fire hazard and health hazard, with the chickens and roosters running around and limited running water and electricity to serve the 4-6 families who were "living" there. I can provide additional details if you wish.

I can also guess that most of the neighbors in the 1000 block of Kern Street would MUCH rather see a developer build two new structures at the address of 1026 Kern Street as opposed to the current two, below standard rental properties that have housed drug gangs for at least the last 20 years. Yes, it's true, and many of us on the block have even tried to purchase the property from the owner but our offers have been refused. Two new structures built on 5000 square feet would be celebrated by most of us who have endured the continual gang and drug activity that goes on most days and nights on that lot.

It's just unfortunate that a few newer residents on the block have decided they would like to stop any further development by limiting the lot size after many of us have spent years living through the decline, in hopes that some day the development that has been ongoing in the area would finally reach our block. Well it has now reached our block, so why stop it! One more subdivided lot to provide new development versus the vacant house with the overgrown yard is welcome by us.

All said, if there was a way to limit new development to single family structures as opposed to multi family (no matter what the lot size) we would gladly support that.

Please feel free to contact me if you require any additional information.

Sincerely,
Kathleen Brackman

Andrews, Christopher - PD

From: Matthew Gonzalez [REDACTED]
Sent: Wednesday, April 22, 2015 8:34 PM
To: Andrews, Christopher - PD
Subject: Protest: 1000 block of Kern street

To whom it may concern:

I, Matthew Gonzalez, hereby make an official protest to the

"Special minimum lot size block application

1000 block of Kern street, north and south sides,

between Norhill street and Michaux street"

I totally disagree with this proposal as it is an infringement on the property owner's rights.

Please contact me if you have any questions or need further assistance.

And please reply to this email to confirm my protest has been filed. Thank you.

Matthew Gonzalez
1015 Kern St
Houston, TX 77009
Phone: (713) 868-4477
Email: [REDACTED]

Andrews, Christopher - PD

From: [REDACTED]
Sent: Tuesday, April 28, 2015 4:41 PM
To: Andrews, Christopher - PD
Subject: 1001 kern st.

Good afternoon Chris,
I just spoke with Brian from city planning and realized there wasn't a protest from 1001kern st. I am placing a protest against the minimum lot size petition on behalf of my company Caruagti construction Which owns 1001kern.
Please let me know if you need extra documentation to establish ownership of the property.
Thanks you for attention.
Novid Rezai

Sent from my Sprint Samsung Galaxy S® 6.

Andrews, Christopher - PD

From: Novid Rezai [REDACTED]
Sent: Tuesday, April 28, 2015 6:01 PM
To: Andrews, Christopher - PD
Subject: Re: 1001 kern st.
Attachments: CCF04282015_00008.jpg; CCF04282015_00010.jpg; CCF04282015_00011.jpg

Hello again,
Here is the information from the title.
Thank you
Novid Rezai
Champions Real Estate Group
Phone: (832) 533-0115
Email: [REDACTED]

On Tuesday, April 28, 2015 5:07 PM, "Andrews, Christopher - PD" <Christopher.Andrews@houstontx.gov> wrote:

Novid,

I can certainly consider your protest, however, please provide some proof of ownership for that lot. At this point, HCAD records do not show your company as owners of the lot. When that information is received, I can include your protest for 1005 Kern.

Chris Andrews

Christopher Andrews - Planner
City of Houston Planning & Development Department, Community Sustainability Division
611 Walker, 6th Floor, Houston, Texas 77002
(832) 393-6520
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**PLAN
HOUSTON**

From: [REDACTED]
Sent: Tuesday, April 28, 2015 4:41 PM
To: Andrews, Christopher - PD
Subject: 1001 kern st.

Good afternoon Chris,

I just spoke with Brian from city planning and realized there wasn't a protest from 1001kern st. I am placing a protest against the minimum lot size petition on behalf of my company Caruagti construction Which owns 1001kern.
Please let me know if you need extra documentation to establish ownership of the property.
Thanks you for attention.
Novid Rezai

Sent from my Sprint Samsung Galaxy S® 6.

Andrews, Christopher - PD

From: Novid Rezai [REDACTED]
Sent: Friday, May 01, 2015 8:40 AM
To: Andrews, Christopher - PD
Subject: Protest from 1014 Kern St.
Attachments: CCF05012015_00001.jpg; CCF05012015_00002.jpg

Good Morning Christopher,
I am submitting Mrs. Hoopes protest against the minimum lot size application. She spoke to you a couple of weeks ago on the phone.
She requested that I email the letter. She is elderly and does not have an email.
Please feel free to let me know if you need any additional documentation.
Thank you
Novid Rezai
Champions Real Estate Group
Phone: (832) 533-0115
Email: [REDACTED]

Dear Mr. Andrews,

I own 1014 Kern st, 77009. The tax office shows that the home is owned by my mother, but here is her death certificate. I am the executor of the will. I protest the application that was placed for minimum lot sizes on the basis of property rights. I do not wish to let anyone dictate to me what I can do with my property.

Please feel free to contact me with any questions or concerns.

Thank you for your consideration,

Sally Hoopes April 30 2015

Sally Hoopes

832-654-2822

Special Minimum Lot Size Block Application

According to
Section 42-194 of Chapter 42 of the Code of Ordinances



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Please complete entire application form.

1. Location:

General Location:

Kern Street between Norhill Street and Michaux Street

Example: North side of Golden Retriever Drive between Boxer and Schnauzer Streets

Specific Legal Description BLK14, LTS 4, 6, 7, 9, 10, TRS 5&5A and BLK 11, LTS 11, 14-18, 20 in Stude Sec 1 Subd;

BLK1, LTS 1-4 in Bercons Residences on Kern Avenue Subd; BLK 1, LTS 1-2 in Kern Street Subd; BLK1, LTS 1-3

in Bercons Kern Street Residences Amend Subd; BLK1, LTS 1-2 Heights Lofts Subd. and BLK1, LTS 1-2 Norhill Estates Subd

2. Contacts:

Primary

Applicant

Karla Goolsby

Phone #

281-777-0470

Address

1018 Kern St.

E-mail

City

Houston

State

TX

Zip 77009

Alternate

Applicant

Tim Goings

Phone #

713-869-4662

Address

308 Archer Street

E-mail

City

Houston

State

TX

Zip 77009

3. Project Information (Staff Use Only-Do Not Fill In):

File # 526

Key Map #

TIRZ

Lambert #

Super N'hood

Census Tract

City Council District

H

4. Submittal Requirements:

Please Check

Completed application form (this page)

✓

Petition signed by the applicant (page 5)

✓

Evidence of support from the property owners within the boundary (page 6)

✓

Signed deed restriction statement (page 6)

✓

Copy of deed restrictions, if applicable

✓

Sample of Notification Sign (page 10)

N/A

Map or sketch showing the address, land use and the size of all lots within boundary area

✓

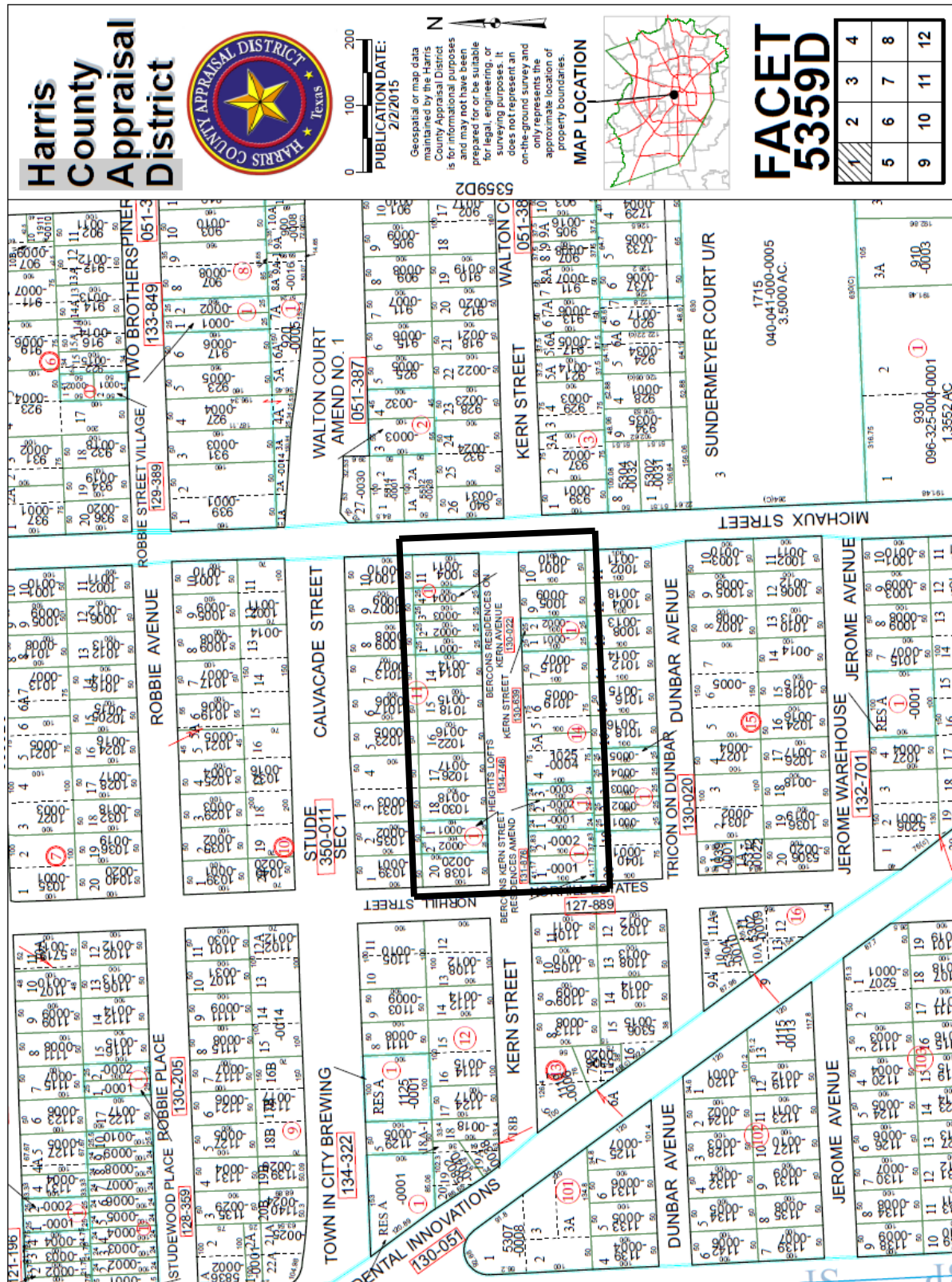
Data showing the actual size of each lot

✓

City of Houston

Special Minimum Lot Size Block

Planning Commission Staff Report
Planning and Development Department



City of Houston

Special Minimum Lot Size Block

Planning Commission Staff Report
Planning and Development Department

April 27, 2015

Councilman Ed Gonzalez
City of Houston
P.O. Box 1562
Houston, TX 77251

Re: Chapter 42 petition on 1000 block of Kern St.

Dear Councilman:

We are a majority of the residents of the 1000 block of Kern St. in your district. You may remember meeting several of us in the 900 block of Kern to discuss derelict houses, gangs and drug sales in our area. We appreciated your concern then, and we hope you can help us now prevent the construction of six townhouses at the intersection of Kern and Michaux by supporting our petition for Special Minimum Lot Size (SMLS) under city ordinance Chapter 42. **Please note that 53% of owners now support the petition.** Because some owners were out of town and time was of the essence due to impending townhouse construction, it was necessary to file quickly with only 48% of owners' signatures.

Just yesterday we were reminded of one concern about the proposed construction of 6 townhouses in an already concentrated area, the reduction of street parking for guests and the danger inherent in blocking access for emergency vehicles. We have enclosed a photo taken April 26, 2015 of the fire truck was unable to drive down our street because of the cars parked there. The same issue arises every Thursday during trash pick-up. It will be magnified many times more when 6 families move into the proposed townhouses. (A study by Experian Automotive found a national average of 2.28 vehicles per household and households with three or more vehicles were the single largest category, at nearly 35 percent.)

Another concern is flooding of the South side of our block. Before patio home development on this block, Hurricane Allison dumped over one foot of water resulting in 6 inches of water over the highest portion of the street. Nevertheless, the water drained before noon the next day. Now, with nearly 10,000 SF of concrete on the east end of the block (where the proposed development will occur), front yards on the north side of the street flood with almost every heavy rain. Not only does this increase the burden on our drainage ditches, but it adversely affects the integrity of our street and slows drainage which impacts mosquito control. We anticipate that nearly 10,000 SF of additional townhouse-concrete will cause not only frequent yard flooding, but periodic home flooding on the south side of the street. An event like Hurricane Allison would devastate the block.

The character and neighborhood feel of our block is important to us. Many new residents say they bought patio homes here because of the character of the street with its trees and landscaped yards. We want to preserve the character. The addition of six three-story townhouses will negatively impact the infrastructure, street parking, emergency and garbage vehicle access, electrical load to one of the oldest electric grids in the city, drainage capacity and neighborhood character of our block.

Please write a letter supporting our petition for a SMLS designation under Chapter 42 for our block and help us stop the construction of more townhouses on the 1000 block of Kern St.

Sincerely yours,

The residents of the 1000 block supporting the petition for SMLS.

Carla Doolley
Doolley
1018 Kern
Francis Bryant 1022 Kern

Thao 1027 Kern St A
Rahit Rao

Hale 1019 Kern St. H.W. H. Rao

Two (2) additional residents supporting petition
(1) *Sabrina Hurst* 1010 Kern
~~*Ola B. Humphries* 1038 Kern~~
(2) *Sarah W. W. W. W.* 1012 Kern St.

Tom Kaut 1007 Kern St.
Megan Clyburn 1037 Kern St
Diana Balderson 1030 Kern
Kim Walker 1034 KERN



Michael [unclear]
Carson [unclear]

1039 Kern St.
1036 Kern St.

AGENDA: IX

SMLSB Application No. 523: 600 block of Archer Street, east and west sides, between Gardner and Heslep Streets

BACKGROUND:

The Planning and Development Department received an application for the establishment of a Special Minimum Lot Size Block (SMLSB) for the 600 block of Archer Street, east and west sides, between Gardner and Heslep Streets. Analysis shows that a minimum lot size of 5,000 sf exists for the block face. A petition was signed by the owners of 64% of the property within the proposed Special Minimum Lot Size Block. One protest was filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-197. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

PROCEDURES:

Following acceptance of a completed application, the Planning Director notifies all owners of property within the proposed SMLSB. Any property owner who wishes to protest the creation of the minimum lot size block may file a protest within thirty days of the notice letter. The Director can grant administrative approval upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 51% of the property within the proposed SMLSB; and
- receives no timely protest filed by a property owner within the proposed SMLSB.

Upon finding that an application meets the above criteria, the Director forwards the request to City Council for consideration of establishing the SMLSB. Should the application not meet one or more criteria, the application must be forwarded to the Planning Commission for public hearing and consideration.

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSB shall include all properties within at least one block face, and no more than two opposing blockfaces;
- at least 60% of the area to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- that the applicant has demonstrated sufficient support for the establishment of the proposed SMLSB;
- that the establishment of the SMLSB will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSB has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSB is enforceable for twenty years from the effective date of the ordinance.

STAFF ANALYSIS:

The application includes twelve (12) lots along the 600 block of Archer Street, east and west sides, between Gardner and Heslep Streets.

Analysis of the application resulted in the following findings:

- The boundaries of the proposed SMLSB must include all properties within at least one block face, and no more than two opposing block faces;*
The application comprises two block faces, the east and west sides of Archer Street.
- At least 60% of the lots to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*
Land uses of the properties consist of eleven (11) single-family residential properties (representing 92% of the total lots within the boundary area) and one (1) commercial property.
- The applicant has demonstrated sufficient support for the SMLSB;*
The applicant obtained eight (8) of twelve (12) signatures of support from property owners in the proposed SMLSB (owning 64% of the total area). There was one protest.
- Establishment of the SMLSB will further the goal of preserving the area lot size character;*
A minimum lot size of 5,000 sf exists on ten (10) lots in the block faces.
- The proposed SMLSB has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*
The subdivision was platted in 1906. The houses originate from the 1920s. The establishment of a 5,000 sf minimum lot size will preserve the lot size character of the area.
- The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*
Ten (10) out of twelve (12) lots (representing 83% of the application area) are at least 5,000 square feet in size.

Public notice of the public hearing was transmitted to all property owners on the block face.

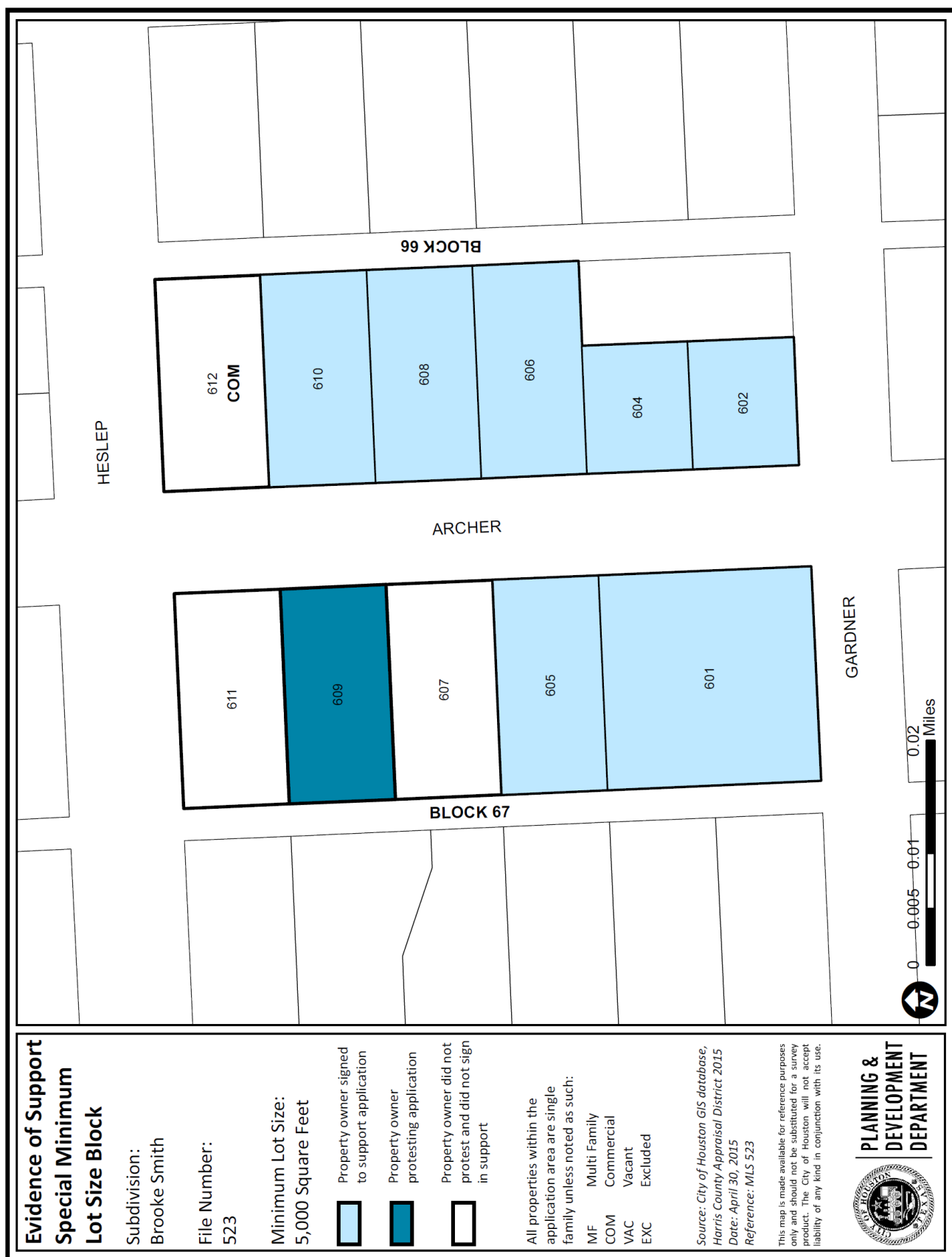
ATTACHMENTS:

1. Calculation Analysis
2. Map of Support
3. Protest Letter
4. Application
5. Boundary Map

SPECIAL MINIMUM LOT SIZE BLOCK			
Application	523		
Date Received:	2/12/2015	Date Complete:	2/27/2015
Street(s) Name:	Archer St.	Lot(s)	600 block Archer St.
Cross Streets:	Gardner St.	and	Heslep St.
Side of street:	East and west		
MINIMUM LOT SIZE:			
<u>Address</u>	<u>Land Use</u>	<u>Signed in Support</u>	<u>Lot size (in Sq Feet)</u>
601 Archer (Lot 7)	SFR	Y	5,000
601 Archer (Lot 8)	SFR	Y	5,000
602	SFR	Y	3,000
604	SFR	Y	3,000
605	SFR	Y	5,000
606	SFR	Y	5,000
607	SFR		5,000
608	SFR	Y	5,000
609	SFR		5,000
610	SFR	Y	5,000
611	SFR		5,000
612	COM		5,000

Evidence of Support (must be 51% or more by area for Director administrative approval):							
Of	56,000	Square Feet in the Proposed Application Area	36,000	Square Feet are Owned by Property Owners Signing in Support of the Petition =	64%		
Single Family Calculation:							
Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 60%):							
	11	# developed or restricted to no more than two SFR Units	Of	11	Total number of SFR lots in the Proposed Application Area	12	Total number of lots in the Proposed Application Area
							92%
	0	# of Multifamily lots					
	1	# of Commercial lots					
	0	# of Vacant Lots					
	12	Total					

[illegible]



Mitchell, Annette - PD

From: Luis Sanchez [REDACTED]
Sent: Monday, April 13, 2015 1:04 PM
To: Mitchell, Annette - PD
Subject: RE: special minimum lot size block application, 600 block of archer street

In that case, please file the protest.
Thank you,
Mr. Sanchez

[REDACTED]

----- Original message -----

From: "Mitchell, Annette - PD" <Annette.Mitchell@houstontx.gov>
Date: 04/13/2015 12:30 PM (GMT-06:00)
To: 'Luis Sanchez' [REDACTED]
Cc:
Subject: RE: special minimum lot size block application, 600 block of archer street

Mr. Sanchez, at this time you would not be able to subdivide your lot due to the Minimum Lot Size application being on file requesting 5,000 sq. ft. as the minimum.

Regards,

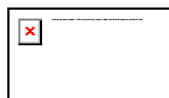
Annette M. Mitchell, Planner

City of Houston Planning & Development Department, Community Sustainability Division

611 Walker, 6th Floor, Houston, Texas 77002

832-393-6563 *Please make note of my new phone number.*

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From: Luis Sanchez [REDACTED]
Sent: Monday, April 13, 2015 11:47 AM
To: Mitchell, Annette - PD
Subject: Re: special minimum lot size block application, 600 block of archer street

Lately Ive seen some land being replated and I was curious to know if you could help me answer the following questions. I currently have a house with small detached garage on my lot.

Can I currently replat my land with the house on it?

If I can, how many divisions could I replat it into?

Thank you,
Luis Sanchez

[REDACTED]

From: "Mitchell, Annette - PD" <Annette.Mitchell@houstontx.gov>
To: 'Luis Sanchez' [REDACTED]
Sent: Monday, April 13, 2015 8:06 AM
Subject: RE: special minimum lot size block application, 600 block of archer street

Good morning, Mr. Sanchez.

Per the telephone conversation earlier this morning, please let me know by responding to this e-mail by 5:00pm today if you would like to proceed with the protest of the Minimum Lot Size application for the 600 Block of Archer Street.

Thanks,

Annette M. Mitchell, Planner

City of Houston Planning & Development Department, Community Sustainability Division

611 Walker, 6th Floor, Houston, Texas 77002

832-393-6563 *Please make note of my new phone number.*

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From: Luis Sanchez [REDACTED]
Sent: Thursday, March 19, 2015 3:36 PM
To: Mitchell, Annette - PD
Subject: Re: special minimum lot size block application, 600 block of archer street

609 Archer

Thank you,
Luis Sanchez



From: "Mitchell, Annette - PD" <Annette.Mitchell@houstontx.gov>
To: 'Luis Sanchez' [REDACTED]
Sent: Thursday, March 19, 2015 5:29 AM
Subject: RE: special minimum lot size block application, 600 block of archer street

Good morning.

Please indicate for your protest which lot you own on the 600 block of Archer Street.

Thank you,

Annette M. Mitchell, Planner

City of Houston Planning & Development Department, Community Sustainability Division

611 Walker, 6th Floor, Houston, Texas 77002

832-393-6563 *Please make note of my new phone number.*

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From: Luis Sanchez [REDACTED]
Sent: Wednesday, March 18, 2015 6:52 PM
To: Mitchell, Annette - PD
Subject: special minimum lot size block application, 600 block of archer street

I received a letter regarding a special minimum lot size block on 600 block of Archer St.

I would like to file my official protest to this. What else do I need to do?

Thank you,
Luis Sanchez

[REDACTED]

Special Minimum Lot Size Block Application

According to
Section 42-194 of Chapter 42 of the Code of Ordinances



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Please complete entire application form.

1. Location:

General Location:

600 block of Archer Street (east & west sides) between Heslep Street and Gardner Street

Example: North side of Golden Retriever Drive between Boxer and Schnauzer Streets

Specific Legal Description Block 66, Lots 1 - 4 and TRS 5A & 6 and Block 67, Lots 7 - 12 in

Brooke Smith Subdivision

Example: Blocks 15, Lots 1-5, in Cocker Spaniel Subdivision

2. Contacts:

Primary

Applicant Amy Nussmeier

Phone # 832-588-3948

Address 602 Archer

E-mail

City Houston

State TX Zip 77009

Alternate

Applicant Tim Goings

Phone # 713-869-4662

Address 308 Archer Street

E-mail

City Houston

State TX Zip 77009

3. Project Information (Staff Use Only-Do Not Fill In):

File #

Key Map #

TIRZ

Lambert #

Super N'hood

Census Tract

City Council District

4. Submittal Requirements:

Please Check

Completed application form (this page)

✓

Petition signed by the applicant (page 5)

✓

Evidence of support from the property owners within the boundary (page 6)

✓

Signed deed restriction statement (page 6)

✓

Copy of deed restrictions, if applicable

N/A

Sample of Notification Sign (page 10)

✓

Map or sketch showing the address, land use and the size of all lots within boundary area

✓

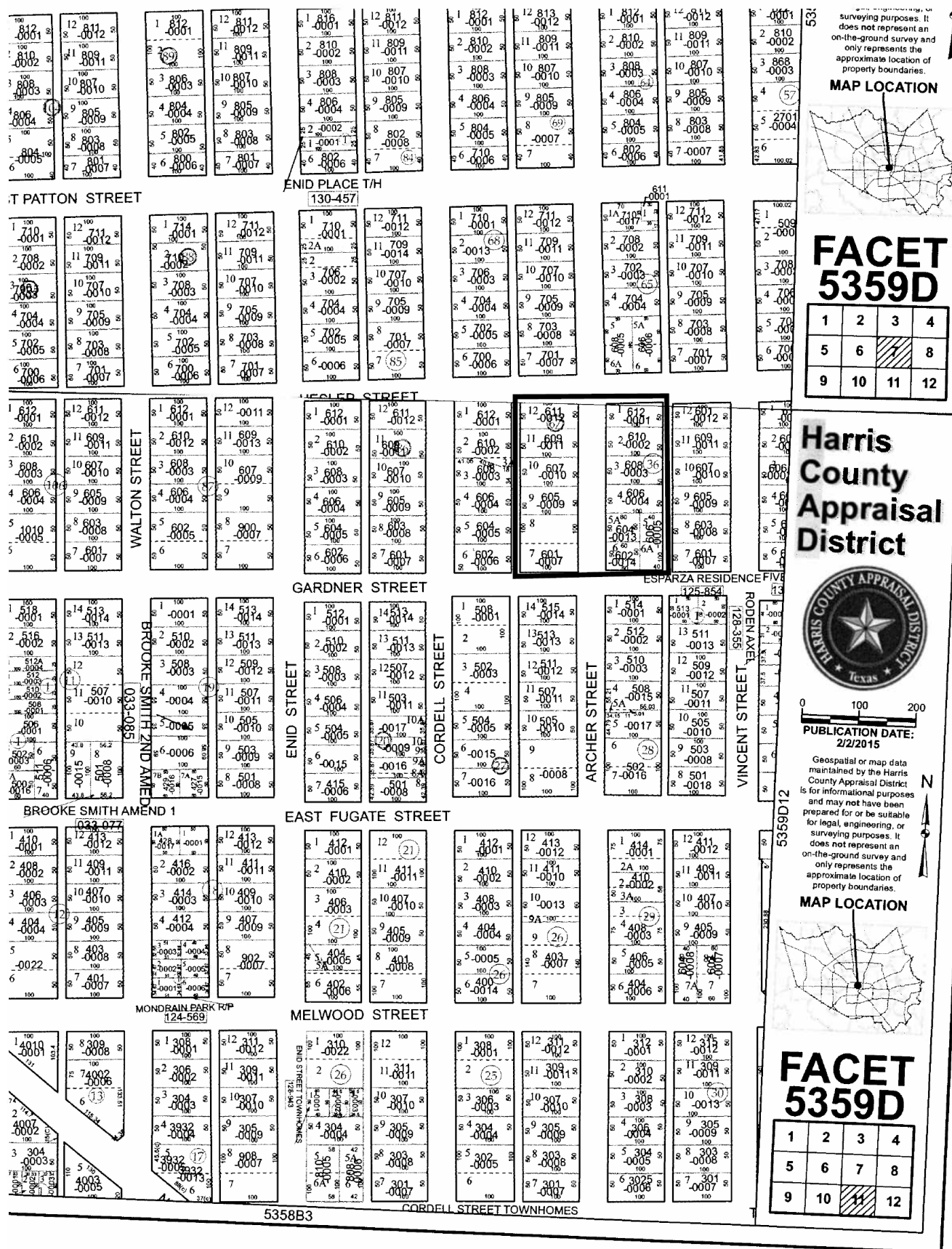
Data showing the actual size of each lot

✓

Special Minimum Lot Size Block

Planning Commission Staff Report

Planning and Development Department





AGENDA: X

SMLSB Application No. 534: 1500 block of East 32nd ½ Street, north and south sides, between Avernus Street and Interstate 45

BACKGROUND:

The Planning and Development Department received an application for the establishment of a Special Minimum Lot Size Block (SMLSB) for the 1500 block of East 32nd ½ Street, north and south sides, between Avernus Street and Interstate 45. Analysis shows that a minimum lot size of 3,180 sf exists for the block faces. A petition was signed by the owners of 25% of the property within the proposed Special Minimum Lot Size Block. No protests were filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-197. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

PROCEDURES:

Following acceptance of a completed application, the Planning Director notifies all owners of property within the proposed SMLSB. Any property owner who wishes to protest the creation of the minimum lot size block may file a protest within thirty days of the notice letter. The Director can grant administrative approval upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 51% of the property within the proposed SMLSB; and
- receives no timely protest filed by a property owner within the proposed SMLSB.

Upon finding that an application meets the above criteria, the Director forwards the request to City Council for consideration of establishing the SMLSB. Should the application not meet one or more criteria, the application must be forwarded to the Planning Commission for public hearing and consideration.

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSB shall include all properties within at least one block face, and no more than two opposing blockfaces;
- at least 60% of the area to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- that the applicant has demonstrated sufficient support for the establishment of the proposed SMLSB;
- that the establishment of the SMLSB will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSB has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSB is enforceable for twenty years from the effective date of the ordinance.

STAFF ANALYSIS:

The application includes thirty-one (31) lots along the 1500 block of East 32nd ½ Street, north and south sides, between Avernus Street and Interstate 45.

Analysis of the application resulted in the following findings:

- The boundaries of the proposed SMLSB must include all properties within at least one block face, and no more than two opposing block faces;*
The application comprises two opposing block faces, the 1500 block of East 32nd ½ Street, north and south sides, between Avernus Street and Interstate 45.
- At least 60% of the lots to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*
Land uses of the properties consist of twenty-one (22) single-family residential properties (representing 71% of the total lots within the boundary area), three (3) multi-family residential properties, and six (6) vacant properties.
- The applicant has demonstrated sufficient support for the SMLSB;*
The applicant obtained signatures of support from property owners of eight (8) of thirty-one (31) lots in the proposed SMLSB (owning 25% of the total area). No protest was filed.
- Establishment of the SMLSB will further the goal of preserving the area lot size character;*
A minimum lot size of 3,180 sf exists on thirty-one (31) lots in the block faces.
- The proposed SMLSB has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*
The subdivision was platted in 1912. The earliest houses originate from the 1930s. The establishment of a 3,180 sf minimum lot size will preserve the lot size character of the area.
- The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*
Thirty-one (31) out of thirty-one (31) lots (representing 100% of the application area) are at least 3,180 square feet in size.

Public notice of the public hearing was transmitted to all property owners on the block face.

ATTACHMENTS:

1. Calculation Analysis
2. Map of Support
3. Properties that Meet the New Minimum Lot Size
4. Surrounding Land Use Map
5. Application
6. Boundary Map

SPECIAL MINIMUM LOT SIZE BLOCK

Application No.	534		
Date Received:	3/26/2015	Date Complete:	3/26/2015
Street(s) Name:	E. 32nd 1/2 Street	Lot(s)	1500 - 1600 block E. 32nd 1/2 Street
Cross Streets:	Avernus St.	and	Interstate 45
Side of street:	North and South		

MINIMUM LOT SIZE:

Address	Land Use	Signed in Support	Lot size (in Sq Feet)
1502 E. 32nd 1/2 (Lot 1)	MF	Y	3,195
1502 E. 32nd 1/2 (Lot 2)	MF	Y	3,195
1502 E. 32nd 1/2 (Lot 3)	MF	Y	3,195
1506 E. 32nd 1/2 (Lot 4)	SFR	Y	3,180
1506 E. 32nd 1/2 (Lot 5)	SFR	Y	3,180
1510 E. 32nd 1/2 (Lot 6)	SFR		3,180
1510 E. 32nd 1/2 (Lot 7)	SFR		3,180
1514 E. 32nd 1/2 (Lot 8)	SFR		3,180
1514 E. 32nd 1/2 (Lot 9)	SFR		3,180
1520 E. 32nd 1/2 (Lot 10)	VAC		3,180
1520 E. 32nd 1/2 (Lot 11)	VAC		3,180
0 E. 32nd 1/2 (Lot 12)	VAC		3,195
0 E. 32nd 1/2 (Lot 13)	VAC		3,195
1522 E. 32nd 1/2 (Lot 14)	SFR	Y	3,180
1526 E. 32nd 1/2 (Lot 15)	SFR	Y	3,180
1526 E. 32nd 1/2 (Lot 16)	SFR	Y	3,180
1503 E. 32nd 1/2 (Lot 32)	SFR		3,180
1503 E. 32nd 1/2 (Lot 31)	SFR		3,180

Special Minimum Lot Size Block

Planning and Development Department

1503 E. 32nd 1/2 (Lot 30)	SFR		3,180
1507 E. 32nd 1/2 (Lot 29)	SFR		3,180
1507 E. 32nd 1/2 (Lot 28)	SFR		3,180
1507 E. 32nd 1/2 (Lot 27)	SFR		3,180
1513 E. 32nd 1/2 (Lot 26)	SFR		3,180
1517 E. 32nd 1/2 (Lot 25 TR 24B)	SFR		4,770
1519 E. 32nd 1/2 (Lot 23 TR 24A)	SFR		4,770
0 E. 32nd 1/2 (Lot 22)	VAC		3,180
0 E. 32nd 1/2 (Lot 21)	VAC		3,180
1525 E. 32nd 1/2 (Lot 20)	SFR		3,180
1525 E. 32nd 1/2 (Lot 19)	SFR		3,180
1529 E. 32nd 1/2 (Lot 18)	SFR		3,180
1529 E. 32nd 1/2 (Lot 17)	SFR		3,180

Evidence of Support (must be 51% or more by area for Director administrative approval):

Of **101,835** Square Feet in the Proposed Application Area **25,485** Square Feet are Owned by Property Owners Signing in Support of the Petition = **25%**

Single Family Calculation:

Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 60%):

22	# developed or restricted to no more than two SFR Units	Of	22	Total number of SFR lots in the Proposed Application Area	31	Total number of lots in the Proposed Application Area	71%
3	# of Multifamily lots						
0	# of Commercial lots						
6	# of Vacant Lots						
31	Total						

Special Minimum Lot Size Block

Planning Commission Staff Report
Planning and Development Department

Minimum Lot Size Calculations:

Total # of lots **31** Total sq. ft. = **101,835** / # of lots = **3,285** average sq. ft.
3,180 median sq. ft.

70 %

Lots ranked by size	Size	% by Area	Cumulative % by Area
1	4,770	4.7%	4.7%
2	4,770	4.7%	9.4%
3	3,195	3.1%	12.5%
4	3,195	3.1%	15.6%
5	3,195	3.1%	18.8%
6	3,195	3.1%	21.9%
7	3,195	3.1%	25.1%
8	3,180	3.1%	28.2%
9	3,180	3.1%	31.3%
10	3,180	3.1%	34.4%
11	3,180	3.1%	37.5%
12	3,180	3.1%	40.7%
13	3,180	3.1%	43.8%
14	3,180	3.1%	46.9%
15	3,180	3.1%	50.0%
16	3,180	3.1%	53.2%
17	3,180	3.1%	56.3%
18	3,180	3.1%	59.4%
19	3,180	3.1%	62.5%
20	3,180	3.1%	65.7%
21	3,180	3.1%	68.8%
22	3,180	3.1%	71.9%
23	3,180	3.1%	75.0%
24	3,180	3.1%	78.1%
25	3,180	3.1%	81.3%
26	3,180	3.1%	84.4%
27	3,180	3.1%	87.5%
28	3,180	3.1%	90.6%
29	3,180	3.1%	93.8%
30	3,180	3.1%	96.9%
31	3,180	3.1%	100.0%
Total	101,835	100.0%	

This application qualifies for a **3,180** Square Feet Special Minimum Lot Size







Special Minimum Lot Size Block Application

According to
Section 42-197 of Chapter 42 of the Code of Ordinances



PLANNING &
DEVELOPMENT
DEPARTMENT

Please complete entire application form.

1. Location:

General Location:

1500 Block 32nd 1/2 between Avenues and
I-45

Example: North side of Golden Retriever Drive between Boxer and Schnauzer Streets

Specific Legal Description

Example: Blocks 15, Lots 1-5, In Cocker Spaniel Subdivision

2. Contacts:

Primary

Applicant

Izella M. Allen

Phone #

713-864-0414

Address

1502 East 32nd 1/2 Street

E-mail

City

Houston

State

TX

Zip

77022

Alternate

Applicant

Phone #

Address

E-mail

City

State

Zip

3. Project Information (Staff Use Only - Do Not Fill In):

File #

534

Key Map #

453P

TIRZ

Lambert #

5359

Super N'hood

815 INDEPENDENCE HEIGHT

Census Tract

48201530300

City Council District

H

4. Submittal Requirements

Please Check

Completed application form (this page)



Petition signed by the applicant (page 4)



Evidence of support from the property owners within the boundary (page 5)



Signed deed restriction statement (page 6)



Copy of deed restrictions, if applicable



Sample of Notification Sign (page 8)



Map or sketch showing the address, land use and size of all lots within boundary area



Diets showing the actual size of each lot



Page 3 of 9

Special Minimum Lot Size (Block) - 12' B13



AGENDA: XI

SMLSB Application No. 535: 1400 block of East 32nd ½ Street, north and south sides, between Eastman and Avernus Streets

BACKGROUND:

The Planning and Development Department received an application for the establishment of a Special Minimum Lot Size Block (SMLSB) for the 1400 block of East 32nd ½ Street, north and south sides, between Eastman and Avernus Streets. Analysis shows that a minimum lot size of 3,180 sf exists for the block faces. A petition was signed by the owners of 49% of the property within the proposed Special Minimum Lot Size Block. No protest was filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-197. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

PROCEDURES:

Following acceptance of a completed application, the Planning Director notifies all owners of property within the proposed SMLSB. Any property owner who wishes to protest the creation of the minimum lot size block may file a protest within thirty days of the notice letter. The Director can grant administrative approval upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 51% of the property within the proposed SMLSB; and
- receives no timely protest filed by a property owner within the proposed SMLSB.

Upon finding that an application meets the above criteria, the Director forwards the request to City Council for consideration of establishing the SMLSB. Should the application not meet one or more criteria, the application must be forwarded to the Planning Commission for public hearing and consideration.

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSB shall include all properties within at least one block face, and no more than two opposing blockfaces;
- at least 60% of the area to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- that the applicant has demonstrated sufficient support for the establishment of the proposed SMLSB;
- that the establishment of the SMLSB will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSB has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSB is enforceable for twenty years from the effective date of the ordinance.

STAFF ANALYSIS:

The application includes thirty-two (32) lots along the 1400 block of East 32nd ½ Street, north and south sides, between Eastman and Avernus Streets.

Analysis of the application resulted in the following findings:

- *The boundaries of the proposed SMLSB must include all properties within at least one block face, and no more than two opposing block faces;*
The application comprises two opposing block faces, the 1400 block of East 32nd ½ Street, north and south sides, between Eastman and Avernus Streets.
- *At least 60% of the lots to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*
Land uses of the properties consist of twenty (20) single-family residential properties (representing 63% of the total lots within the boundary area) and twelve (12) vacant properties.
- *The applicant has demonstrated sufficient support for the SMLSB;*
The applicant obtained signatures of support from property owners of sixteen (16) of the thirty-two (32) lots in the proposed SMLSB (owning 49% of the total area). No protest was filed.
- *Establishment of the SMLSB will further the goal of preserving the area lot size character;*
A minimum lot size of 3,180 sf exists on thirty-one (31) of the thirty-two (32) lots in the block faces.
- *The proposed SMLSB has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*
The subdivision was platted in 1912. The earliest houses originate from the 1930s. The establishment of a 3,180 sf minimum lot size will preserve the lot size character of the area.
- *The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*
Thirty-one (31) out of thirty-two (32) lots (representing 97% of the application area) are at least 3,180 square feet in size.

Public notice of the public hearing was transmitted to all property owners on the block face.

ATTACHMENTS:

1. Calculation Analysis
2. Map of Support
3. Properties that Meet the New Minimum Lot Size
4. Surrounding Land Use Map

5. Application
6. Boundary Map

SPECIAL MINIMUM LOT SIZE BLOCK

Application No.	535		
Date Received:	3/26/2015	Date Complete:	3/26/2015
Street(s) Name:	E. 32nd 1/2 Street	Lot(s)	1400 - 1500 block E. 32nd 1/2 Street
Cross Streets:	Eastman St.	and	Avernus St.
Side of street:	North and South		

MINIMUM LOT SIZE:

Address	Land Use	Signed in Support	Lot size (in Sq Feet)
1402 E. 32nd 1/2 (Lot 1)	SFR	Y	3,180
1404 E. 32nd 1/2 (Lot 2)	SFR	Y	3,180
0 E. 32nd 1/2 (Lot 3)	VAC		3,180
0 E. 32nd 1/2 (Lot 4)	SFR	Y	3,195
1410 E. 32nd 1/2 (Lot 5)	SFR	Y	3,195
1412 E. 32nd 1/2 (Lot 6)	VAC		3,195
1414 E. 32nd 1/2 (Lot 7)	SFR	Y	3,180
1414 E. 32nd 1/2 (Lot 8)	SFR	Y	3,180
1416 E. 32nd 1/2 (Lot 9)	SFR		3,180
0 E. 32nd 1/2 (Lot 10)	VAC		3,180
0 E. 32nd 1/2 (Lot 11)	VAC		3,180
1422 E. 32nd 1/2 (Lot 12)	SFR		3,180
1428 E. 32nd 1/2 (Lot 13)	SFR		3,180
1428 E. 32nd 1/2 (Lot 14)	SFR		3,180
1432 E. 32nd 1/2 (Lot 15)	SFR	Y	3,180
1430 E. 32nd 1/2 (TR 16A)	SFR	Y	1,650
1401 E. 32nd 1/2 (Lot 32)	SFR	Y	3,180
1403 E. 32nd 1/2 (Lot 31)	VAC	Y	3,180
1405 E. 32nd 1/2 (Lot 30)	VAC		3,180
1407 E. 32nd 1/2 (Lot 29)	SFR		3,180

Special Minimum Lot Size Block

Planning and Development Department

1409 E. 32nd 1/2 (Lot 28)	SFR		3,180
0 E. 32nd 1/2 (Lot 27)	VAC		3,195
0 E. 32nd 1/2 (Lot 26)	VAC	Y	3,180
1417 E. 32nd 1/2 (Lot 25)	SFR	Y	3,180
0 E. 32nd 1/2 (Lot 24)	VAC		3,180
0 E. 32nd 1/2 (Lot 23)	VAC		3,180
1421 E. 32nd 1/2 (Lot 22)	SFR	Y	3,180
0 E. 32nd 1/2 (Lot 21)	VAC		3,180
1410 E 33rd (Lot 20)	VAC		3,180
1437 E. 32nd 1/2 (Lot 19)	SFR	Y	3,180
1437 E. 32nd 1/2 (Lot 18)	SFR	Y	3,180
1437 E. 32nd 1/2 (Lot 17)	SFR	Y	3,180

Evidence of Support (must be 51% or more by area for Director administrative approval):

Of **100,290** Square Feet in the Proposed Application Area **49,380** Square Feet are Owned by Property Owners Signing in Support of the Petition = **49%**

Single Family Calculation:

Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 60%):

20 # developed or restricted to no more than two SFR Units	Of	20	Total number of SFR lots in the Proposed Application Area	32	Total number of lots in the Proposed Application Area	63%
0 # of Multifamily lots						
0 # of Commercial lots						
12 # of Vacant Lots						
32 Total						

Minimum Lot Size Calculations:

[illegible]

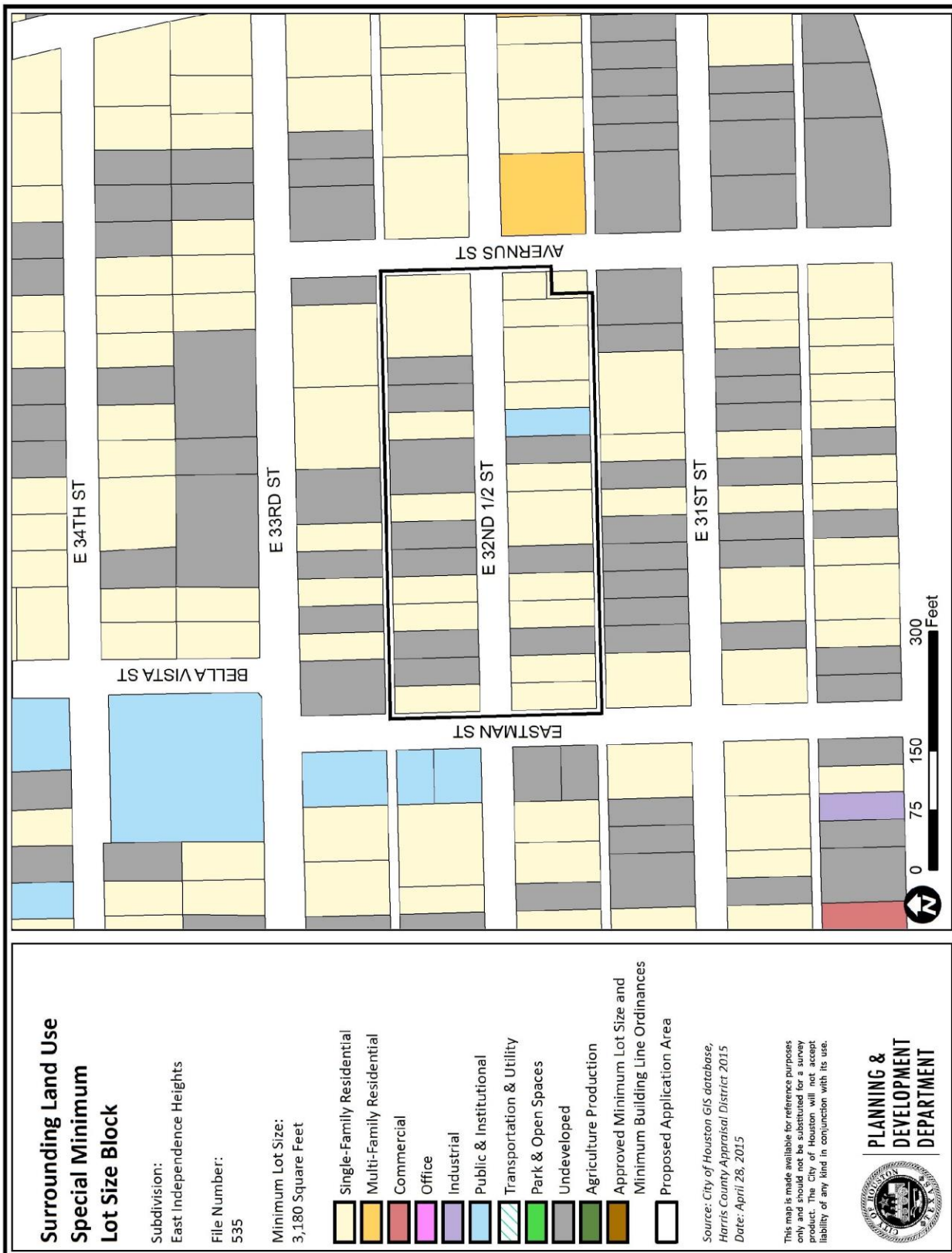
70 %

Lots ranked by size	Size	% by Area	Cumulative % by Area
1	3,195	3.2%	3.2%
2	3,195	3.2%	6.4%
3	3,195	3.2%	9.6%
4	3,195	3.2%	12.7%
5	3,180	3.2%	15.9%
6	3,180	3.2%	19.1%
7	3,180	3.2%	22.3%
8	3,180	3.2%	25.4%
9	3,180	3.2%	28.6%
10	3,180	3.2%	31.8%
11	3,180	3.2%	34.9%
12	3,180	3.2%	38.1%
13	3,180	3.2%	41.3%
14	3,180	3.2%	44.5%
15	3,180	3.2%	47.6%
16	3,180	3.2%	50.8%
17	3,180	3.2%	54.0%
18	3,180	3.2%	57.1%
19	3,180	3.2%	60.3%
20	3,180	3.2%	63.5%
21	3,180	3.2%	66.6%
22	3,180	3.2%	69.8%
23	3,180	3.2%	73.0%
24	3,180	3.2%	76.2%
25	3,180	3.2%	79.3%
26	3,180	3.2%	82.5%
27	3,180	3.2%	85.7%
28	3,180	3.2%	88.8%
29	3,180	3.2%	92.0%
30	3,180	3.2%	95.2%
31	3,180	3.2%	98.4%
32	1,650	1.6%	100.0%
Total	100,290	100.0%	

This application qualifies for a **3,180** Square Feet Special Minimum Lot Size







Special Minimum Lot Size Block Application

According to

Section 42-197 of Chapter 42 of the Code of Ordinances



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Please complete entire application form.

1. Location:

General Location: 1400 BLOCK E 32nd 1/2 between Eastman and Avernus

Example: North side of Golden Retriever Drive between Boxer and Schnauzer Streets

Specific Legal Description

Example: Blocks 15, Lots 1-5, In Cocker Spaniel Subdivision

2. Contacts:

Primary

Applicant

Cynthia D. Allen

Phone #

832-483-2488

Address

1417 East 32nd 1/2 St.

E-mail

[REDACTED]

City

Houston

State

Tx Zip 77022

Alternate

Applicant

Phone #

Address

E-mail

City

State

Zip

3. Project Information (Staff Use Only-Do Not Fill In):

File #

535

Key Map #

TIRZ

Lambert #

Super N'hood

Census Tract

City Council District

4. Submittal Requirements:

Please Check

Completed application form (this page)

☒

Petition signed by the applicant (page 4)

☒

Evidence of support from the property owners within the boundary (page 5)

☒

Signed deed restriction statement (page 6)

☒

Copy of deed restrictions, if applicable

☒

Sample of Notification Sign (page 8)

☒

Map or sketch showing the address, land use and size of all lots within boundary area

☒

Data showing the actual size of each lot

☒

