

# HOUSTON PLANNING COMMISSION

## AGENDA

APRIL 30, 2015



COUNCIL CHAMBER  
CITY HALL ANNEX  
2:30 P.M.

# PLANNING COMMISSION MEMBERS



Mark A. Kilkenny, *Chair*  
M. Sonny Garza, *Vice Chair*  
Susan Alleman  
Kenneth J. Bohan  
Fernando L. Brave  
Antoine Bryant  
Lisa Clark  
Algenita Davis  
Truman C. Edminster, III  
James R. Jard  
Paul R. Nelson  
Linda Porras-Pirtle  
Mark Sikes  
Martha Stein  
Eileen Subinsky  
Blake Tarrt III  
Shaukat Zakaria

The Honorable Grady Prestage, P. E.  
*Fort Bend County*  
The Honorable Ed Emmett  
*Harris County*  
Commissioner James Noack  
*Montgomery County*

## **ALTERNATE MEMBERS**

Richard W. Stolleis, P. E.  
Clay Forister, P.E.  
*Fort Bend County*  
Raymond J. Anderson, P. E.  
*Harris County*  
Mark J. Mooney, P.E.  
*Montgomery County*

## **EX- OFFICIO MEMBERS**

Carol Lewis, Ph.D.  
Dale A. Rudick, P.E.  
Dawn Ullrich  
Gilbert Andrew Garcia, CFA

## **SECRETARY**

Patrick Walsh, P.E.



## Meeting Policies and Regulations

### Order of Agenda

Planning Commission may alter the order of the agenda to consider variances first, followed by replats requiring a public hearing second and consent agenda last. Any contested consent item will be moved to the end of the agenda.

### Public Participation

The public is encouraged to take an active interest in matters that come before the Planning Commission. Anyone wishing to speak before the Commission may do so. The Commission has adopted the following procedural rules on public participation:

1. Anyone wishing to speak before the Commission must sign-up on a designated form located at the entrance to the Council Chamber.
2. If the speaker wishes to discuss a specific item on the agenda of the Commission, it should be noted on the sign-up form.
3. If the speaker wishes to discuss any subject not otherwise on the agenda of the Commission, time will be allowed after all agenda items have been completed and "public comments" are taken.
4. The applicant is given first opportunity to speak and is allowed two minutes for an opening presentation. The applicant is also allowed a rebuttal after all speakers have been heard; two additional minutes will be allowed.
5. Speakers will be allowed two minutes for specially called hearing items, replats with notice, variances, and special exceptions.
6. Speakers will be allowed 1 minute for all consent agenda items.
7. Time limits will not apply to elected officials.
8. No speaker is permitted to accumulate speaking time from another person.
9. Time devoted to answering any questions from the Commission is not charged against allotted speaking time.
10. The Commission reserves the right to limit speakers if it is the Commission's judgment

that an issue has been sufficiently discussed and additional speakers are repetitive.

11. The Commission reserves the right to stop speakers who are unruly or abusive.

### Limitations on the Authority of the Planning Commission

By law, the Commission is required to approve subdivision and development plats that meet the requirements of Chapter 42 of the Code of Ordinances of the City of Houston. The Commission cannot exercise discretion nor can it set conditions when granting approvals that are not specifically authorized by law. If the Commission does not act upon a Sec. I agenda item within 30 days, the item is automatically approved. The Commission's authority on platting does not extend to land use. The Commission cannot disapprove a plat because it objects to the use of the property. All plats approved by the Commission are subject to compliance with applicable requirements, e.g., water, sewer, drainage, or other public agencies.

### Contacting the Planning Commission

Should you have materials or information that you would like for the Planning Commission members to have pertaining to a particular item on their agenda, contact staff at 713-837-7758. Staff can either incorporate materials within the members Agenda packets, or can forward to the members messages and information.

### Contacting the Planning Department

The Planning and Development Department is located at 611 Walker Street on the Sixth Floor. Code Enforcement is located at 1002 Washington Street.

The Departments mailing address is:  
P.O. Box 1562  
Houston, Texas 77251-1562

The Departments website is:  
[www.houstonplanning.com](http://www.houstonplanning.com)

E-mail us at:  
Planning and Development  
[Suzy.Hartgrove@houstontx.gov](mailto:Suzy.Hartgrove@houstontx.gov)

Plat Tracker Home Page:  
[www.HoustonPlatTracker.org](http://www.HoustonPlatTracker.org)

## **Speakers Sign In Form**

### **Instructions:**

1. So that the Commission's Chairperson can call on those wishing to address the Commission, please provide the information below. Make sure the information is legible. If you have questions about the form or a particular item while filling out this form Planning and Development Department staff members are available at the front of the room to answer any questions. Hand the completed form to a staff member prior to the meeting's Call to Order.
2. It is important to include your "position" so that the Chairperson can group the speakers by position.
3. If you are a part of an organized group of speakers and want to address the Commission in a particular order please let a staff member know prior to the beginning of the meeting.
4. The Chairperson will call each speaker's name when it is his or her turn to speak. The Chairperson will also call out the speaker to follow.
5. As the called speaker you should move forward to the podium, state your name for the record, and then deliver your comments.
6. If you have materials to distribute to the Commission hand them to a staff member at the beginning of your presentation. Staff will distribute the information to Commission members on both sides of the table as you begin your comments.

**Agenda Item Number:** \_\_\_\_\_

**Agenda Item Name:** \_\_\_\_\_

**Your Name (speaker):** \_\_\_\_\_

**How Can We Contact You? (optional):** \_\_\_\_\_

**Your Position Regarding the Item (supportive, opposed, undecided):** \_\_\_\_\_

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6. If you have materials to distribute to the Commission hand them to a staff member at the beginning of your presentation. Staff will distribute the information to Commission members on both sides of the table as you begin your comments.

**Agenda Item Number:** \_\_\_\_\_

**Agenda Item Name:** \_\_\_\_\_

**Your Name (speaker):** \_\_\_\_\_

**How Can We Contact You? (optional):** \_\_\_\_\_

**Your Position Regarding the Item (supportive, opposed, undecided):** \_\_\_\_\_

# **Houston Planning Commission**

## **AGENDA**

**April 30, 2015**

Meeting to be held in  
Council Chamber, City Hall Annex  
2:30 p.m.

### **Call to Order**

#### **Director's Report**

- **Approval of the April 16, 2015 Planning Commission Meeting Minutes**

#### **I. Platting Activity (Subdivision and Development plats)**

- a. Consent Subdivision Plats (Christa Stoneham)
- b. Replats (Christa Stoneham)
- c. Replats requiring Public Hearings with Notification (Dorianne Powe-Phlegm, Suvidha Bandi, Teresa Geisheker, and Marlon Connley)
- d. Subdivision Plats with Variance Requests (Dipti Mathur, Mikalla Hodges, Muxian Fang and Suvidha Bandi)
- e. Subdivision Plats with Special Exception Requests (Muxian Fang)
- f. Reconsiderations of Requirement (Mikalla Hodges)
- g. Extension of Approvals (Christa Stoneham)
- h. Name Changes (Christa Stoneham)
- i. Certificates of Compliance (Christa Stoneham)
- j. Administrative
- k. Development Plats with Variance Requests (Kimberly Bowie and Christa Stoneham)

#### **II. Establish a public hearing date of May 28, 2015**

- a. Aliana Sec 15 replat no 3 and extension partial replat no 1
- b. Lakeview Homes Addition partial replat no 2
- c. Melody Oaks partial replat no 14
- d. Scottcrest partial replat no 1
- e. Terrace Oaks partial replat no 1

#### **III. Consideration of an Off-Street Parking Variance for a property located at 3501 Southmore Boulevard (Energy Institute High School) (Kimberly Bowie)**

#### **IV. Consideration of an Off-Street Parking Variance for a property located at 520 Mercury Drive (Furr High School) (Kimberly Bowie)**

#### **V. Consideration of a Landscape Variance for a property located at 9690 West Wingfoot Road (Starpak Warehouse) (Kimberly Bowie)**

#### **VI. Public Hearing and Consideration of a Special Minimum Lot Size Area Application for Navigation Subdivision (Misty Staunton)**

#### **VII. Public Hearing and Consideration of a Special Minimum Lot Size Block Application for the 5000 Block of West Hunting Street, east side (Christopher Andrews)**

#### **VIII. Public Comment**

#### **IX. Adjournment**

## **DRAFT Minutes of the Houston Planning Commission**

(A CD/DVD of the full proceedings is on file in the Planning and Development Department)

April 16, 2015  
Meeting to be held in  
Council Chambers, Public Level, City Hall Annex  
2:30 p.m.

### **Call to order:**

**Chair, Mark Kilkenny called the meeting to order at 2:39 p.m. with a quorum present.**

Mark A. Kilkenny, Chair

M. Sonny Garza

Susan Alleman

Fernando Brave

Kenneth Bohan

Arrived at 2:43 p.m. during item II

Antoine Bryant

Lisa Clark

Algenita Davis

Arrived at 3:01 p.m. during item #119

Truman C. Edminster III

James R. Jard

Paul R. Nelson

Linda Porrás-Pirtle

Mike Sikes

Absent

Martha Stein

Eileen Subinsky

Blake Tartt III

Shaukat Zakaria

Mark Mooney for

Commissioner James Noack

Clay Forister for

The Honorable Grady Prestage

Raymond Anderson for

The Honorable Ed Emmett

### **EXOFFICIO MEMBERS**

Carol A. Lewis

Dale A. Rudick, P.E.

## **DIRECTOR'S REPORT**

The Director's Report was given by Patrick Walsh, Director, Planning and Development Department.

## **APPROVAL OF THE APRIL 2, 2015 PLANNING COMMISSION MEETING MINUTES**

Commission action: Approved the April 2, 2015 Planning Commission meeting minutes.

Motion: **Clark**

Second: **Bryant**

Vote: **Carries**

Abstaining: **Garza**

### **I. PRESENTATION AND PUBLIC HEARING ON PROPOSED AMENDMENTS TO CHAPTERS 10, 33, 39, 40 AND 42 OF THE CODE OF ORDINANCES.**

Due to technical difficulties this item was discussed later in the meeting.

### **II. PLATTING ACTIVITY (Consent items A and B, 1-116)**

Items removed for separate consideration: **35, 37, 43, 63, 64, 67, 74, and 87.**

Staff recommendation: Approve staff's recommendations for items **1 – 116** subject to the CPC 101 form conditions.

Commission action: Approved staff's recommendations for items **1 – 116** subject to the CPC 101 form conditions.

Motion: **Subinsky**

Second: **Bryant**

Vote: **Unanimous**

Abstaining: **None**

**Commissioners Alleman, Clark, Edminster, and Porras-Pirtle abstained and left the room.**

Staff recommendation: Approve staff's recommendation to approve items **35, 37, 43, 63, 64, 67, 74, and 87** subject to the CPC 101 form conditions.

Commission action: Approved staff's recommendation to approve items **35, 37, 43, 63, 64, 67, 74, and 87** subject to the CPC 101 form conditions.

Motion: **Garza**

Second: **Bryant**

Vote: **Unanimous**

Abstaining: **None**

**Commissioners Alleman, Clark, Edminster, and Porras-Pirtle returned.**

## **C PUBLIC HEARINGS**

### **117 Breckenridge Park partial replat no 2**

**C3N**

**Approve**

Staff recommendation: Approve the plat subject to the CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Bryant**

Second: **Alleman**

Vote: **Unanimous**

Abstaining: **None**

### **118 Hyde Park partial replat no 4**

**C3N**

**Approve**

Staff recommendation: Approve the plat subject to the CPC 101 form conditions.

Commission action: Approved the plat subject to the CPC 101 form conditions.

Motion: **Porras-Pirtle**

Second: **Brave**

Vote: **Unanimous**

Abstaining: **None**

Speakers for item 118: Scott Petry – undecided; Mary Lou Henry, applicant - supportive

**Items 119, 120, 121, and 122 were taken together at this time.**

### **119 Kings Village North partial replat no 1**

**C3N**

**Approve**

### **120 Kings Village North partial replat no 2**

**C3N**

**Approve**

### **121 Kings Village North partial replat no 3**

**C3N**

**Approve**

### **122 Kings Village North partial replat no 1**

**C3N**

**Approve**

Staff recommendation: Deny the 10' building line variance for 31 lots 2) grant the shared COS variance and 3) grant the variance to allow the conversion of a single family lot to a parking reserve and approve the plats subject to the CPC 101 form conditions.

Commission action: Granted the requested variances and approved the plats subject to the CPC 101 form conditions.

Motion: **Anderson** Second: **Garza** Vote: **Carries** Abstaining: **None**

Opposed: **Brave, Bohan, and Jard**

Speakers for items 119-122: Nichole Bowden, Melissa Bohannon, and Marty Weiner – supportive

**123 Retreat at Sherwood partial replat no 1 C3N Approve**

Staff recommendation: Grant the requested variances and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variances and approved the plat subject to the CPC 101 form conditions.

Motion: **Edminster** Second: **Clark** Vote: **Unanimous** Abstaining: **None**

**124 Southgate Addition Sec no 3 replat no 1 partial replat no 3 C3N Disapprove**

Staff recommendation: Disapprove the plat.

Commission action: Disapproved the plat.

Motion: **Garza** Second: **Bryant** Vote: **Unanimous** Abstaining: **None**

**125 Walden on Lake Houston Phase 5 Champions Village C3N Defer**

Staff recommendation: Defer the plat for two weeks for additional information.

Commission action: Deferred the plat for two weeks for additional information.

Motion: **Bryant** Second: **Subinsky** Vote: **Unanimous** Abstaining: **None**

**126 Westheimer Estates partial replat no 5 C3N Withdrawn**

**127 Westlawn Terrace partial replat no1 C3N Withdrawn**

**D VARIANCES**

**128 Belfort Farms GP GP Approve**

Staff recommendation: Grant the requested variance to allow excessive block length along the eastern boundary north of Oyster Creek but deny the variance to not extend Winding Path Way and approve the general plan subject to CPC 101 Form conditions.

Commission action: Granted the requested variance to allow excessive block length along the eastern boundary north of Oyster Creek but deny the variance to not extend Winding Path Way and approve the general plan subject to CPC 101 Form conditions.

Motion: **Forister** Second: **Nelson** Vote: **Unanimous** Abstaining: **None**

**129 Brookside GP GP Defer**

Staff recommendation: Defer the plat for two weeks to allow time for further study and review.

Commission action: Deferred the plat for two weeks to allow time for further study and review.

Motion: **Bohan** Second: **Subinsky** Vote: **Unanimous** Abstaining: **None**

**130 Champion Woods Enclave C2 Approve**

Staff recommendation: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Grant the requested variance and approve the plat subject to the CPC 101 form conditions.

Motion: **Davis**

Second: **Clark**

Vote: **Unanimous**

Abstaining: **None**

**131 CQ Gosling**

**C2 R**

**Approve**

Staff recommendation: Grant the requested variance at to allow five lots to take access via access easement and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variance at to allow five lots to take access via access easement and approve the plat subject to the CPC 101 form conditions.

Motion: **Clark**

Second: **Tartt**

Vote: **Unanimous**

Abstaining: **None**

**132 Crescent Island partial replat no 2**

**C2R**

**Defer**

Staff recommendation: Defer the plat for two weeks to allow time for Legal review of single family restrictions filed separately.

Commission action: Deferred the plat for two weeks to allow time for Legal review of single family restrictions filed separately.

Motion: **Davis**

Second: **Garza**

Vote: **Unanimous**

Abstaining: **None**

**133 Dowling Vista**

**C2R**

**Approve**

Staff recommendation: Grant the requested 15' BL variance along Dowling Street and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested 15' BL variance along Dowling Street and approve the plat subject to the CPC 101 form conditions.

Motion: **Clark**

Second: **Alleman**

Vote: **Unanimous**

Abstaining: **None**

**134 Levey Group Five Corners Business Center**

**C2**

**Approve**

Staff recommendation: Grant the requested variances and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested variances and approved the plat subject to the CPC 101 form conditions.

Motion: **Garza**

Second: **Alleman**

Vote: **Unanimous**

Abstaining: **None**

**135 Memorial Hermann Hospital**

**C2R**

**Defer**

Staff recommendation: Grant the requested dual building line variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Deferred the plat for two weeks per Legal request to allow time for additional information.

Motion: **Jard**

Second: **Tartt**

Vote: **Unanimous**

Abstaining: **None**

**Items 136 and 139 were taken together at this time.**

**136 Mueschke Road Tract**

**C3P**

**Defer**

**139 Safesite Tract**

**C3P**

**Defer**

Staff recommendation: Defer the plat for two weeks to allow time for further study and review.

Commission action: Deferred the plat for two weeks to allow time for further study and review.

Motion: **Bohan**

Second: **Garza**

Vote: **Unanimous**

Abstaining: **None**

**137 Post Oak School****C2R****Defer**

Staff recommendation: Grant the requested dual building line variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested dual building line variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Garza**Second: **Bryant**Vote: **Unanimous**Abstaining: **None****138 Residences at Hardy Yards****C2R****Approve**

Staff recommendation: Grant the requested 5' building line variance and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the requested 5' building line variance and approved the plat subject to the CPC 101 form conditions.

Motion: **Jard**Second: **Tartt**Vote: **Unanimous**Abstaining: **None****140 Swan Terrace****C2R****Defer**

Staff recommendation: Defer the plat for two weeks to allow time for further study and review.

Commission action: Deferred the plat for two weeks to allow time for further study and review.

Motion: **Subinsky**Second: **Tartt**Vote: **Unanimous**Abstaining: **None****141 WalMart USA Store No 297****C2R****Defer**

Staff recommendation: Defer the plat for two weeks to allow time for applicant to submit revised information by noon next Wednesday.

Commission action: Deferred the plat for two weeks to allow time for applicant to submit revised information by noon next Wednesday.

Motion: **Alleman**Second: **Garza**Vote: **Unanimous**Abstaining: **None**

**The Commission returned to agenda item I at this time.**

**I. PRESENTATION AND PUBLIC HEARING ON PROPOSED AMENDMENTS TO CHAPTERS 10, 33, 39, 40 AND 42 OF THE CODE OF ORDINANCES.**

The presentation was given by Brian Crimmins, Planning and Development Department.

**E SPECIAL EXCEPTIONS  
NONE****F RECONSIDERATION OF REQUIREMENTS****142 Waterford Trails Sec 1****C2****Approve**

Staff recommendation: Grant the reconsideration of requirement and approve the plat subject to the CPC 101 form conditions.

Commission action: Granted the reconsideration of requirement and approved the plat subject to the CPC 101 form conditions.

Motion: **Clark**Second: **Alleman**Vote: **Unanimous**Abstaining: **None**

**Items G, H, and I are taken together at this time.**

**G EXTENSIONS OF APPROVAL****143 Highland Village partial replat no 2****EOA****Approve****144 Oak Estates Sec 1 partial replat no 1****EOA****Approve****H NAME CHANGES**



**NONE**

**I CERTIFICATES OF COMPLIANCE**

**145 25371 Needham Road**  
**146 23737 Briar Tree Drive**

**COC**  
**COC**

**Approve**  
**Approve**

Staff recommendation: Approve staff's recommendation for items **145-146**.

Commission action: Approved staff's recommendation for items **145-146**.

Motion: **Davis** Second: **Bryant** Vote: **Unanimous** Abstaining: **None**

**J ADMINISTRATIVE**  
**NONE**

**K DEVELOPMENT PLATS WITH VARIANCE REQUESTS**

**147 1035 Herkimer**

**DPV**

**Approve**

Staff recommendation: Grant the requested variances to 1) allow a 1' building line along the major thoroughfare West 11<sup>th</sup> Street and 2) to not dedicate 5' of ROW to Herkimer Street subject to the condition of a wrought iron fence along West 11<sup>th</sup> Street and one (1) street tree on the Herkimer Street.

Commission action: Granted the requested variances to 1) allow a 1' building line along the major thoroughfare West 11<sup>th</sup> Street and 2) to not dedicate 5' of ROW to Herkimer Street subject to the condition of a wrought iron fence along West 11<sup>th</sup> Street and one (1) street tree on the Herkimer Street.

Motion: **Davis** Second: **Garza** Vote: **Unanimous** Abstaining: **None**

**148 1235 Nasa Parkway**

**DPV**

**Defer**

Staff recommendation: Defer the plat for two weeks to allow time for applicant to submit revised information.

Commission action: Deferred the plat for two weeks to allow time for the applicant to submit revised information.

Motion: **Jard** Second: **Bryant** Vote: **Unanimous** Abstaining: **None**

**III. ESTABLISH A PUBLIC HEARING DATE OF May 14, 2015 for:**

- a. Douglas E Bundy Amenity Lake No 1 replat no 1 and extension**
- b. Treviso replat no 1**
- c. McKenzie Park Sec 4 partial replat no 1**
- d. Scenic Woods partial replat no 2**
- e. Spring Village Estates partial replat no 1**
- f. Westcott Place Sec 2 partial replat no 1**

Staff recommendation: Establish a public hearing date of May 14, 2015 for items **III a-f**.

Commission action: Established a public hearing date of May 14, 2015 for items **III a-f**.

Motion: **Bohan** Second: **Subinsky** Vote: **Unanimous** Abstaining: **None**

**IV. CONSIDERATION OF AN OFF-STREET PARKING VARIANCE FOR A PROPERTY LOCATED AT 3501 SOUTHMORE BOULEVARD (ENERGY INSTITUTE HIGH SCHOOL)**

**V. CONSIDERATION OF AN OFF-STREET PARKING VARIANCE FOR A PROPERTY LOCATED AT 520 MERCURY DRIVE (FURR HIGH SCHOOL)**

Staff recommendation: Defer for the parking variances for two weeks.

Commission action: Deferred for the parking variances for two weeks.

Motion: **Jard** Second: **Bohan** Vote: **Unanimous** Abstaining: **None**

**VI. CONSIDERATION OF A LANDSCAPE VARIANCE FOR A PROPERTY LOCATED AT 9690 WEST WINGFOOT ROAD (STARPARK WAREHOUSE)**

Staff recommendation: Defer the application for two weeks per the applicant's request to allow time to meet with the Urban Forester.

Commission action: Deferred the application for two weeks per the applicant's request to allow time to meet with the Urban Forester.

Motion: **Davis**      Second: **Bryant**      Vote: **Unanimous**      Abstaining: **None**

**VII. Public Hearing and Consideration of a Special Minimum Lot Size Block Application for the 900 Block of Allston Street, east and west sides**

Staff recommendation: Approve the Special Minimum Lot Size Block Application for the 900 block of Allston Street, east and west sides and forward to City Council.

Commission action: Approved the Special Minimum Lot Size Block Application for the 900 block of Allston Street, east and west sides and forwarded to City Council.

Motion: **Jard**      Second: **Subinsky**      Vote: **Unanimous**      Abstaining: **None**

Speaker for item VII: Brenton A. Pharis – supportive

**VIII. PLEASE EXCUSE THE ABSENCES OF COMMISSIONER TARTT**

Commissioner Tartt was present so no action needed.

**IX. PUBLIC COMMENT  
NONE**

**X. ADJOURNMENT**

There being no further business brought before the Commission, Chair, Mark Kilkenney adjourned the meeting at 4:34 p.m.

Motion: **Alleman**      Second: **Subinsky**      Vote: **Unanimous**      Abstaining: **None**

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**Mark Kilkenney, Chair**

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**Patrick Walsh, Secretary**

Item		App	
No.	Subdivision Plat Name	Type	Deferral
A-Consent			
1	Aliana Westmoor Drive Sec 4	SP	
2	Beltway Southwest Business Park GP	GP	DEF1
3	Bosniaks Cultural Community of Houston	C2	
4	Brenwood Manor Town Homes	C3F	
5	Bridgeland Hidden Creek Sec 18	C3F	
6	Bridgeland Hidden Creek Sec 19	C3F	
7	Bridgeland Parkland Village Sec 3	C3P	
8	Bridgeland Parkland Village Sec 4	C3P	
9	Briscoe Falls Sec 3	C3F	
10	Brittmoore Place	C3F	DEF2
11	Bruno Commercial Park	C2	
12	Camellia Reserves	C3P	
13	Camellia Sec 2	C3P	
14	Carpenters Landing Sec 7	C3P	DEF1
15	Commercial Center at Bridgestone	C3F	
16	Contempo	C2	
17	CPS Houston	C2	
18	Cypress Plaza Parkway Street Dedication Sec 2	SP	
19	Delz Oaks	C2	
20	Eagle Springs Sec 51	C3F	
21	Fieldstone Sec 12	C3P	
22	Forestwood Sec 8	C3P	DEF1
23	Franz Elrod Business Park	C2	
24	Harris Orchard	C3F	
25	Haven at Augusta Woods Village Apartments	C2	
26	Jones Creek Estates	C2	
27	Kings Mill Sec 10	C3F	
28	Kristcar GP	GP	
29	Kristcar Sec 1	C2	DEF2
30	Ktr Hou North LLC	C3F	
31	Kuykendahl Commercial Center	C2	
32	Lakes at Mason Park Sec 5	C3F	
33	Lakewood Pines Sec 1 partial replat no 1	C3F	
34	Levy Park	C2	
35	Long Meadow Farms Sec 37	C3P	
36	Long Meadow Farms Sec 41	C3F	
37	Lucky Food Mart	C2	
38	Manors at Woodland Heights partial replat no 1	C3F	
39	Massaad Group Addition replat no 1 partial replat no 1	C3F	
40	Mayfield Place	C2	
41	McCarty Street Partners	C2	
42	Mcintosh Villas	C2	DEF1

**Platting Summary****Houston Planning Commission****PC Date: April 30, 2015**

Item No.	Subdivision Plat Name	App	
		Type	Deferral
43	Medical Development at FM 2920 Sec 2	C3F	
44	Menil Drawing Institute	C3F	
45	Park Spring Store Reserve	C2	
46	Parks On Shearn	C2	DEF2
47	Popeyes at Telephone Road	C2	DEF1
48	Rancho Verde Sec 6	C3F	DEF1
49	Retreat At Sherwood partial replat no 1	C3F	
50	Royal Brook at Kingwood Sec 6	C3F	
51	Sakert Square	C2	DEF1
52	Shreeji Plaza	C2	
53	Solstice at Harmony Sec 1	C3F	DEF1
54	Stillwater on Lake Houston Sec 3	C3P	
55	Sunset Ridge West Sec 4	C3P	
56	T and R Lodging Group LLC	C2	
57	Tanase Residence	C2	
58	Ventana Lakes Sec 9	C3F	
59	Verizon Village Green GP	GP	
60	Wonton Foods	C2	
61	Woodland Pines GP	GP	

**B-Replats**

62	Alief Store	C2R	
63	Beltway Southwest Business Park Sec 1	C3R	DEF1
64	BK Haden	C2R	
65	Carverdale Park	C2R	
66	Castone Court at Radcliffe Street	C2R	
67	Cline Street Patio Homes	C2R	DEF1
68	Fast Sticker and Lube on North Shepherd	C2R	
69	Hardial Park	C2R	DEF1
70	Hardy Road Industrial Reserve	C2R	DEF1
71	Hutchison Properties	C2R	
72	Krispy Addition	C2R	
73	Larkin Street Homes	C2R	
74	Lexus of Clear Lake Addition	C2R	
75	Monroe Plaza	C2R	
76	Moonshine Green Plaza	C2R	
77	Oak Village	C2R	
78	Price 1960 partial replat no 1	C2R	
79	Revere Court	C2R	
80	Rosalie Street Villas	C2R	
81	Shady Acres Views	C2R	
82	Taggart Street Place	C2R	DEF2
83	Terry Estates	C2R	
84	Tradewind Homes at Jewett	C2R	

Item No.	Subdivision Plat Name	App	
		Type	Deferral
85	Trails on Couch	C2R	
86	Tyne Street Landing	C2R	
87	Valley Bend	C2R	
88	West Belt Plaza partial replat no 2	C2R	
89	West Pierce Home	C2R	

**C-Public Hearings Requiring Notification**

90	Braes Heights Addition Sec 10 partial replat no 2	C3N	
91	Lakeview Homes Addition partial replat no 1	C3N	
92	Long Point Woods partial replat no 1	C3N	
93	Piney Point Estates partial replat no 5	C3N	
94	Plainview Second Addition partial replat no 6	C3N	
95	Shady Acres Extension no 3 partial replat no 7	C3N	
96	Spectrum Plaza	C3N	
97	Walden on Lake Houston Phase 5 Champions Village partial replat no 1	C3N	DEF1
98	Washington Terrace partial replat no 2	C3N	

**D-Variances**

99	Adara Pointe GP	GP	
100	Aldine Westfield Business Park	C2	
101	AME Business Park	C2	
102	Bell Hutchins	C2	
103	Brookside GP	GP	DEF2
104	Cathy Acres	C2	
105	Center City Views	C2R	
106	Crescent Island replat no 1 partial replat no 2	C2R	DEF2
107	Dwight Place	C2R	
108	Elysian Park Villas	C2R	
109	Harris County MUD No 71 Water Plant No 3	C2	
110	Marcello GP	GP	
111	Memorial Hermann Hospital	C2R	DEF1
112	Mueschke Road Tract	C3P	DEF1
113	Rosine Gardens	C2	
114	Safesite Tract	C3P	DEF1
115	Sunset Ridge West Sec 5	C3P	
116	Sunset Ridge West Sec 6	C3P	
117	Swan Terrace	C2R	DEF1
118	WalMart USA Store No 297	C2R	DEF1

**E-Special Exceptions**

None

Item		App	
No.	Subdivision Plat Name	Type	Deferral

**F-Reconsideration of Requirements**

119	Valley Ranch Sec 7	C3P
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**G-Extensions of Approval**

120	Bridges on Lake Houston Sec 3	EOA
121	Commercial Reserves at Blue Creek	EOA
122	Creeside Forest Drive Street Dedication Sec 1	EOA
123	Fallbrook Pines Sec 2	EOA
124	FM 529 Sommerall Commercial Sec 1	EOA
125	Hardy Spring Crossing	EOA
126	Harris County MUD no 406 Lift Station no 2	EOA
127	Northwest Cullen Plaza No 2	EOA
128	Waterstone West Sec 1	EOA

**H-Name Changes**

None

**I-Certification of Compliance**

129	26338 Spanish Oak Drive	COC
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**J-Administrative**

None

**K-Development Plats with Variance Requests**

130	919 Clearbrook Lane	DPV
131	1813-B Elysian Street	DPV
132	12819 Hansel Lane	DPV
133	6638 N Main Street	DPV
134	1235 Nasa Parkway	DPV
135	17 West Lane	DPV

**Platting Summary****Houston Planning Commission****PC Date: April 30, 2015**

Item No.	Subdivision Plat Name	App No.	App Type	Location			Plat Data			Customer	
				Co	City/ ETJ	Key Map	Plat Ac	Rsv Ac	Lots	Developer	Applicant's Company

**A-Consent**

1	Aliana Westmoor Drive Sec 4	2015-0837	SP	Fort Bend	ETJ	566D	1.89	0.00	0	Aliana Development	LJA Engineering, Inc.- (West Houston Office)
2	Beltway Southwest Business Park GP (DEF1)	2015-0683	GP	Harris	City	571N	73.28	0.00	0	SW Tracts Industrial, LLC	Windrose Land Services, Inc.
3	Bosniaks Cultural Community of Houston	2015-0789	C2	Harris	ETJ	447L	1.25	1.25	0	BOSNIAKS CULTURAL COMMUNITY OF HOUSTON	Advance Surveying, Inc.
4	Brenwood Manor Town Homes	2015-0780	C3F	Harris	ETJ	407X	10.91	4.72	74	Brenwood Estates, Ltd.	R.G. Miller Engineers
5	Bridgeland Hidden Creek Sec 18	2015-0855	C3F	Harris	ETJ	366N	15.27	1.31	53	Bridgeland Development, LP	Costello, Inc.
6	Bridgeland Hidden Creek Sec 19	2015-0797	C3F	Harris	ETJ	366N	25.48	4.39	98	Bridgeland Development, LP	Costello, Inc.
7	Bridgeland Parkland Village Sec 3	2015-0830	C3P	Harris	ETJ	366S	22.34	4.07	48	Bridgeland Development L.P.	LJA Engineering, Inc - (Woodlands Office)
8	Bridgeland Parkland Village Sec 4	2015-0833	C3P	Harris	ETJ	366S	14.36	2.28	48	Bridgeland Development L.P.	LJA Engineering, Inc - (Woodlands Office)
9	Briscoe Falls Sec 3	2015-0826	C3F	Fort Bend	ETJ	524Q	17.18	1.17	60	KB Home Lone Star, Inc., A Texas Corporation	Jones & Carter, Inc.
10	Brittmoore Place (DEF2)	2015-0553	C3F	Harris	City	449U	9.77	1.68	118	K. Hovnanian of Houston II, LLC	LJA Engineering, Inc.- (West Houston Office)
11	Bruno Commercial Park	2015-0787	C2	Fort Bend	ETJ	527T	2.92	2.88	0	Jean McKinley Company	Jean McKinley Company
12	Camellia Reserves	2015-0844	C3P	Fort Bend	ETJ	527P	35.73	24.00	0	Victorian Gardens, LTD. A Texas Limited Liability Corporation	EHRA
13	Camellia Sec 2	2015-0841	C3P	Fort Bend	ETJ	527T	34.76	1.00	141	Victorian Gardens, LTD. A Texas Limited Liability Corporation	EHRA
14	Carpenters Landing Sec 7 (DEF1)	2015-0676	C3P	Harris	ETJ	457V	11.04	2.69	53	New Forest Development Company, LLC	LJA Engineering, Inc.- (West Houston Office)
15	Commercial Center at Bridgestone	2015-0821	C3F	Harris	ETJ	291T	12.27	11.97	0	Freeman Holdings	Jones & Carter, Inc.
16	Contempo	2015-0827	C2	Harris	ETJ	447J	1.35	1.35	0	Contempo Builders	PLS
17	CPS Houston	2015-0649	C2	Harris	ETJ	498L	25.54	25.54	0	CPS Houston Inc.	John G. Thomas and Associates, Inc. dba Thomas Land Surveying
18	Cypress Plaza Parkway Street Dedication Sec 2	2015-0795	SP	Harris	ETJ	366U	4.25	0.00	0	Mischer Development, L.P.	Brown & Gay Engineers, Inc.
19	Delz Oaks	2015-0800	C2	Harris	City	452H	1.02	0.00	2	Witte and Broker	Karen Rose Engineering and Surveying
20	Eagle Springs Sec 51	2015-0820	C3F	Harris	ETJ	337X	12.04	3.49	78	Terrabrook Eagle Springs. L.P.	Brown & Gay Engineers, Inc.

**Platting Summary****Houston Planning Commission****PC Date: April 30, 2015**

Item No.	Subdivision Plat Name	App No.	App Type	Location			Plat Data			Customer	
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21	Fieldstone Sec 12	2015-0829	C3P	Fort Bend	ETJ	526S	27.70	4.75	115	Ersa Grae	BGE Kerry R. Gilbert Associates
22	Forestwood Sec 8 (DEF1)	2015-0661	C3P	Harris	ETJ	411D	12.06	0.00	64	Westchase Madison Inc.	F & R Engineering Group, Inc.
23	Franz Elrod Business Park	2015-0807	C2	Harris	ETJ	445U	7.28	7.28	0	Franz-Elrod, LLC	Hovis Surveying Company Inc.
24	Harris Orchard	2015-0824	C3F	Harris	City	451R	2.38	0.00	14	Rob Ryan Construction	Melissa's platting service
25	Haven at Augusta Woods Village Apartments	2015-0793	C2	Harris	ETJ	250S	7.00	7.00	0	Haven at Augusta Woods Village, LP	Windrose Land Services, Inc.
26	Jones Creek Estates	2015-0785	C2	Fort Bend	ETJ	565C	8.64	0.00	2	Brian Cooper	Texas Engineering And Mapping Company
27	Kings Mill Sec 10	2015-0857	C3F	Montgomery	ETJ	296T	7.90	0.04	39	Sam Yager, Inc.	EHRA
28	Kristcar GP	2015-0813	GP	Harris	ETJ	291K	4.13	1.00	1	KING'S LAND SURVEYING SOLUTIONS, LLC	KING'S LAND SURVEYING SOLUTIONS, LLC
29	Kristcar Sec 1 (DEF2)	2015-0594	C2	Harris	ETJ	291K	1.00	1.00	0	KING'S LAND SURVEYING SOLUTIONS, LLC	KING'S LAND SURVEYING SOLUTIONS, LLC
30	Ktr Hou North LLC	2015-0840	C3F	Harris	ETJ	372C	32.43	30.81	0	KTR HOU NORTH LLC	Windrose Land Services, Inc.
31	Kuykendahl Commercial Center	2015-0767	C2	Harris	ETJ	290L	35.68	35.68	0	HEB Grocery Company LP	LJA Engineering, Inc.- (West Houston Office)
32	Lakes at Mason Park Sec 5	2015-0806	C3F	Harris	ETJ	445R	9.96	0.00	60	Buffington Mason Park Management LLC	Hovis Surveying Company Inc.
33	Lakewood Pines Sec 1 partial replat no 1	2015-0710	C3F	Harris	City	377T	3.56	1.10	12	kb homes	Jones & Carter, Inc.
34	Levy Park	2015-0713	C2	Harris	City	492X	5.98	5.98	0	Upper Kirby Redevelopment Authority	Gunda Corporation LLC
35	Long Meadow Farms Sec 37	2015-0773	C3P	Fort Bend	Outside ETJ	565D	7.68	1.29	15	LM Development, LP	Knudson, LP
36	Long Meadow Farms Sec 41	2015-0842	C3F	Fort Bend	ETJ	525R	19.59	0.00	86	LM Land Holdings, LP	Costello, Inc.
37	Lucky Food Mart	2015-0799	C2	Montgomery	ETJ	257R	1.03	1.03	0	N/A	E.I.C. Surveying Company
38	Manors at Woodland Heights partial replat no 1	2015-0812	C3F	Harris	City	493B	0.86	0.00	1	Smith Developer Group	TKE Development Services, Ltd.
39	Massaad Group Addition replat no 1 partial replat no 1	2015-0771	C3F	Harris	City	451E	0.58	0.21	6	43rd Place Developers, LLC	Karen Rose Engineering and Surveying
40	Mayfield Place	2015-0853	C2	Harris	ETJ	333J	25.92	25.92	3	Mayfield Commercial Development, LLC	John G. Thomas and Associates, Inc. dba Thomas Land Surveying
41	McCarty Street Partners	2015-0814	C2	Harris	City	495F	8.26	8.26	0	GUTHRIE BUILDINGS, INC.	The Pinnell Group, LLC
42	Mcintosh Villas (DEF1)	2015-0706	C2	Harris	City	493C	0.15	0.00	2	AHN Development	The Interfield Group
43	Medical Development at FM 2920 Sec 2	2015-0817	C3F	Harris	ETJ	291R	31.01	27.15	0	2920 MED DEV Partners, LLC.	IDS Engineering Group
44	Menil Drawing Institute	2015-0818	C3F	Harris	City	493S	2.39	2.39	0	Menil Foundation, Inc.	Civil-Surv Land Surveying, L.C.



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45	Park Spring Store Reserve	2015-0823	C2	Harris	ETJ	292V	5.92	5.92	0	Benjamin, Winifer & Emily Cheng	Windrose Land Services, Inc.
46	Parks On Shearn (DEF2)	2015-0630	C2	Harris	City	493F	0.23	0.00	6	JAMESON BUILDING GROUP LLC	Field Data Srvce, Inc
47	Popeyes at Telephone Road (DEF1)	2015-0723	C2	Harris	City	575W	0.77	0.77	0	Global New Millenium Partners	E.I.C. Surveying Company
48	Rancho Verde Sec 6 (DEF1)	2015-0737	C3F	Harris	ETJ	458S	57.81	14.16	251	D.R. HORTON-TEXAS, LTD	huitt-zollars
49	Retreat At Sherwood partial replat no 1	2015-0784	C3F	Harris	City	449X	0.03	0.03	0	Classic Neighborhood Development, LLC	Ridge Planning & Engineering
50	Royal Brook at Kingwood Sec 6	2015-0792	C3F	Harris	City	297K	22.95	5.83	44	Friendswood Development Company	CobbFendley
51	Sakert Square (DEF1)	2015-0543	C2	Harris	City	494A	0.62	0.62	0	Carey Sakert	Broussard Land Surveying, LLC
52	Shreeji Plaza	2015-0768	C2	Fort Bend	ETJ	527X	2.00	2.00	0	None	Chesterfield Engineering
53	Solstice at Harmony Sec 1 (DEF1)	2015-0741	C3F	Montgomery	ETJ	293F	16.16	1.61	112	Castle Rock Communities	Jones & Carter, Inc.
54	Stillwater on Lake Houston Sec 3	2015-0835	C3P	Harris	City	377U	8.44	3.02	16	Taylor Morrison of Texas, Inc.	Jones & Carter, Inc.
55	Sunset Ridge West Sec 4	2015-0803	C3P	Harris	ETJ	376T	19.46	2.55	97	Lando Development LTD	Benchmark Engineering Corp.
56	T and R Lodging Group LLC	2015-0811	C2	Harris	ETJ	372C	1.22	1.22	0	T&R Lodging Group LLC	Hovis Surveying Company Inc.
57	Tanase Residence	2015-0815	C2	Harris	ETJ	331T	0.32	0.00	1	Tanase	HRS and Associates, LLC
58	Ventana Lakes Sec 9	2015-0836	C3F	Harris	ETJ	445E	23.04	2.84	98	D. R. Horton - Texas, Ltd., A Texas Limited Partnership	EHRA
59	Verizon Village Green GP	2015-0863	GP	Harris	City	572P	1.59	1.45	0	Verizon Wireless	Jones & Carter, Inc.
60	Wonton Foods	2015-0783	C2	Harris	City	493T	1.23	1.23	1	Wonton Foods	K. Chen Engineering
61	Woodland Pines GP	2015-0838	GP	Harris	ETJ	376E	228.25	0.00	0	Woodland Pines, LP. A Limited Partnership	EHRA

**B-Replats**

62	Alief Store	2015-0778	C2R	Harris	City	529A	1.90	1.90	0	Alief Store, Inc.	Windrose Land Services, Inc.
63	Beltway Southwest Business Park Sec 1 (DEF1)	2015-0748	C3R	Harris	City	571N	58.80	55.44	0	SW Tracts Industrial, LLC	Windrose Land Services, Inc.
64	BK Haden	2015-0779	C2R	Harris	ETJ	497K	0.69	0.69	0	BK Haden, Ltd.	Windrose Land Services, Inc.
65	Carverdale Park	2015-0858	C2R	Harris	City	450A	0.32	0.32	0	Taylor Made Designs	John G. Thomas and Associates, Inc. dba Thomas Land Surveying
66	Castone Court at Radcliffe Street	2015-0839	C2R	Harris	City	492C	0.12	0.00	3	Castone Homes Inc	South Texas Surveying Associates, Inc.

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67	Cline Street Patio Homes (DEF1)	2015-0588	C2R	Harris	City	494J	0.17	0.00	6	Buildvestors on Cline, LLC	Bowden Survey
68	Fast Sticker and Lube on North Shepherd	2015-0772	C2R	Harris	City	452V	0.70	0.70	0	CSF Consulting LP	CSF Consulting LP
69	Hardial Park (DEF1)	2015-0731	C2R	Harris	City/ ETJ	324F	15.33	15.33	1	Hardial Mangat	John G. Thomas and Associates, Inc. dba Thomas Land Surveying
70	Hardy Road Industrial Reserve (DEF1)	2015-0684	C2R	Harris	ETJ	373A	7.41	7.41	0	Poarch/Swinbank LP	Windrose Land Services, Inc.
71	Hutchison Properties	2015-0760	C2R	Harris	City	573T	2.38	0.00	2	HIGHHEELS TO HARDHATS	Texas Legal Media
72	Krispy Addition	2015-0756	C2R	Harris	City	532T	1.90	1.90	1	Corral Group, LP	John G. Thomas and Associates, Inc. dba Thomas Land Surveying
73	Larkin Street Homes	2015-0791	C2R	Harris	City	492G	0.15	0.00	3	COLINA HOMES	ICMC GROUP INC
74	Lexus of Clear Lake Addition	2015-0825	C2R	Harris	City	617Q	12.81	12.81	0	Group 1 Automotive	Knudson, LP
75	Monroe Plaza	2015-0782	C2R	Harris	City	575G	1.00	0.97	0	AARR Enterprise, LLC	Century Engineering, Inc
76	Moonshine Green Plaza	2015-0692	C2R	Harris	City/ ETJ	336T	0.99	0.99	0	G & S Concrete	BM DESIGN LLC
77	Oak Village	2015-0834	C2R	Harris	City	452Y	0.25	0.01	6	Global Radiance, Inc.	ASV Consulting Group, Inc.
78	Price 1960 partial replat no 1	2015-0613	C2R	Harris	ETJ	337W	4.83	4.83	0	EARTH FRIENDLY DIRT MULCH CO.	John G. Thomas and Associates, Inc. dba Thomas Land Surveying
79	Revere Court	2015-0776	C2R	Harris	City	492U	0.14	0.00	3	DAVIS RL DEVELOPMENT, LP	Civil-Surv Land Surveying, L.C.
80	Rosalie Street Villas	2015-0690	C2R	Harris	City	493Z	0.23	0.00	6	MEXIF FUND 1 LLC	ICMC GROUP INC
81	Shady Acres Views	2015-0738	C2R	Harris	City	452U	0.25	0.00	6	RZ Enterprises	Total Surveyors, Inc.
82	Taggart Street Place (DEF2)	2015-0540	C2R	Harris	City	492F	0.20	0.00	4	5177 Builders, Ltd.	TKE Development Services, Ltd.
83	Terry Estates	2015-0777	C2R	Harris	City	453V	0.11	0.00	2	AZH Development, LLC	The Interfield Group
84	Tradewind Homes at Jewett	2015-0697	C2R	Harris	City	453X	0.11	0.00	2	HIGHHEELS TO HARDHATS	Texas Legal Media
85	Trails on Couch	2015-0735	C2R	Harris	City	452T	0.25	0.00	5	John Michael LLC	Field Data Srvce, Inc
86	Tyne Street Landing	2015-0828	C2R	Harris	City	492F	0.13	0.00	2	Cityside Homes, LLC	Total Surveyors, Inc.
87	Valley Bend	2015-0805	C2R	Harris	City	491K	2.13	2.13	0	Kimley-Horn, Inc	Terra Surveying Company, Inc.
88	West Belt Plaza partial replat no 2	2015-0786	C2R	Harris	City	529Q	2.50	2.50	0	LQP, Inc	Century Engineering, Inc
89	West Pierce Home	2015-0794	C2R	Harris	City	493N	0.15	0.00	3	Matt Coscio	Gruller Surveying

**C-Public Hearings Requiring Notification**

90	Braes Heights Addition Sec 10 partial replat no 2	2015-0560	C3N	Harris	City	532K	0.42	0.00	2	SF Real Estates Investments	Probstfeld & Associates, Inc.
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Item No.	Subdivision Plat Name	App No.	App Type	Location			Plat Data			Customer	
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91	Lakeview Homes Addition partial replat no 1	2015-0607	C3N	Harris	ETJ	498H	4.00	4.00	0	Harley Channelview Properties, LLC	McKim & Creed, Inc.
92	Long Point Woods partial replat no 1	2015-0356	C3N	Harris	City	450X	0.34	0.00	2	TimeLine Construction Group LLC	Melissa's platting service
93	Piney Point Estates partial replat no 5	2015-0629	C3N	Harris	City	490T	1.50	0.00	3	Parvis Hakimzadeh	Windrose Land Services, Inc.
94	Plainview Second Addition partial replat no 6	2015-0360	C3N	Harris	City	492V	0.11	0.00	2	Tosca Homes, LLC	A & M Services
95	Shady Acres Extension no 3 partial replat no 7	2015-0326	C3N	Harris	City	452Y	0.25	0.00	6	ARCHTERRA HOMES	ICMC GROUP INC
96	Spectrum Plaza	2015-0292	C3N	Harris	City	535N	1.73	1.73	0	Radia Real Estate LLC	ASV Consulting Group, Inc.
97	Walden on Lake Houston Phase 5 Champions Village partial replat no 1 (DEF1)	2015-0483	C3N	Harris	City	378B	0.29	0.00	1	Texas Built Homes	Jalayer And Associates, Inc.
98	Washington Terrace partial replat no 2	2015-0231	C3N	Harris	City	493Y	0.12	0.00	3	High Heels to Hard Hats	PRIME TEXAS SURVEYS, LLC

**D-Variances**

99	Adara Pointe GP	2015-0865	GP	Harris	ETJ	445E	156.16	0.00	0	Telephone Investment, Inc.	LJA Engineering, Inc.- (West Houston Office)
100	Aldine Westfield Business Park	2015-0581	C2	Montgomery	ETJ	253S	18.05	18.05	0	KM Aldine Westfield	Town and Country Surveyors
101	AME Business Park	2015-0775	C2	Harris	ETJ	287V	18.38	18.38	0	Store-A-Lot, LTD	The Ephemeral Surveying Company
102	Bell Hutchins	2015-0654	C2	Harris	City	493R	0.52	0.52	0	Lesco, Inc.	Precision Land Surveying
103	Brookside GP (DEF2)	2015-0536	GP	Harris	City	574W	130.35	0.00	0	DR Horton	LJA Engineering, Inc.- (West Houston Office)
104	Cathy Acres	2015-0667	C2	Harris	ETJ	286J	2.83	0.00	2	Abbruscato Family Trust	Robinson Surveying Inc.
105	Center City Views	2015-0859	C2R	Harris	City	492H	0.34	0.34	0	Cisneros Design Studio	The Interfield Group
106	Crescent Island replat no 1 partial replat no 2 (DEF2)	2015-0531	C2R	Harris	City	533F	0.16	0.00	3	GREEN EARTH HOMES, LLC	Tetra Surveys
107	Dwight Place	2015-0762	C2R	Harris	City	412U	0.18	0.00	1	AGS CONSULTANTS, LLC	AGS CONSULTANTS LLC
108	Elysian Park Villas	2015-0850	C2R	Harris	City	453V	0.23	0.00	6	Boyya Investments, Inc.	The Interfield Group
109	Harris County MUD No 71 Water Plant No 3	2015-0819	C2	Harris	ETJ	445L	1.12	1.12	0	Clay Road 628 Development, LP	Brown & Gay Engineers, Inc.
110	Marcello GP	2015-0864	GP	Harris	City/ ETJ	445J	543.20	0.00	0	Marcello Lakes Ltd.	EHRA
111	Memorial Hermann Hospital (DEF1)	2015-0559	C2R	Harris	City	533E	16.87	16.87	0	Memorial Hermann Health System	Kuo & Associates, Inc
112	Mueschke Road Tract (DEF1)	2015-0743	C3P	Harris	ETJ	326T	38.30	10.00	105	M/I Homes	BGE Kerry R. Gilbert Associates

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113	Rosine Gardens	2015-0659	C2	Harris	City	492M	1.21	0.00	21	Sandcastle Homes, Inc.	The Interfield Group
114	Safesite Tract (DEF1)	2015-0722	C3P	Harris	ETJ	326T	39.60	39.60	0	Safesite Inc.	BGE Kerry R. Gilbert Associates
115	Sunset Ridge West Sec 5	2015-0854	C3P	Harris	ETJ	376T	12.48	0.00	79	Lando Development LTD	Benchmark Engineering Corp.
116	Sunset Ridge West Sec 6	2015-0856	C3P	Harris	ETJ	376T	4.69	0.00	28	Lando Development LTD	Benchmark Engineering Corp.
117	Swan Terrace (DEF1)	2015-0591	C2R	Harris	City	492H	0.22	0.00	5	Sworn Brothers Corporation, Inc	Jalayer And Associates, Inc.
118	WalMart USA Store No 297 (DEF1)	2015-0727	C2R	Montgomery	ETJ	296F	0.77	0.77	0	Windrose Land Services	Owens Management Systems, LLC

**E-Special Exceptions**

None

**F-Reconsideration of Requirements**

119	Valley Ranch Sec 7	2015-0809	C3P	Montgomery	ETJ	256X	30.72	0.38	137	Sig-Valley Ranch, Ltd.	Hovis Surveying Company Inc.
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**G-Extensions of Approval**

120	Bridges on Lake Houston Sec 3	2014-0814	EOA	Harris	ETJ	377D	31.36	1.25	105	Marlin Atlantis	Marsh Darcy Partners, Inc.
121	Commercial Reserves at Blue Creek	2014-0834	EOA	Harris	ETJ	370V	13.81	13.81	0	Bull & Bear Partners One Through Seven, L.P.	EHRA
122	Creekside Forest Drive Street Dedication Sec 1	2014-0898	EOA	Harris	ETJ	249Q	2.21	0.00	0	The Woodlands Land Development Company, L.P.	IDS Engineering Group
123	Fallbrook Pines Sec 2	2014-0919	EOA	Harris	ETJ	370X	31.49	29.73	0	Fallbrook Industrial Associates, LLC.	EHRA
124	FM 529 Sommerall Commercial Sec 1	2014-0884	EOA	Harris	ETJ	407R	8.41	8.41	0	Terra Associates, Inc	Terra Surveying Company, Inc.
125	Hardy Spring Crossing	2014-0886	EOA	Harris	ETJ	292B	6.64	6.64	0	Kimley-Horn, Inc	Terra Surveying Company, Inc.
126	Harris County MUD no 406 Lift Station no 2	2014-0897	EOA	Harris	ETJ	372X	0.23	0.23	0	Pinto Realty Development, Inc.	Brown & Gay Engineers, Inc.
127	Northwest Cullen Plaza No 2	2014-0950	EOA	Harris	ETJ	573Y	12.41	11.38	0	MJP Commercial Properties, LLC	Hovis Surveying Company Inc.
128	Waterstone West Sec 1	2014-0912	EOA	Harris	ETJ	445G	103.20	103.20	0	Chevron U.S.A. Inc.	Brown & Gay Engineers, Inc.

**H-Name Changes**

None

**Platting Summary****Houston Planning Commission****PC Date: April 30, 2015**

Item		App	App	Location			Plat Data			Customer	
No.	Subdivision Plat Name	No.	Type	Co	City/ETJ	Key Map	Plat Ac	Rsv Ac	Lots	Developer	Applicant's Company

**I-Certification of Compliance**

129	26338 Spanish Oak Drive	15-1052	COC	Mont.	ETJ	257M				Juana G. Miranda	Juana G. Miranda
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**J-Administrative**

None

**K-Development Plats with Variance Requests**

130	919 Clearbrook Lane	15014050 DPV	Harris	CITY	491J					Mario Colina, P.E.	Probstfeld & Associates
131	1813-B Elysian Street	15011552 DPV	Harris	CITY	493H					Melvin Collins	Mecca Homes
132	12819 Hansel Lane	14117822 DPV	Harris	CITY	489G					Zohreh Mossana	N/A
133	6638 N Main Street	14085559 DPV	Harris	CITY	453S					Richard Grothues	Richard Grothues Designs, Inc.
134	1235 Nasa Parkway	15013897 DPV	Harris	CITY	618V					Gerald W. Grissom	Brown & Gay Engineers, Inc.
135	17 West Lane	14135074 DPV	Harris	CITY	492N					Jenifer Pool	JRP Company

# Houston Planning Commission

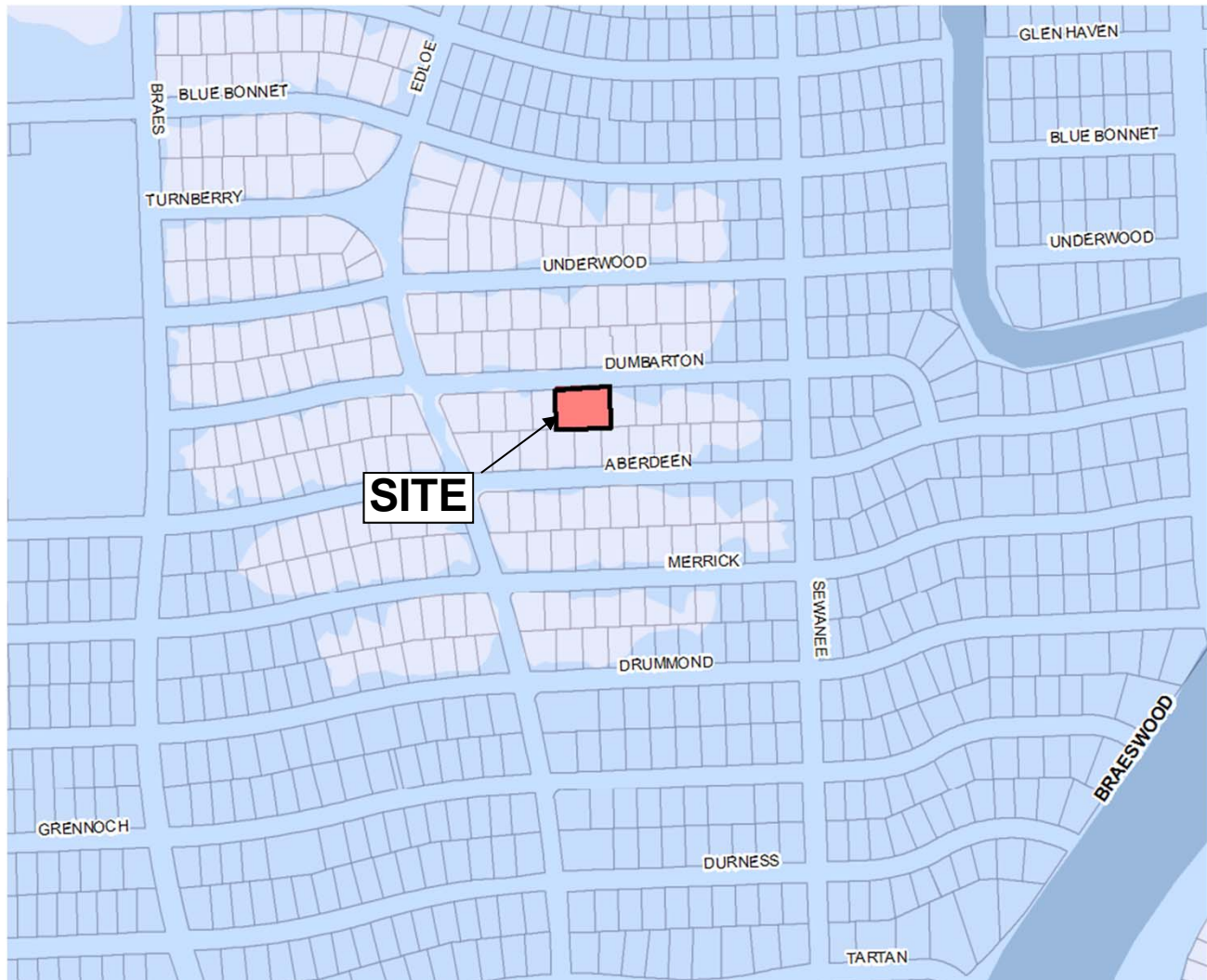
**ITEM: 90**

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name: Braes Heights Addition Sec 10 partial replat no 2**

**Applicant: Probsfeld & Associates, Inc.**



**C – Public Hearings**

**Site Location**

# Houston Planning Commission

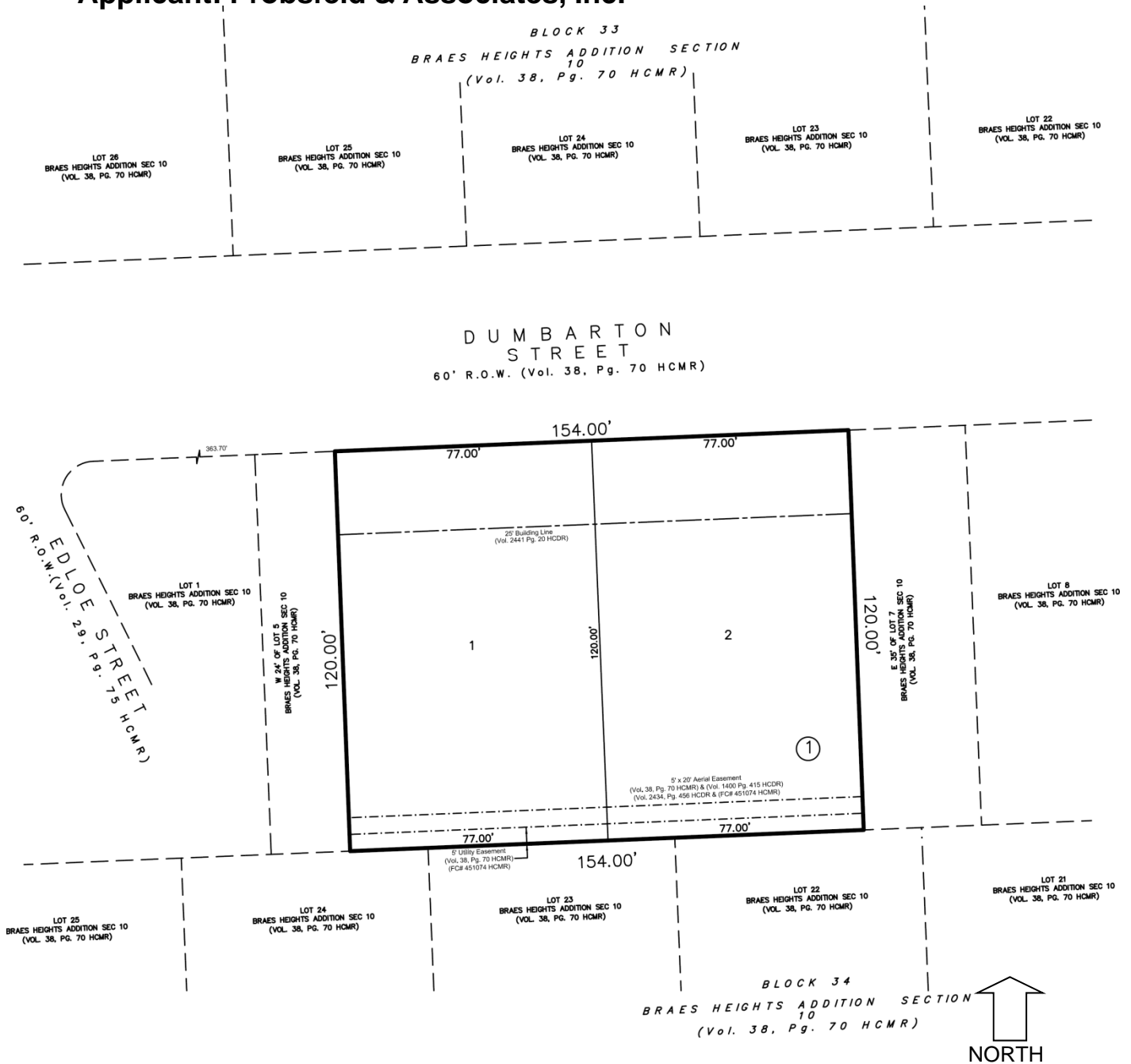
## ITEM: 90

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Braes Heights Addition Sec 10 partial replat no 2

Applicant: Probsfeld & Associates, Inc.



C – Public Hearings

Subdivision



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# Houston Planning Commission

## ITEM: 90

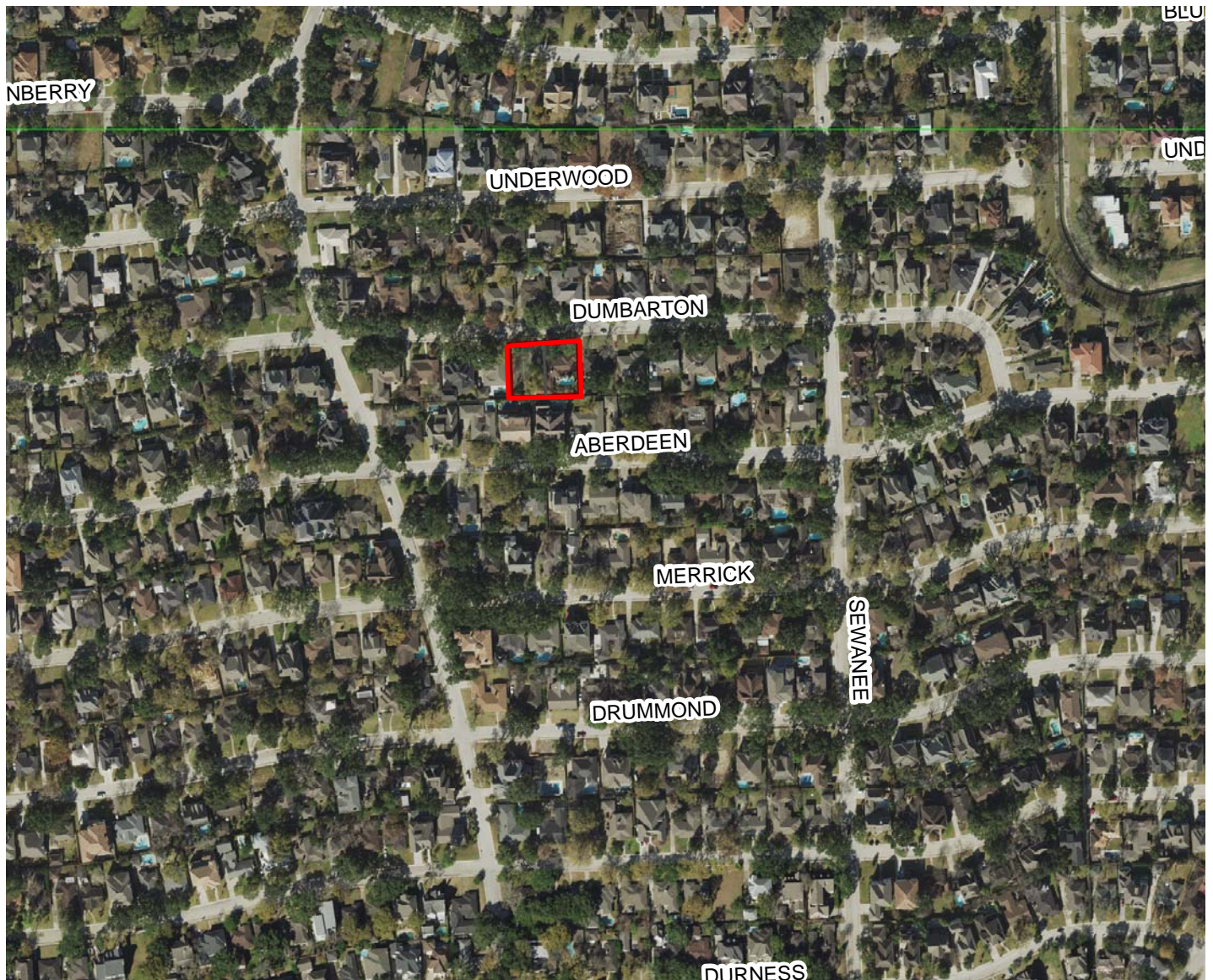
Planning and Development Department

Meeting Date: 04/30/2015

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**Subdivision Name: Braes Heights Addition Sec 10 partial replat no 2**

**Applicant: Probsfeld & Associates, Inc.**



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**C – Public Hearings**

**Aerial**

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# Houston Planning Commission

## ITEM: 91

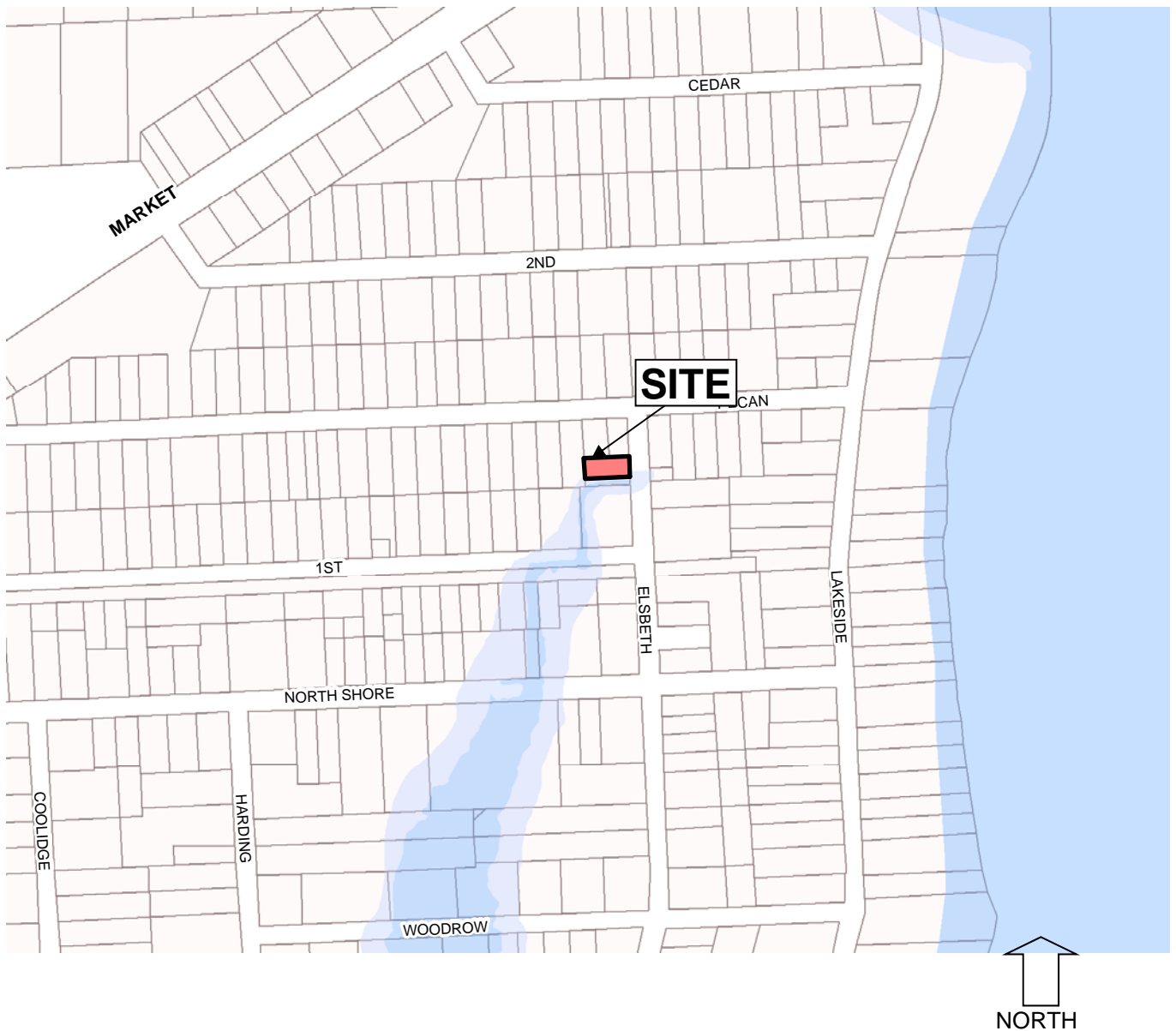
Planning and Development Department

Meeting Date: 04/30/2015

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**Subdivision Name:** Lakeview Homes Addition partial replat no 1

**Applicant:** McKim & Creed, Inc.



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**C – Public Hearing with Variance**

**Site Location**

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# Houston Planning Commission

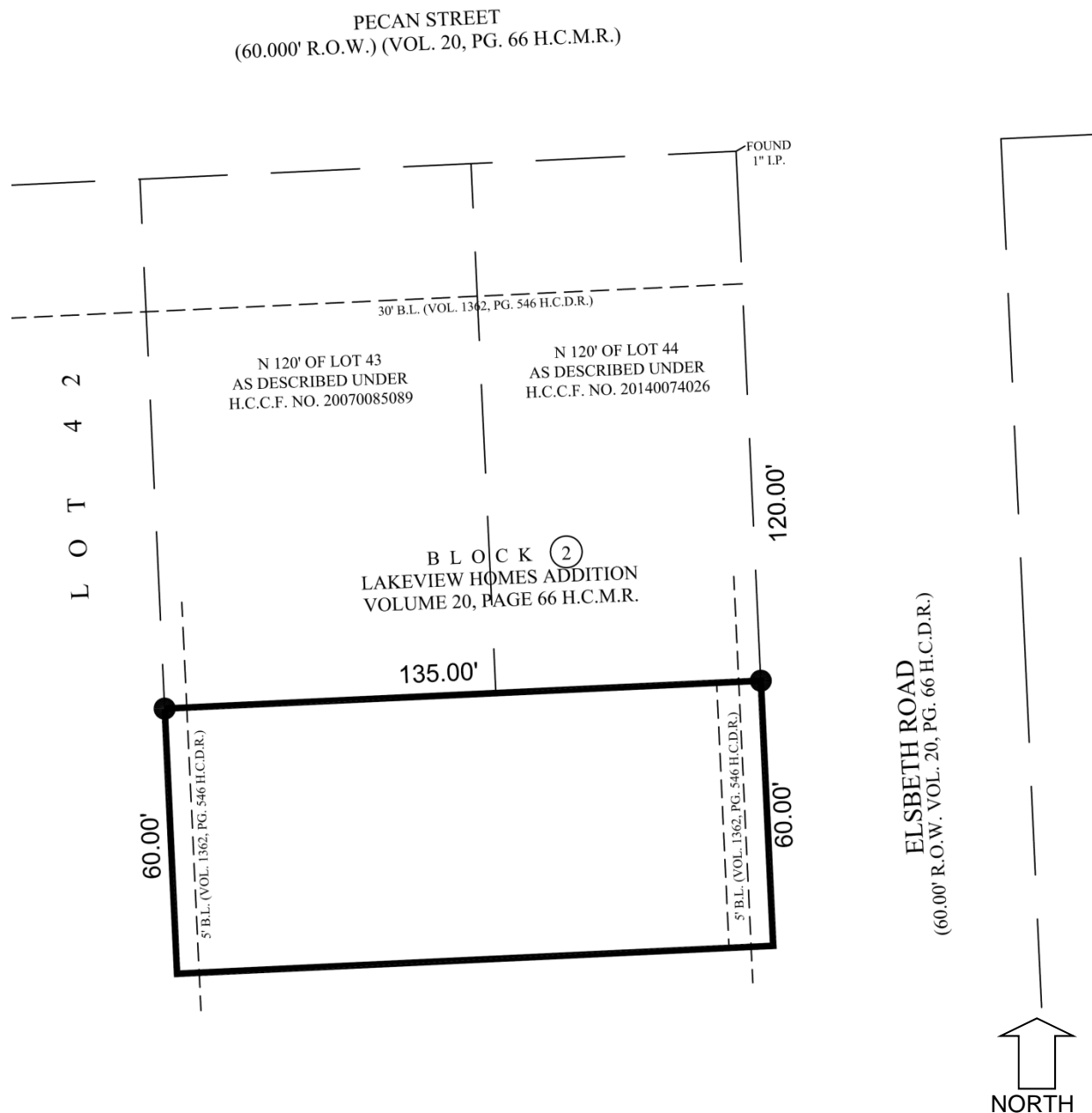
ITEM: 91

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Lakeview Homes Addition partial replat no 1

Applicant: McKim & Creed, Inc.



C – Public Hearing with Variance

Subdivision

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# Houston Planning Commission

## ITEM: 91

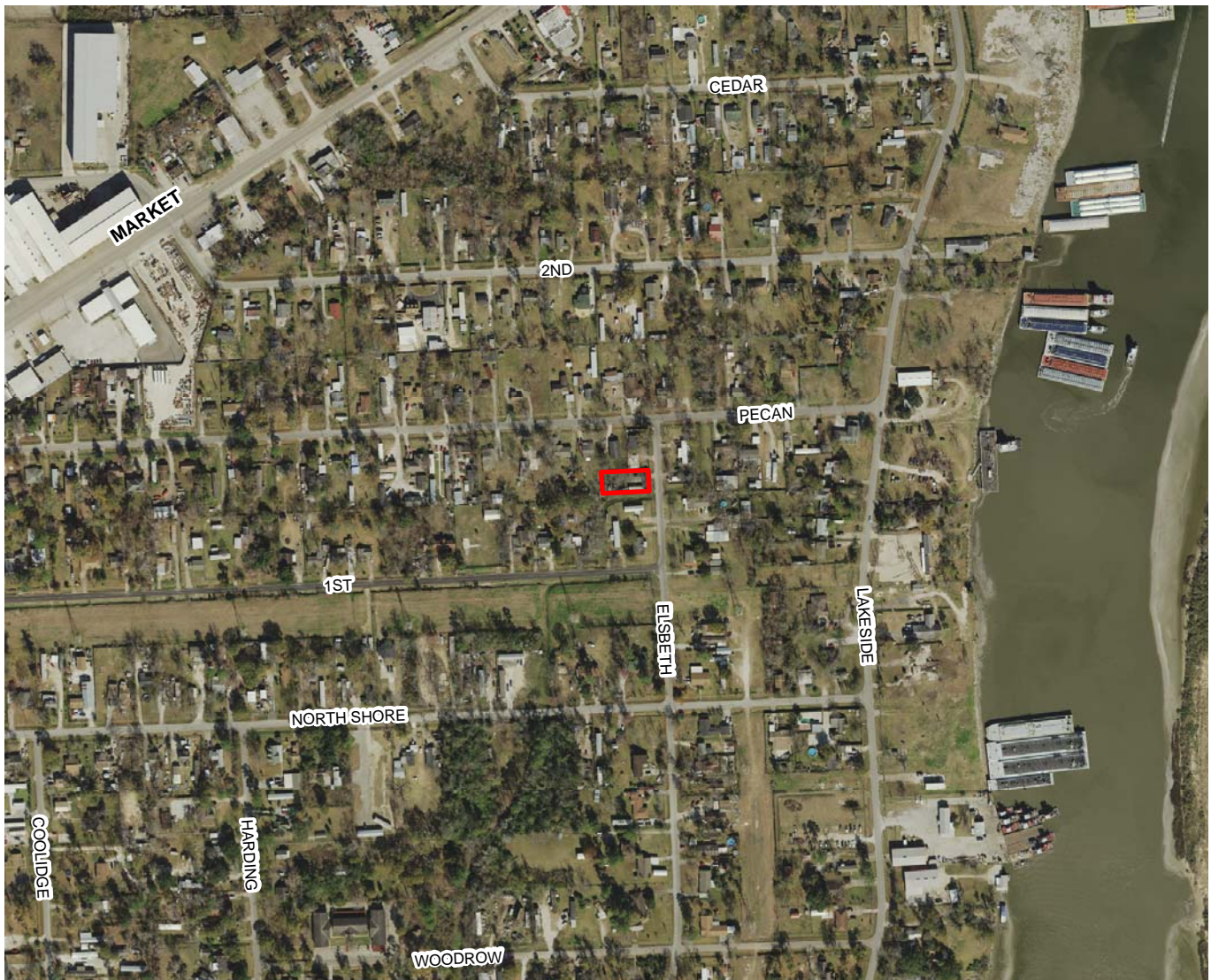
Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Lakeview Homes Addition partial replat no 1

Applicant: McKim & Creed, Inc.



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**C – Public Hearing with Variance**

**Aerial**

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**Application Number:** 2015-0607

**Plat Name:** Lakeview Homes Addition partial replat no 1

**Applicant:** McKim & Creed, Inc.

**Date Submitted:** 03/23/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Requesting a variance to use the subject property for other than single family residential

**Chapter 42 Section: 42-193**

**Chapter 42 Reference:**

Rules governing replats of certain property.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

The property consists of eight lots out of Block 7 of the plat of Lakeview Homes Addition. The subdivision was platted in 1944. Separate restrictions filed at the time restricted the subdivision to residential use. The easterly boundary of the subdivision abuts a body of water locally named "Old River". It is a channel of the San Jacinto River and connects directly to the Houston Ship Channel. Over the years, the lots which abut Old River have been purchased by commercial maritime companies to provide services to the Ship Channel industries. This appears to have become the standard land use of the lots in the parent subdivision as well as most of the lots in the adjoining subdivision to the south. Denying the current owner of the subject property such a use would be inconsistent with the current usage of the adjoining properties.

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The owner of the property has not created a hardship. The property is being used in a manner consistent with adjoining land use in the same subdivision and the adjoining subdivision along the banks of Old River.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The overall land use within the subdivision is generally residential with the exception of the lots along Old River. A drive through the subdivision also reveals that there are a few properties which are being used for commercial or non-residential purposes. It is felt that the intent and general purposes of this chapter will be preserved and maintained since the intended land use is consistent with that of the adjacent properties.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance will not be injurious to the public health, safety or welfare. The land use is consistent with other land use in the area and poses no apparent threat to the well-being of the remainder of the subdivision.

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is not the sole justification for the variance. The owner is asking to continue using the property in a manner consistent with other existing facilities within the area.





**Application Number:** 2015-0607

**Plat Name:** Lakeview Homes Addition partial replat no 1

**Applicant:** McKim & Creed, Inc.

**Date Submitted:** 03/23/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

A variance to not require an intersecting street be dedicated through the property in compliance with the 1400-foot maximum block length requirement.

**Chapter 42 Section:** 42-128

**Chapter 42 Reference:**

Intersections of local streets

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The property is located on the easterly side of Lakeside Drive in the Lakeview Homes Addition and backs up to a water body locally named "Old River". The water body is part of the channel of the San Jacinto River. The overall width of the river in this area is significant and the channel is primarily used for barge and tugboat activity which supports the Houston Ship Channel. The river channel at this point is over 600 feet in width, and if extended to the opposite bank of the San Jacinto River, would exceed a mile in width. A street created through the property would serve no use as it would be forced to end at the water's edge with no probable chance of future extension. It would only serve the property being developed.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The owner has not created a hardship. The property is being used for maritime services similar in nature to the other properties located up and down this portion of the old river channel. No other streets to Old River were created by the original plat and there is no apparent need for one.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purposes of this chapter will be maintained. The dedication of a street through the property will serve no public interest. The situation in some ways is similar to that of extending a street to a Flood Control stream which will have a significant width. Chapter 42 doesn't require extension of a street in such a circumstance.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The subdivision has existed since 1944 with no street intersecting Lakeside Drive from the east side. It has not proven to be injurious to the public health, safety or welfare for over 70 years

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is not the sole justification for the variance. The primary reasoning is one of practicality. Creation of a street would serve no public purpose as it would in no way would alter or improve traffic flow in the area.

# Houston Planning Commission

**ITEM: 92**

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Long Point Woods partial replat no 1

Applicant: Melissa's platting service



**C – Public Hearing**

**Site Location**

# Houston Planning Commission

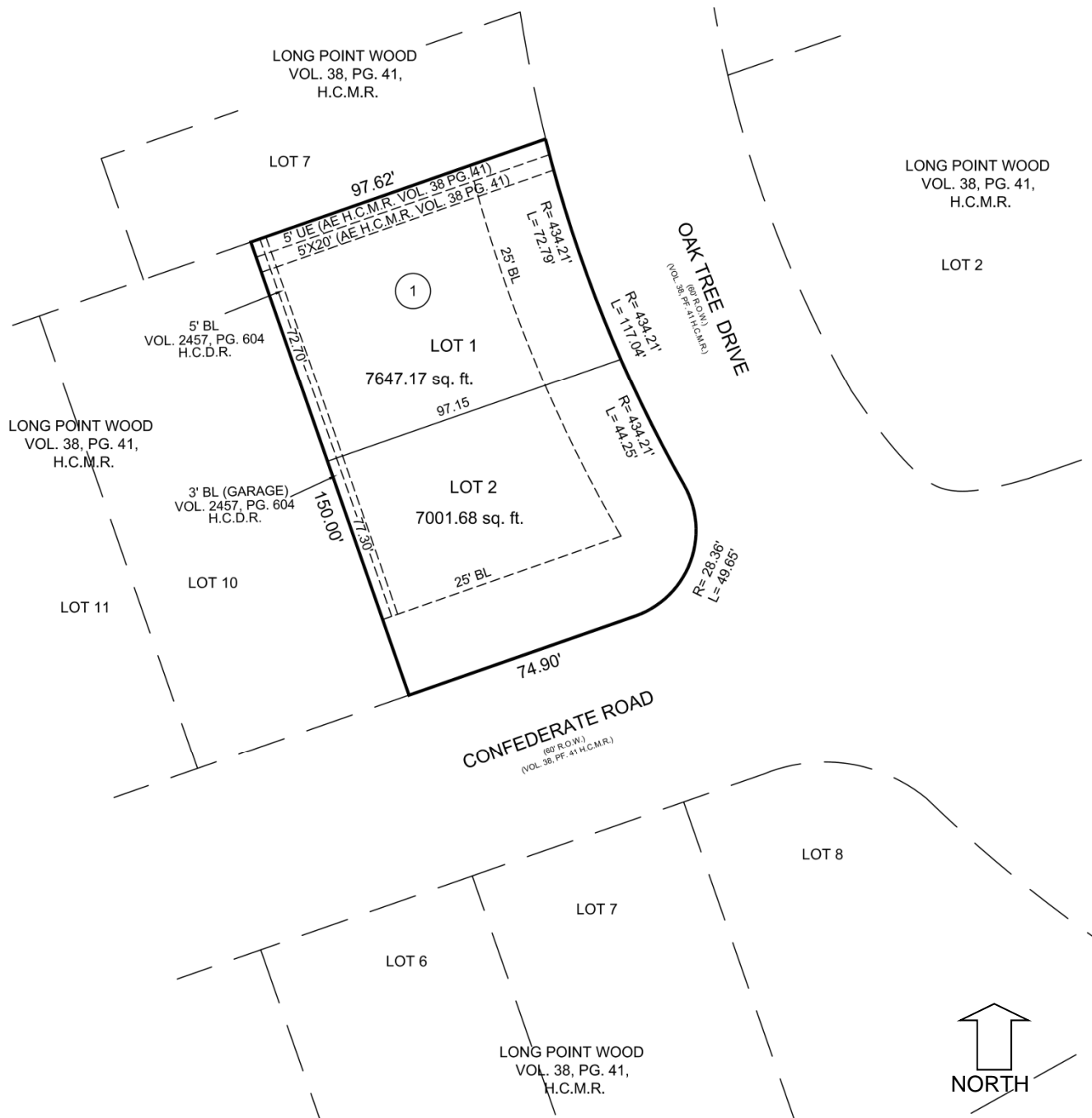
## ITEM: 92

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Long Point Woods partial replat no 1

Applicant: Melissa's platting service



C – Public Hearing

Subdivision

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# Houston Planning Commission

## ITEM: 92

Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Long Point Woods partial replat no 1

Applicant:Melissa's platting service



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**C – Public Hearing**

**Aerial**

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# Houston Planning Commission

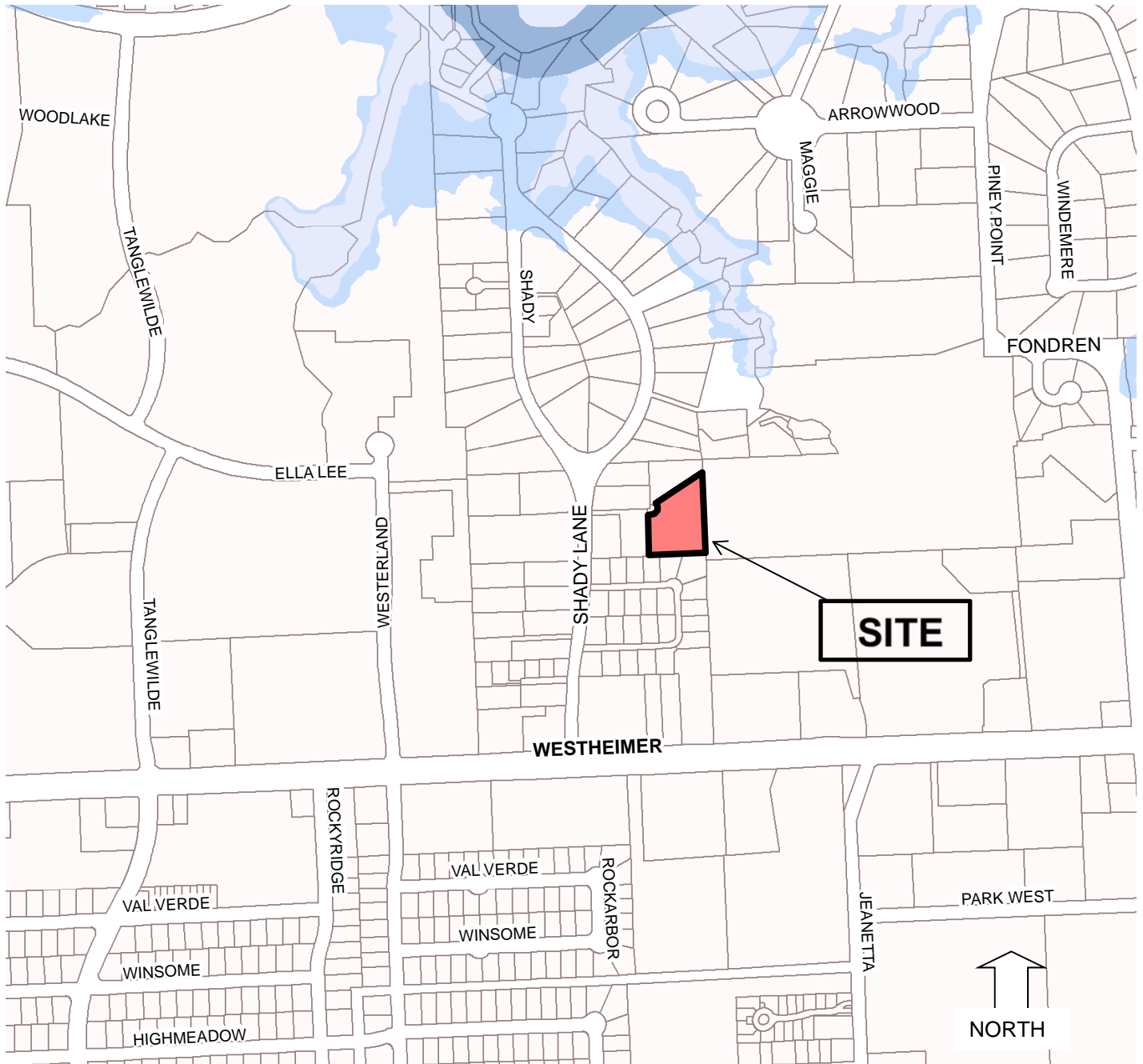
**ITEM: 93**

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name: Piney Point Estates partial replat no 5**

**Applicant: Windrose Land Services, Inc.**



**C – Public Hearing**

**Site Location**

# Houston Planning Commission

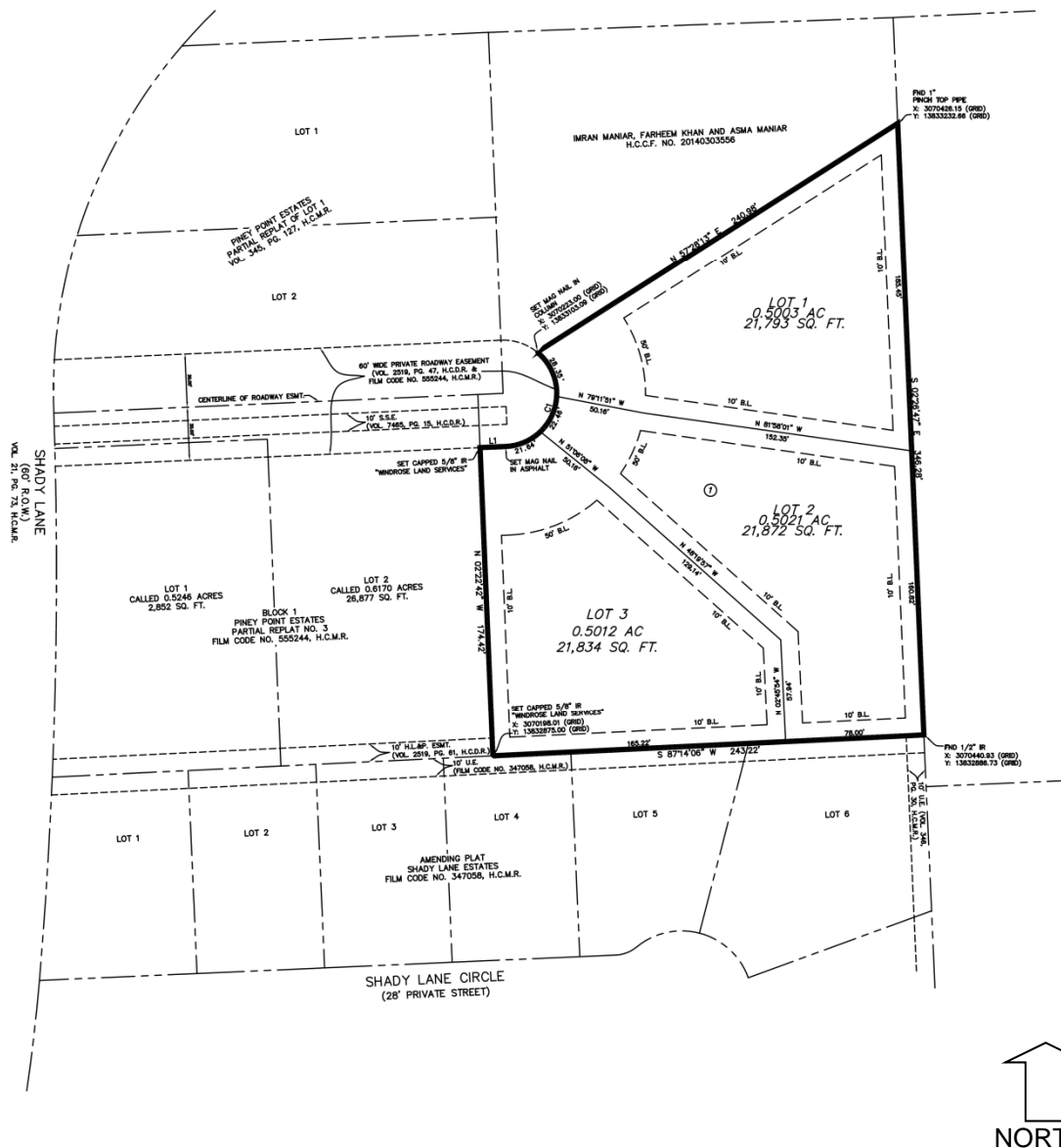
ITEM: 93

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Piney Point Estates partial replat no 5

Applicant: Windrose Land Services, Inc.



C – Public Hearing

Subdivision



# Houston Planning Commission

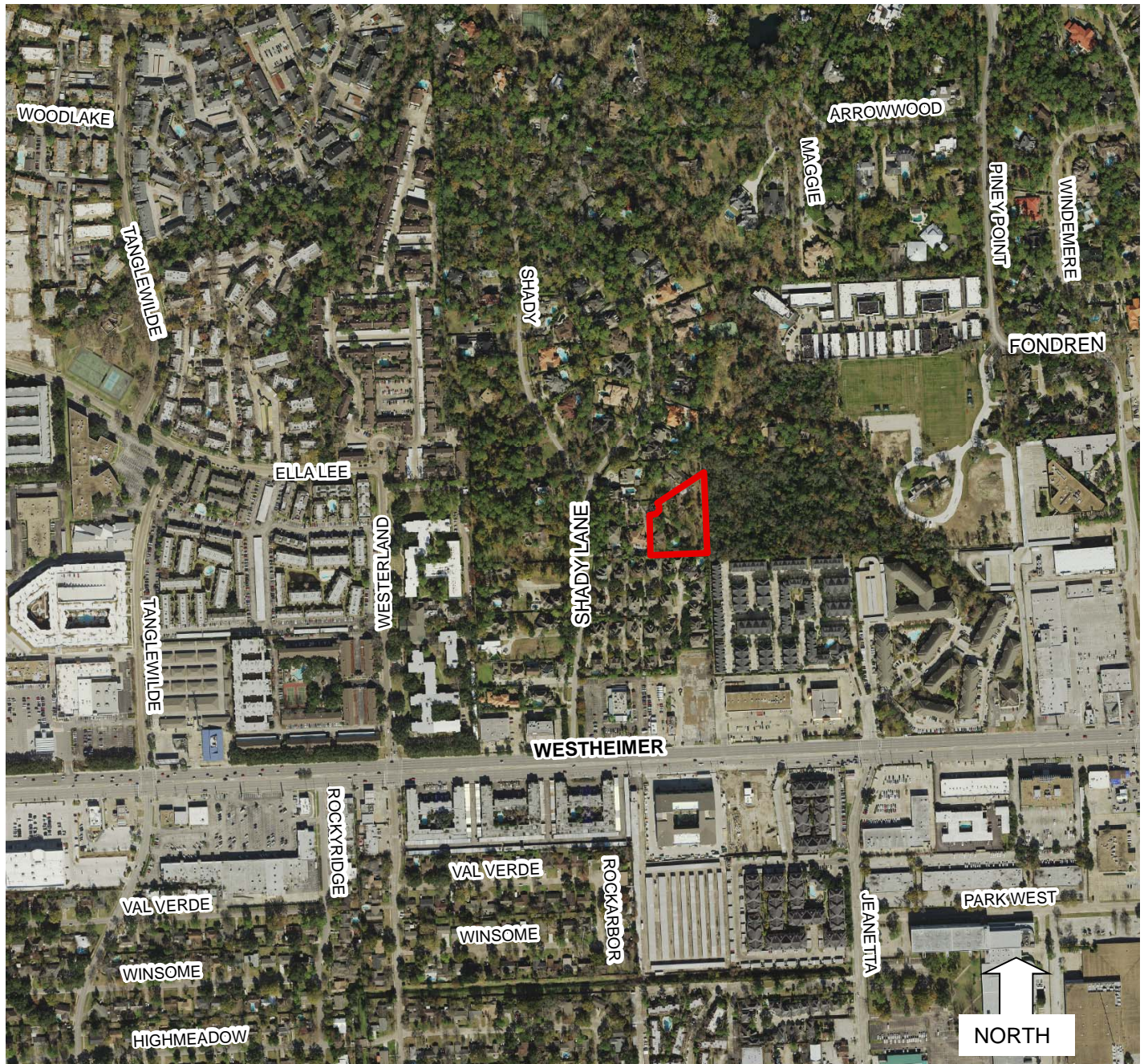
ITEM: 93

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Piney Point Estates partial replat no 5

Applicant: Windrose Land Services, Inc.



C – Public Hearing

Aerial





Year	Number of cases	Rate per 100,000
1990	1,000	1.0
1991	1,100	1.1
1992	1,200	1.2
1993	1,300	1.3
1994	1,400	1.4
1995	1,500	1.5
1996	1,600	1.6
1997	1,700	1.7
1998	1,800	1.8
1999	1,900	1.9
2000	2,000	2.0
2001	2,100	2.1
2002	2,200	2.2
2003	2,300	2.3
2004	2,400	2.4
2005	2,500	2.5
2006	2,600	2.6
2007	2,700	2.7
2008	2,800	2.8
2009	2,900	2.9
2010	3,000	3.0
2011	3,100	3.1
2012	3,200	3.2
2013	3,300	3.3
2014	3,400	3.4
2015	3,500	3.5
2016	3,600	3.6
2017	3,700	3.7
2018	3,800	3.8
2019	3,900	3.9
2020	4,000	4.0



**Application Number:** 2015-0629

**Plat Name:** Piney Point Estates partial replat no 5

**Applicant:** Windrose Land Services, Inc.

**Date Submitted:** 03/23/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

The applicant requests a variance to allow sole access from a private roadway easement in lieu of a street or shared driveway.

**Chapter 42 Section:** 42-188

**Chapter 42 Reference:**

Sec. 42-188, Lot access to streets.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The subject property is 1.5 acres located on the east side of Shady Lane approximately 850 feet north of Westheimer Road (FM 1093). The property is bordered by undeveloped, heavily wooded acreage to the east and by single-family residential lots to the north, south and west. The property owners (herein referred to as the "applicants") are requesting a variance to allow a replat of the two existing lots to create a third lot for an additional single-family home. Currently, the applicants plan to demolish the two existing homes (dating back to 1947 and 1960) and to construct three new homes. The proposed lot configuration meets the community's deed restrictions, including the minimum 0.5 acre lot size requirement. The subdivision also meets all of the City's regulations with the exception of the requirement to have access from a street or shared driveway. The existing lots currently have sole access from a 60-foot private roadway easement, which is common in this area. The applicants request a variance to allow them to continue to use the private roadway easement as their sole point of access. This will allow them to use their property in a similar fashion as other land owners in the area who have created half-acre lots. Without the variance, the plat is simply not possible as the applicants do not own the property between their site and Shady Lane.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The justification for the variance are the unusual physical characteristics that affect the property. The first home in this location was constructed in 1947 on Lot 1 of the original Piney Point Estates, taking direct access to Shady Lane. The area was reconfigured shortly afterwards and a private access easement was dedicated in December 1952 so that tracts closer to Shady Lane could be sold off and more single-family homes could be built. In 1960, a second home was constructed off the access easement. That means that the unusual, cumulative development characteristics that affect this property date back 63 years. The applicant desires to use the property in a compatible fashion to the surrounding development, which is only possible if they can take access from the existing private access easement as there is no other way to access their land.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The City's development regulations are in place to ensure that development occurs in a responsible, safe and compatible fashion. The proposed subdivision lots are an appropriate size for the area and the existing 60-foot access easement provides more than adequate access for residents and emergency access vehicles. There have been two single-family lots at the end of the access easement since 1960 and the addition of one more lot does not in any way degrade the level of service to the area.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

Granting the variance will not be injurious to the public as there have been single-family residential lots off the same private access easement for over fifty years without issue. The applicant's properties were not created by a plat submitted to the Planning Commission and the structures themselves were constructed before many health, safety and welfare provisions of the City's Building Code were in place. That means that this variance will allow for a subdivision that is substantially more in conformance with Chapter 42 along with numerous other City regulations. At the end of the day, the proposed subdivision will be safer, more viable, and a greater asset to the community than what is currently in place.

**(5) Economic hardship is not the sole justification of the variance.**

The physical characteristics of the built-out site and the development environment of the surrounding area are the justifications for the variance. The configuration of the land between the site and Shady Lane is well-established and the applicants have no control over the area. However, without the variance the applicants will be prevented from developing their land in a compatible fashion to other lots in the immediate area. The variance is in the best interest of the applicants, the neighborhood and the community, as the resulting development will be a vast improvement over the current situation.

# Houston Planning Commission

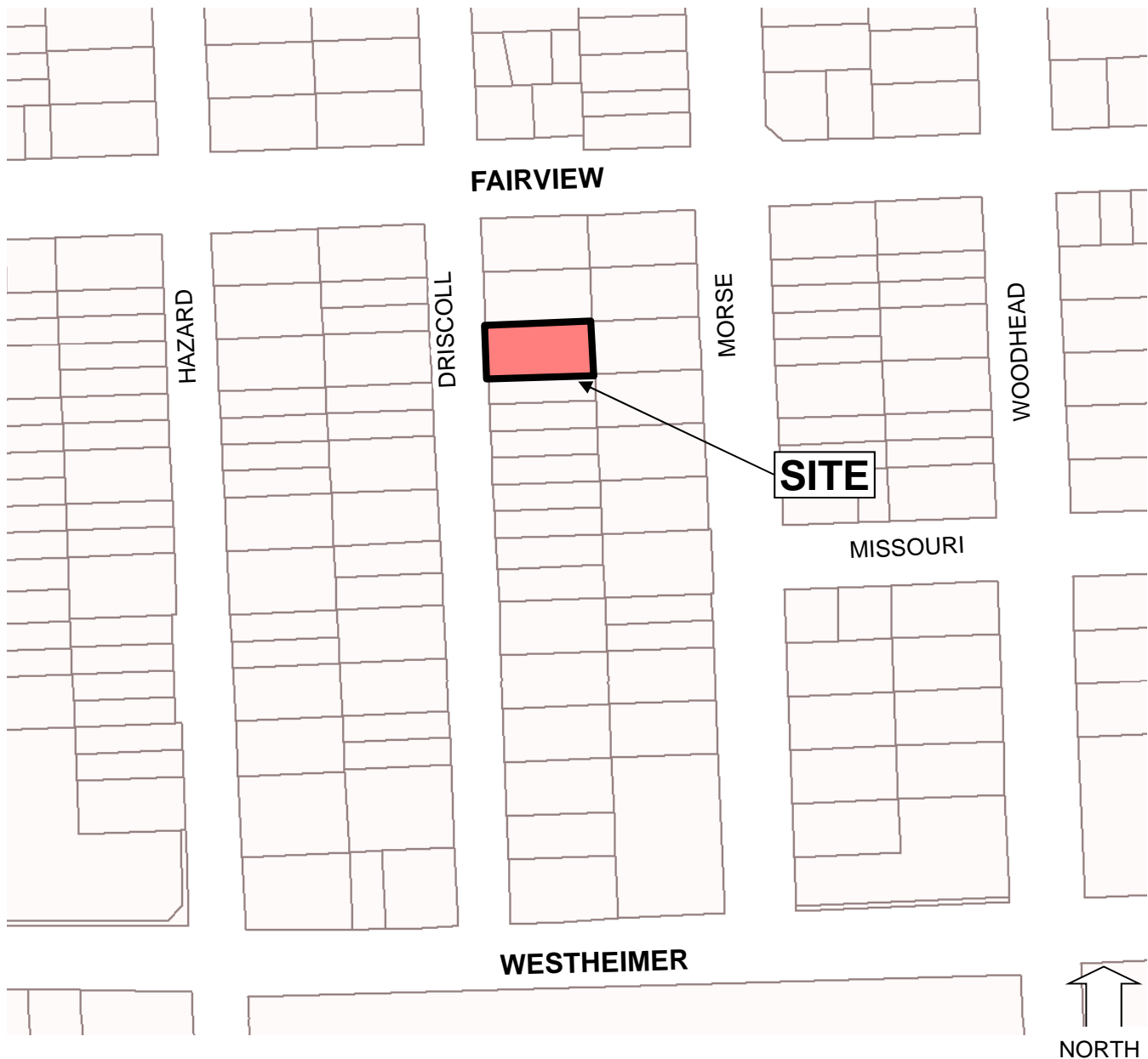
**ITEM: 94**

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name: Plainview Second Addition partial replat no 6**

**Applicant: A & M Services**



**C – Public Hearing**

**Site Location**

## Subdivision



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# Houston Planning Commission

## ITEM: 94

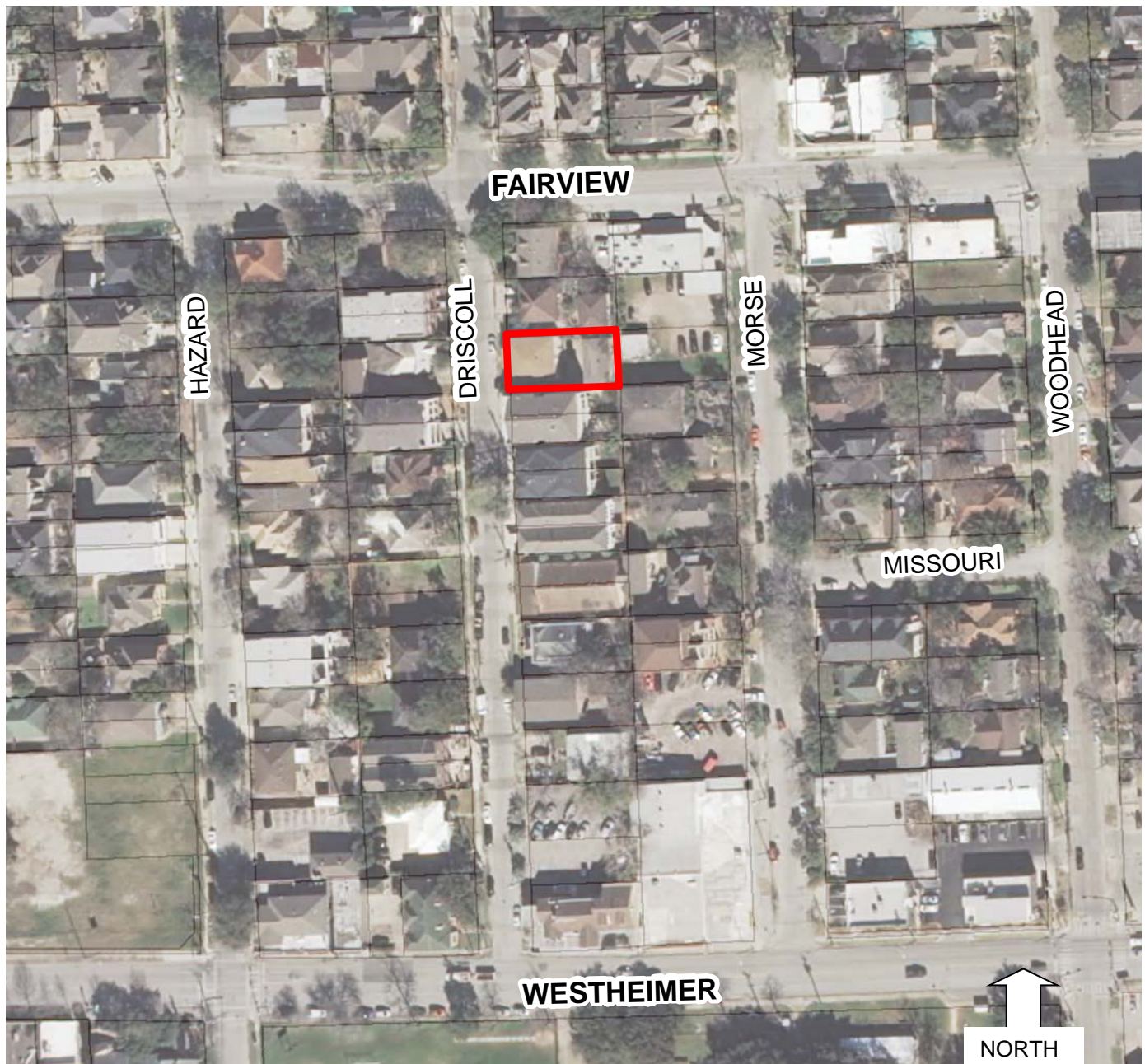
Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Plainview Second Addition partial replat no 6

Applicant: A & M Services



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**C – Public Hearing**

**Aerial**

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# Houston Planning Commission

**ITEM: 95**

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name: Shady Acres Extension no 3 partial replat no 7**

**Applicant: ICMC GROUP INC**



**C – Public Hearing**

**Site Location**

# Houston Planning Commission

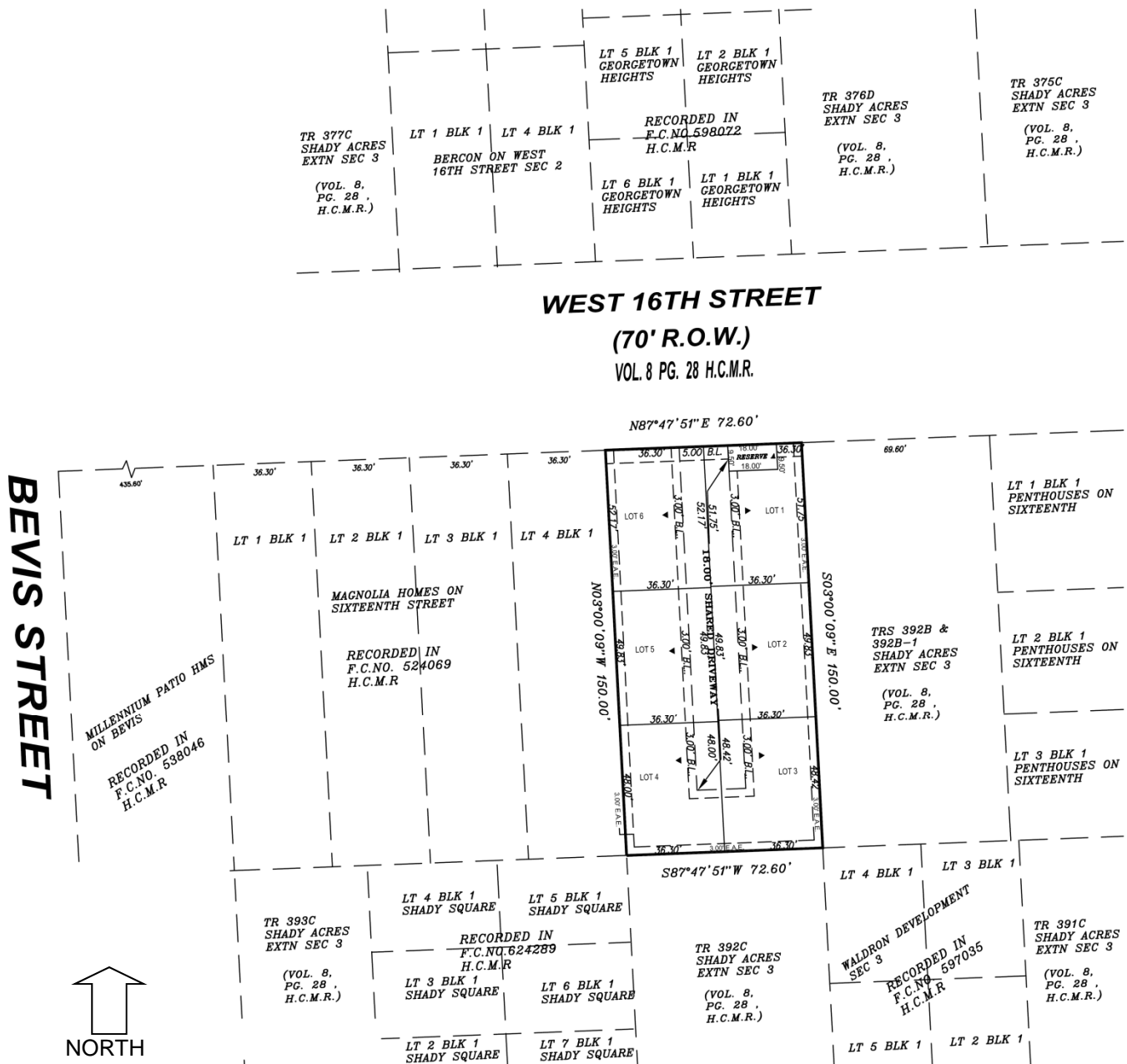
ITEM: 95

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Shady Acres Extension no 3 partial replat no 7

Applicant: ICMC GROUP INC



C – Public Hearing

Subdivision



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# Houston Planning Commission

## ITEM: 95

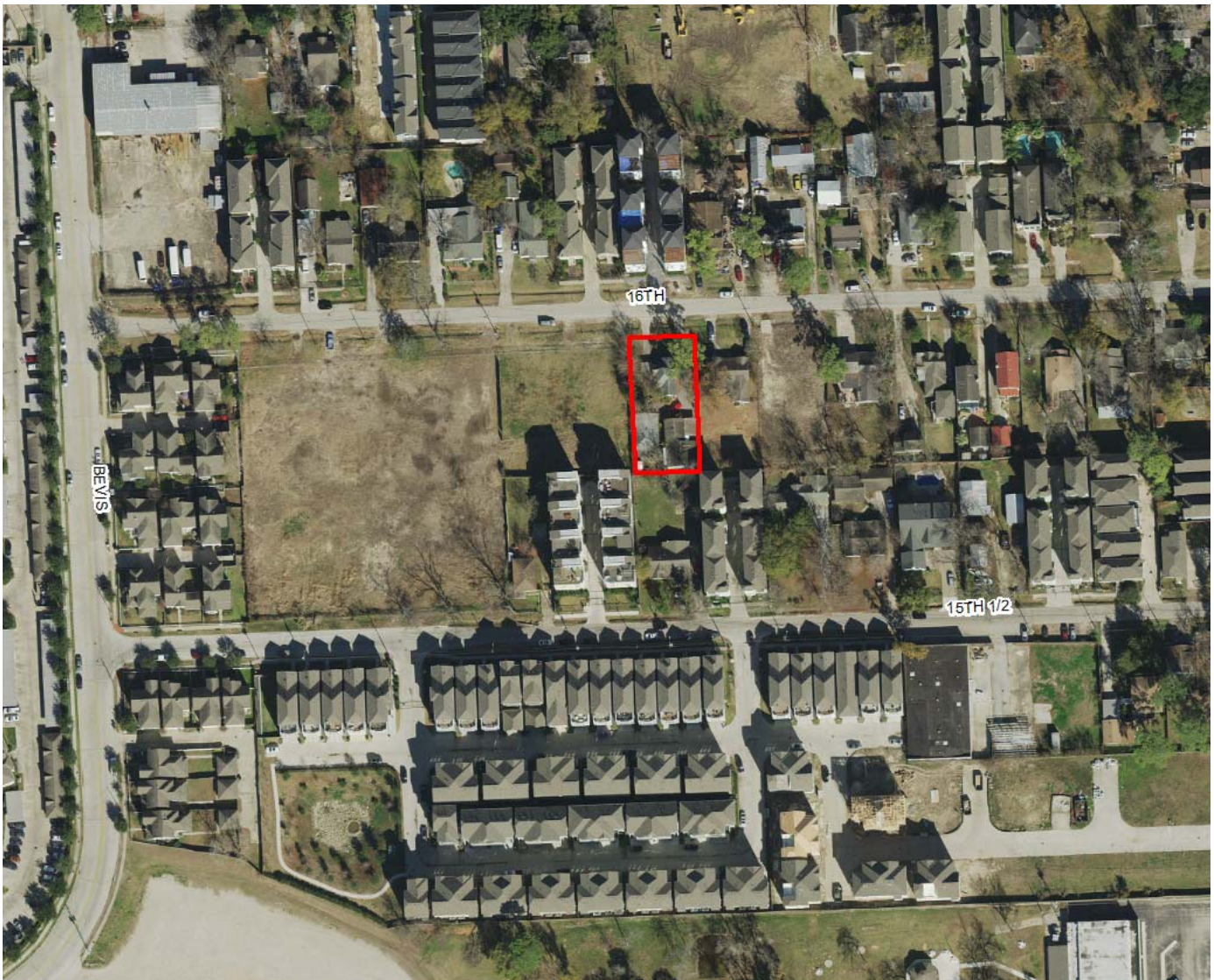
Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Shady Acres Extension no 3 partial replat no 7

Applicant: ICMC GROUP INC



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**C – Public Hearing**

**Aerial**

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# Houston Planning Commission

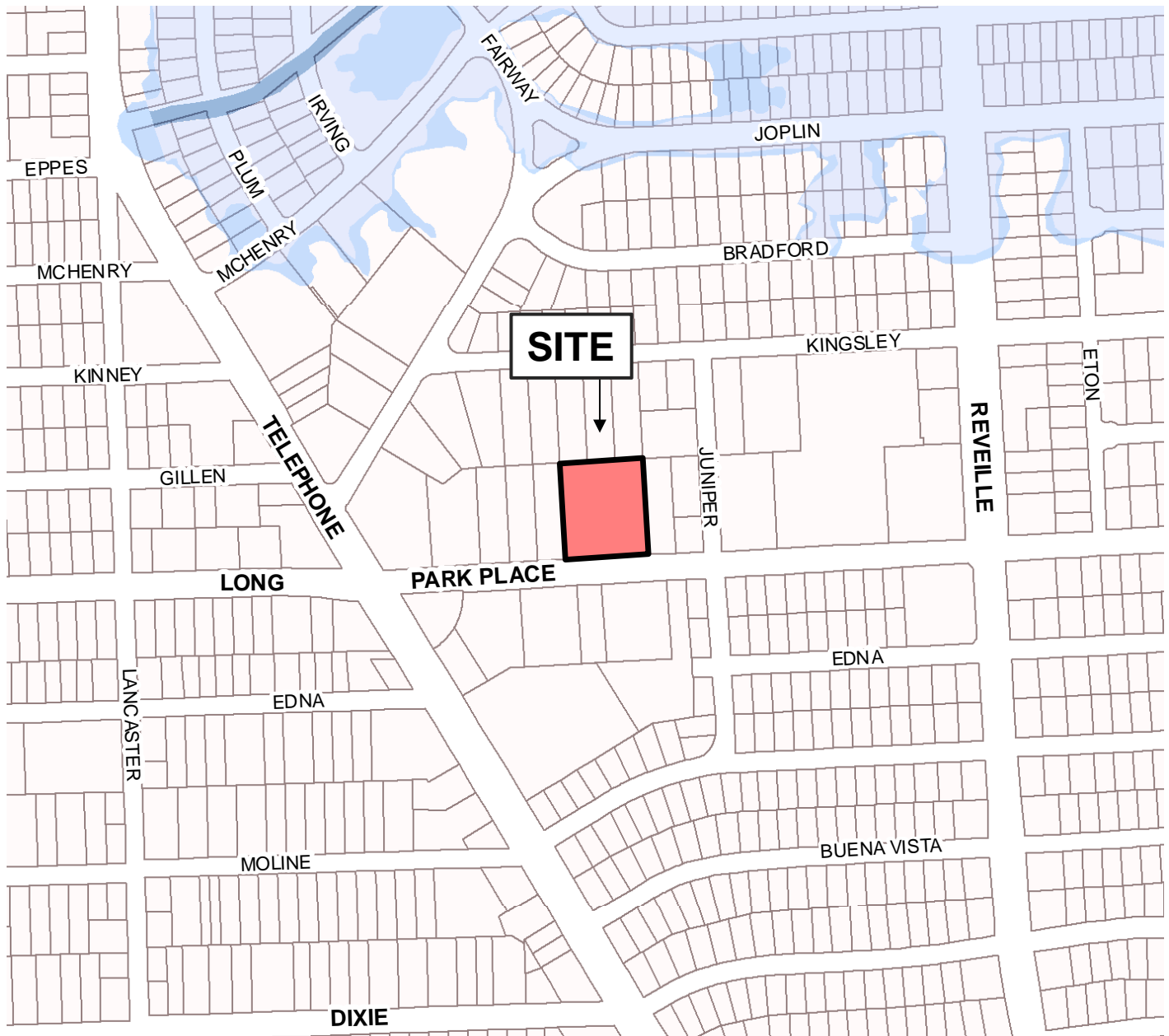
**ITEM: 96**

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name: Spectrum Plaza**

**Applicant: ASV Consulting Group, Inc.**



**C – Public Hearing**

**Site Location**

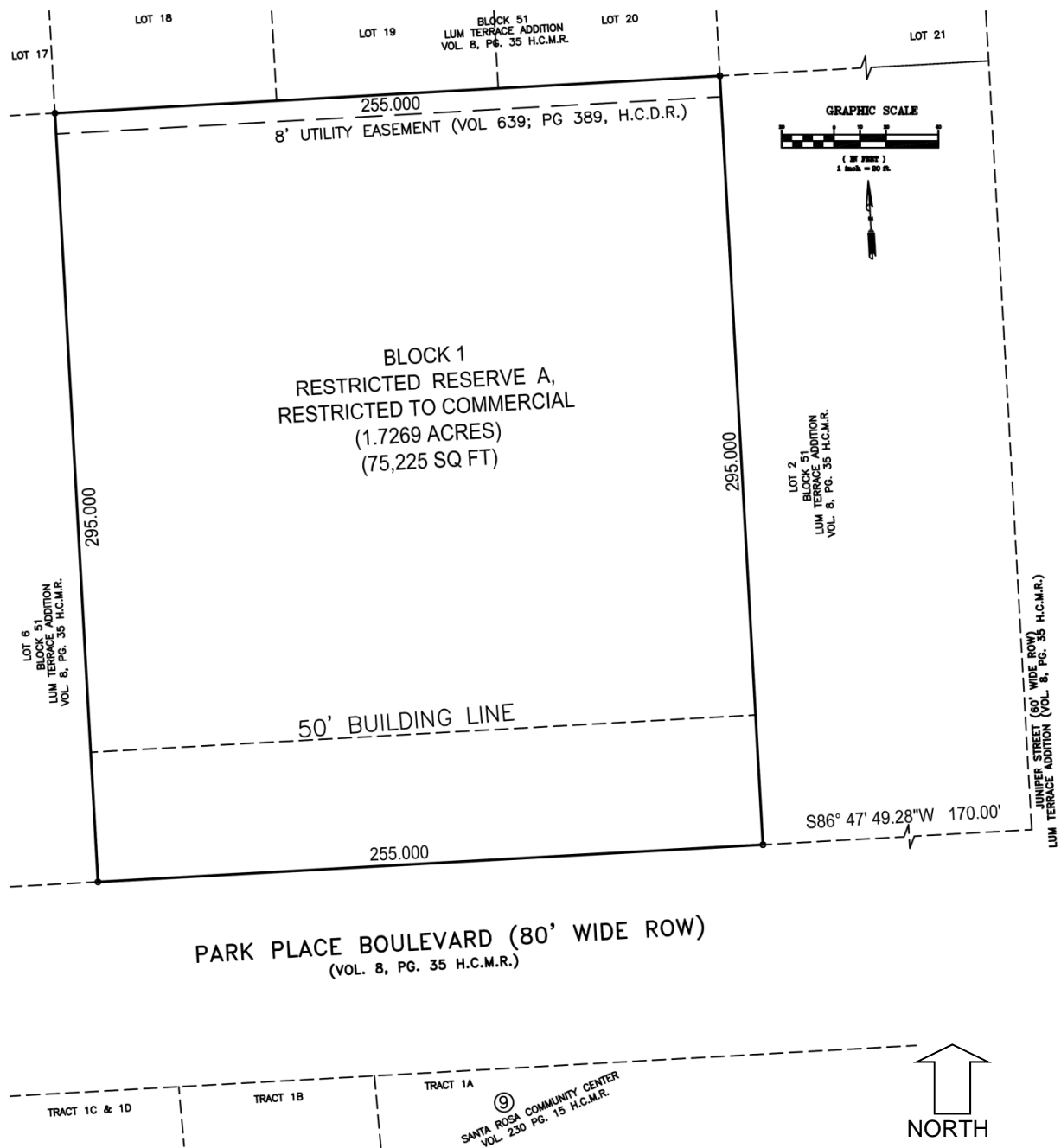
## Planning and Development Department

**ITEM: 96**

**Meeting Date: 04/30/2015**

**Subdivision Name: Spectrum Plaza**

**Applicant: ASV Consulting Group, Inc.**



## C – Public Hearing

## Subdivision



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# Houston Planning Commission

## ITEM: 96

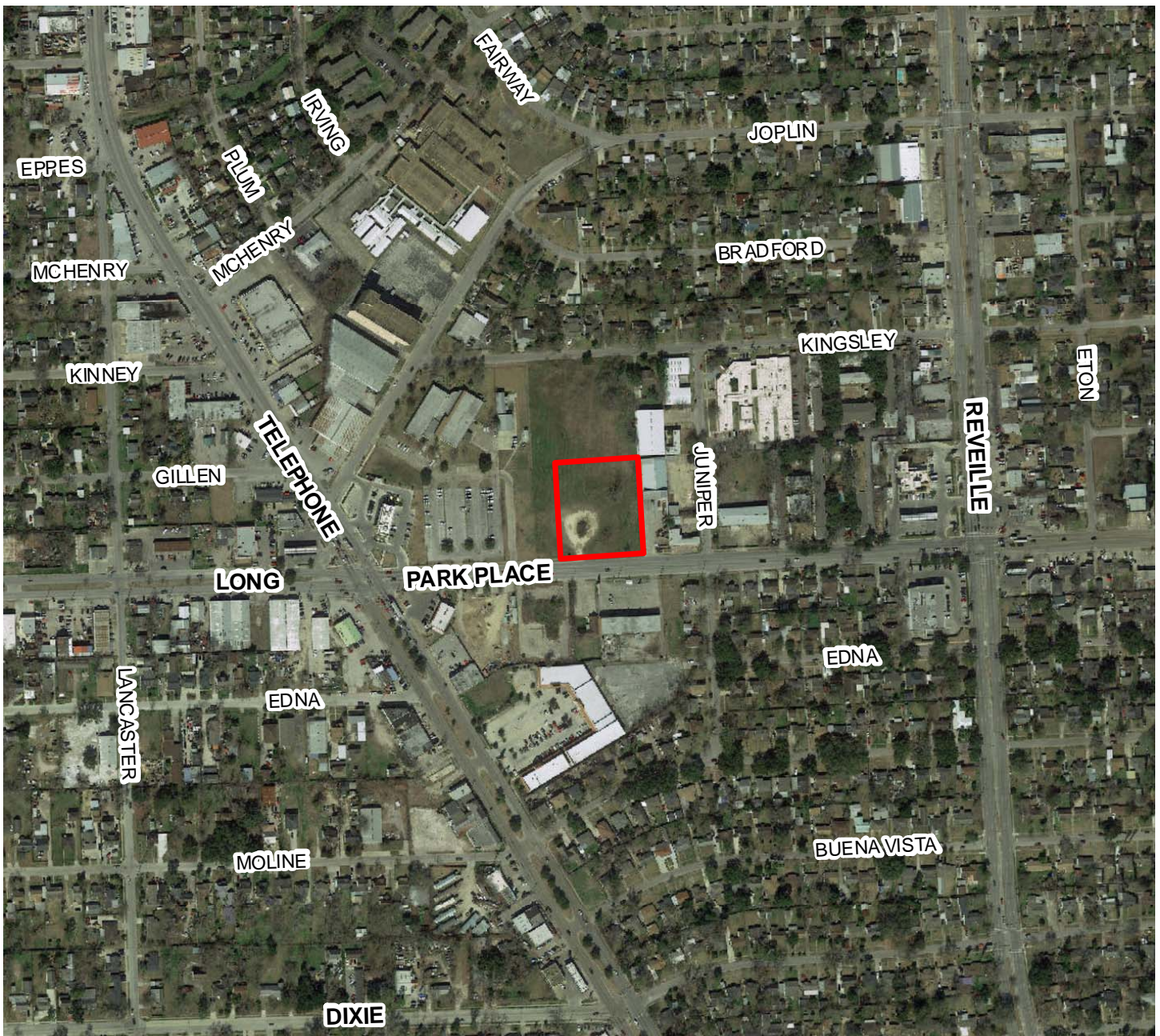
Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Spectrum Plaza

Applicant: ASV Consulting Group, Inc.



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C – Public Hearing

Aerial

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# Houston Planning Commission

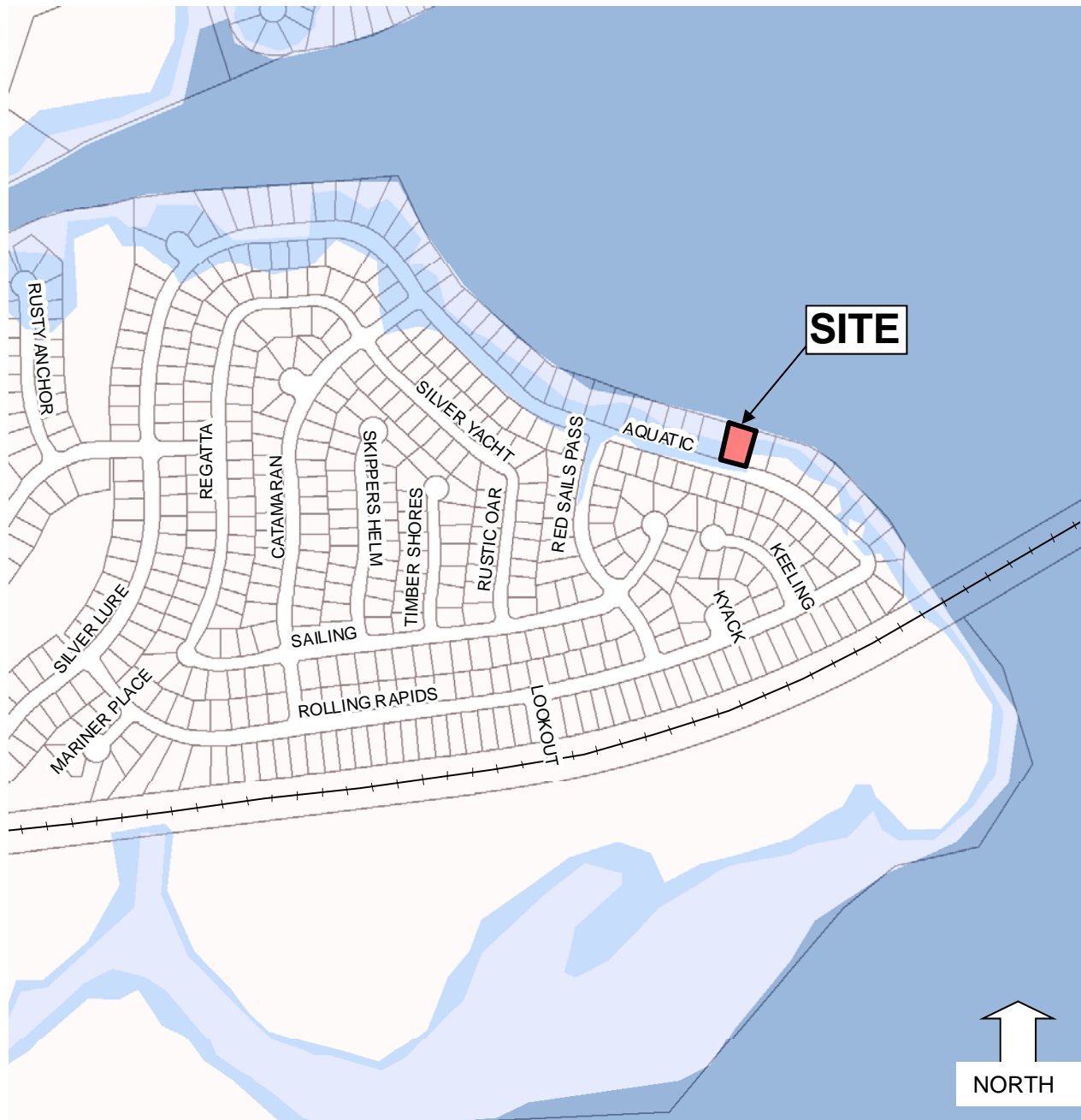
**ITEM: 97**

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name: Walden on Lake Houston Phase 5 Champions Village partial replat no 1 (DEF 1)**

**Applicant: Jalayer And Associates, Inc.**



**C – Public Hearings**

**Site Location**



# Houston Planning Commission

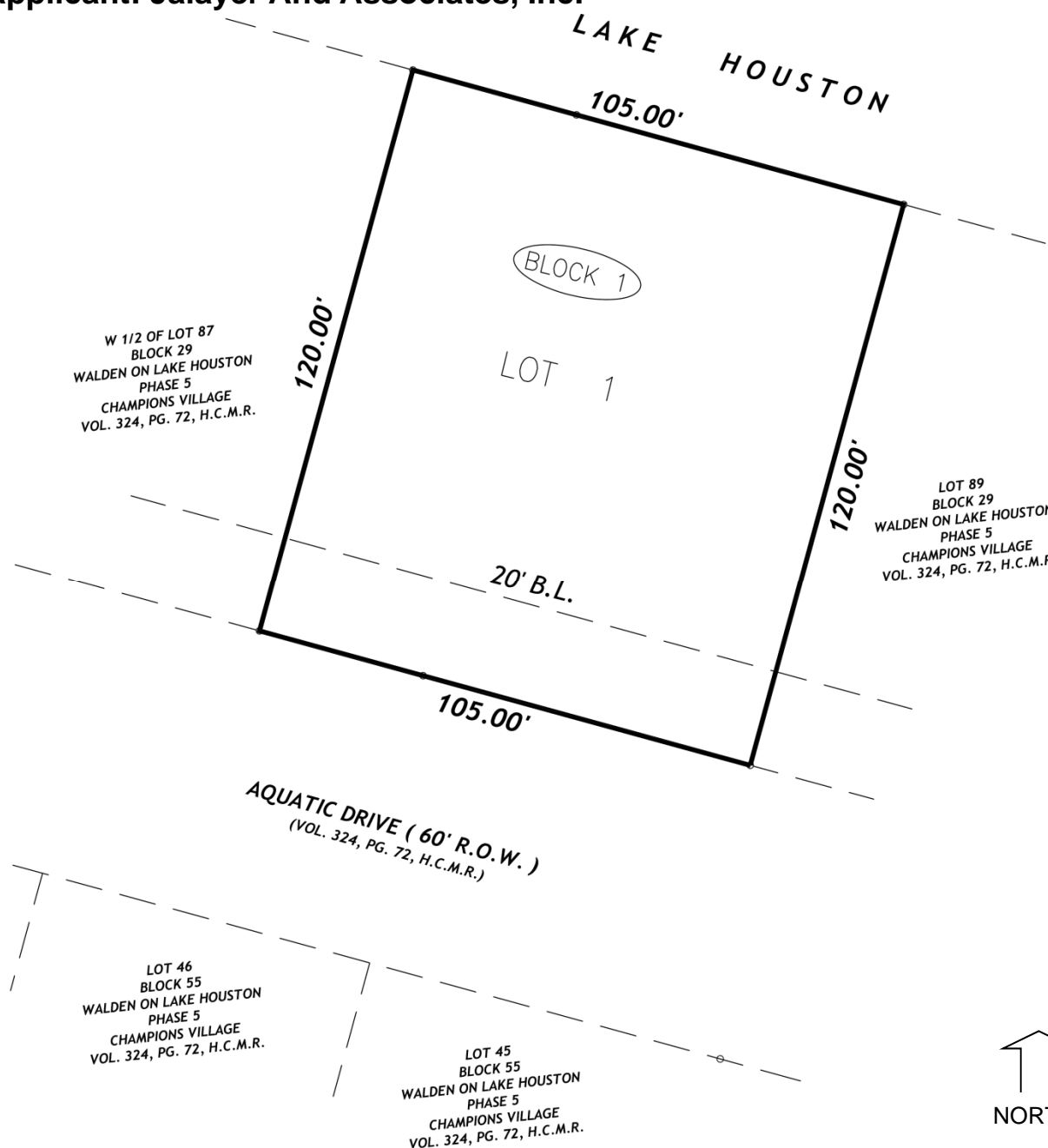
ITEM: 97

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Walden on Lake Houston Phase 5 Champions Village  
partial replat no 1 (DEF 1)

Applicant: Jalayer And Associates, Inc.



C – Public Hearings

Subdivision

# Houston Planning Commission

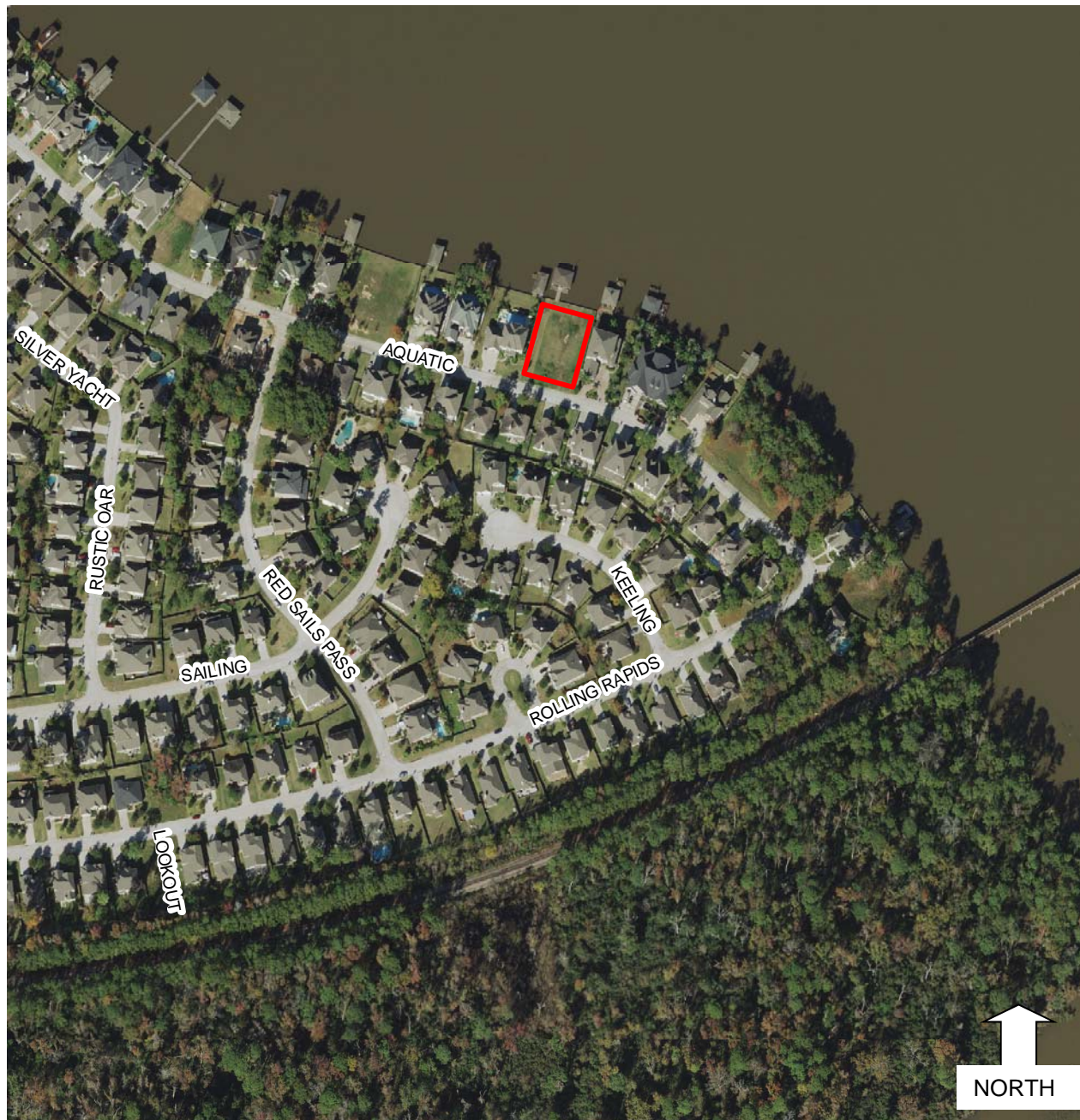
**ITEM: 97**

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name: Walden on Lake Houston Phase 5 Champions Village partial replat no 1 (DEF 1)**

**Applicant: Jalayer And Associates, Inc.**



**C – Public Hearings**

**Aerial**

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# Houston Planning Commission

## ITEM: 98

Planning and Development Department

Meeting Date: 04/30/2015

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**Subdivision Name: Washington Terrace partial replat no 2**

**Applicant: Prime Texas Surveys, LLC.**



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**C – Public Hearing with Variance**

**Site Location**

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# Houston Planning Commission

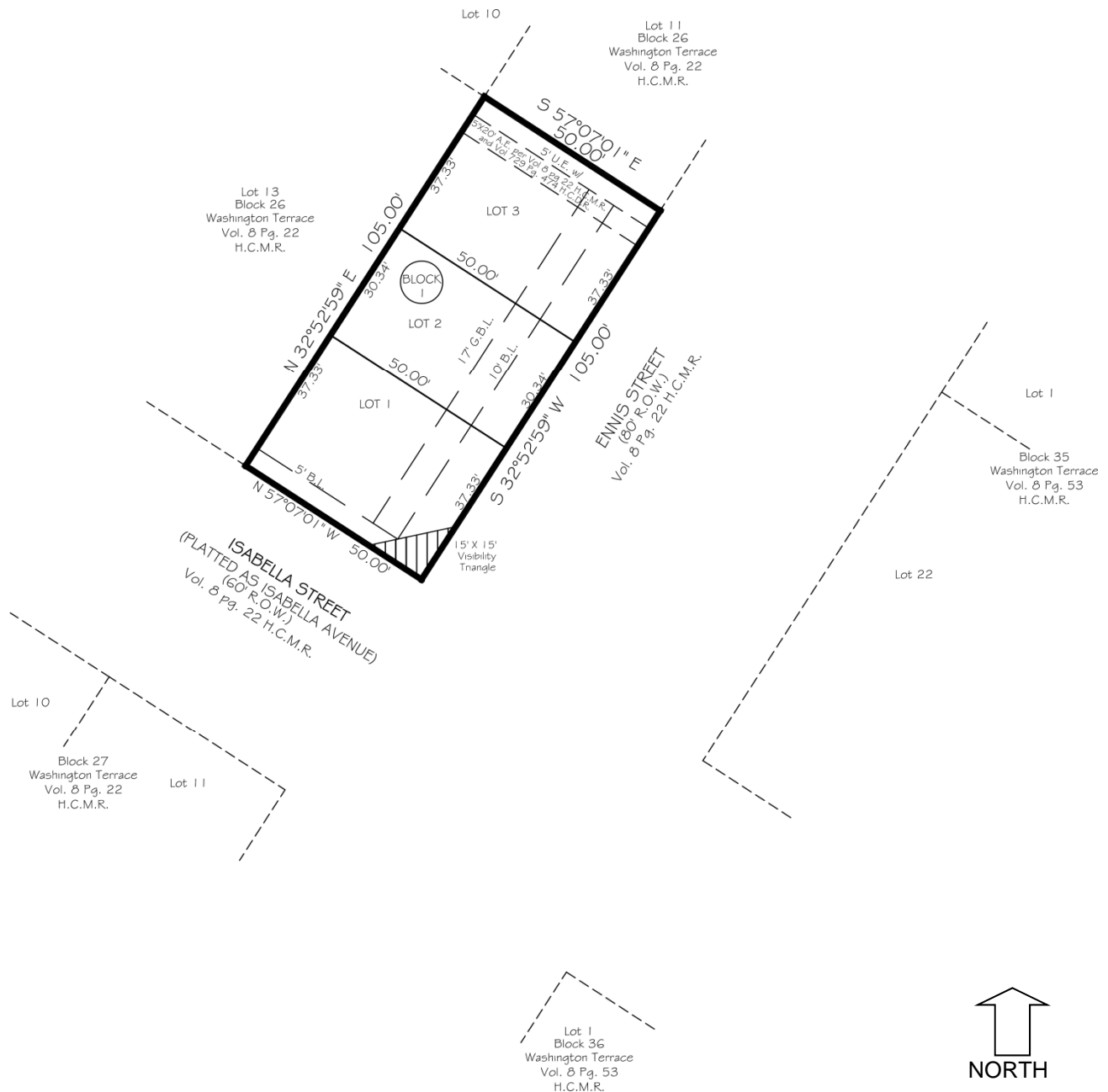
ITEM: 98

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Washington Terrace partial replat no 2

Applicant: Prime Texas Surveys, LLC.



C – Public Hearing with Variance

Subdivision



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# Houston Planning Commission

## ITEM: 98

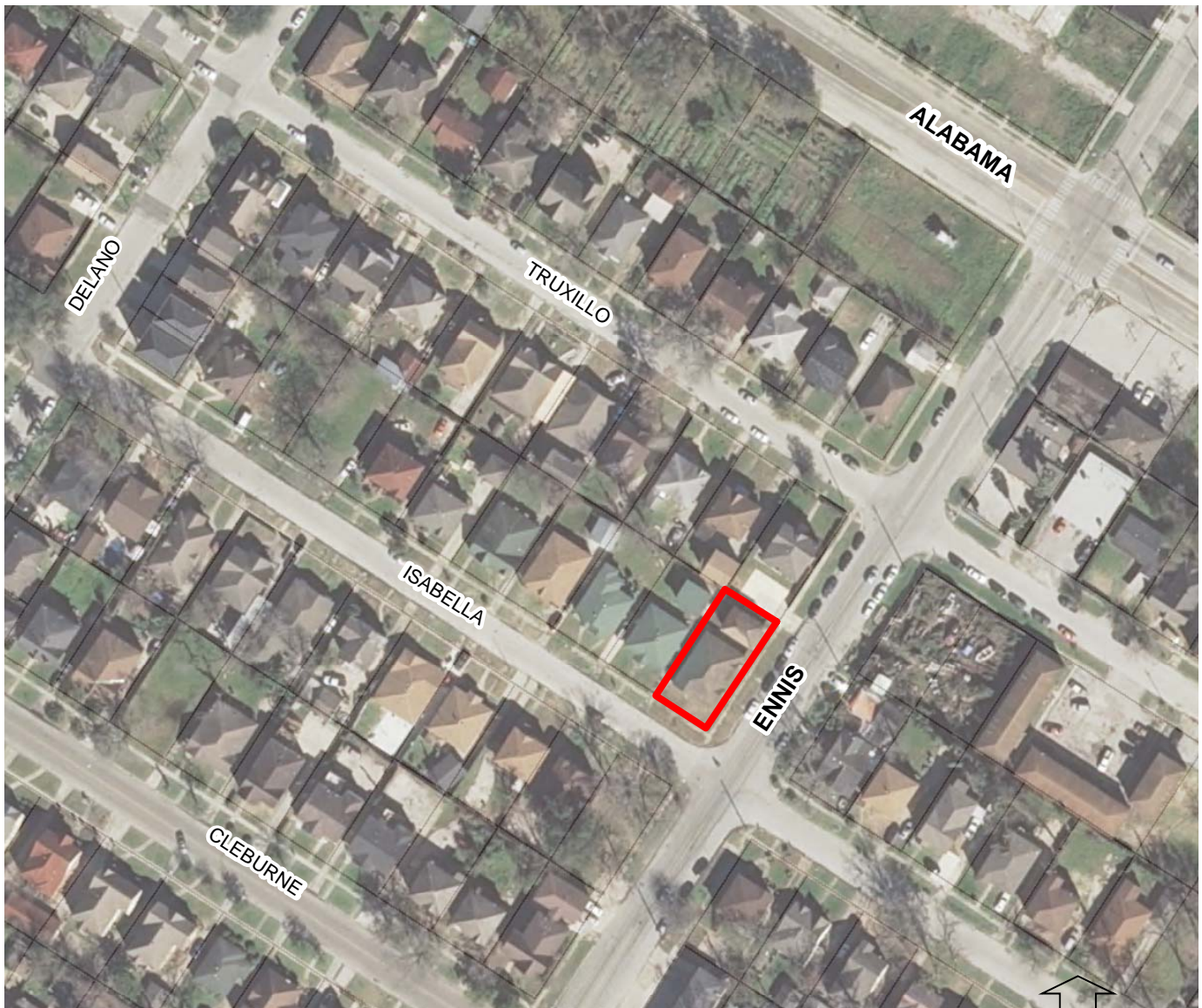
Planning and Development Department

Meeting Date: 04/30/2015

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**Subdivision Name: Washington Terrace partial replat no 2**

**Applicant: Prime Texas Surveys, LLC.**

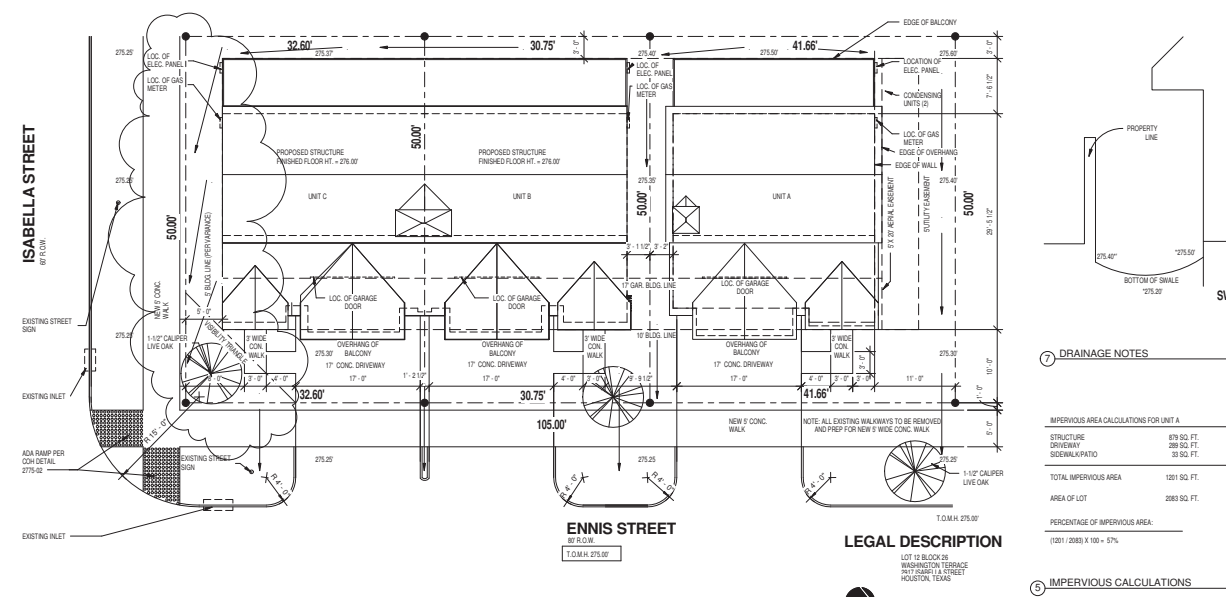


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**C – Public Hearing with Variance**

**Aerial**

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**1 SITE PLAN 2**  
1/8" = 1'-0"

**GENERAL CONSTRUCTION NOTES**

1. ALL MATERIALS, FINISHES, APPLIANCES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE AND THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS INCLUDING BUILDING, WALKERS, HOLDING ETC. IN ORDER TO MEET THE REQUIREMENTS EVEN IF THEY ARE NOT INDICATED ON THESE PLANS.

2. IF THE CONTRACTOR'S RESPONSIBILITY TO PARTIAL SURFACES THAT REQUIRES PROTECTION FROM THE ELEMENTS WITH THE APPROPRIATE PLAN INCLUDING NECESSARY PRIMER COATS AND BACK PRIMING WERE REQUIRED.

3. CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY FLASHING INCLUDED (BUT NOT LIMITED TO) THRU FLASHING, STEP FLASHING, COUNTER FLASHING, COP FLASHING, BASE FLASHING AND FLEXIBLE FLASHING WERE NECESSARY TO MAKE A WATER TIGHT BUILDING. PROTECT MATERIAL WHOSE ARE SENSITIVE TO DISCOLORATION AND TO MAKE TRANSITION AT DISJUNCTION MATERIALS.

4. CONTRACTOR TO SEAL WITH THE APPROPRIATE TYPE OF CAULK AT ALL LOCATIONS NECESSARY TO PREVENT THE PENETRATION OF MOISTURE AND AT THE TRANSITION OF DISJUNCTION MATERIALS.

5. CONTRACTOR TO PROVIDE AND INSTALL ALL LOCKING AND SECURITY DEVICES REQUIRED BY FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS.

6. CONTRACTOR TO PROVIDE AND INSTALL ALL GLASS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS.

7. CONTRACTOR TO MEET ALL THE REQUIREMENTS OF THE BUILDING CODE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS. EVEN IF IT REQUIRES LABOR AND/OR MATERIALS NOT INDICATED ON THE PLANS.

8. CONTRACTOR MUST CONSTRUCT THIS PROJECT FROM WRITTEN DIMENSIONS ON THIS PLAN. DO NOT SCALE THE DRAWINGS.

9. ALL MECHANICAL AND ELECTRICAL DISCREPANCIES SHALL HAVE A CURRENT MATTERS LICENSE IN GOOD STANDINGS WITH THE LOCAL GOVERNING BODY.

10. ALL BEDROOM WINDOWS SHALL COMPLY WITH THE BUILDING CODE WHEN USED AS A MEANS OF ESCAPE OR RESCUE. MINIMUM NET CLEAR OPENING SHALL BE NO LESS THAN 5.7 SQUARE FEET. MINIMUM CLEAR OPENING HEIGHT SHALL NOT BE LESS THAN 24". MINIMUM CLEAR OPENING WIDTH SHALL NOT BE LESS THAN 20". THE FINISHED SLAB HEIGHT SHALL NOT EXCEED 4" ABOVE FINISH FLOOR.

11. ALL GLASS SLIDING DOORS AND SLDGLIGHTS SUBJECT TO IMPACT SHALL BE TEMPERED AND COMPLY WITH THE BUILDING CODE.

12. CONTRACTOR TO PROVIDE VENTILATION AT ALL BATH AND UTILITY ROOMS THROUGH NATURAL, OR MECHANICAL MEANS AND COMPLY WITH THE BUILDING CODE.

13. CONTRACTOR SHALL APPLY 5/8" PRECISE GYPSUM BOARD TO WALLS AND CEILING OF USABLE SPACE UNDER STAIRS AND TO WALL AND CEILING OF ATTACHED GARAGE ADJOIN LIVING SPACES.

14. PROVIDE 3/8" FIRE RETARDANT PLYWOOD ON EXPOSED PANEL OF ATTIC SPACE. OPENING SHALL BE A MIN. OF 6" IF MEASURED ON A HORIZONTAL PLANE FROM A GAS WATER HEATER GAS APPLIANCE PER IRC R902.2.

15. A REVIEW OF A COMPLETE GEOLOGICAL EVALUATION THE LOAD BEARING VALUE IN TABLE R401.4.1 SHALL BE REQUIRED.

**SAFETY**

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR STRICT COMPLIANCE BY ALL TRADES INVOLVED WITH THIS PROJECT AS NOTED HEREIN, AND MUST TAKE ALL MEASURES NECESSARY TO ENSURE THE SAFETY OF PERSONS ON OR NEAR THIS JOB SITE.

**OCCUPATIONAL SAFETY AND HEALTH**

CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION PRACTICES AS REQUIRED BY THE RULES AND REGULATIONS SET FORTH BY OSHA SAFETY CODES, LATEST EDITION.

**ELECTRICAL POWER SAFETY PRACTICES**

1. OSHA REGULATIONS

2. FOR POWER LINES OF 50,000 VOLTS AND BELOW, THE MINIMUM CLEARANCE BETWEEN THE LINES AND ANY PART OF A CRANE OR LOAD MUST BE TEN (10) FEET. AN EXCEPTION TO THIS REQUIREMENT IS WHEN THE LINES HAVE BEEN DEENERGIZED AND GROUND.

3. THE ELECTRIC UTILITY COMPANY MUST BE NOTIFIED AND INFORMED OF OPERATIONS NEAR THE LINES BEFORE WORK BEGINS.

4. EVERY OVERHEAD WIRE MUST BE CONSIDERED TO BE ENERGIZED, UNLESS AND UNTIL THE UTILITY COMPANY INDICATES THAT IT IS NOT ENERGIZED, AND THE LINE IS GROUND.

5. VOLTAGES OR SUBJECT TO CRIMINAL PENALTIES.

**TENSAIR**

1. TEXAS LAW PROHIBITS ANY WORK DONE AROUND POWER LINES, IF AT ANY TIME IT IS POSSIBLE THAT A TENSAIR MACHINE OR MATERIAL MAY COME WITHIN SIX (6) FEET OF THE LINES.

2. THE LAW FURTHER PROHIBITS THE OPERATION OF CRANES OR SIMILAR EQUIPMENT WITHIN TEN (10) FEET OF THE FOOT TO A DISTANCE OF 10 FEET FROM THE FOUNDATION.

3. THE ONLY EXCEPTION TO THESE REQUIREMENTS IS WHEN THE DANGER OF CONTACTING THESE LINES HAS BEEN PROPERLY GUARDED AGAINST. THOSE PARTIES RESPONSIBLE FOR THE WORK MUST NOTIFY THE ELECTRIC UTILITY COMPANY AT LEAST 48 HOURS BEFORE THE WORK BEGINS TO ARRANGE FOR EXPERTS TO GUARD AGAINST CONTACTING THE LINES. THE WORK MAY NOT BEGIN UNTIL THOSE PARTIES HAVE BEEN NOTIFIED BY THE UTILITY COMPANY HAVE NEGOTIATED AND TAKEN PROPER SAFETY PRECAUTIONS, SUCH AS DEENERGIZING THE LINES.

4. IF A VIOLATION OF THE LAW RESULTS IN CONTACT WITH A POWER LINE, ALL RESPONSIBLE PARTIES ARE SUBJECT TO CRIMINAL PENALTIES. THEY ARE ALSO SUBJECT TO THE UTILITY COMPANY FOR ALL LIABILITY IT INCURS DUE TO THE CONTACT.

5. CODE OF FEDERAL REGULATION, TITLE 24, PART 910.100, 102E.416 AND 102E.500.

6. TEXAS HEALTH AND SAFETY CODE, CHAPTER 72E.

**FOUNDATION NOTES**

1. NOT USED

2. EXCAVATION FOR SLABS AND BEAMS SHALL BE SMOOTH AND FREE OF DEBRIS PRIOR TO INSTALLATION OF POLYETHYLENE OR BARRIER

3. WOOD BARRIER TO OVERLAP JOINTS A MINIMUM OF 12" WITH GRIP AND JOINTS SURFACES TO SECURE JOINTS.

4. INSTALL ALL REINFORCEMENTS AROUND PERIMS AND PLUMBER RISERS, AND CHECK FOR TENS PERFORM TO POURING CONCRETE.

5. REFER TO STRUCTURAL DRAWINGS FOR ALL REINFORCEMENT SIZE, QUANTITY AND PLACEMENT. ALL CONCRETE STRENGTH AND MIXING REQUIREMENTS, AND ALL BEAM OR FOOTING SIZES AND SLAB THICKNESS.

6. PROTECT SLAB FINISH FROM ADVERSE WEATHER CONDITIONS UNTIL PAINT, SET.

**WALL/FINISH NOTES**

1. ALL NON-LOAD BEARING PARTITIONS SHALL BE 2 X 4 STUDS AT 16" O.C. (RE: STRUCTURAL DRAWINGS)

2. ALL LOAD BEARING PARTITIONS SHALL BE 2 X 4 STUDS AT 16" O.C. OR 12" O.C. (RE: STRUCTURAL DRAWINGS)

3. LOAD BEARING PARTITIONS AT FIRST FLOOR OF THREE STORY BUILDING THAT ARE SUPPORTING THE FLOORS AND THE ROOF SHALL BE 2 X 4 STUDS OR 2 X 4 STUDS AT 16" O.C. OR 12" O.C. (RE: STRUCTURAL DRAWINGS)

4. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION ANCHOR BOLTS, SIZE, LOCATION AND SPACING.

5. WOOD TRIMMING, SIZES, VERTICAL, FRAMING, HORIZONTAL, FRAMING, PRESTRESS, ANCHORAGE, FURNISHING AND CONNECTIONS NOT SHOWN ON DOCUMENTS SHALL BE AS PER LOCAL BUILDING CODE MINIMUM REQUIREMENTS.

6. ALL PLYWOOD FLOOR SHEATHING SHALL BE 23/32" THICK 3/4" STANDARD CDX GRADE WITH EXTERIOR GLUE. PANEL INDEX 403A CONFORMING TO U.S. PS-1 STAMPED WITH OPPA GRADE TRADEMARK. (RE: STRUCTURAL DRAWINGS)

7. ALL PLYWOOD ROOF SHEATHING SHALL BE 1/2" THICK 3/4" STANDARD CDX EXTERIOR GRADE WITH EXTERIOR GLUE. PANEL INDEX 403A CONFORMING TO U.S. PS-1 STAMPED WITH OPPA GRADE TRADEMARK. (RE: STRUCTURAL DRAWING)

8. WATERPROOFING ON BALCONIES AND WALKWAYS TO BE SINGLE PL 5 BUTYLENE WATERPROOFING OR EQUAL.

9. PROVIDE EXPANDED FOAM INSULATION AT WINDOWS, EXTERIOR DOORS, TEES, CORNERS, PLATES AND PENETRATIONS.

10. STUDS SHALL BE SOUTHERN YELLOW PINE, STUD GRADE LUMBER WITH MOISTURE CONTENT OF 10% MAX DRIED.

11. ALL OTHER STRUCTURAL LUMBER SHALL BE 40# DRY AND VALLEY MEMBERS #2, BEAM AND GIRDERS #2, ALL OTHER LUMBER #1 UNLESS INDICATED OTHERWISE ON THE PLANS.

12. ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO THE WEATHER SHALL BE PRESURE TREATED LUMBER.

13. ALL AIR ALL CONCRETE PATCHES, PATCHES AND PLACEMENT AWAY FROM EXTERIOR WALLS.

14. INSTALL WALL BRACING, PLYWOOD SHEATHING AND SHEAR PANELS AS SPECIFIED BY STRUCTURAL ENGINEER.

**MASONRY NOTES**

1. STONE VENEER (IF APPLICABLE) SHALL BE ATTACHED TO A WOOD SUBSTRATE PER MANUFACTURER'S SPECIFICATIONS.

2. CONTRACTOR SHALL PROVIDE SILENT LEVELS SIZE OF STRUCTURAL ENGINEER ABOVE ALL MASONRY OPENINGS WITH MINIMUM BEARING ON EACH SIDE.

**SITE CONDITIONS**

PRIOR TO STARTING CONSTRUCTION

1. CALL ALL UTILITY COMPANIES PRIOR TO EXCAVATION TO VERIFY THE LOCATIONS OF UNDERGROUND UTILITIES AND EASEMENTS.

2. CONTACT WATER, POWER, SANITARY SEWER, NATURAL GAS AND STORM DRAIN PROVIDERS FOR VERIFICATION OF SIZE, LOCATION AND CAPACITY AND TAP REQUIREMENTS.

3. CONTACT LOCAL FLOOD CONTROL AUTHORITIES FOR MINIMUM FINISH FLOOR ELEVATIONS PRIOR TO SETTING FORMS.

**SITE WORK**

1. THE SITE IS TO BE STRIPPED OF ALL VEGETATION UNDER FOUNDATION AREA AS REQUIRED BY THE SOIL ENGINEER. (SEE SOIL REPORT).

2. ALL UNDERGROUND UTILITY EXCAVATIONS ARE TO BE BACKFILLED WITH SAND 1/2" ABOVE THE UTILITY WORK, AND THEN COVERED COMPACTED EARTH TO GRADE.

3. LEAVE NO EXCAVATION FOR UTILITIES OR FOOTING OPEN OVERNIGHT. COVER ALL OPEN BEING WORKED WITH 14" PLYWOOD OR EQUAL.

4. KEEP SITE CLEAR OF TRASH, SCRAP BUILDING MATERIAL, AND DEBRIS AT ALL TIMES.

5. PROTECT ALL TREES AND SHRUBS TO BE SAVED WITH BARRIERS DIRECTED A MINIMUM OF 5' FROM THE TRUNK LINES.

6. LEAVE SITE GRADE WITH TOP SOIL WITHIN 12" OF FINISHED FLOOR SLOPED AWAY FROM THE STRUCTURE AT 1" PER FOOT TO A DISTANCE OF 5' FROM THE FOUNDATION.

7. APPLY TENSILE PROTECTION BEFORE POURING THE FOUNDATION, AND APPLY AROUND THE FOUNDATION AFTER FINAL GRADING.

8. INSTALL ALL WALLS AND DRIVES WITH A NON-SLIP FINISH AND SLOPE THE SURFACES TO DRAIN AT A MINIMUM OF 1/4" PER FOOT UNLESS NOTED OTHERWISE ON THE PLANS. EXPANDED NOT TO EXCEED 1/4" O.C. FROM WALLS 10" O.C. FOR DRIVES.

**2 GENERAL NOTES**

**RESIDENCE:** LOT 10, BLOCK 30, WASHINGTON TERRACE

**LEGAL DESCRIPTION:** LOT 10, BLOCK 30, WASHINGTON TERRACE

**ADDRESS:** 2917 ISABELLA STREET

**CITY:** HOUSTON, TEXAS 77004

**BUILDING CODES:** IRC 2018 WITH AMENDMENTS

**ELECTRICAL CODE:** NEC 2018

**PLUMBING CODE:** IPC 2018

**MECHANICAL CODE:** MEC 2018

**OTHER:** RS 2018A, NFPA 701 SPARKER SYSTEM

**PROJECT DESCRIPTION:**

AREA: 2088 SQ. FT. TOTAL LIVING PER UNIT  
3078 SQ. FT. TOTAL COVERED PER UNIT

RECORDS: 4 RECORDS

GARAGE: 2 CAR

FRAME: WOOD FRAME

STORIES: 4 STORY

BATHS: 4 BATHS

REARFACE: 40" PREPARED DIRECT VENT

EXTERIOR: STUCCO/STONE & 1/2" SHARD BOARD

**NOTES:**

1. FINISH SLAB HEIGHT TO BE A MIN. OF 12" HIGHER THAN THE CROWN OF THE STREET.

2. CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR TEMPORARY UTILITIES TO THE CONSTRUCTION SITE.

3. ALL ROOF PENETRATIONS (E.G. PLUMBING AND GAS VENTS, ETC.) ARE TO BE RESTRICTED TO THE REAR ROOF AREA ONLY. NO ROOF PENETRATIONS SHALL BE MADE AT ROOF PENETRATIONS AT THE ROOF DRAINING THE AREA.

4. ALL SITE WORK INCLUDING LOCATION OF THE TRASH DUMPSTER, TEMPORARY TOILET FACILITIES, TEMPORARY FENCING CONSTRUCTION, CLEARING PROCEDURES, GRADING AND DRAINAGE, ETC. SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON GUIDELINES.

5. LOT SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM THE FOUNDATION. THE FALL SHALL BE A MINIMUM OF 1/4" PER FOOT (2% SLOPE).

6. THE FOUNDATION SHALL EXTEND ABOVE THE GUTTER OR DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2%.

**SWALE DETAIL**

**7 DRAINAGE NOTES**

**IMPERVIOUS AREA CALCULATIONS FOR LOT A**

STRUCTURE: 879 SQ. FT.  
SIDEWALK: 285 SQ. FT.  
SIDEWALK: 31 SQ. FT.

TOTAL IMPERVIOUS AREA: 1200 SQ. FT.

AREA OF LOT: 2088 SQ. FT.

PERCENTAGE OF IMPERVIOUS AREA: (1200/2088) X 100 = 57%

**LOT SIZE AND COVERAGE TABLE**

LOT NO.	LOT SIZE (SQ. FT.)	BUILDING COVERAGE (SQ. FT.)	% COVERAGE (SQ. FT.)
UNIT A	2088.00	879.00	42%
UNIT B	1937.00	879.00	57%
UNIT C	1800.00	879.00	54%

**5 IMPERVIOUS CALCULATIONS**

**WATERPROOFING AND MOISTURE CONTROL**

1. INSTALL METAL GUTTERS AND DOWNSPOUTS AT ALL HORIZONTAL FASCIA SIZES TO COMPLY WITH LOCAL RAINFALL AVERAGES.

2. PROVIDE 24 GA. GALV. METAL FLASHING OVER ALL OPENING IN EXTERIOR WALL. SEAL HORIZONTAL AND VERTICAL JOINTS AND WINDOW FRAMES TO SHEATHING WITH SELF-ADHESIVE FLASHING.

3. CALL FOR PERMITS ALL EXTERIOR WALL OPENINGS WITH SEALANT THAT REMAINS FLEXIBLE.

4. WHERE WOOD FRAMED WALLS ARE SUBJECTED TO WATER SPLASH, PROTECT FRAMING WITH WATERPROOF BUILDING PAPER.

5. FLASH ALL ROOF AND WALL INTERSECTIONS WITH 22 GA. GALV. METAL FLASHING. INSTALL 22 GA. GALV. METAL FLASHING IN ALL ROOF VALLEYS.

**ROOF NOTES**

1. ALL RAFTERS SHALL BE 2 X 6 S.P. AT 16" O.C. UNLESS NOTED OTHERWISE. COLLAR TIES SHALL BE 2 X 6 MAX. AT 30" O.C. LOCATED IN THE UPPER THIRD OF THE ATTIC AREA.

2. CONTRACTOR SHALL INSTALL ADEQUATE ATTIC VENTILATION BASED ON AN AREA 100% OF THE SPACE VENTILATED. PROVIDE 50% OF THE REQUIRED VENTILATING AREA AS PROVIDE BY VENTS IN THE UPPER PORTION OF THE ATTIC SPACE AT LEAST 30" ABOVE THE EAVE OR CORNER VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR VENTS. CONTRACTOR TO INSTALL SQUARE EAVE VENTS AS REQUIRED.

3. RAFTERS SHALL BE BRACED WITH PURLINS THE SAME SIZE AS THE RAFTERS THEY ARE SUPPORTING. PURLINS SHALL BE BRACED WITH MINIMUM 2" X 4" BRACES AT 4' O.C. MAX. ALL RAFTER SPICES SHALL BE BRACED DOWN TO A LONG-BEARING WALL.

4. ALL HIPES, RIDGES, AND VALLEYS SHALL BE ONE SIZE LARGER THAN THE LARGEST RAFTER THEY ARE SUPPORTING. PROVIDE 2" X 4" MAX. JOIST SUPPORT DOWN TO LONG-BEARING WALL.

5. ALL BUILDING SHALL HAVE GUTTERS AND DOWNSPOUTS.

**ELECTRICAL NOTES**

1. GROUND FAULT CIRCUIT INTERRUPTER PROTECTION IS REQUIRED AT ALL BATHROOMS, GARAGES, KITCHENS, BARS AND OUTDOOR LOCATIONS. BATHROOM REQUIRE AT LEAST ONE GFCI RECEPTACLE ADJACENT TO EACH BATH LOCATION. OUTDOOR GFCI OUTLETS ARE REQUIRED TO BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING.

2. RECEPTACLE OUTLETS ARE REQUIRED IN HABITABLE ROOM SPACES SO THAT NO POINT ALONG A FLOOR LINE IN ANY WALL SPACE THAT IS MORE THAN 6' MEASURED HORIZONTALLY FROM AN OUTLET IN SPACE, INCLUDING ANY WALL SPACE 2' OR MORE IN WIDTH. RECEPTACLES LOCATED AT KITCHEN COUNTERS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 6' MEASURED HORIZONTALLY FROM AN OUTLET IN SPACE. HALLWAYS OF 10' OR MORE IN LENGTH REQUIRE AT LEAST ONE RECEPTACLE OUTLET.

3. SMOKE DETECTORS SHALL BE HARDWIRED INTO THE DWELLING ELECTRICAL SYSTEM AND SHALL BE INTERCONNECTED SO AS TO SOUND AN ALARM IN ALL THE DETECTORS WHEN ONE IS ACTIVATED. SMOKE DETECTORS SHALL BE LOCATED IN ONE SLEEPING ROOM AT ONE POINT CENTRALLY LOCATED IN THE CORRIDOR GIVING ACCESS TO EACH SLEEPING AREA IN TWO STORY DWELLINGS. A SMOKE DETECTOR MUST BE INSTALLED ON EACH LEVEL.

AJL SH	ADJUSTABLE SHELF	J.T.	JOINT
AC	AIR CONDITION	JST	JOIST
ALT.	ALTERNATE	LAM PL.	LAMINATED PLASTIC
ANGLE	STEEL ANGLE	L.L.	LIVE LOAD
AWN	AWNING	M.O.	MASONRY OPENING
BR	BRICK	M/L	MATERIAL
BM	BEAM	M.C. OR MED. CAB.	MEDICINE CABINET
BRG.	BEARING	METS.	METAL
CBMT	CASEMENT	N.T.S.	NOT TO SCALE
C.S.	CEILING	O.C.	ON CENTER
<	CENTER LINE	OPNG.	OPENING
S.C.	STEEL CHANNEL	O.H.	OVERHEAD
C.O.	CLOSET	P.C.	PIECES
C.P.	CLOTHES POLE	PL.	PLATE
COL.	COLUMN	PLYWD. OR P.W.	PLYWOOD
COMP.	COMPOSITION	P.S.F.	POUNDS PER SQUARE FOOT
CONC.	CONCRETE	P.S.I.	POUNDS PER SQUARE INCH
CONSTR.	CONSTRUCTION	REIN.	REINFORCING
C.J.	CONSTRUCTION JOINT	R.	RIERS
CONT.	CONTINUOUS	R.O.	ROUGH OPENING
C.	COURSES	R.S.	ROUGH SHOWN
D.L.	DEAD LOAD	SH.	SHELF
DET.	DETAIL	SH. OR SHING.	SHINGLE
DIA. OR -	DIAMETER	SM.	SIMILAR
DM.	DIMENSION	SL. GL. DR.	SLIDING GLASS DOOR
D.W.	DISH WASHER	S.R.O.	SHEET ROCK OPENING
D.H.	DOUBLE HUNG	STD.	STANDARD
D.S.	DRAIN SPOUT	STL.	STEEL
EA	EAVE	TEMP.	TEMPERED
EQ.	EQUAL	Th.d.	THRESHOLD
EXP.	EXPANSION	TAG.	TONGUE & GROOVE
EXT.	EXTERIOR	TR.	TREADS
FIN.	FINISHED	U.C.	UNDER CABINET
F.P.	PRELACE	W.C.	WATER CLOSET
FL.	FLOOR	W.H.	WATER HEATER
F.D.	FLOOR DRAIN	W.P.	WEATHERPROOF
FTG.	FOOTING	W.F.	WEATHERSTRIPPING
FN.	FOUNDATION	W.S.	WIDE FLANGE
GLV. OR G.I.	GLASS/UNGLAZED	WD.	WOOD
GL.	GLASS	WL.	WROUGHT IRON
QVP. BD.	GYPSUM BOARD	WTR.	WATER
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
INS.	INSULATED		
INT.	INTERIOR		

Sheet Number	Sheet Name
A1 00	SITE PLAN
A2 00	1ST & 2ND FLOOR PLANS & NOTES
A3 01	3RD & 4TH FLOOR PLANS AND NOTES
A3 02	INTERIOR ELEVATIONS AND SCHEDULES
A3 03	EXTERIOR ELEVATIONS
A4 00	ELECTRICAL PLANS
A4 01	ELECTRICAL PLANS
A5 00	CROSS SECTIONS AND DETAILS
A5 01	WALL SECTION OF WALLS
S1	FOUNDATION PLAN
S2	FRAMING PLANS
S3	FRAMING PLANS & NOTES
S4	FRAMING NOTES

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**NEW SINGLE FAMILY RESIDENCE**  
2917 ISABELLA STREET  
UNITS A & B  
HOUSTON, TEXAS 77004

PROFESSIONAL SEAL

REGISTERED ARCHITECT  
STATE OF TEXAS  
30 MAR 15

PROJECT NO. 15088  
CAD DRAWING FILE: isabel2917dwg.dwg  
DRAWN BY: CR  
CHECKED BY: JMM

SCALE

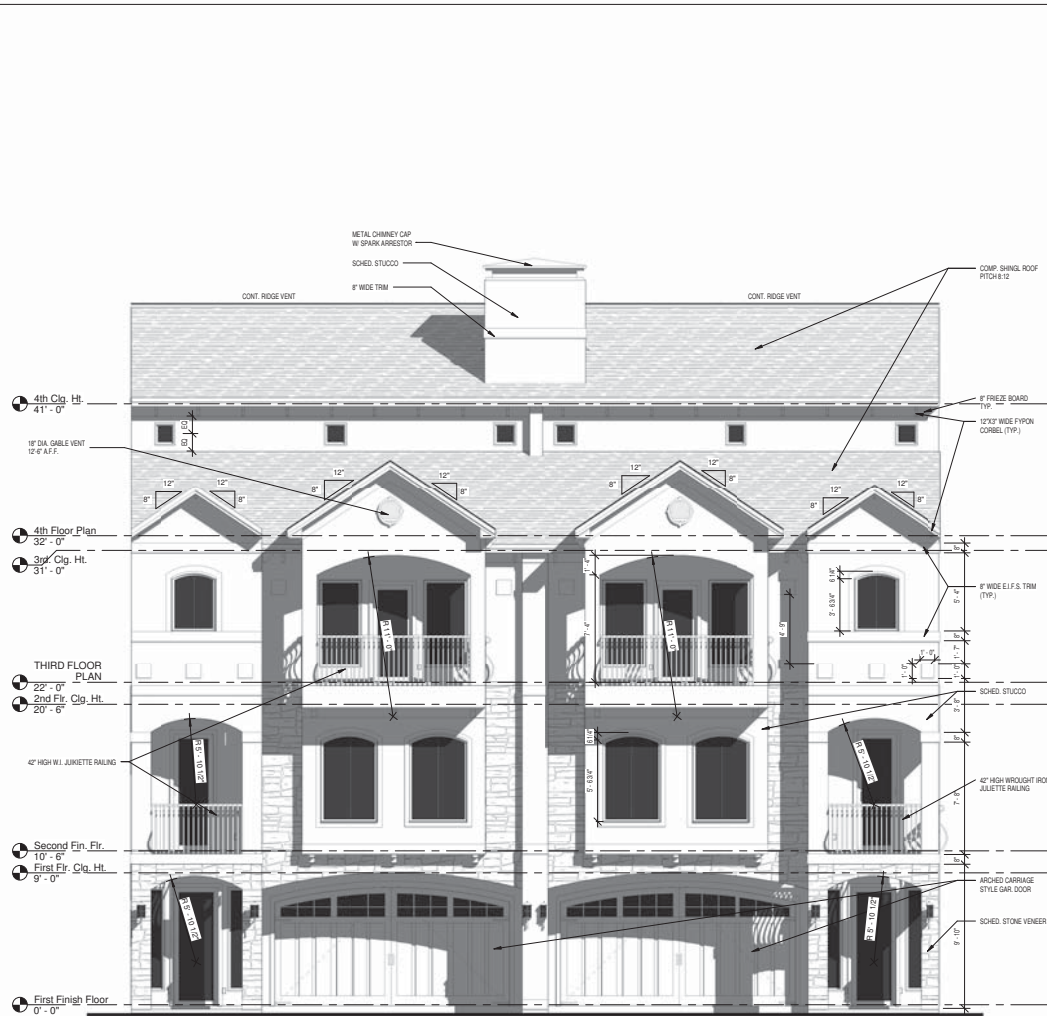
SHEET TITLE

**SITE PLAN, GENERAL NOTES & PROJECT DATA**

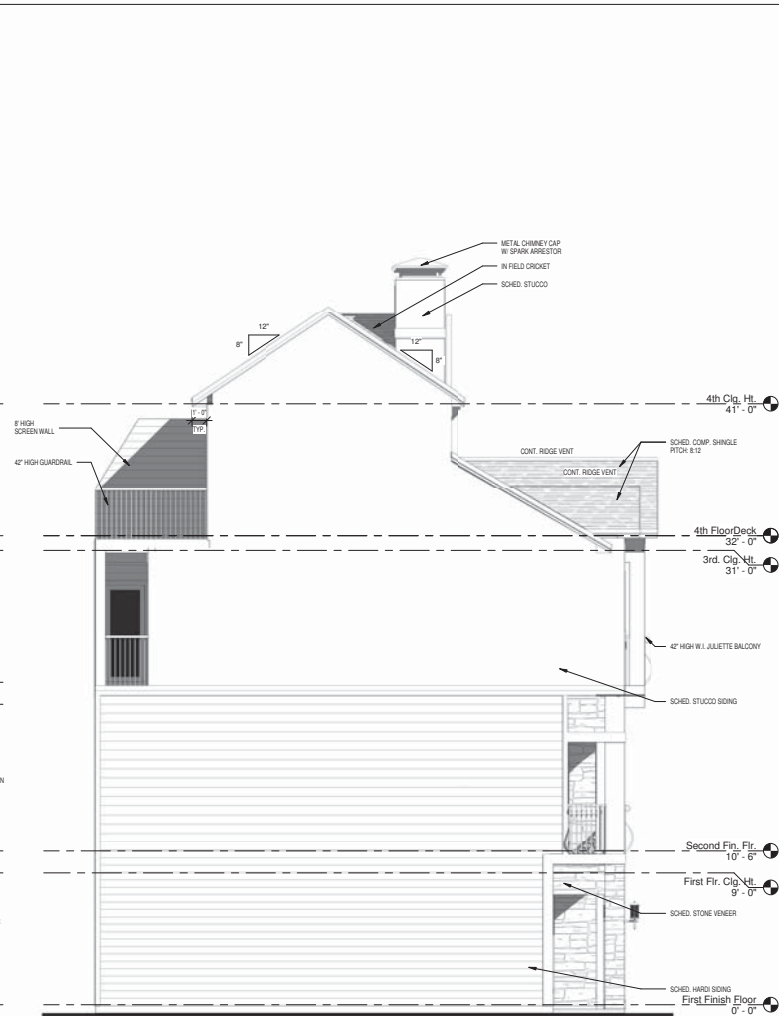
**A1.00**

SHEET 1 OF 14 TOTAL SHEETS





1 FRONT ELEVATION  
1/4" = 1'-0"



2 LEFT ELEVATION  
1/4" = 1'-0"

#### ELEVATION NOTES

1. ALL PLATE HTS. MEASURED FROM FINISHED FLOOR.
2. GUTTERS AND DOWNSPOUTS PER SPECIFICATIONS

3 ELEVATION NOTES



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## NEW SINGLE FAMILY RESIDENCE 2917 ISABELLA STREET UNITS A & B HOUSTON, TEXAS 77004

PROFESSIONAL SEAL



MARK	DATE	DESCRIPTION
1	30 MARCH 15	ISSUED FOR PERMIT

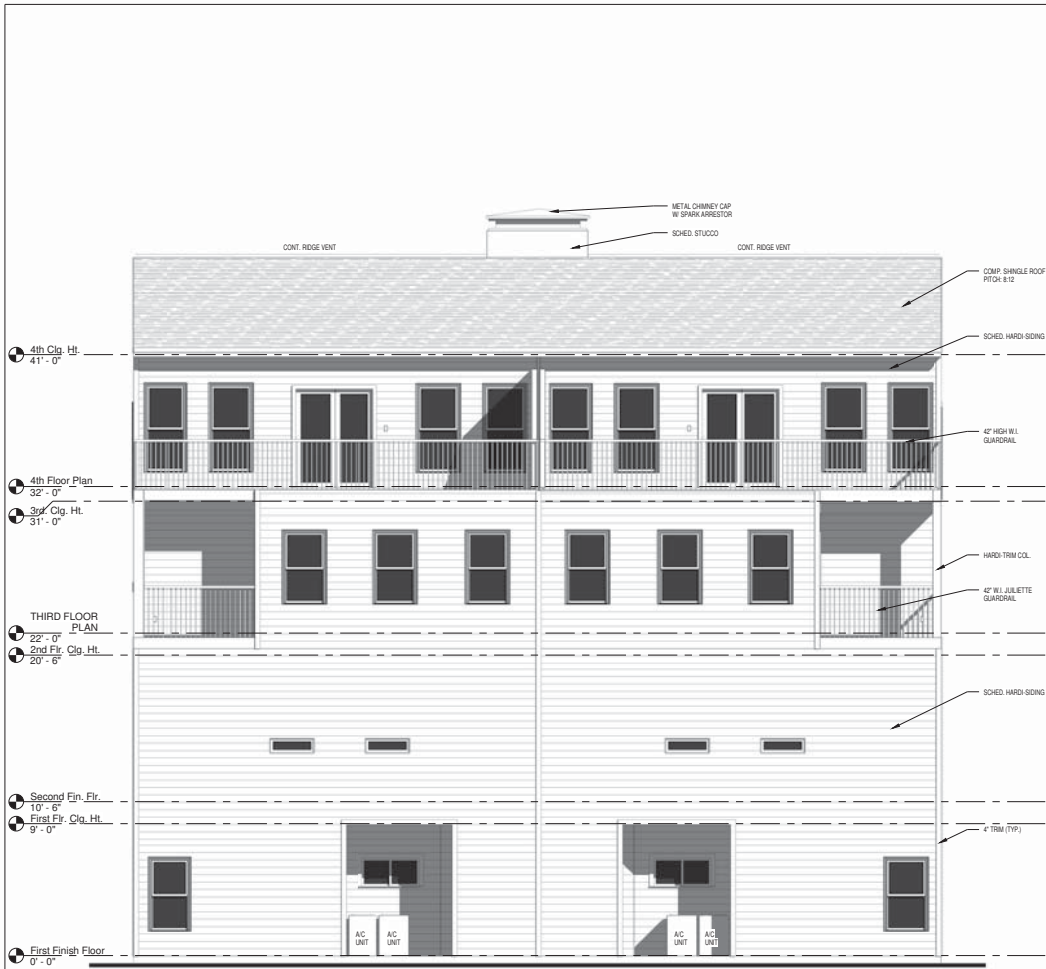
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DRAWN BY:	CR
CHECKED BY:	JAM

SCALE	
SHEET TITLE	

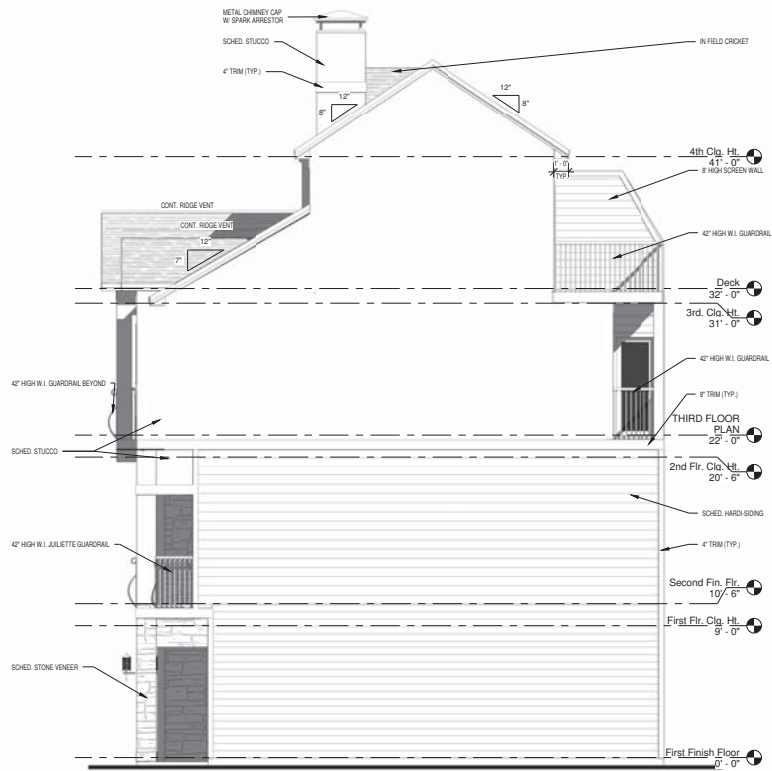
#### EXTERIOR ELEVATIONS & NOTES

SHEET	5	OF	14	TOTAL SHEETS
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② REAR ELEVATION  
1/4" = 1'-0"



③ RIGHT ELEVATION  
1/4" = 1'-0"

#### ELEVATION NOTES

1. ALL PLATE HTS. MEASURED FROM FINISHED FLOOR.
2. GUTTERS AND DOWNSPUTS PER SPECIFICATIONS

① ELEVATION NOTES.



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## NEW SINGLE FAMILY RESIDENCE 2917 ISABELLA STREET UNITS A & B HOUSTON, TEXAS 77004

PROFESSIONAL SEAL



MARK	DATE	DESCRIPTION
1	30 MARCH 15	ISSUED FOR PERMIT

PROJECT NO.	110899
CAD DRAWING FILE:	Isabella2TownHousePermit.dwg
DRAWN BY:	CR
CHECKED BY:	JAM

SCALE	
SHEET TITLE	

#### EXTERIOR ELEVATIONS & NOTES

SHEET	6	OF	14	TOTAL SHEETS
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A3.01



**Application Number:** 2015-0231

**Plat Name:** Washington Terrace partial replat no 2

**Applicant:** PRIME TEXAS SURVEYS, LLC

**Date Submitted:** 02/06/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

The purpose of this variance is to obtain a 5' building line along a section of Isabella Street at the corner of Isabella and Ennis.

**Chapter 42 Section:** **42-156 (b)**

**Chapter 42 Reference:**

42-156: Collector and local streets – Single-family residential b) Except as otherwise required or authorized by this chapter, the building line requirement for a lot restricted to single-family residential use along a local street that is not an alley shall be: (1) 20 feet along the front of a lot and ten feet along the back and side of a lot adjacent to a local street; or (2) 10 feet if the subdivision plat contains a typical lot layout and the subdivision plat contains plat notations that reflect the requirements of this section.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

We are proposing to reduce the building line along the west side of the property. The remaining front and back sections of the property are to remain at the required building line. We are also proposing the construction of three single family homes on the existing lot. Our intent is to be able to utilize the lot in a more suitable manner. By adjusting the building line on the house we are able to build additional units on this lot that are similar in size. One home has been approved for construction. There will not be a shared driveway as each home is proposed to front Ennis Street and maintain the original building line designated by the City of Houston. Isabella Street is a local collector street that will not supply an additional entry into the property. We are requesting this based on other properties in the area with similar building lines. We feel this is a more suitable use for the property. We are requesting a special variance request to utilize the property in a more suitable manner. The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land due to the fact that the 10' set back on Isabella Street does not allow the above mentioned proposed single family residence to utilize the corner lot in a suitable manner. The proposed development is located on a corner lot with a 50' R.O.W with current city improvements (signage/walkways) in place. Existing sidewalks will be replaced with updated 5' sidewalks and original garage set back of 17' will be maintained.

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The configuration of the lot does not allow for an appropriate amount of buildable space if the variance is not granted with the requested setbacks for three comparable lots. Allowing the proposed setbacks will provide the builder an opportunity to build their standard home construction plan for the lot. One house has been approved for construction on this lot prior to platting. In an effort to provide additional quality housing for the area we are proposing to construct two additional similar houses.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and purpose of Chapter 42 will be preserved and maintained because the proposed development, while not providing a shared driveway, will remain consistent with other new developments around the neighborhood. The proposed variance will not impact traffic and will not allow entrance into the property off of Isabella Street. Each structure will front Ennis Street and maintain the required setback from the street according to Chapter 42 section 156(2) for Ennis

Street. Additional landscape will be added along the front and side of the property to enhance the beautification of the neighborhood. 4' wood fencing will be around each property.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

Granting this variance will not affect visibility along Isabella Street for vehicular or pedestrian traffic. By allowing the setback of 5' for the proposed structure we are planning to continue the same pattern of architectural style to accommodate this transitioning neighborhood. Based on recent development approvals, many other new developments in the area are located approximately five foot from building line proving this variance will be consistent and harmonious with neighboring properties. Its proposed proximate location to the nearby green space is consistent with the City of Houston's policy of promoting walkability and pedestrian friendly environments. Approval of this variance will be consistent with sound public policy and conducive to health, safety and public welfare.

**(5) Economic hardship is not the sole justification of the variance.**

The requested variance will satisfy the intent of Chapter 42, including Section 42-156 (as discussed above). Approving this variance for the residence is consistent with the City of Houston's evolving policies of promoting walkable, pedestrian friendly environments and projects with urbanistic building designs on smaller footprints, thus making this a viable buildable piece of land.

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# Houston Planning Commission

## ITEM: 99

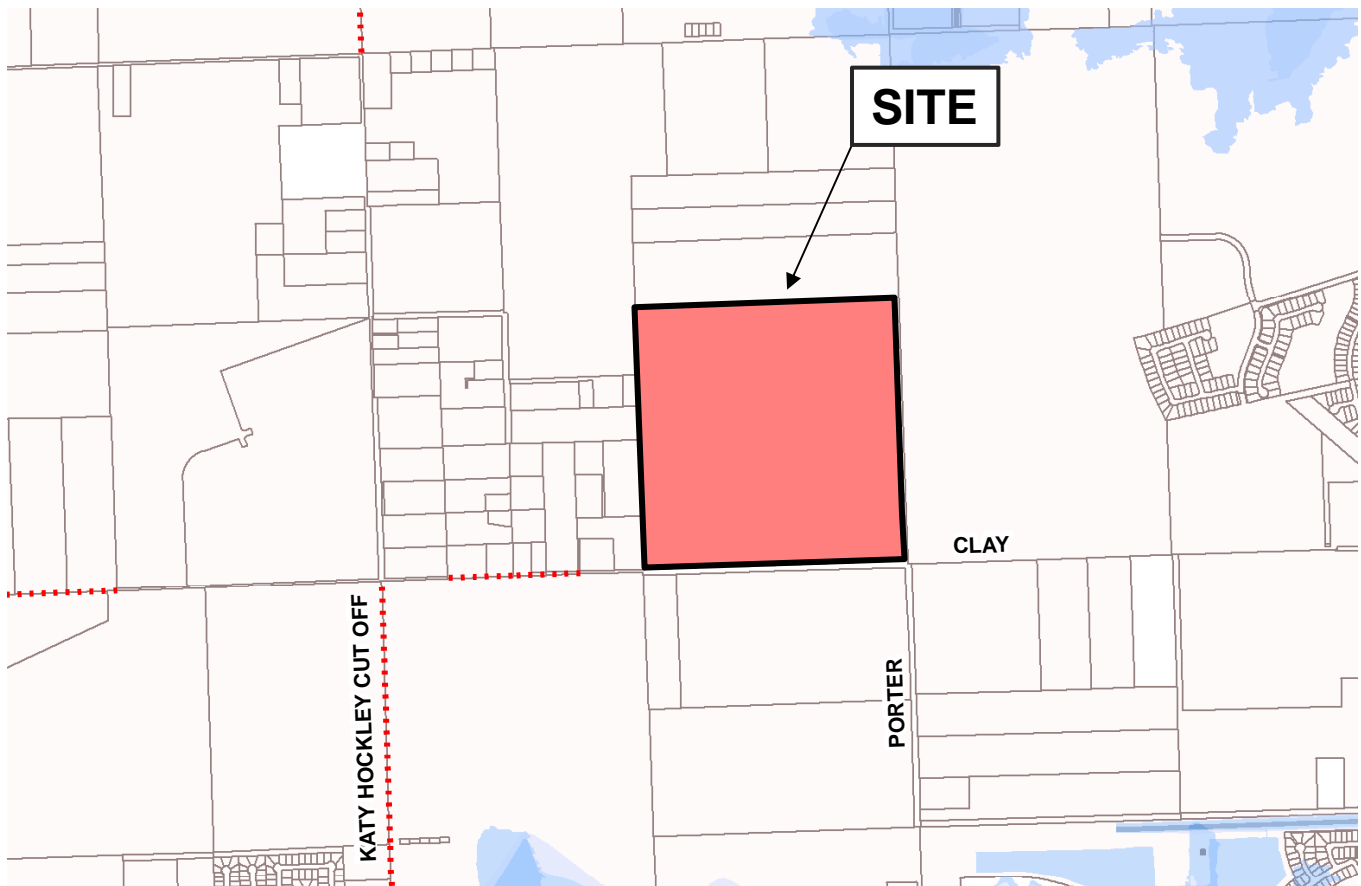
Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Adara Pointe GP

Applicant: LJA Engineering, Inc.



---

**D – Variances**

**Site Location**

---

# Houston Planning Commission

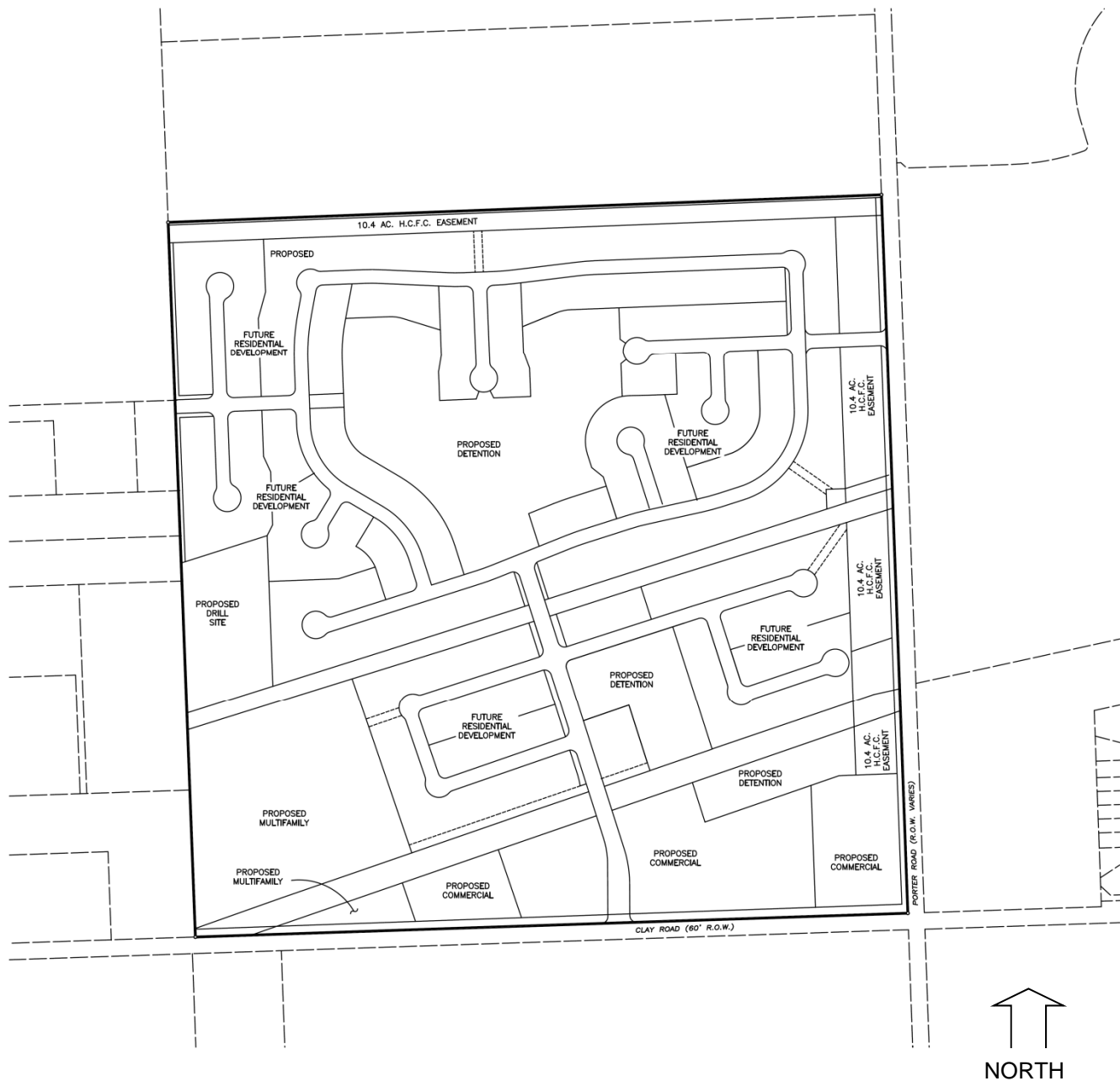
ITEM: 99

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Adara Pointe GP

Applicant: LJA Engineering, Inc.



D – Variances

Subdivision

---

# Houston Planning Commission

## ITEM: 99

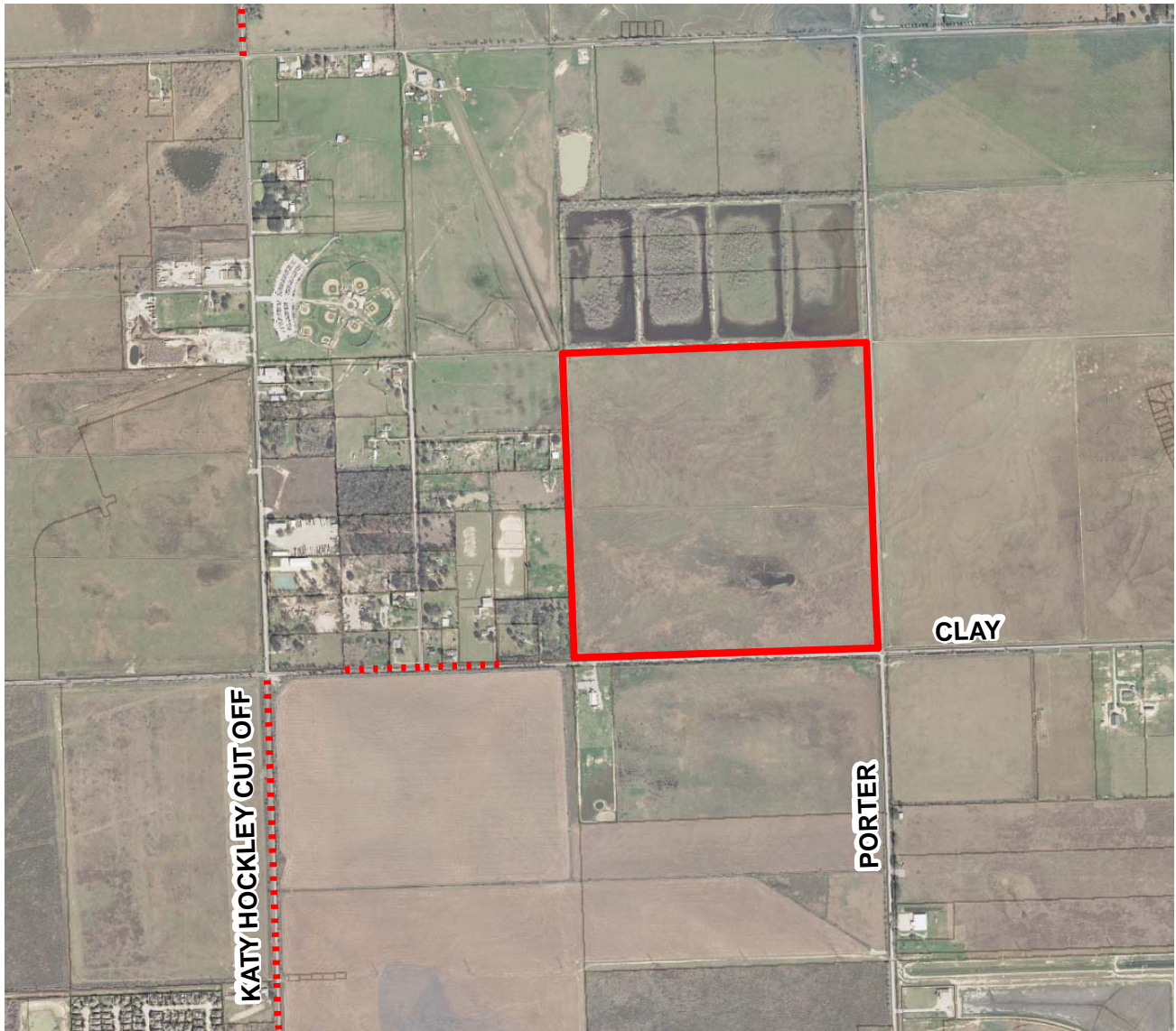
Planning and Development Department

Meeting Date: 04/30/2015

---

Subdivision Name: Adara Pointe GP

Applicant: LJA Engineering, Inc.



---

**D – Variances**

**Aerial**

---





## Site Data

186 - 50' x 125' (53%)

163 - 60' x 125' (47%)

349 Total Est. Yield (4.53DU/AC)

Approx. 156 Gross Ac.

Approx. 77 Net SF Ac.

# Op7

Revision Date : 03 31 2015  
Reference Date : 02 06 2015



Planning &  
Landscape Architecture  
Sustainable Design  
Community Planning  
Urban Design  
Landscape Architecture

LJA Engineering, Inc.

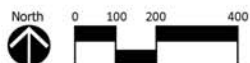
2929 Briarpark Drive, Suite 600  
Houston, Texas 77042-3703

713.953.5200 F 713.953.5024

25231 Goggin's Mill Road, Suite 330  
The Woodlands, Texas 77380

281.210.1790 F 281.210.1794

©Copyright 2015 LJA Engineering, Inc. This exhibit shows pertinent items necessary to convey a concept & it is not intended to include all physical characteristics of the area. Data & other information provided is estimated unless specified. Information provided within should be considered a graphic representation to aid in determining plan component relationships & is subject to change without notice. Property boundaries, easements, existing & proposed road alignments & other information shown is approximate & without the benefit of current surveying data. Information provided is subject to change without notice.



## Preliminary Land Plan

# Adara Pointe

City of Houston, Harris County, Texas





**Application Number:** 2015-0865

**Plat Name:** Adara Pointe GP

**Applicant:** LJA Engineering, Inc.- (West Houston Office)

**Date Submitted:** 04/20/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

To allow excessive intersection spacing along the northern boundary and the western boundary of the general plan

**Chapter 42 Section: 126**

**Chapter 42 Reference:**

42-126 To allow for excessive intersection spacing along a local street

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

This General plan of Adara Pointe is 156 acres in West Harris County. The property is bounded by Clay Road to the south, Porter Road to the east, and a Harris County Flood Control Easement to the north. Strict application would make this project infeasible as the northern boundary of this project has a HCFC easement along its entire section. On the west we would normally be required to dedicate a street 1400' north of the southern boundary of the GP which is Clay Road. Strict application of street placement would require us to dedicate the street where there is currently a drill site. Additionally, to the west there is an undedicated street that we would like to line up with.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

We are requesting a variance from the intersection spacing on the west end of the plat boundary from 1400' to about 2000'. The developer is still providing the stub street to the west which is being required albeit in a different location. The variance on the northern end is to allow for an intersection spacing to exceed the 1400'. The distance along the northern boundary is 2600'. The circumstances supporting the granting of this variance is not the result of a hardship imposed by the client but rather is defined by the HCFC easement to the north and the drill site and unplatted road to the west.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purposes of this will be preserved and maintained as the master planned community has drainage, landscaping, and recreation activities to support the mixed use of the area which will include single family, multi family, and commercial.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance is in keeping with public health and safety by providing good vehicle access and circulation in the area. Chapter 42 is preserved and the general plan lines up with both major thoroughfares as well as the street to the west.

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is not the sole justification for the variance as Harris County Flood control easement to the west and the unplatted road and drill site in the west are the reasons for this variance.



## SPECIAL EXCEPTION Request Information Form

**Application Number:** 2015-0865

**Plat Name:** Adara Pointe GP

**Applicant:** LJA Engineering, Inc.- (West Houston Office)

**Date Submitted:** 04/20/2015

(Sec. 42-48 and Sec. 42-82)

**Specific requirement for which the special exception is being sought:**

Allow Intersection spacing of less than 600' along Major thoroughfare Porter Rd.

**Chapter 42 Section:** 42-127

**Chapter 42 Reference:**

42-127 Intersection of local streets, Part (a).

### Statement of Facts

**(1) Special circumstances exist that are unique to the land or the proposed subdivision or development and that are not generally applicable to all other land, subdivision for development in the city or its extraterritorial jurisdiction that justify modification of the standards that would otherwise apply;**

Adara Pointe GP is a development of 156 acres in west Harris county. The property is bounded by Porter Road to the east and Clay Road to the south. To the north/east lies Ventana Lakes General Plan which a street dedicated about 500' north of the east/west street that is being proposed by Adara Pointe GP. The variant difference between the minimum intersection spacing of 600' and the 500' we're providing is 16.7% which is within the 30% to regard this as a special exception. The special circumstance that exists is that there is a street dedication across from Porter Road that is on the southern boundary of Ventana Lakes. Adara Pointe will have four access points within the subdivision so that only a portion of the vehicle traffic generated from this development will actually utilize Porter Road.

**(2) The proposed special exception will achieve a result contemplated by the standard in article III of Chapter 42 (Planning Standards);**

The proposed special exception is within the 30% variant that is allowed to make this a special exception and not a variance. Originally, the plat was submitted about 350' from the proposed street in Ventana Lakes but the developer has been able to move the street down an additional 150' to create a separation of 500'. The 500' of separation will allow the traffic along Porter Road the necessary room to make turns in and out of both subdivisions.

**(3) The modification of the standard requested is not disproportionate to the requirement of the standard;**

The modification of the standard is 16.7% which is within the allowed percentage to be a special exception. This modification is not disproportionate to the requirement.

**(4) The intent and general purposes of this chapter will be preserved and maintained;**

Adara Pointe is a subdivision with mixed use including single family residential, mutli-family, drill site, commercial, and open space. The development proposes an interior vehicle circulation that enhances the neighborhood along with the proposed amenities. The special exception and other proposed variances allow for good vehicle circulation without making the project all about roads. The intent of this special exception is so that the vehicles entering this part of the subdivision do not shine their lights into the backyards of the homes. The intent and general purpose of this chapter is preserved in allowing the community to be planned in a way that minimizes unneeded lights.

**(5) The granting of the special exception will not be injurious to the public health, safety or welfare.**

The granting of the special exception will not be injurious to the public health and safety by allowing the development to be platted in a way that reduces unneeded lights and traffic away from the subdivision.

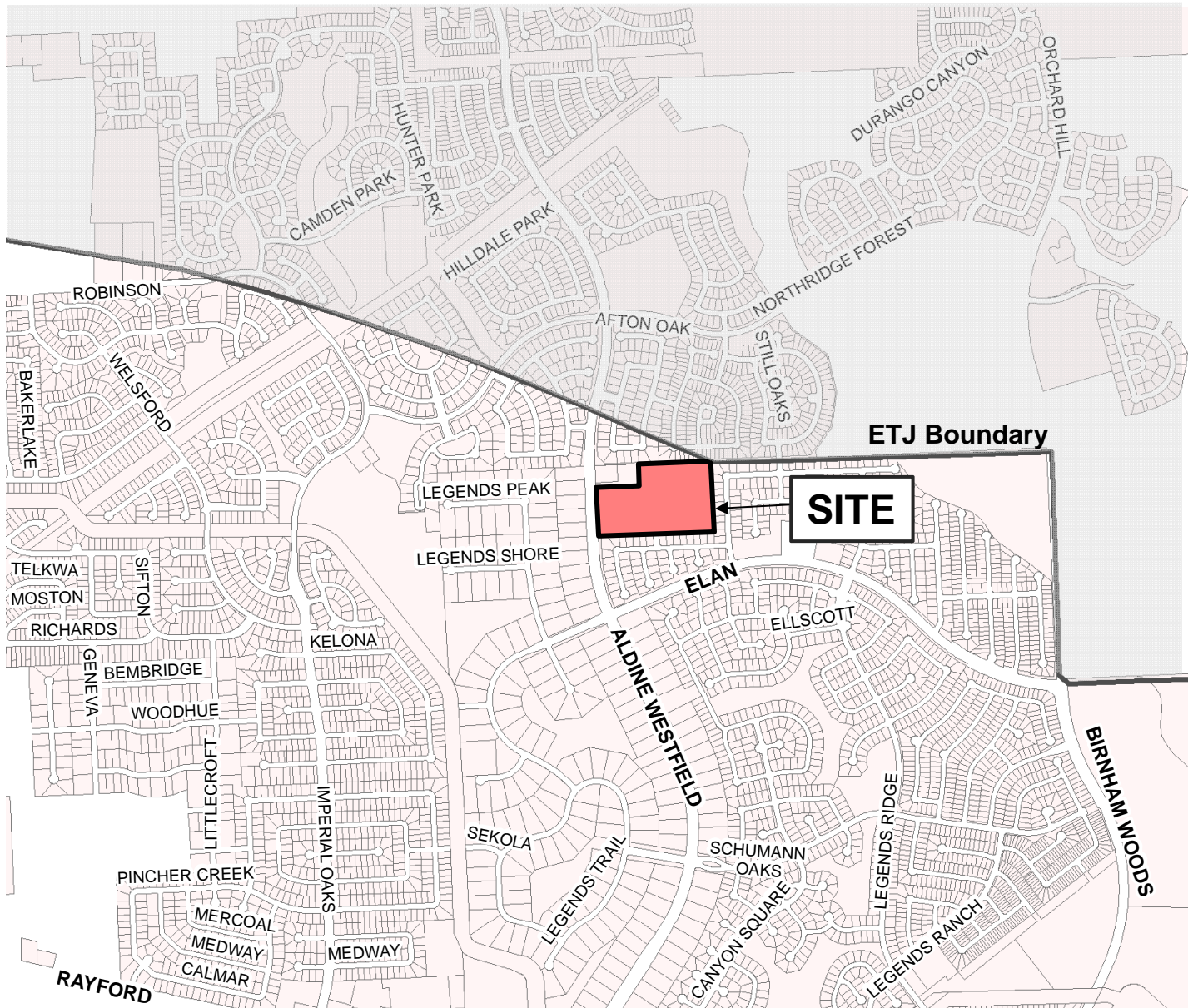
# Houston Planning Commission      ITEM: 100

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name: Aldine Westfield Business Park**

**Applicant: Town and Country Surveyors**



**D – Variances**

**Site Location**

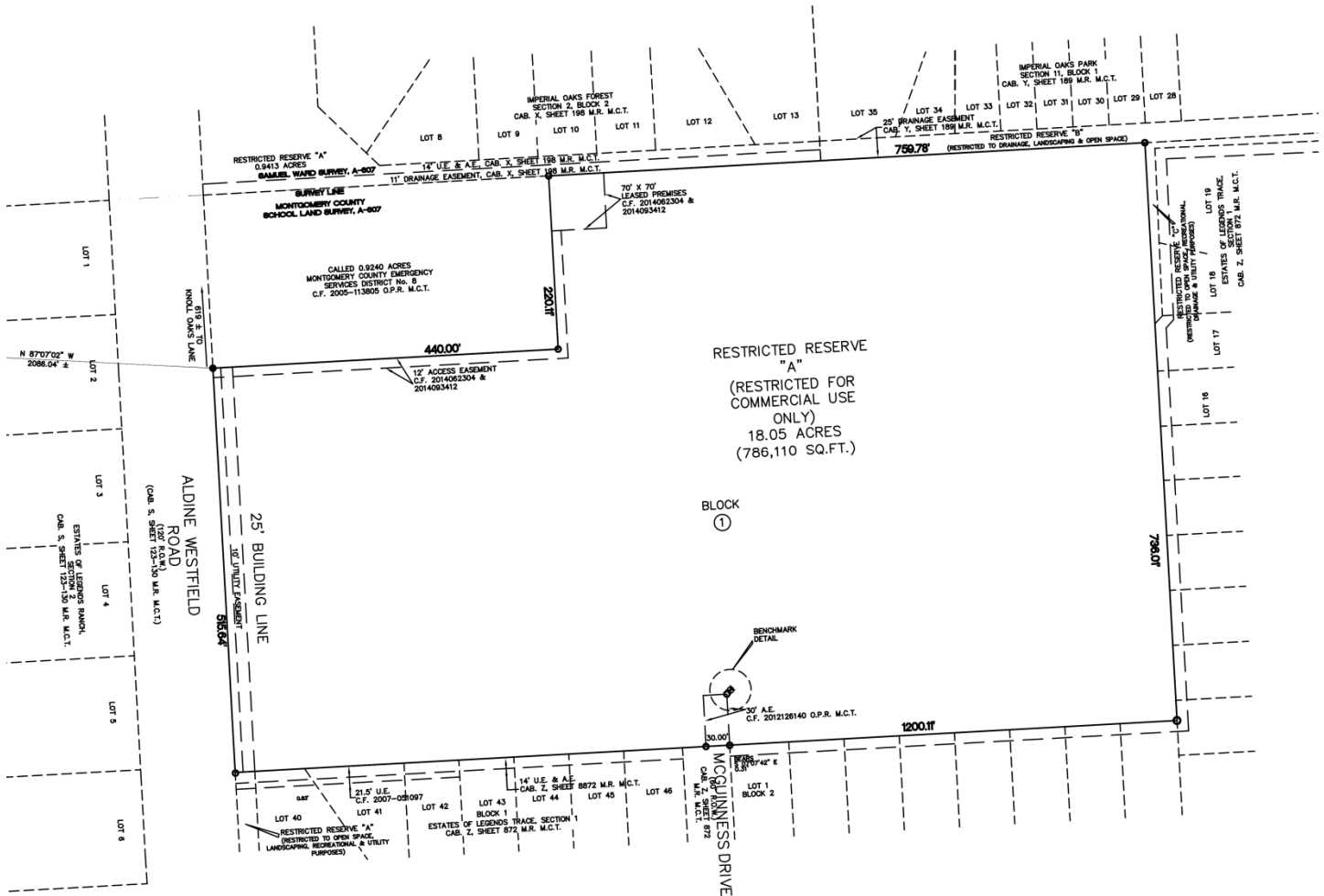
# Houston Planning Commission ITEM: 100

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Aldine Westfield Business Park

Applicant: Town and Country Surveyors



D – Variances

Subdivision



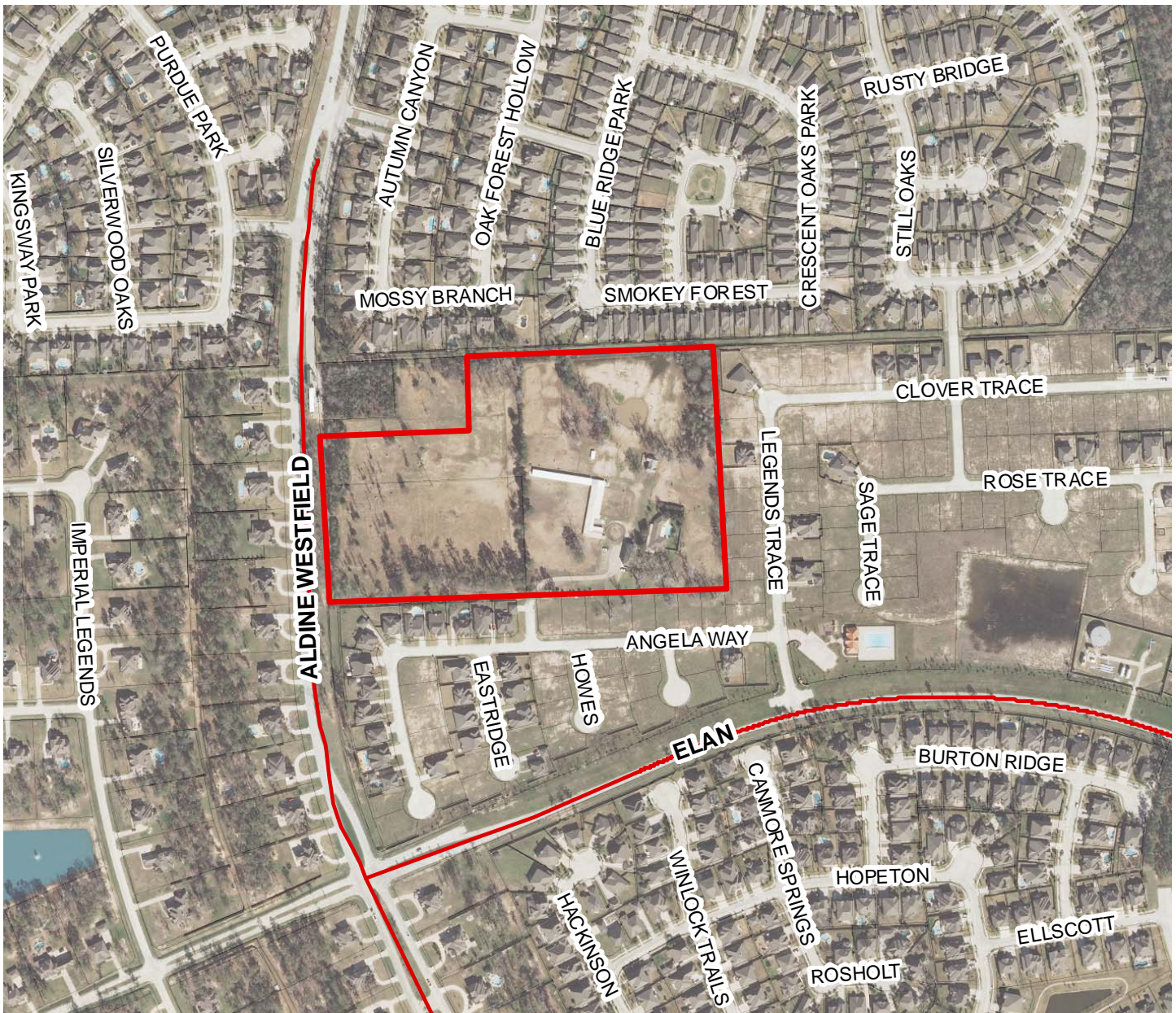
# Houston Planning Commission      ITEM: 100

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Aldine Westfield Business Park

Applicant: Town and Country Surveyors



**D – Variances**

**Aerial**



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

**VARIANCE  
Request Information Form**

**Application Number:** 2015-0581

**Plat Name:** Aldine Westfield Business Park

**Applicant:** Town and Country Surveyors

**Date Submitted:** 03/21/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Sec. 42-135. Street extension We would like to request a Variance not to continue McGuinness Drive. McGuinness Drive is currently a 285 feet in length and is only in the Estates of Legends Trace. At the current time it Runs North from Rose Trace Drive and serves only the McGuinness Homestead tract, which currently has access by a 30 foot wide access easement beyond McGuinness Drive. When the Commercial Tract is developed the McGuinness Homestead will have access directly to Aldine Westfield.

**Chapter 42 Section: 135**

**Chapter 42 Reference:**

Sec. 42-135. Street extension

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The configuration of the properties in the area make extending the collector impractical as it brings will bring commercial traffic into a residential subdivision.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The variance is not requested do to a hardship but because of configuration of all the tracts in the area make it impractical.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent of the ordinance is to provide traffic collection and flow but there is very little need in this area.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

Not putting in a public road will not have any affect on the public health, safety or welfare. A new road will provide minimal if any additional traffic flows.

**(5) Economic hardship is not the sole justification of the variance.**

This Plat is being developed as a commercial tract and does not need more access than it currently has or will have with the proposed cul-de-sac.





**Application Number:** 2015-0581

**Plat Name:** Aldine Westfield Business Park

**Applicant:** Town and Country Surveyors

**Date Submitted:** 03/21/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Sec. 42-128. Intersections of Collector Streets The developer requests that no local street be required running east and west through proposed plat.

**Chapter 42 Section: 128**

**Chapter 42 Reference:**

Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet;

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

The configuration of the properties in the area make putting a collector at this point unnecessary. It would not be in the interest of the public to create a public road where one is not necessary.

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The variance is not requested do to a hardship it is asked for because of configuration of all the tracts in the area, and because a public road through the tract will serve no purpose.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent of the ordinance is to provide traffic collection and flow but there is very little need in this area.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

Since the adjoining properties are already developed a public street through the property will not not provide any additinional access.

**(5) Economic hardship is not the sole justification of the variance.**

The configuration of the existing development and the surrounding properties do not justify the need for an additional collector road.

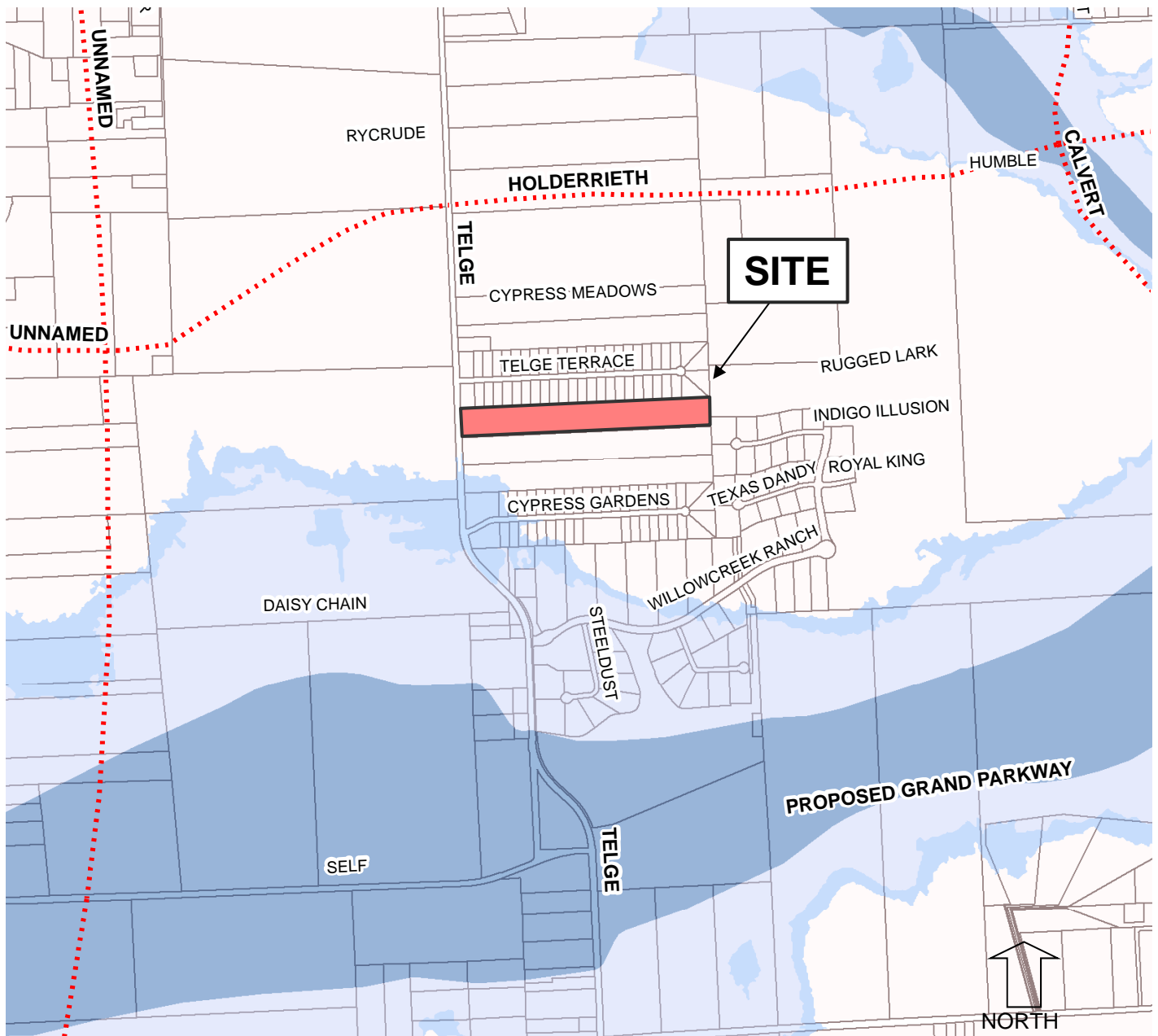
# Houston Planning Commission    ITEM: 101

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: AME Business Park

Applicant: The Ephemeral Surveying Company



**D – Variances**

**Site Location**



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# Houston Planning Commission    ITEM: 101

Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: AME Business Park

Applicant: The Ephemeral Surveying Company



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**D – Variances**

**Aerial**

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**Application Number:** 2015-0775

**Plat Name:** AME Business Park

**Applicant:** The Ephemeral Surveying Company

**Date Submitted:** 04/17/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

This property is accessed and will continue to be accessed by a private drive, not a local street, therefore, Chapter 42 Reference 143.1 should not apply.

**Chapter 42 Section: 128**

**Chapter 42 Reference:**

Sec. 42-128. Intersections of local streets. (a)(1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1400 feet; or

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The creation of a sixty foot right of way parallel to Telge Road and offset 1400' would serve the public in no form or fashion. Indeed, the public would not even have access to such a right of way as the site is accessed by a private drive, not a public right of way. Furthermore, the creation of such a right of way would effectively bisect this tract of land creating two nine acre tracts, the easternmost of which would not have access to a public right of way.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The circumstances of the variance request are due to a difference of opinion in interpretation of the Chapter 42 rules of what is and is not a private drive. There is no hardship created or imposed by the applicant.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purposes of this chapter will be preserved and maintained as the request is not adverse to the rules.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The public health, safety or welfare will not be affected in the remotest sense as the request is not adverse to the rules of Chapter 42.

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is not a justification of consideration.



# Houston Planning Commission    ITEM: 102

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Bell Hutchins

Applicant: Precision Land Surveying



**D – Variances**

**Site Location**

# Houston Planning Commission ITEM: 102

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Bell Hutchins

Applicant: Precision Land Surveying



D – Variances

Subdivision

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# Houston Planning Commission    ITEM: 102

Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Bell Hutchins

Applicant: Precision Land Surveying

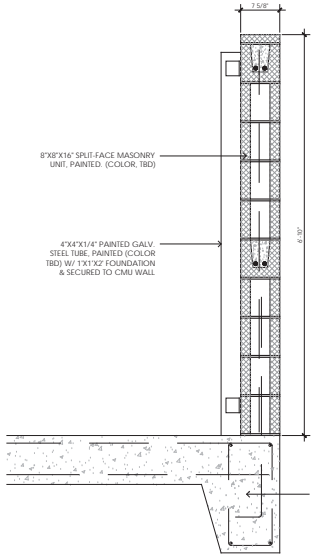


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**D – Variances**

**Aerial**

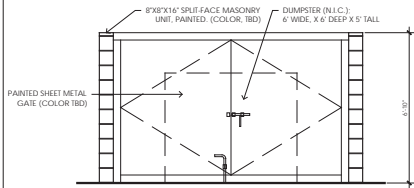
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SCREEN WALL SECTION

1" = 1'-0"

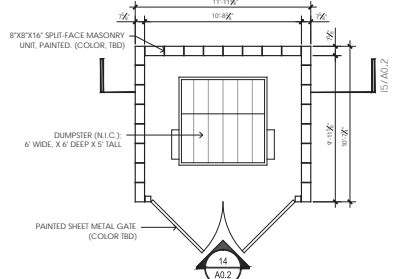
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DUMPSTER SCREEN WALL - ELEV.

3/8" = 1'-0"

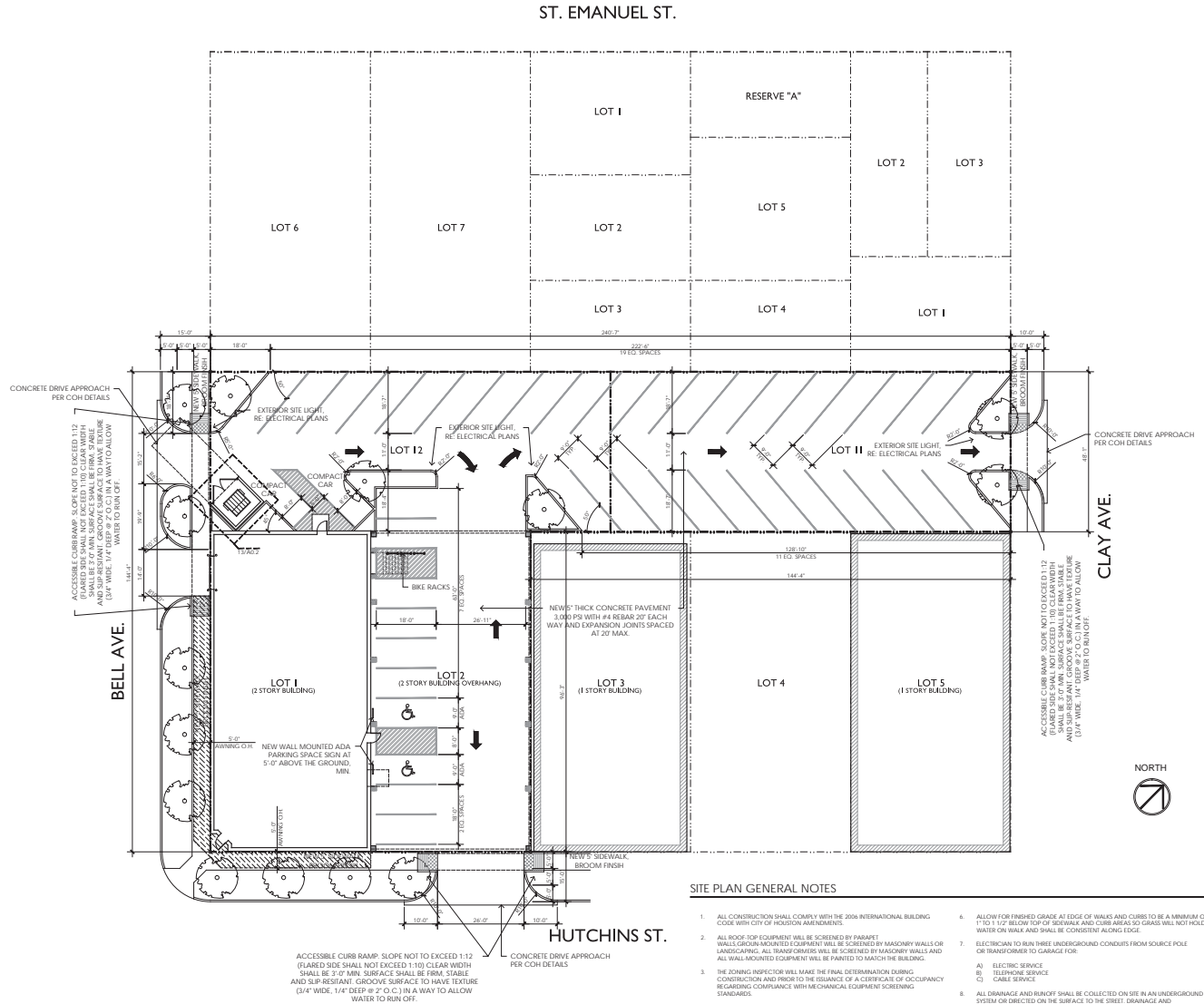
14



DUMPSTER SCREEN WALL - PLAN

1/4" = 1'-0"

13



SITE PLAN GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2006 INTERNATIONAL BUILDING CODE WITH CITY OF HOUSTON AMENDMENTS.
2. ALL ROOF TOP EQUIPMENT WILL BE SCREENED BY PARAPET WALLS. GROUND MOUNTED EQUIPMENT WILL BE SCREENED BY MASONRY WALLS OR LANDSCAPING. ALL TRANSFORMERS WILL BE SCREENED BY MASONRY WALLS AND ALL WALL MOUNTED EQUIPMENT WILL BE PAINTED TO MATCH THE BUILDING.
3. THE ZONING INSPECTOR WILL MAKE THE FINAL DETERMINATION DURING CONSTRUCTION AND PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY REGARDING COMPLIANCE WITH MECHANICAL EQUIPMENT SCREENING STANDARDS.
4. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
5. GRADE SURFACE TO INSURE AREA DRAIN AWAY FROM STRUCTURES AND TO PREVENT FLOODING AND POCKETING OF SURFACE DRAINAGE SPREAD AND AVERAGE 1/4\"/>
6. ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1\"/>
7. ELECTRICIAN TO RUN THREE UNDERGROUND CONDUITS FROM SOURCE POLE OR TRANSFORMER TO GARAGE FOR:  
A) ELECTRIC SERVICE  
B) TELEPHONE SERVICE  
C) CABLE SERVICE
8. ALL DRAINAGE AND RUNOFF SHALL BE COLLECTED ON SITE IN AN UNDERGROUND SYSTEM OR DIRECTED ON THE SURFACE TO THE STREET. DRAINAGE AND RUNOFF ARE NOT ALLOWED TO BE DIRECTED ONTO ADJACENT PROPERTIES. SEE SWALE DETAIL. DRAIN PIPING TO BE SCH. 40 P.V.C. FOR E.C. WHEN AREA GRABS.
9. ALL NEW TRAFFIC LINES & ZONE MARKING PAINT, PITTSBURGH WHITE 11.79P.
10. PROVIDE 40\"/>

SITE PLAN - NEW

1/16" = 1'-0" 01

REVISIONS	
NO.	DATE
02/28/15	ISSUED FOR PRICING
04/10/15	ISSUED FOR PERMIT

ROBINSON ARCHITECTURE WORKSHOP  
ARCHITECTURE / PLANNING / URBAN DESIGN

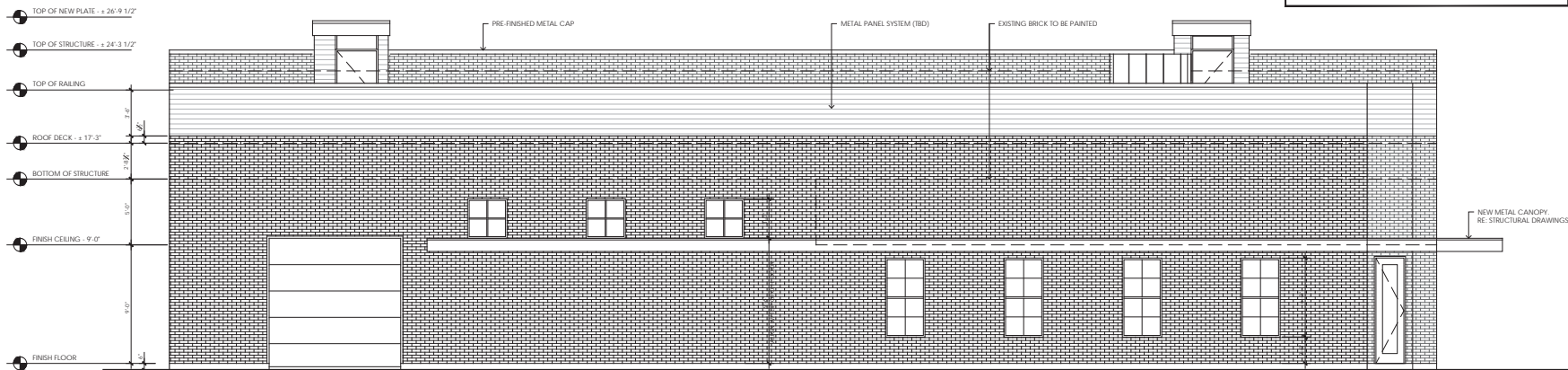


2514 ELMEN STREET  
HOUSTON, TEXAS 77019  
ph: 713.907.8241

LESCO ARCHITECTURAL  
LIGHTING  
1420 HUTCHINS ST.  
HOUSTON, TEXAS 77003

PROJECT # RAW14002	
DATE: FEBRUARY 28, 2015	
DRAWN: BB	CHECKED: DD
SITE PLAN NEW	
SHEET NO.	
A0.2	

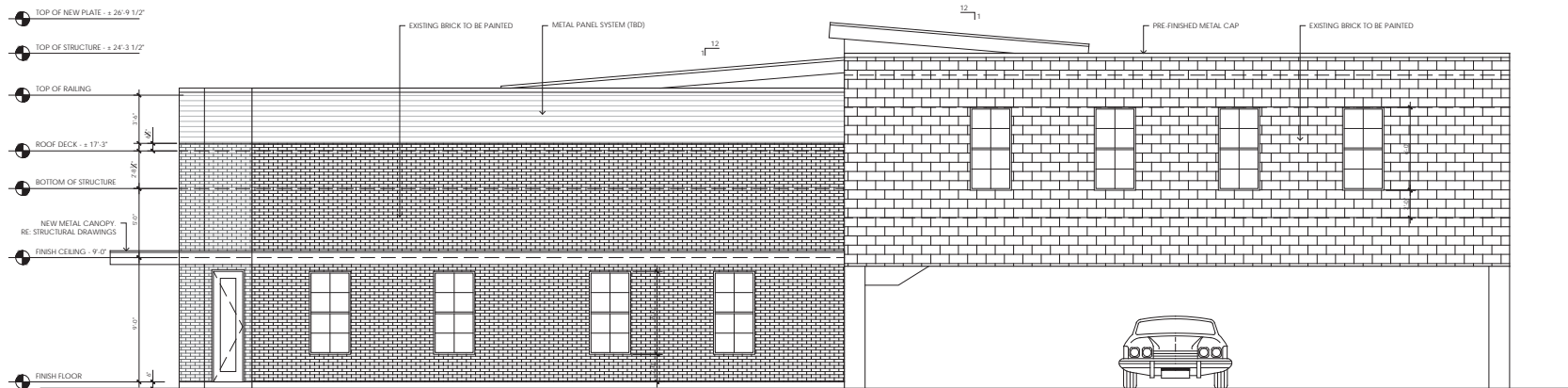




EXTERIOR PAINT SPECIFICATION:  
SHERWIN WILLIAMS - TBD

SOUTH ELEVATION

1/4" = 1'-0" 03



EAST ELEVATION

1/4" = 1'-0" 01

REVISIONS	
NO.	DATE
02/28/15	ISSUED FOR PERMIT
04/10/15	ISSUED FOR PERMIT

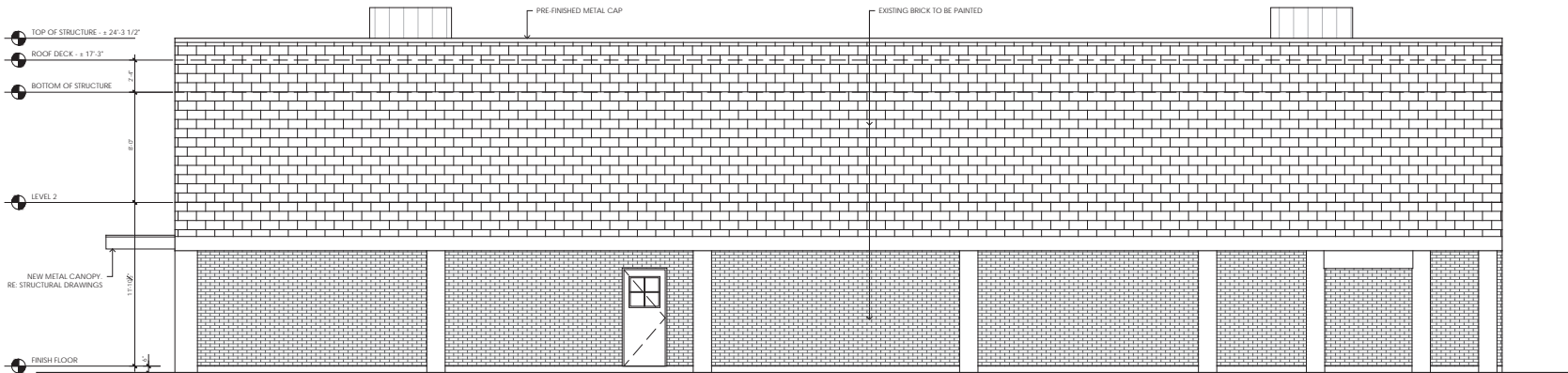
ROBINSON ARCHITECTURE WORKSHOP  
ARCHITECTURE / PLANNING / URBAN DESIGN  
2514 ELMEN STREET  
HOUSTON, TEXAS 77019  
ph: 713.907.8241



LESCO ARCHITECTURAL  
LIGHTING  
1420 HUTCHINS ST.  
HOUSTON, TEXAS 77003

PROJECT # RAN14003	
DATE: FEBRUARY 28, 2015	
DRAWN: BB	CHECKED: DD
BUILDING ELEVATIONS	
SHEET NO.	
A2.1	

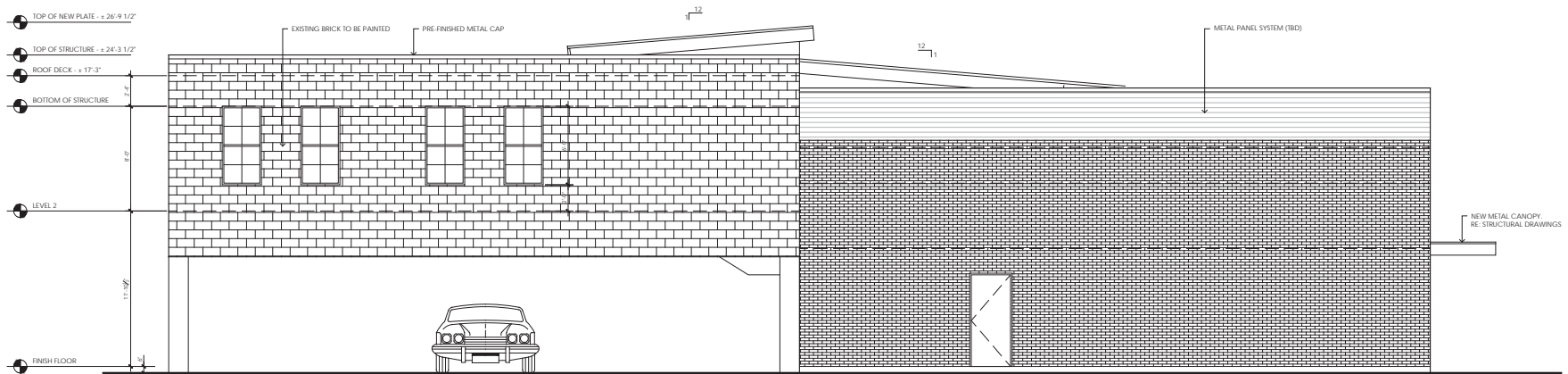




EXTERIOR PAINT SPECIFICATION:  
SHERWIN WILLIAMS - TBD

NORTH ELEVATION

1/4" = 1'-0" 03



WEST ELEVATION

1/4" = 1'-0" 01

REVISIONS

NO.	DATE
02/28/15	ISSUED FOR PRICING
04/10/15	ISSUED FOR PERMIT

ROBINSON ARCHITECTURE WORKSHOP  
ARCHITECTURE / PLANNING / URBAN DESIGN

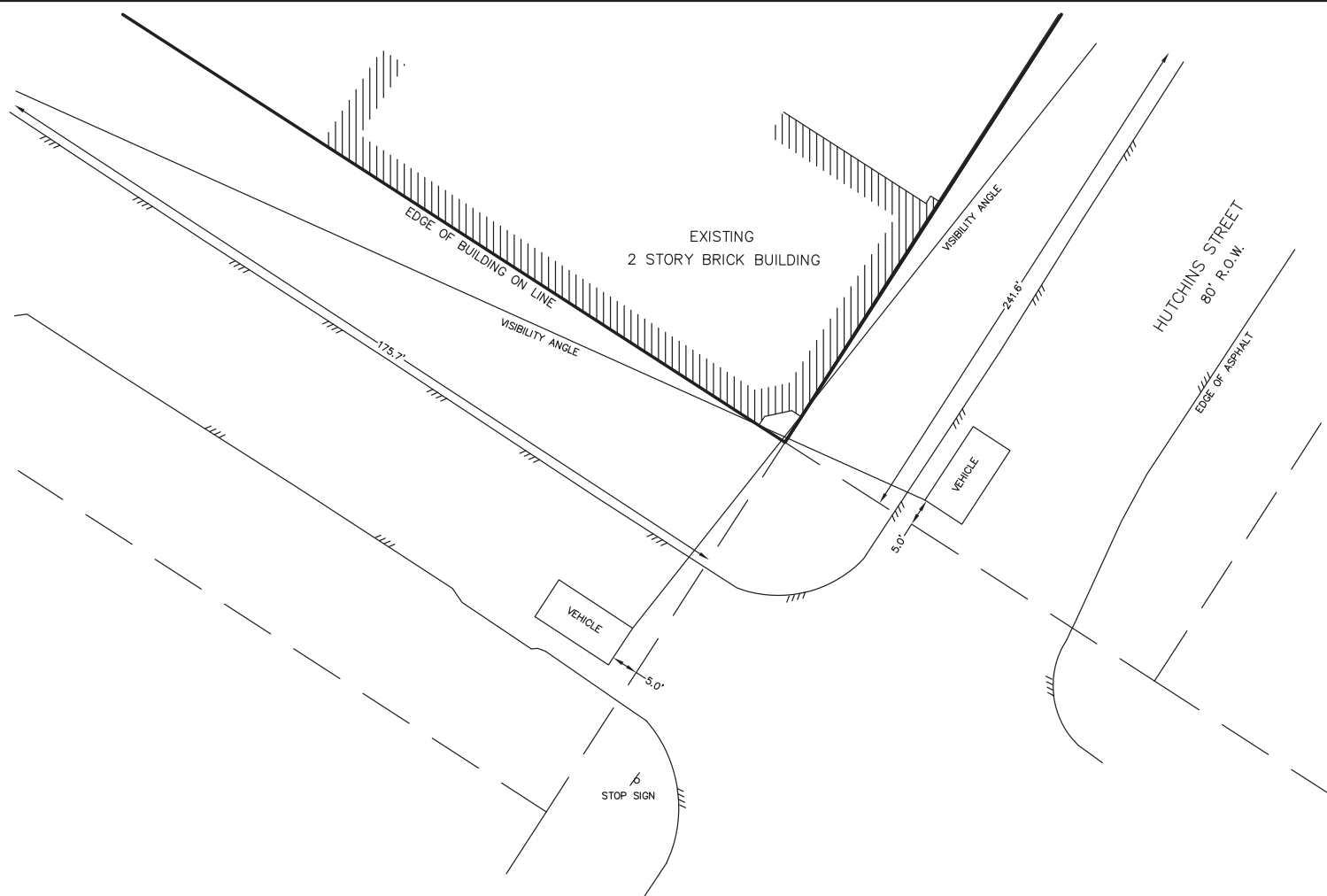


2514 ELMEN STREET  
HOUSTON, TEXAS 77019  
ph: 713.907.8241

LESCO ARCHITECTURAL  
LIGHTING  
1420 HUTCHINS ST.  
HOUSTON, TEXAS 77003

PROJECT # RAW14002  
DATE: FEBRUARY 28, 2015  
DRAWN: BB CHECKED: DD  
BUILDING  
ELEVATIONS  
SHEET NO.

A2.2



VISIBILITY ANGLE EXHIBIT  
AT  
BELL AVENUE AND HUTCHINS STREET  
HARRIS COUNTY, TEXAS

*Precision Land Surveying, Inc.*

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901 Rhode Place, Suite 100  
Houston Texas 77019  
(713) 862-8862  
Texas Firm No. 10122000

14037-06  
APRIL 2015

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**Application Number:** 2015-0654

**Plat Name:** Bell Hutchins

**Applicant:** Precision Land Surveying

**Date Submitted:** 03/23/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

The building line requirement for a property used or to be used for other than single-family residential purposes adjacent to a street that is not a major thoroughfare. This variance is requested in respect to the right-of-way lines of Bell Avenue and Hutchins Street.

**Chapter 42 Section: 156**

**Chapter 42 Reference:**

Sec. 42-155. Collector and local streets--Uses other than single-family residential. (a) The building line requirement for a tract used or to be used for other than single-family residential purposes adjacent to a street that is a collector street or local street that is not an alley shall be ten feet unless otherwise required or authorized by this chapter.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

There is an existing building on this site that extend, generally to the right-of-way lines of Bell Avenue and Hutchins Street. The proposed improvements are mostly interior in nature. In order to comply with a building lines on these streets would necessitate razing the building, which is impractical. The applicant is desirous of installing a canopy to the building along Hutchins Street to improve public access to the existing building by providing shelter to the weather. The canopy along Hutchins Street will be 45-feet long along the length of the existing building and be 5-feet wide. The canopy along Bell Avenue will be 75-feet long and 5-feet wide. The applicant is also desirous of installing a railing on top of the existing parapet.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The buildings were built in 1947 by a previous owner and have existed in their location for many years.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purposed of this chapter will be preserved and maintained in that this is an isolated situation. It should not have any effect on the chapter

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The existing building has been in existence for many years and has not been injurious to the public health, safety or welfare. In fact, it will be an amenity in that it will provide shelter from the elements.

**(5) Economic hardship is not the sole justification of the variance.**

The existing building has been in existence for many years and has not been injurious to the public health, safety or welfare.



**Application Number:** 2015-0654

**Plat Name:** Bell Hutchins

**Applicant:** Precision Land Surveying

**Date Submitted:** 03/23/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

The building line for property adjacent to two intersection streets shall not encroach into any visibility triangle. This variance is requested for the intersection of Bell Avenue with Hutchins Street.

**Chapter 42 Section: 161**

**Chapter 42 Reference:**

Sec. 42-161. Visibility triangles. The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle, the triangular area adjacent to the intersection of any street established by measuring a distance of 15 feet from the point of intersection of two streets along the right-of-way of each of the intersecting streets and connecting the ends of each measured distance, to assure adequate visibility sight lines for vehicular traffic approaching the intersection.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The building was built by a previous owner many years ago, prior to the existence of visibility triangles. In order to comply with this section the existing building would have to be razed, which is impractical.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The building was built in 1947 by a previous owner many years ago, prior to the existence of visibility triangles. Refer to visibility exhibit.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purposed of this chapter will be preserved and maintained in that this is an isolated situation. It should not have any effect on the chapter

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The existing building has been in existence for many years and has not been injurious to the public health, safety or welfare.

**(5) Economic hardship is not the sole justification of the variance.**

The existence of this building was caused by a previous owner many years ago.

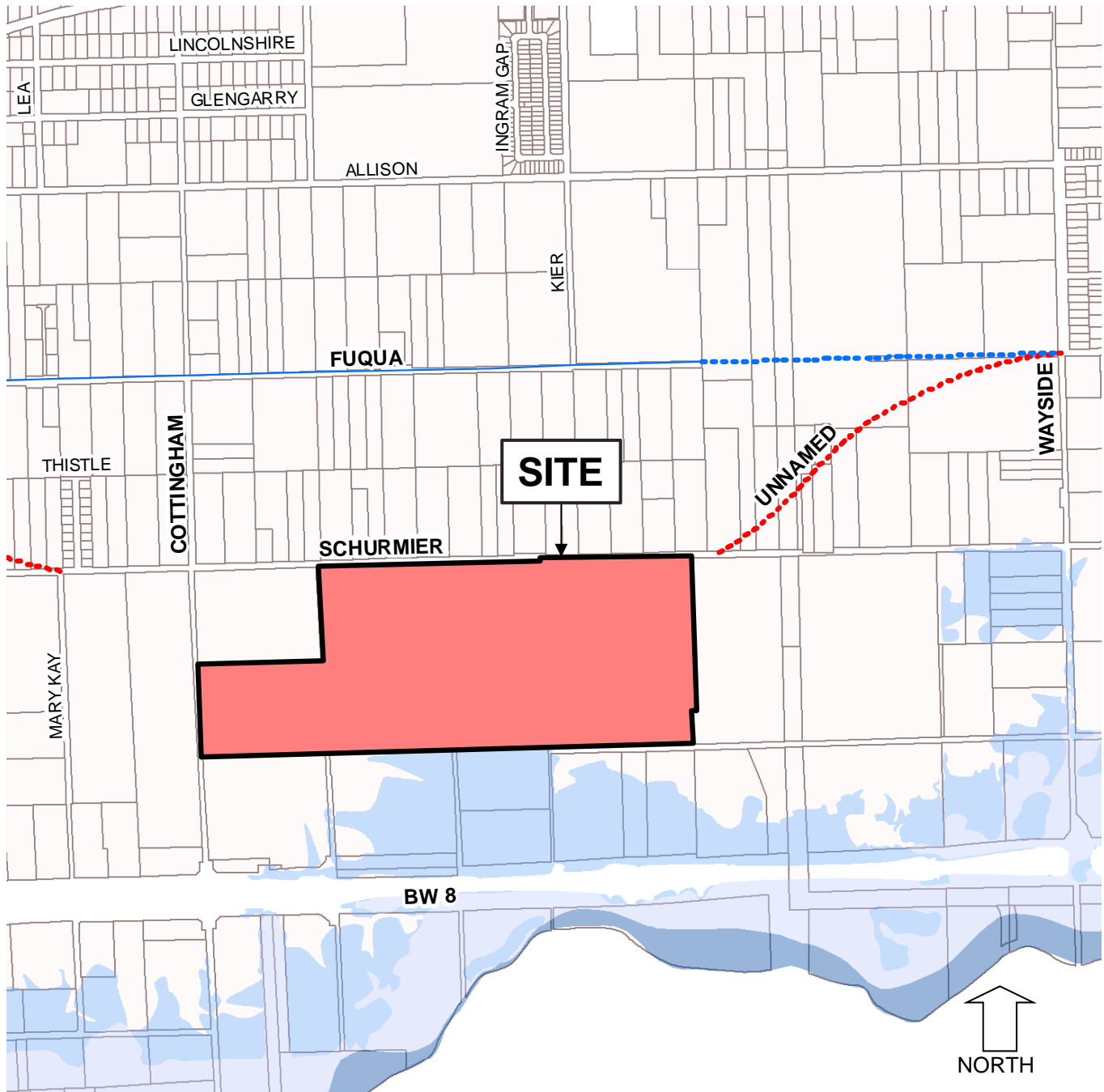
# Houston Planning Commission    ITEM: 103

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Brookside GP (DEF 2)

Applicant: LJA Engineering, Inc.



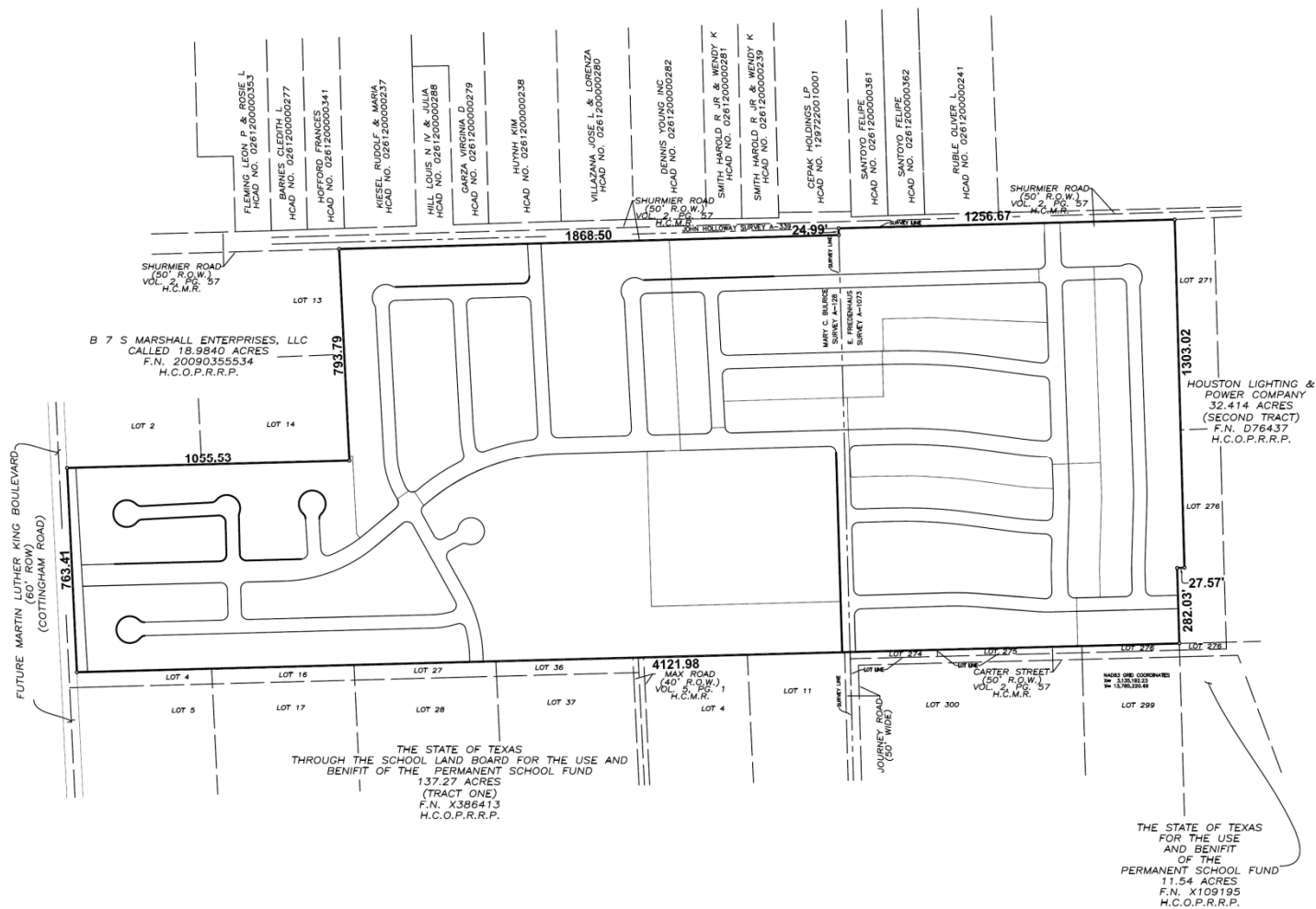
**D – Variances**

**Site Location**



**Meeting Date: 04/30/2015**

**Applicant: LJA Engineering, Inc.**



## Subdivision

# Houston Planning Commission ITEM: 103

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Brookside GP (DEF 2)

Applicant: LJA Engineering, Inc.



D – Variances

Aerial



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**Application Number:** 2015-0536

**Plat Name:** Brookside GP

**Applicant:** LJA Engineering, Inc.- (West Houston Office)

**Date Submitted:** 03/09/2015

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**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Allow block length to exceed 1400' along the southern boundary from the proposed street that lines up with Journey Road to South Wayside.

**Chapter 42 Section: 128(1)**

**Chapter 42 Reference:**

Sec. 42-128. Intersections of local streets. (a) Each class III plat and each general plan that shows local streets shall provide for internal circulation by meeting either of the following requirements: (1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1400 feet;

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land;**  
**OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

Brookside General plan is a 130 acre single-family project inside the city limits and is bounded by Cottingham (future MLK) to the west and Schurmier to the north. Beltway 8 is just south of this proposed general plan. The southern boundary is 4121' in length and there are two proposed north/south streets along with the existing Cottingham (Future Martin Luther King) on the west end. The three streets provides the proposed general plan north/south streets less than 1400' apart. The north/south street that lines up with Journey road on the southern boundary of the GP is 1200' from the eastern boundary of the plan. The eastern boundary of the GP is about 3200' from South Wayside thereby possibly requiring an additional street in the GP boundary. Strict application of this requirement is unnecessary because the GP is served by three north/south streets. The general plan has very good access, drainage, and open space.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The circumstances supporting the variance is not the result of a hardship created by the client. The plats that comprise the general plan will be replat of the Minnetex Place Subdivision. We are lining up with Journey Road to the south and have provided two north/south streets and will provide widening for future MLK. The general plan can not control where the next street is located. South Wayside is about 3200' from our eastern boundary thereby creating "a window" in which a third street could be required. It is the developer's intention to address the possible block length issue at the General plan stage so that preliminary plats can be designed with more confidence that no street pattern changes will be required.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purposes of this chapter will be preserved and maintained as there are two proposed north/south streets on the property that run from Schurmier to the southern boundary of the plat. There is one east/west street that runs from future MLK to the eastern plat boundary. MLK does provide the general plan access to Beltway 8. The requested variance is so that the general plan does not have to dedicate an additional ROW on the east boundary because of its proximity to

South Wayside.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance will not be injurious to public health or safety as the general plan provides good access to Schurmier, future MLK, and ultimately Beltway 8. Planning Staff requested that we tie the proposed north/south street to Journey Road on the south which was dedicated by the Minnetex Place plat. The granting of this variance will allow the project to provide future residents with on-site detention and open space to enjoy.

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is not the sole justification of the variance but rather a third street is not necessary as there are two dedicated streets and a third street ROW that is existing (future MLK). Chapter 42 requires that good vehicular access be required of all projects and that is what is being provided.



# Houston Planning Commission

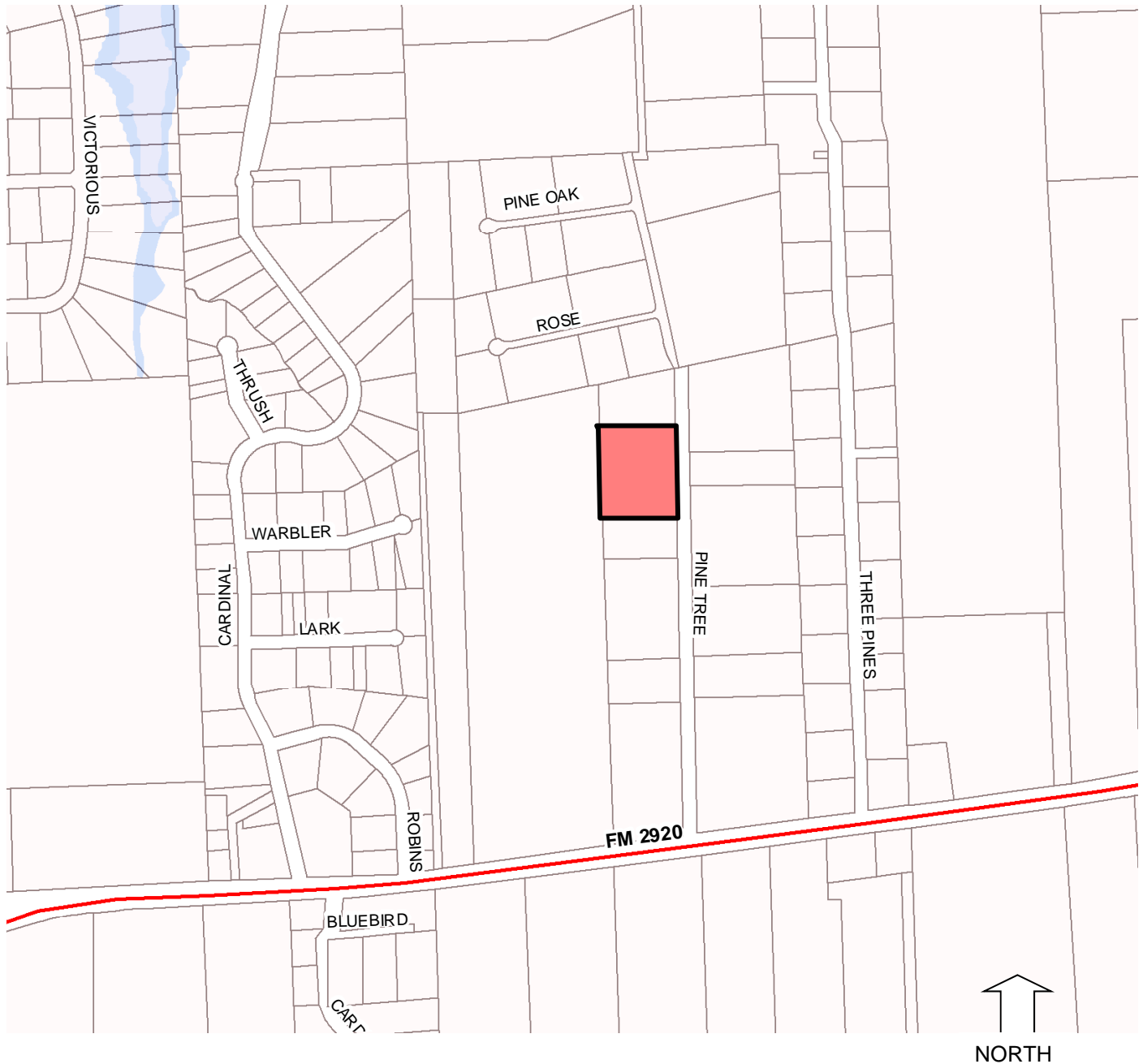
**ITEM: 104**

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name: Cathy Acres**

**Applicant: Robinson Surveying Inc.**



**D – Variances**

**Site Location**



# Houston Planning Commission

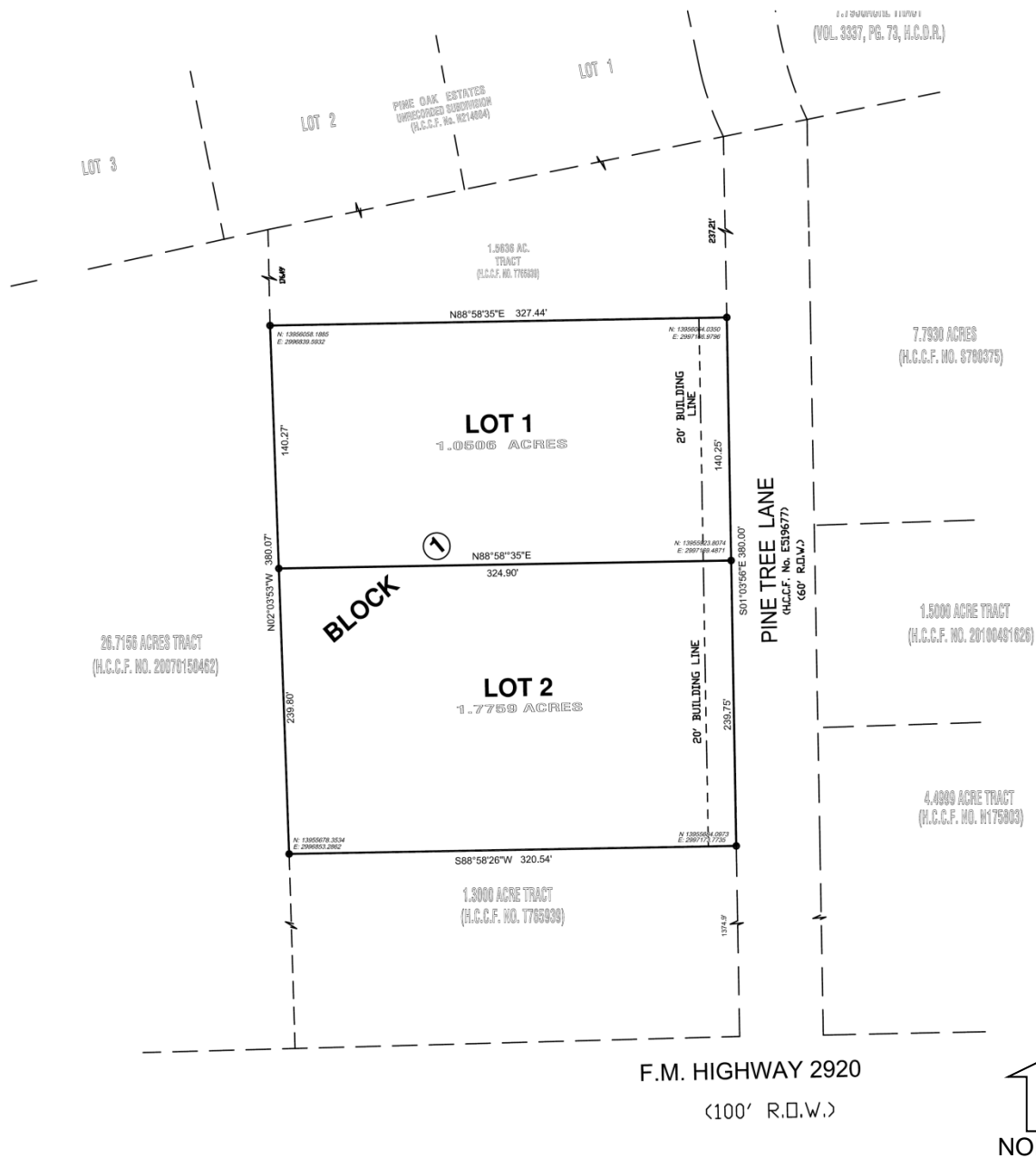
## ITEM: 104

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Cathy Acres

Applicant: Robinson Surveying Inc.



D – Variances

Subdivision

# Houston Planning Commission

ITEM: 104

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Cathy Acres

Applicant: Robinson Surveying Inc.



D – Variances

Aerial



**Application Number:** 2015-0667

**Plat Name:** Cathy Acres

**Applicant:** Robinson Surveying Inc.

**Date Submitted:** 04/03/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

To exceed the 1400' block length requirement by not providing an east west street

**Chapter 42 Section:** 42-128

**Chapter 42 Reference:**

Sec. 42-128. Intersections of local streets. (a) Each class III plat and each general plan that shows local streets shall provide for internal circulation by meeting either of the following requirements: (1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1400 feet;

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

THE OWNER HAD NO IDEA CITY OF HOUSTON ETJ COULD REACH ALL THE WAY INTO THE WALLER / MONTGOMERY COUNTY LINE WHEN THEY STARTED THE PROJECT....SINCE THEN THEY HAVE HIRED A BUILDER, PAID FOR PLANS, CLEARED THE HOMESITE AND THEN FOUND OUT WHEN GOING TO GET A PERMIT THAT THEY NEEDED TO PLAT THE PROPERTY SINCE IT WAS BEING SPLIT INTO TWO LOTS AND ULTIMATELY FOUND OUT THROUGH THE PLATTING PROCESS THAT THEY MAY NEED TO PUT A ROAD IN BECAUSE OF A ETJ RULE. MR. AND MRS ABRUSCATO RETIRED HERE AS IT WAS SECLUDED AND NO TRAFFIC ON THIS ROAD OTHER THAN THE FEW RESIDENTS. THE COST OF HAVING TO PUT A R.O.W. WITH UTILITIES WOULD BUST THEIR BUDGET FOR THE PROJECT AS THEY ARE ON A FIXED INCOME AND BEGAN THE PROJECT AS A WAY OF DOWNSIZING AND BUILDING A MORE ENERGY EFFICIENT HOME FOR RETIREMENT AND THEY DO NOT HAVE THE ADDITIONAL MONEY IT WOULD TAKE TO DO A RIGHT OF WAY ON THEIR SMALL TRACT AND WOULD HAVE TO ABANDON PROJECT FOR FINANCIAL REASONS AS WELL AS DECREASING THE VALUE OF THE PROPERTY. THE PROPERTY BEHIND THE ABRUSCATO'S IS A 26 ACRES TRACT THAT ADJOINS THEM AND F.M. 2920. THE OWNER OF THE 26 ACRES TO THE WEST ALSO OWNS THE TRACT DIRECTLY TO THE NORTH, BUYING IT TO HAVE ACCESS TO THE 26 ACRES TRACT IN THE FUTURE. IT IS MY OPINION THAT TAKING THE RIGHT OF WAY ON THE PROPERTY TO THE NORTH WOULD MAKE MORE SENSE THAN ASKING THE ABRUSCATOS TO DO IT AS THE LAND WAS PURCHASED TO ACCESS THE 26 ACRES IF THE OWNERS DECIDED TO SUBDIVIDE IN THE FUTURE.

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

THE ABRUSCATO'S HAVE A TWO ACRE TRACT THEY ARE DIVIDING AND ARE REQUIRED TO HAVE AT LEAST AN ACRE FOR THE NEW LOT. ADDING THE R.O.W. AND A NEW BUILDING LINE FROM THE NEW RIGHT OF WAY WOULD SHIFT THE PROPOSED HOUSE TO FAR TO THE SOUTH TOWARD THE EXISTING HOUSE. THE HOUSES WOULD BE TOO CLOSE TOGETHER AND WOULD TAKE AWAY THE PRIVACY THEY WANT BEING IN A RURAL AREA. THERE IS NO PRACTICAL REASON TO DO A RIGHT OF WAY INTO THEIR PROPERTY OTHER THAN TO ACCESS THE PROPERTY BEHIND THEM. THE PROPERTY BEHIND THEM IS A 26 ACRE TRACT THAT HAS FRONTAGE ON F.M. 2920 AND IS JOINED BY THE PROPERTY TO THE NORTH OF THEM THAT WAS BOUGHT FOR ACCESS TO THE 26 ACRES AND F.M. 2920.. SO KIN YU IS THE OWNER AND THE TRACTS ARE SHOWN IN THE ATTACHED HCAD MAP BY A RED "X"



**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

THE OWNER IS TRYING TO ADD ANOTHER HOUSE NEXT TO HIS OTHER HOUSE AND DIDN'T KNOW ABOUT A THE RULE FOR PUTTING IN A NEW STREET AT A CERTAIN DISTANCE. THE OWNER SAYS THAT THE OWNER TO THE NORTH PURCHASED THEIR PROPERTY TO ACCESS THE PROPERTY BEHIND THAT THEY OWN WHICH SEEMS TO TAKE CARE OF THE RIGHT OF WAY ISSUE AS THEY PLAN TO DO A ROAD ON THIS PROPERTY IN THE FUTURE.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

THE PROPERTY WILL FOLLOW ALL OTHER CITY OF HOUSTON ETJ REQUIREMENTS, HOWEVER, HE WOULD ASK THAT THE ONE PERTAINING TO THE R.O.W. ADDITION BE EXCLUDED AND THE PROPERTY THAT IS BEHIND HIM WOULD NOT NEED A RIGHT OF WAY FOR ACCESS AS IT FRONTS ON F.M. 2920.AND COULD BE ACCESSED THROUGH THE 1.5 ACRES TRACT TO THE NORTH WHICH IS OWNED BY THE SAME FOLKS.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

PROPERTY WILL BE NO DIFFERENT THAN ALL THE OTHER TRACTS THAT HAVE ACCESS FROM PINE TREE LANE AND EVENTUALLY A ROAD CAN BE DONE TO THE NORTH OF THE ABBRUSCATOS WHEN THE PROPERTY BEHIND IS SUBDIVIDED. THE ONLY CHANGE IS THERE WILL BE ONE ADDITIONAL HOUSE ON PINE LANE WHICH WILL CREATE MINIMAL TRAFFIC INCREASE ON THIS ROAD.

**(5) Economic hardship is not the sole justification of the variance.**

WOULD DENY MR. ABBRUSCATO PRIVACY WHICH IS THE REASON THEY BOUGHT THE PROPERTY. HAVING TO MOVE THE PROPOSED HOUSE TO THE SOUTH TO ACCOMMODATE THE WIDTH OF THE NEW RIGHT OF WAY AND BUILDING LINE WOULD PUT THE PROPOSED HOUSE VERY CLOSE TO THE EXISTING HOUSE AND THE PROPERTY TO THE NORTH WOULD BE THE PROPERTY FOR THE ROAD AS THE OWNERS BOUGHT THE TRACT TO ACCESS THE 26 ACRES BEHIND AND F.M.2920.

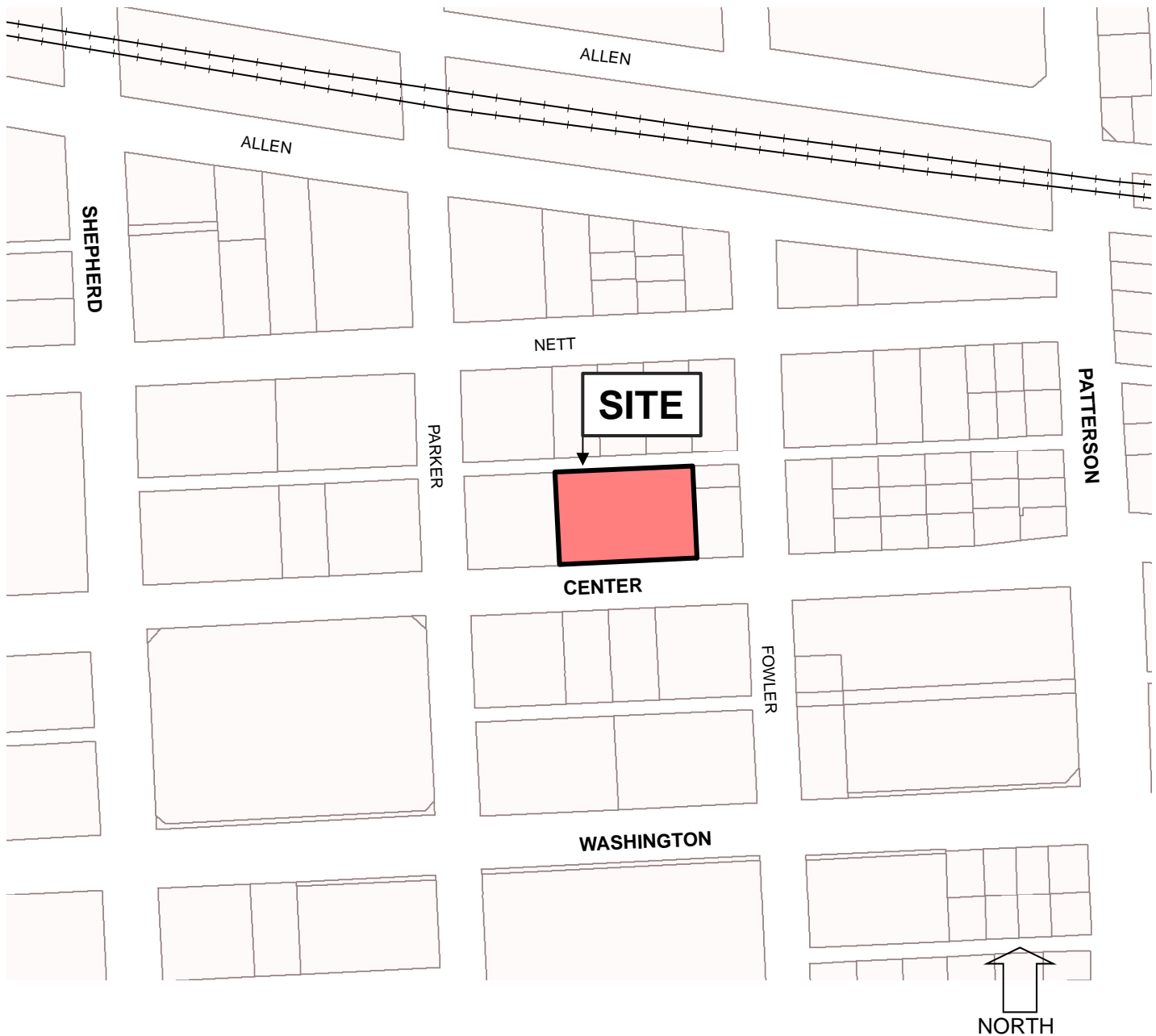
# Houston Planning Commission    ITEM: 105

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Center City Views

Applicant: The Interfield Group



**D – Variances**

**Site Location**



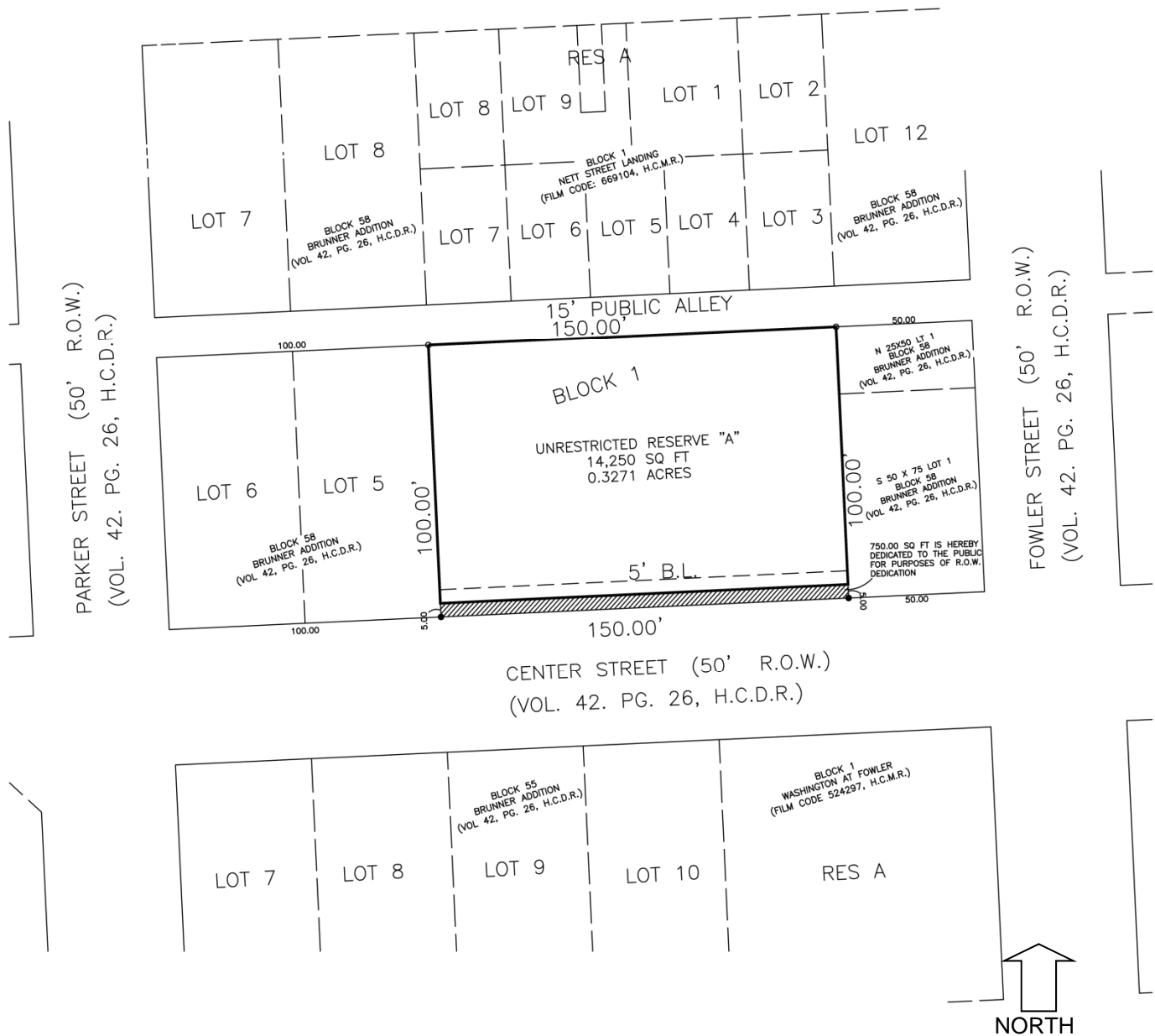
# Houston Planning Commission ITEM: 105

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Center City Views

Applicant: The Interfield Group



D – Variances

Subdivision

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# Houston Planning Commission    ITEM: 105

Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Center City Views

Applicant: The Interfield Group



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**D – Variances**

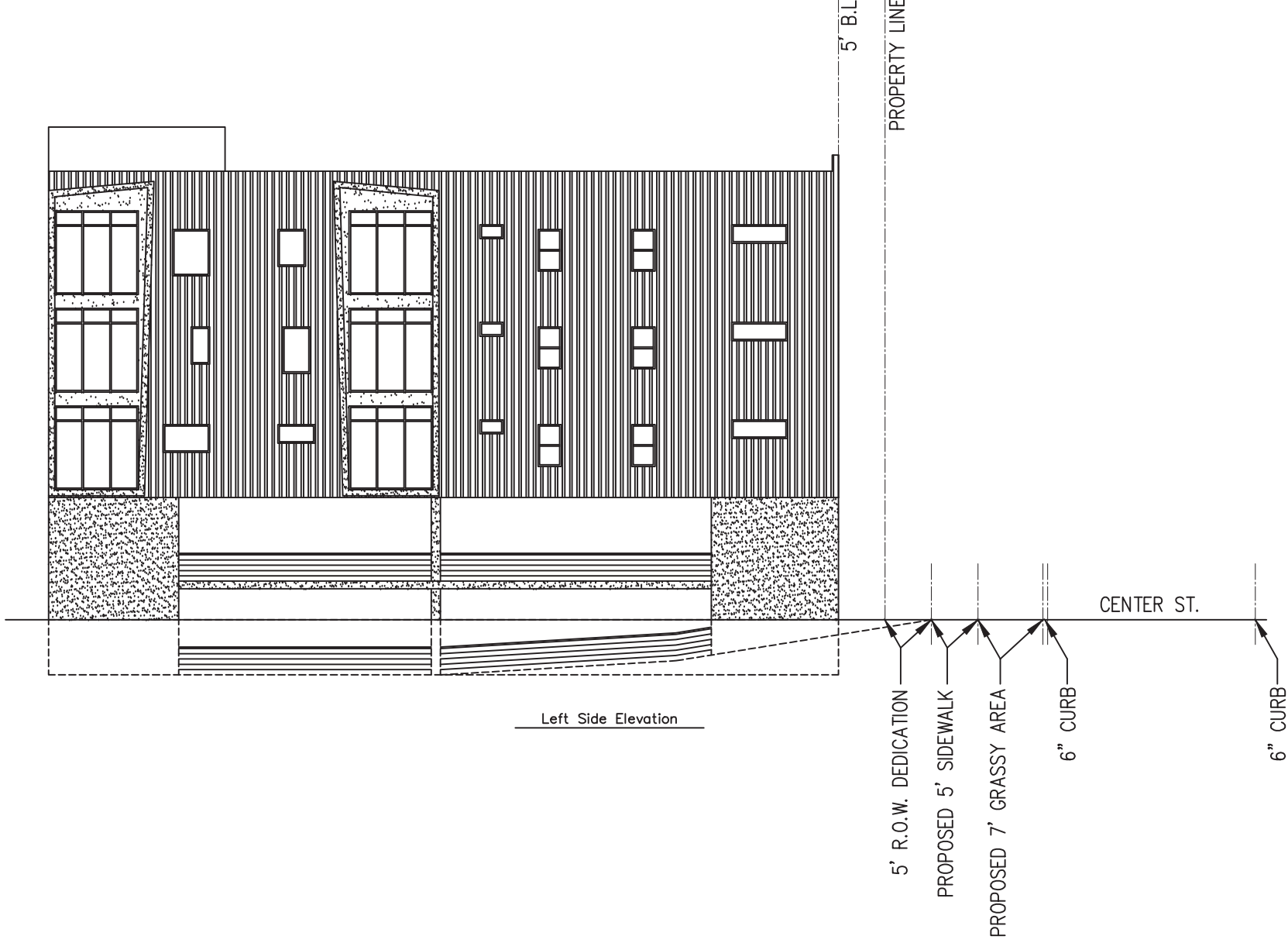
**Aerial**

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**(A) CENTER ST. LEFT ELEVATION**

SCALE: 1/16"=1'-0"



**THE INTERFIELD GROUP**  
ARCHITECTURE / PLANNING / ENGINEERING

401 STUDEWOOD, SUITE 300  
HOUSTON, TEXAS 77007  
TEL. (713) 780-0909  
TBAE REG. NO. F-5611  
TBAE REG. NO. BR741



TITLE  
**PROPOSED ELEVATIONS**

PROJECT  
**CENTER CITY VIEWS**

DATE: 04/16/15 JOB #: 15045.00

DRAWN BY: RA

CHECKED BY: MFQ

SHEET NO.

1





**Application Number:** 2015-0859

**Plat Name:** Center City Views

**Applicant:** The Interfield Group

**Date Submitted:** 04/20/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Specific variance is being sought and extent of variance is to allow a reduced building line of 5' along Center Street.

**Chapter 42 Section:** 150

**Chapter 42 Reference:**

Chapter 42 Reference: 42-150 – Building Line Requirement (d) Local streets Not single-family residential and across the street from a single-family residential lot with a platted building line of 10 feet or more Lesser of 25 feet or the greatest platted building line on the single-family residential Single-family residential 20 feet, if the lot meets the standards of section 42-156(b) 10 feet, if the lot meets the standards of section 42-156(b) or section 42-157(b) 5 feet, if the lot meets the standards of section 42-157(c) zero feet, if the lot meets the standards of section 42-157(d)

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

LKL Center will be located north of Center Street, south of Nett Street, east of Parker Street and west of Fowler Street.

Over the past months, owner has been working closely with his architect, for proposed condominium building. In an initial meeting between City of Houston Permitting Department, architect was informed that Center Street is located within a street width exception area. However, in the process of preparing for plat submittal, we were informed that the City recently adopted a new street classification of Minor Collector in which Center Street is now designated. This new designation causes Center Street to be a planned 60' right-of-way, in turn, requiring a 5' strip (750 SF) to be dedicated by plat, for the widening of Center Street to 60'. An additional 10' setback, from the new right-of-way line would deny owner the reasonable use of subject tract for the proposed development.

There are nearby buildings that still appear to have thriving businesses where the building are setback five (5) feet or less, and constitutes an unusual physical characteristic that affects future plans for Center Street, and, consequently, subject property.

In reviewing the above mentioned developments, as well as others nearby, we were unable to identify a single development nearby where a 5' strip of was dedicated for Center Street widening. The permanent nature of these developments leads us to believe that widening of Center Street in the near future is not likely, and any widening would place these recent developments at a zero lot line, along a Minor Collector. The proposed LKL Center building, being constructed 5' from the new planned 60' width of Center Street, will still be located 10' from the current 50' width of Center Street for the unforeseeable length of time, due to the unknown time and uncertain schedule for the widening.

We are of the opinion that although the above mentioned 5' building lines were approved for townhome developments, LKL Center has a similar condition, in that the entrances will act in the same manner as found in townhome developments, with shared driveways. There will be no direct access of any unit to and from Center Street. Further, LKL Center will have one driveway restricted to entry and one restricted for exit.

We understand that the approvals are reviewed on a case-by-case basis, but the previously approved projects establish a prevailing setback of 5-feet along Center Street, with a strong likelihood that this condition will be in place for a foreseeable future period, due to the permanent nature of these recent projects.



**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

No hardship created or imposed by the applicant is used as a basis to support the request for this variance. Variance request is based on factors external to subject property and to be consistent with recently-developed projects

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purpose of Chapter 42 will be preserved and maintained, due to the following considerations: a. Proposed development will include a 5-foot side walk along Center Street b. Yard between building and right-of-way will be landscaped, and will preserve and enhance the general character of block face.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance will not be injurious to the public health, safety or welfare, on the contrary, will contribute to the beautification of the block face, without any way compromising public health or safety.

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is not the sole justification of the variance, which is being requested on the basis of a reasonable assessment of nearby prevailing conditions and recent previous developments.

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# Houston Planning Commission    ITEM: 106

Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Crescent Island replat no 1partial replat no 2 (DEF2)

Applicant: Tetra Surveys



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**D – Variances**

**Site Location**

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## Subdivision

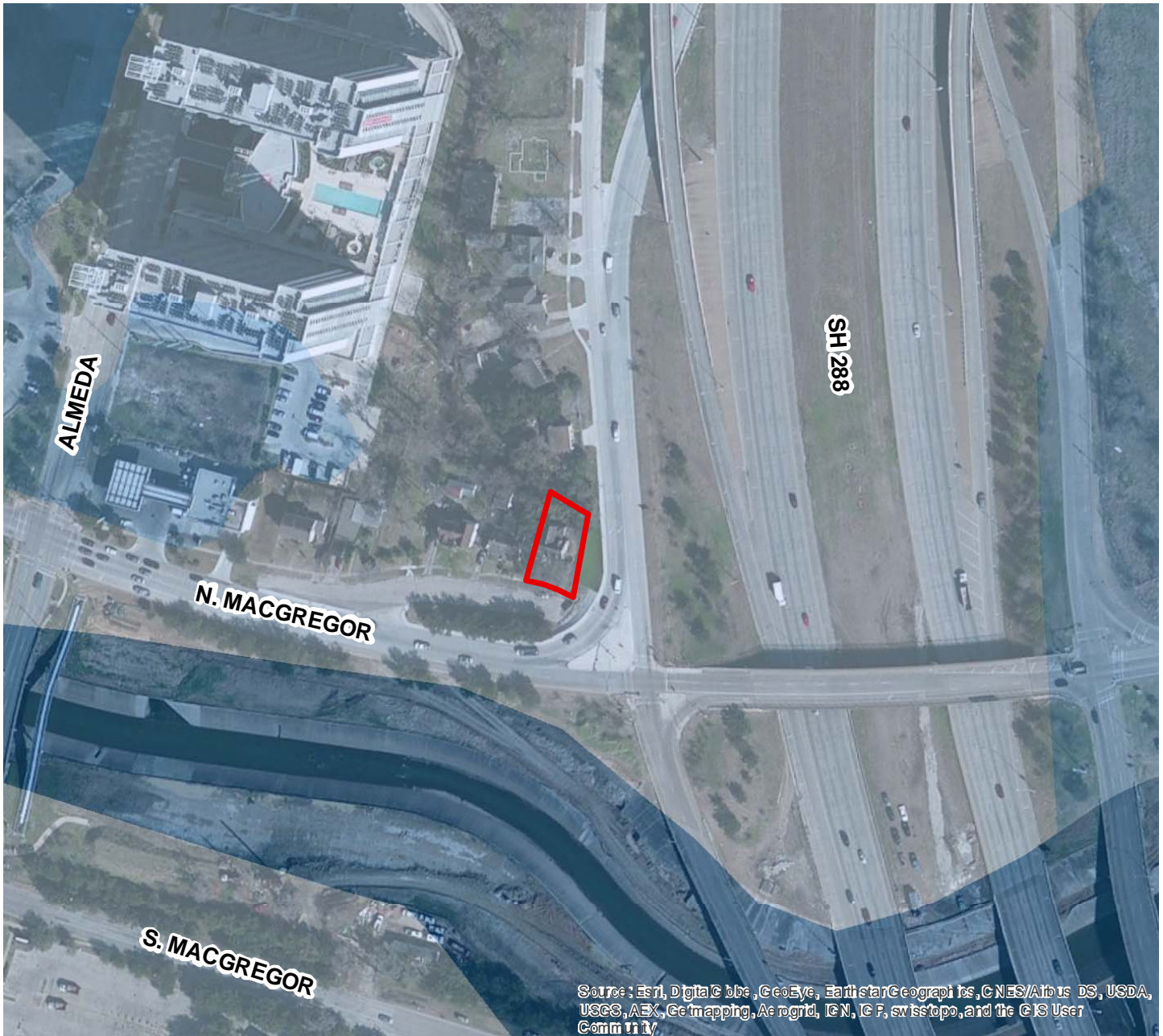
# Houston Planning Commission ITEM: 106

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Crescent Island replat no 1 partial replat no 2 (DEF2)

Applicant: Tetra Surveys



NORTH

D – Variances

Aerial



**Application Number:** 2015-0531

**Plat Name:** Crescent Island replat no 1 partial replat no 2

**Applicant:** Tetra Surveys

**Date Submitted:** 03/09/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

To allow for a reduced building line along North MacGregor.

**Chapter 42 Section:** 42-152

**Chapter 42 Reference:**

Sec. 42-152. Building line requirement along major thoroughfares. (a) The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The site takes it's access from a portion of North MacGregor which is separated from the main lanes by an esplanade, the property is approximately 70 feet from the main lanes of North MacGregor. This portion of North MacGregor is barricaded and serves as access to the main lanes of North MacGregor for the local traffic of the properties fronting on it.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant. It is the unusual physical characteristics that affect this property.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

This portion of North MacGregor is barricaded from accessing Highway 288 and is separated from the main lanes of North MacGregor by an esplanade. Because of this, this portion of North MacGregor serves only the properties fronting it and acts more as a local street than a major thoroughfare.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

Due to the limited access and use of this portion of North MacGregor, granting of the variance will not be injurious to the public health, safety or welfare.

**(5) Economic hardship is not the sole justification of the variance.**

The physical characteristics of this specific site are the justification for granting this variance.



# Houston Planning Commission

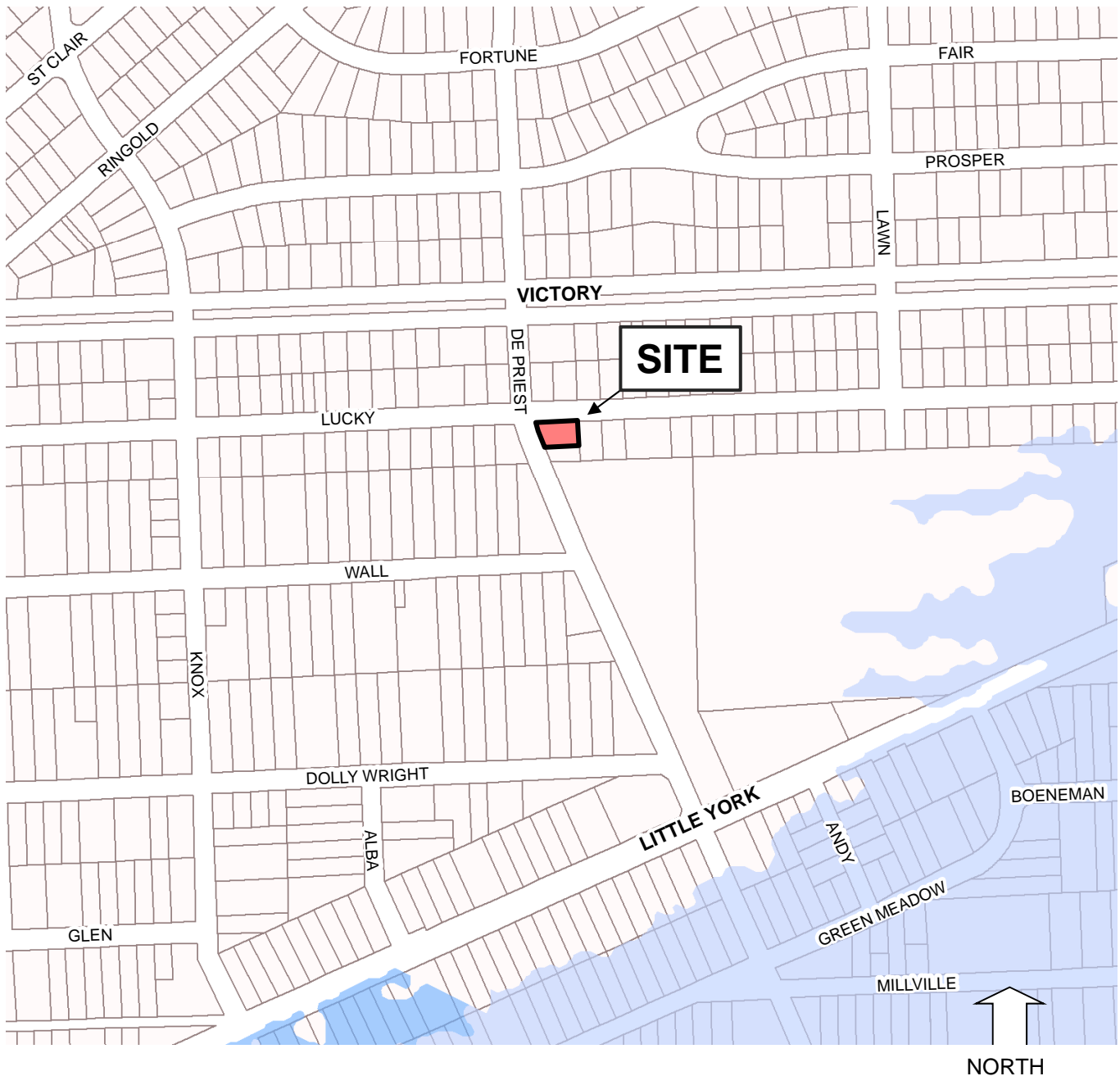
## ITEM:107

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name:**Dwight Place

**Applicant:**AGS Consultants LLC



**D – Variances**

**Site Location**

# Houston Planning Commission

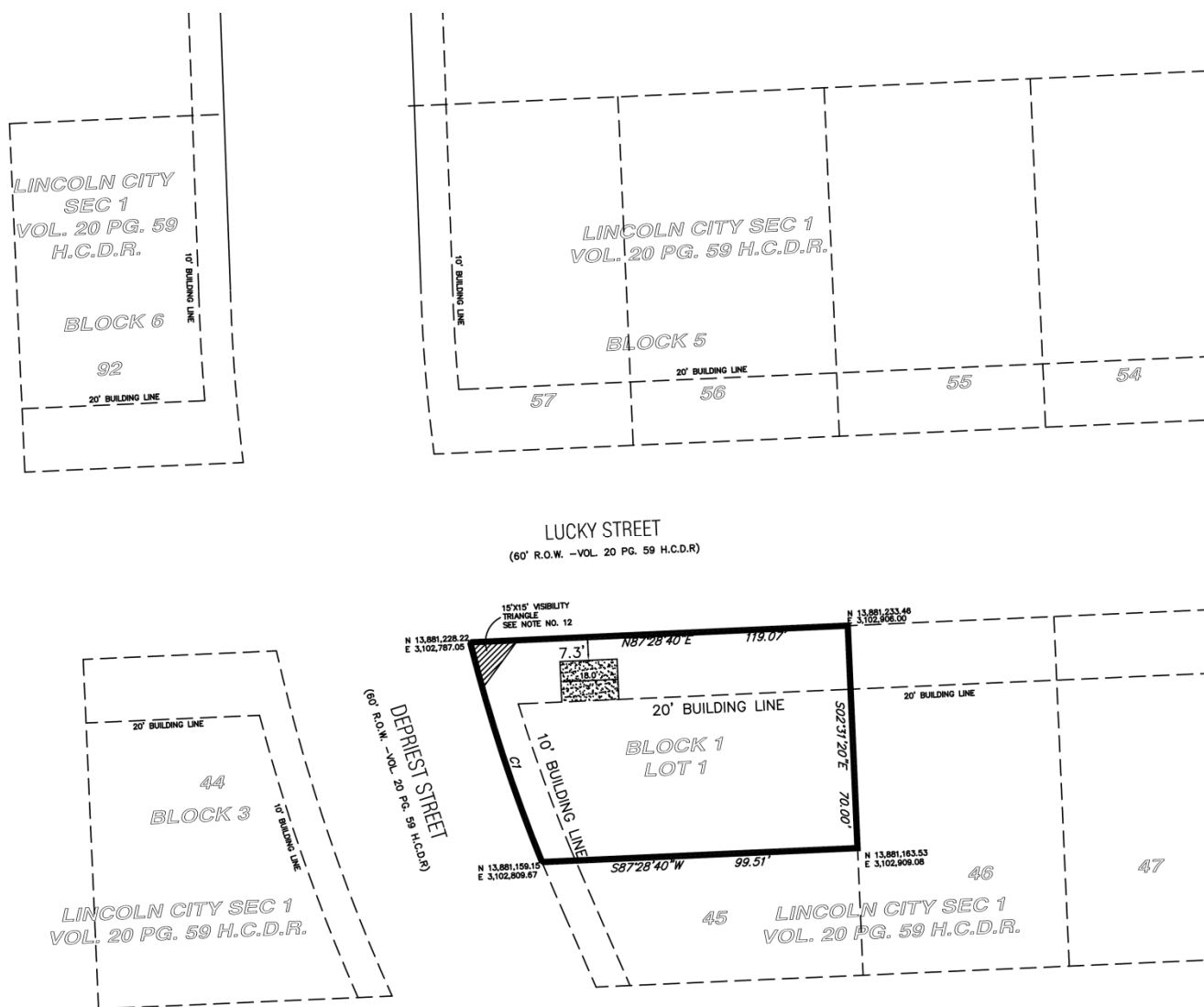
## ITEM:107

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name:Dwight Place

Applicant:AGS Consultants LLC



D – Variances

Subdivision

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# Houston Planning Commission

## ITEM:107

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name:Dwight Place

Applicant:AGS Consultants LLC



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**D – Variances**

**Aerial**

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**Application Number:** 2015-0762

**Plat Name:** Dwight Place

**Applicant:** AGS CONSULTANTS LLC

**Date Submitted:** 04/06/2015

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**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

to allow a dual front building line for the carport.

**Chapter 42 Section:** 156

**Chapter 42 Reference:**

Sec. 42-156. Collector and local streets--Single-family residential. (b) Except as otherwise required or authorized by this chapter, the building line requirement for a lot restricted to single-family residential use along a local street that is not an alley shall be: (1) 20 feet along the front of a lot and ten feet along the back and side of a lot adjacent to a local street; or (2) 10 feet if the subdivision plat contains a typical lot layout and the subdivision plat contains plat notations that reflect the requirements of this section.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land;**  
**OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

This project was contracted by an individual that didn't pursue a permit nor a subdivision plat; however in good faith the owner thought they were doing the right thing. At least six structures on Lucky Street have built over the building line, including carports and homes. The building of the carport over the building line was an honest oversight because of the reduced building line of six other homes on Lucky Street. This is an open ditch neighborhood with aerial utilities, power poles, street lights and fiber line utilities but no sidewalks nor any plans in the CIP for any sidewalks in the community. The dual building line will allow the carport to remain but the 20' original building line will be maintained for any future construction.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

This area will eventually become urban but the reality is that it is open ditch and no public improvements are planned on the C.I.P Plan. The distance from the edge of the asphalt will allow two cars to park and not impede pedestrian movement if public sidewalks were to be constructed in the neighborhood, which is highly unlikely. The neighborhood is aging and is sparsely developed. Allowing this dual building line would not diminish the neighborhood. Based on the characteristics this carport is an improvement.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

At least six other structures on Lucky Street have encroached the building line, including carports and homes. The carport built on this property has improved the appearance of the neighborhood. There are no plans for sidewalks in this community according to the City of Houston CIP. This street is an open ditch design. This carport will in no way be the only structure on the street to encroach the building line. The new carport addition is in an improvement over the look and feel of the other homes on Lucky Street.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The distance from the edge of asphalt to the front of the carport is greater than 25 feet; therefore at least two cars can park. There are no sidewalks and won't likely be any in the foreseeable future. At least six structures on Lucky Street have built over the building line, including carports and homes and the neighborhood has in no way been harmed by these encroachments.

**(5) Economic hardship is not the sole justification of the variance.**

No deed restrictions are being violated by the addition of this carport. This is an improvement to the neighborhood. Please see other structures as built on Lucky Street. At least 6 other homes encroach the building line.



# Houston Planning Commission ITEM: 108

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Elysian Park Villas

Applicant: The Interfield Group



**D – Variances**

**Site Location**

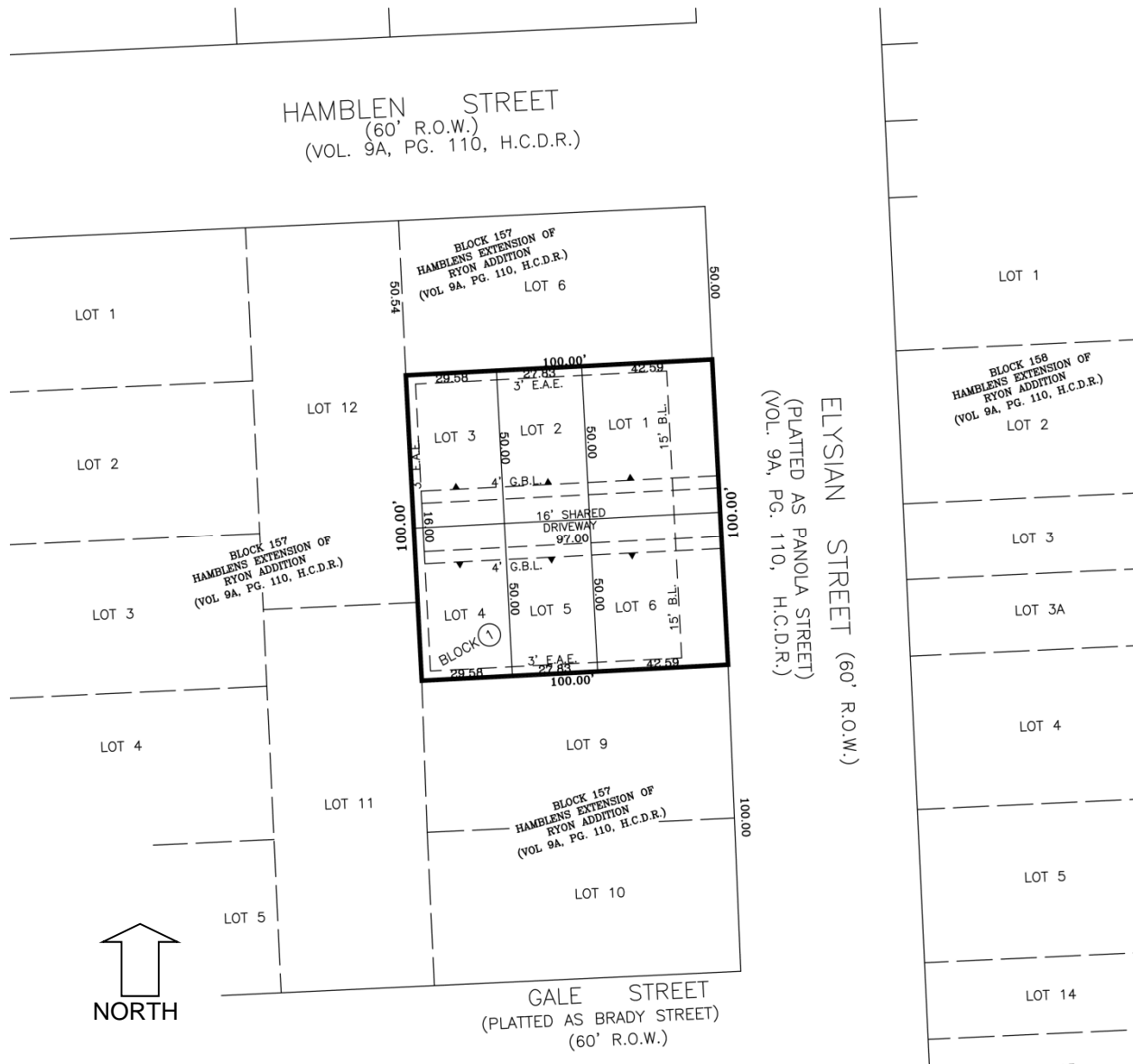
# Houston Planning Commission ITEM: 108

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Elysian Park Villas

Applicant: The Interfield Group



D – Variances

Subdivision

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# Houston Planning Commission    ITEM: 108

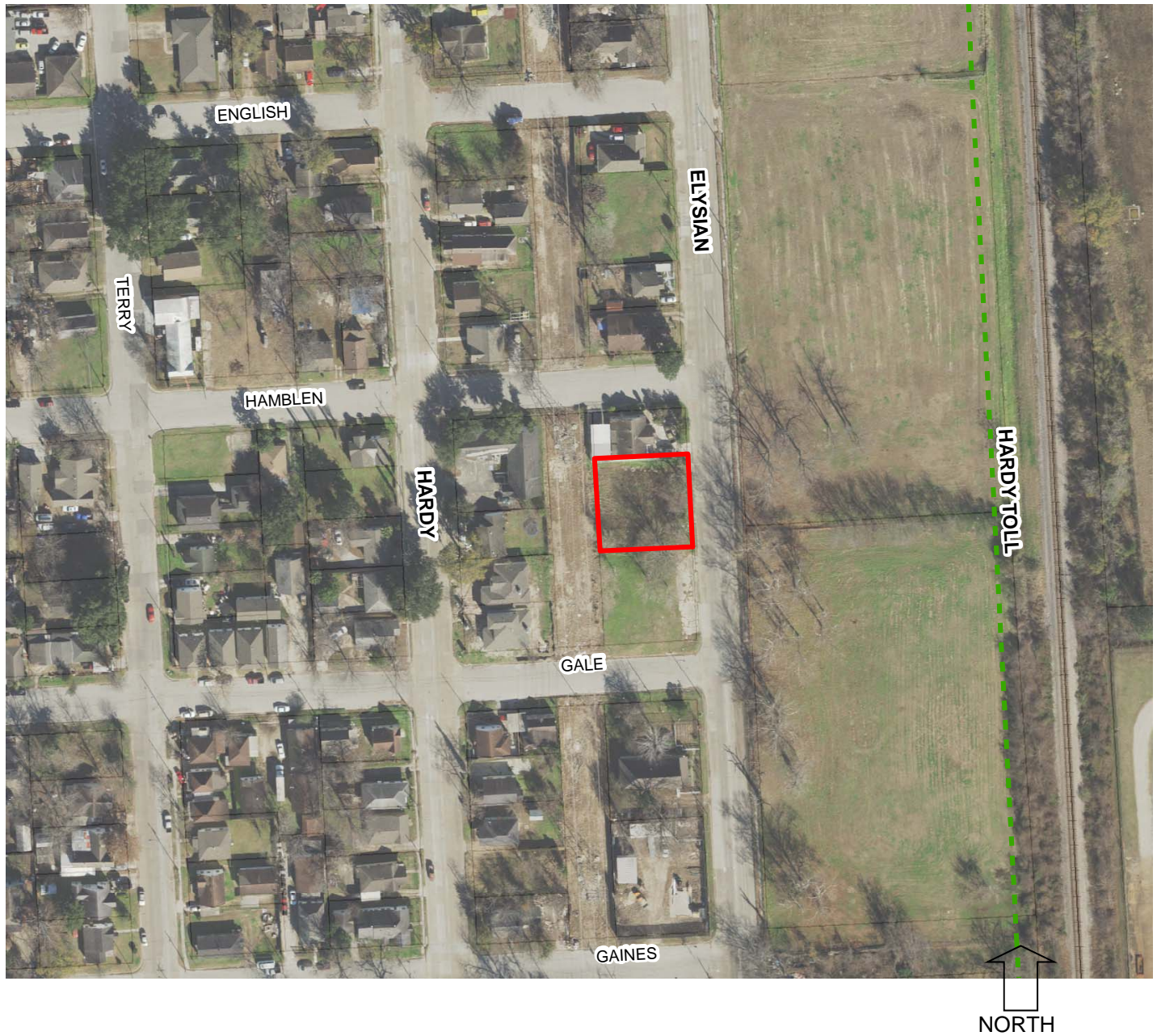
Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Elysian Park Villas

Applicant: The Interfield Group



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**D – Variances**

**Aerial**

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HAMBLEN STREET  
(60' R.O.W.)  
(VOL. 9A, PG. 110, H.C.D.R.)

BLOCK 157  
HAMBLENS EXTENSION OF  
RYON ADDITION  
(VOL. 9A, PG. 110, H.C.D.R.)

LOT 6

LOT 1

X: 3125547.01  
Y: 13660283.77

LOT 12

LOT 2

BLOCK 157  
HAMBLENS EXTENSION OF  
RYON ADDITION  
(VOL. 9A, PG. 110, H.C.D.R.)

LOT 3

LOT 4

LOT 11

LOT 9

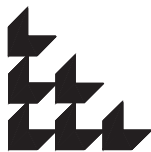
# LEGEND:

- PROPOSED TREE
- EXISTING POWER POLE

THE INTERFIELD GROUP  
CONSULTING ENGINEERS

LOT 5  
401 STUDEMONT, SUITE 300  
HOUSTON, TEXAS 77007

TEL. (713) 780-0909  
FAX (713) 780-8550



BLOCK 157  
HAMBLENS EXTENSION OF  
RYON ADDITION  
(VOL. 9A, PG. 110, H.C.D.R.)

TITLE

PAVEMENT SECTION

PROJECT

ELYSIAN PARK VILLAS

DATE: 04/18/15

JOB #: 15033.00

SHEET NO.

DRAWN BY: RA

CHECKED BY: MLV

1

EXISTING  
CHAIN LINK FENCE

FND. 1/2" IR  
BEARS N07°24'38"W 1.3

N 87°01'14" E 100.00'

X: 3125546.88  
Y: 13660288.97

FND. 1/2" IR  
BEARS N00°53'53"W 1.5

N 02°58'45" W 100.00'

16' SHARED  
DRIVEWAY

FND. 1/2" IR  
BEARS N00°53'53"W 1.4

S 87°01'14" W 100.00'

FND. 1/2" IR  
BEARS N87°01'14"E 0.2

X: 3125552.08  
Y: 13660189.11

PAVEMENT BUTTORS

LANE

LANE

44.58  
PAVEMENT

.6 PROPOSED  
CURB

2.49

5' PROPOSED  
SIDEWALK

8.52

EDGE OF PAVEMENT

S 02°58'45" E 100.00'

60

5' PROPOSED  
SIDEWALK

8.62

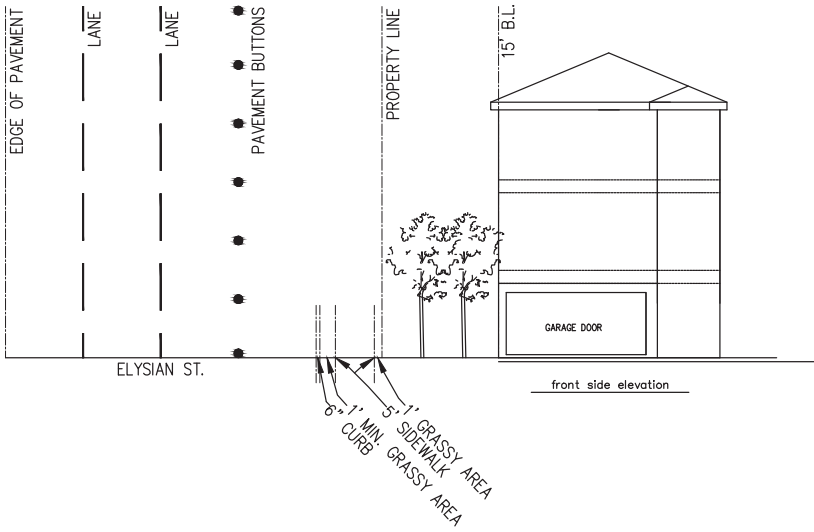
2.63

.6 PROPOSED  
CURB

44.52  
PAVEMENT

ELYSIAN STREET  
(PLATED AS PANOLA STREET)  
(60' R.O.W.)  
(VOL. 9A, PG. 110, H.C.D.R.)

(A) ELYSIAN FRONT ELEVATION  
SCALE: 1/8"=1'-0"



**THE INTERFIELD GROUP**  
ARCHITECTURE / PLANNING / ENGINEERING

401 STUDEWOOD, SUITE 300  
HOUSTON, TEXAS 77007  
TEL (713) 780-0909  
TBE REG. NO. F-5611  
TBAE REG. NO. BR741



TITLE		
PROPOSED ELEVATIONS		
PROJECT		
ELYSIAN PARK VILLAS		
DATE: 04/18/15	JOB #:	15033.00
DRAWN BY: OG		
CHECKED BY: MFG		
SHEET NO.		1





**Application Number:** 2015-0850

**Plat Name:** Elysian Park Villas

**Applicant:** The Interfield Group

**Date Submitted:** 04/20/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Specific variance is being sought and extent of variance is to allow a 15' building line along Elysian Street.

**Chapter 42 Section:** 152

**Chapter 42 Reference:**

Sec. 42-152. Building line requirement along major thoroughfares. (a) The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

Elysian Park Villas is located north of Gaines/Maury Streets, south of Hamblen Street, east of Hardy Street and west of Elysian Street. Elysian is a one-way street designated as a major thoroughfare that runs north and consists of three (3) lanes. Two (2) lanes appear to be 11 feet in width with the third lane that abuts front property line of subject tract measures approximately twenty (20) feet in width. Aerial photos show that this additional width is currently utilized for on-street parking by nearby residents which would make it a less traveled lane. This being the case, the distance between proposed units and the more traveled lanes is approximately 25 feet.

Elysian Park Villas is located north of Downtown Houston. Elysian Street being a one-way street would cause residents to travel approximately 2,073 feet north, to N Loop 610, to get to Highway 59 and head south, when a more reasonable route may be to go one block west, south to Cavalcade Street, east to Highway 59 and head south to Downtown. Therefore, Elysian street is most likely utilized mainly by residences along Elysian and those who occasionally may need to access N Loop 610.

Elysian Street is designated as a major thoroughfare, with the following special conditions to be noted:

1. Right-of-way width is only 60 feet, and the 2014 MTFP Street Hierarchy Classification Table shows to have sufficient width.
2. Elysian street is a one-way street that appears to allow for on-street parking along the far west lane.
3. Elysian Park Villas is adjacent to an approximately 30-acre tract of land that, according to the Harris County Appraisal District, is owned by Harris County ROW Department. This tract of land abuts railroad tracks to the east. Approximately a third of this land appears to be utilized as a stormwater detention facility with beautiful trees and grassy open area. The balance being vacant. This land use reduces residential density in this portion of Elysian Street less likely, and makes it less likely the street may need to be widened or the vehicular traffic would increase appreciably.

Recently-developed projects have been approved on the basis of having a 16' shared driveway off a major thoroughfare, with a 15-foot setback. We understand that the approvals are reviewed on a case-by-case basis, but these projects establish a prevailing setback of 15-feet, with a strong likelihood that this prevalence will be in place for any foreseeable future period, due to the permanent nature of these recent projects.

We are of the opinion that Elysian Park Villas has special nearby conditions to allow a 15-foot setback and will be an asset to the surrounding community, and will enhance the beautification of the block face.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

No hardship created or imposed by the applicant is used as a basis to support the request for this variance. Variance request is based on factors external to subject property and to be consistent with recently-developed projects.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purpose of Chapter 42 will be preserved and maintained, due to the following considerations: a. Proposed development will include a 5-foot side walk along Elysian Street b. Yards between right-of-way line and homes will be landscaped with grassy areas and trees, and will preserve and enhance the general character of block face.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance will not be injurious to the public health, safety or welfare. Property does not impede traffic, on the contrary, will contribute to the beautification of the block face, without any way compromising public health or safety.

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is not the sole justification of the variance, which is being requested on the basis of a reasonable assessment of nearby and past prevailing conditions.

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# Houston Planning Commission    ITEM: 109

Planning and Development Department

Meeting Date: 04/30/2015

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**Subdivision Name: Harris County MUD No 71 Water Plant No 3**

**Applicant: Brown & Gay Engineers, Inc.**



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**D – Variances**

**Site Location**

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## Subdivision

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# Houston Planning Commission    ITEM: 109

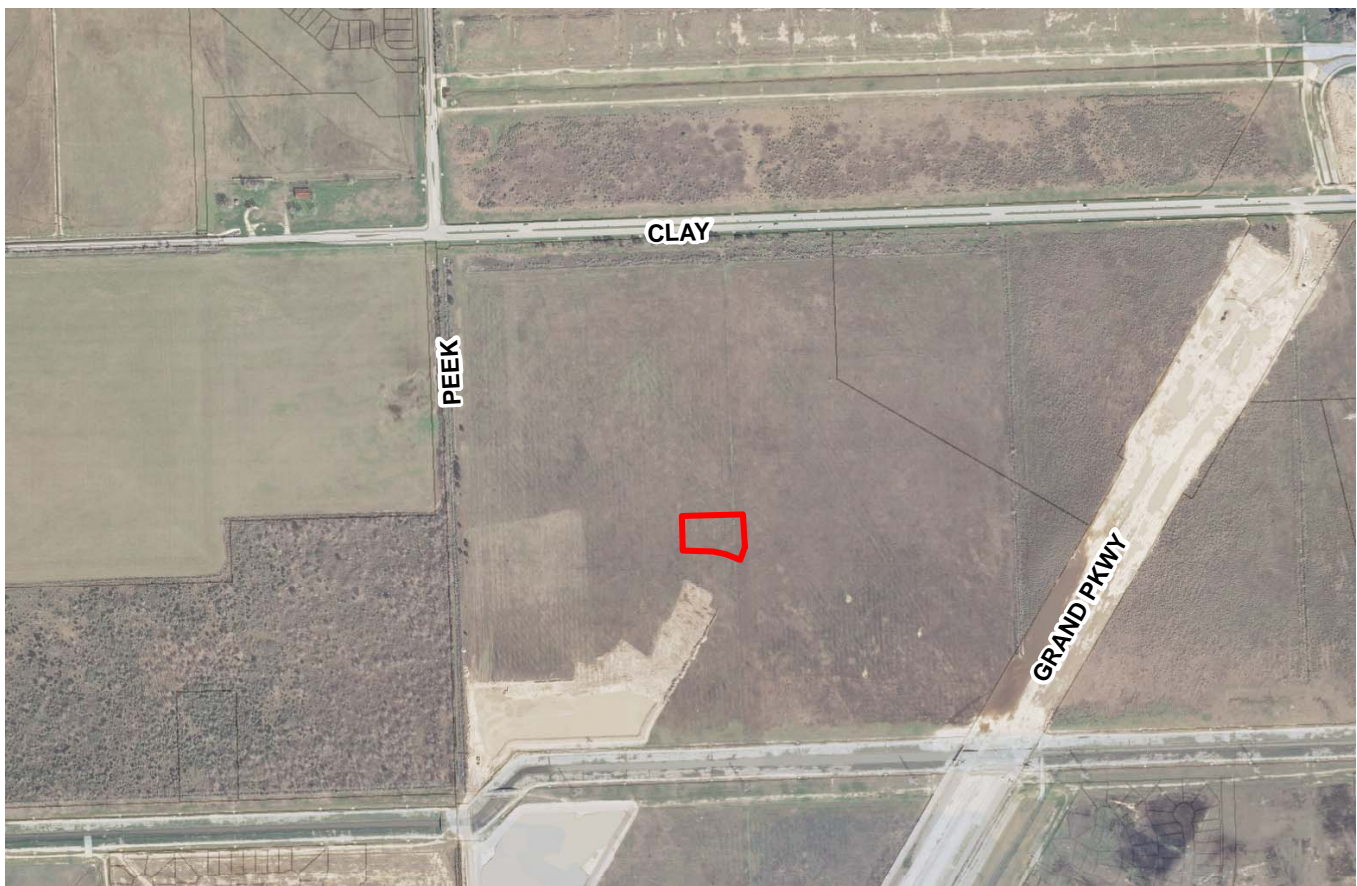
Planning and Development Department

Meeting Date: 04/30/2015

---

Subdivision Name: Harris County MUD No 71 Water Plant No 3

Applicant: Brown & Gay Engineers, Inc.



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**D – Variances**

**Aerial**

---





**Application Number:** 2015-0819

**Plat Name:** Harris County MUD No 71 Water Plant No 3

**Applicant:** Brown & Gay Engineers, Inc.

**Date Submitted:** 04/20/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

To allow a temporary 60' access easement and a temporary 50' access easement to service a water plant until a public street is dedicated within a recorded plat.

**Chapter 42 Section: 190 Reserves (c)**

**Chapter 42 Reference:**

Sec. 42-190 Reserves (c) Each reserve shall meet the following requirements for minimum size, the type and width of street or shared driveway on which it may be located, and the minimum frontage, as applicable to the type of reserve:

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The water plant is necessary to service the future single-family residential homes in the immediate area. Ultimately the water plant will have over 25' of frontage along a future 60' public Right of way. Strict application of the ordinance would leave the future single-family homes in the area without the service of a platted water plant.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The variance request is not the result of a hardship created or imposed by the applicant. The circumstances supporting the request for the variance are based upon the necessity to provide proper and adequate water service to the future single-family residential homes in the immediate area

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

Granting of the variance will preserve the intent and general purposes of the subdivision ordinance. The developer is proposing to provide a 60' access easement and a 50' access easement from the plats northerly boundary line, along the centerline of future Peek Road (100' R.O.W.). The access easement will contain an all-weather access road to accommodate the construction and maintenance traffic required for the water plant until such time as the public streets are dedicated and constructed that will provide the ultimate access to the water plant site.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance will not be injurious to the public health, safety or welfare. The access easement and all-weather access road will be utilized by authorized construction and maintenance traffic only. The access easement and all-weather access road will not be utilized by the general public for ingress, egress or general traffic circulation for any reason.

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is not the sole justification of the variance. Not having the water plant to provide the required water service for the future single-family residential homes would create an impractical development and is the basis for this request.

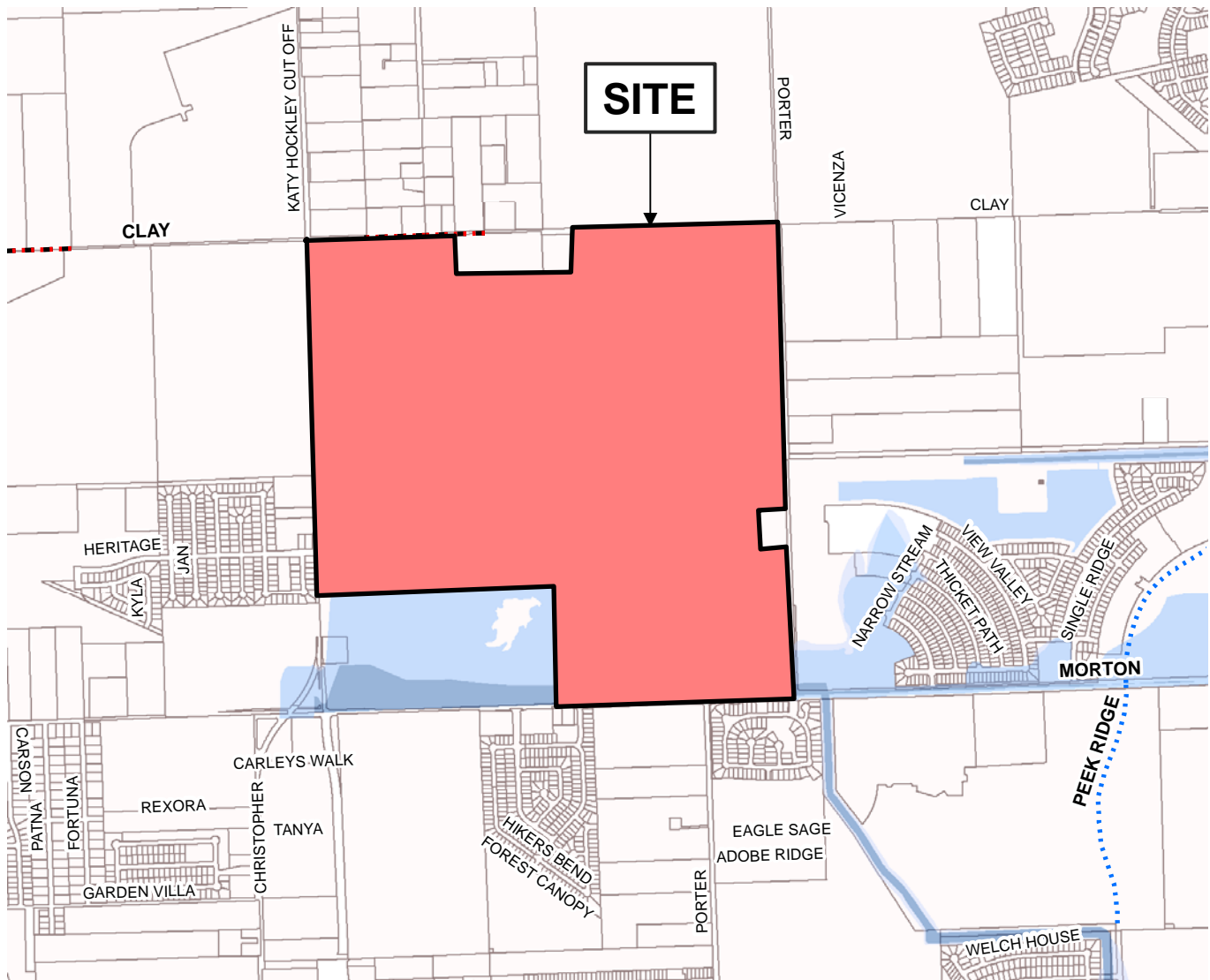
# Houston Planning Commission ITEM: 110

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Marcello GP

Applicant: EHRA



**D – Variances**

**Site Location**

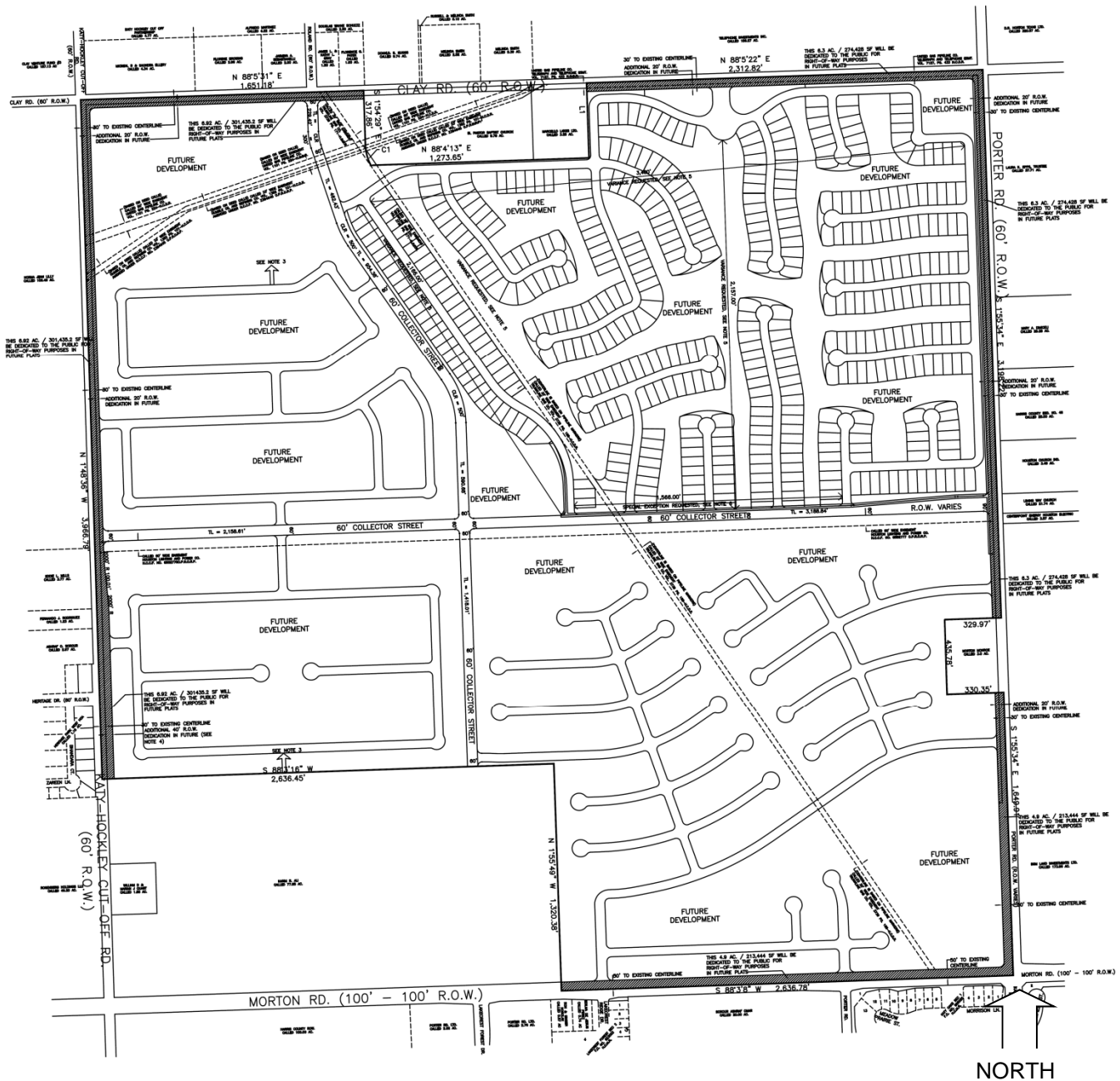
# Houston Planning Commission

## ITEM: 110

Planning and Development Department Meeting Date: 04/30/2015

Subdivision Name: Marcello GP

Applicant: EHRA



D – Variances

Subdivision

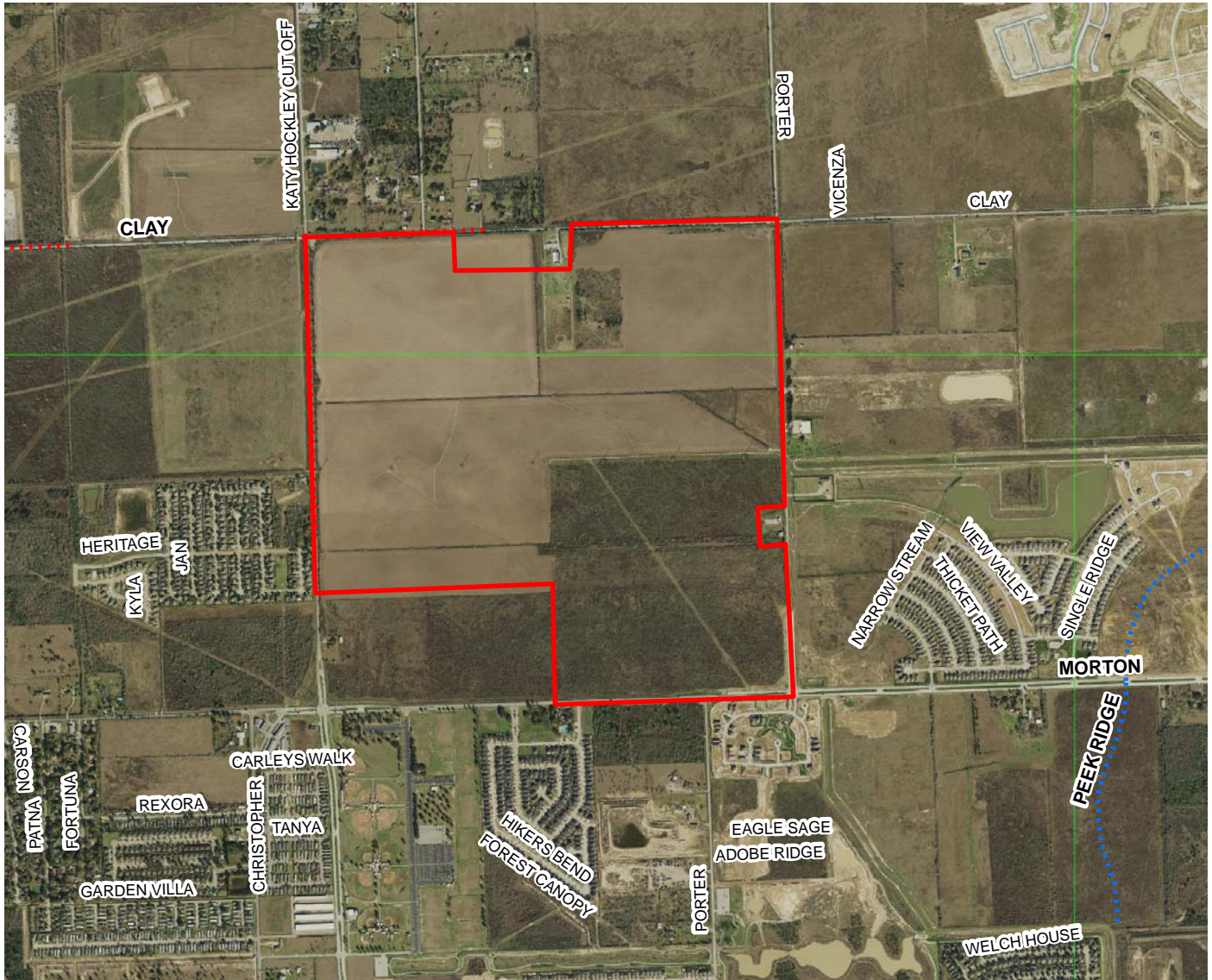
# Houston Planning Commission ITEM: 110

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Marcello GP

Applicant: EHRA



D – Variances

Aerial





# Marcello Lakes Variance Exhibit

April 20, 2015  
 10 200 400  
 SCALE: 1" = 400'



EHRA JOB NO.  
 121-091-00

No warranty or representations of intended use, design or proposed improvements are made herein. All Plans for land or facilities are subject to change without notice.



10555 Westoffice Drive  
 Houston, Texas 77042  
 713.784.4500  
 EHRAinc.com  
 TBPE No. F-726





**Application Number:** 2015-0864

**Plat Name:** Marcello GP

**Applicant:** EHRA

**Date Submitted:** 04/20/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Three variances to allow internal block lengths to exceed 1,400' within the Marcello Lakes Subdivision. The requested intersections between future streets will be: Variance 1) 2,166'; Variance 2) 3,480'; and Variance 3) 2,157'.

**Chapter 42 Section:** 128

**Chapter 42 Reference:**

42-128(a)(1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

Please refer to "Marcello Lakes Variance Exhibit" submitted with this variance request for clarifications. Marcello Lakes is a subdivision within the Marcello GP which uses required detention areas as neighborhood open space and amenity. In many instances detention facilities can be an eyesore. Marcello Lakes is designed as a single contiguous lake concept where lots will have access to canal waterways also affording alternative transportation routes via paddleboats to nearly every lot in the tract. This provides unique neighborhood interconnectivity through passive recreation. Additionally, a dramatic unencumbered vista across the canal will extend to the opposite side of the community at the main access point from Clay Road. If required to comply with a 1,400' block length (as shown in dashed light-red lines), crossing the canal waterways with additional streets would break up these vistas. In order to create a single canal waterway instead of multiple disconnected lakes, a bridge or culvert would be needed to provide water connectivity, but would still distort the vista and be prohibitively expensive to construct in this subdivision. Circulation within the subdivision would not be significantly enhanced with these vehicular connections. Only local vehicle trips between residences would be affected if the block length requirement was met in this manner. In fact, the longest vehicle trip distance between lots (as marked on the exhibit as Lots 1 and 2) is approximately 1 mile using the loop road network. If required to provide a street meeting the 1,400 intersection spacing, the vehicular travel distance would obviously be shorter, however the uniqueness of the canal recreation would be compromised. As shown on the attached "Marcello Lakes Variance Exhibit", Travel Routes 1, 2, and 3 and Collector Street "G" form a loop road network within Marcello Lakes (shown in yellow) which provides circulation for all of the lots within the subdivision. The connectivity and traffic distribution within the section created by the loop road perform the same function as a normal 1,400' intersection spacing, which is to distribute traffic to Clay Road, Porter Road, and future collector streets "A" and "G".

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The hardship for this variance resides with the inflexibility of the 1,400' block length rule to allow alternative street design while achieving the same connectivity goal. Please refer to the attached "Exhibit B" which demonstrates that with a simple grid pattern, the 1,400' block length requirement results in 4 connection points to other local streets. The same result can be achieved by focusing vehicular traffic to an internal loop street which ultimately connects to the same four connection points. In essence, traffic is being routed around the development pod rather than through the pod.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

Since all of the Marcello Lakes cul-de-sac streets direct traffic to the loop street system and then distribute that traffic to external streets which meet Chapter 42 requirements, the ultimate distribution of traffic at appropriate locations is

maintained. The neighborhood recreation component of the canal concept in Marcello Lakes matches with the intent of Chapter 42 to provide open space and recreation for single family residential communities. Marrying these two concepts (contiguous canal waterways and traffic distribution/connectivity) requires leniency in order to design an appropriate street system. The proposed block length variances will maintain neighborhood connectivity while preserving creative neighborhood recreation waterways.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

Public health, safety and welfare are not negatively impacted by granting this variance since local circulation is adequately provided by a loop street network and connectivity to major thoroughfares.

**(5) Economic hardship is not the sole justification of the variance.**

Justification for the variances is that the development of the canal system does not lend itself to standard Chapter 42 block length requirements. The creation of a loop road system for the subdivision ultimately distributes traffic in the same manner as block length intersections.



## SPECIAL EXCEPTION Request Information Form

Application Number: 2015-0864

Plat Name: Marcello GP

Applicant: EHRA

Date Submitted: 04/20/2015

(Sec. 42-48 and Sec. 42-82)

Specific requirement for which the special exception is being sought:

Special Exception to allow a 1,566' internal block length between two future streets within the Marcello Lakes Subdivision.

Chapter 42 Section: 42-128(a)(1)

Chapter 42 Reference:

Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet.

### Statement of Facts

**(1) Special circumstances exist that are unique to the land or the proposed subdivision or development and that are not generally applicable to all other land, subdivision for development in the city or its extraterritorial jurisdiction that justify modification of the standards that would otherwise apply;**

Please refer to "Marcello Lakes Variance Exhibit" submitted with the special exception request. Marcello Lakes is a subdivision within the Marcello GP which uses required detention areas as neighborhood open space and amenity. In many instances detention facilities can be an eyesore. Marcello Lakes is designed as a contiguous lake concept where the majority of lots will have access to canal waterways while affording alternative transportation routes via paddleboats to nearly every lot in the tract. This provides unique neighborhood interconnectivity through passive recreation.

**(2) The proposed special exception will achieve a result contemplated by the standard in article III of Chapter 42 (Planning Standards);**

As shown on the attached "Marcello Lakes Variance Exhibit", Travel Routes 1, 2, and 3 and Collector Street "G" form a loop road network within Marcello Lakes (shown in yellow) which provides circulation for all of the lots within the subdivision. The connectivity and traffic distribution within the section created by the loop road perform the same function as a normal 1,400' intersection spacing, which is to distribute traffic to Clay Road, Porter Road, and future collector streets "A" and "G".

**(3) The modification of the standard requested is not disproportionate to the requirement of the standard;**

The request for a 1,556' block length is 156' longer than is required by Chapter 42 which represents a 14.3% variation from the standard.

**(4) The intent and general purposes of this chapter will be preserved and maintained;**

The 1400' block length requirement is meant to provide good neighborhood connectivity and is often satisfied with a gridded street pattern. Marcello Lakes instead uses a loop street pattern which distributes vehicle traffic outward to the loop and then makes connections to major thoroughfares and collector streets. Since traffic is still distributed in an appropriate hierarchical manner, the purposes of Chapter 42 are being maintained.

**(5) The granting of the special exception will not be injurious to the public health, safety or welfare.**

Public health, safety and welfare are not negatively impacted by granting this variance since local circulation is adequately provided by a loop street network and connectivity to major thoroughfares.

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# Houston Planning Commission

# ITEM : 111

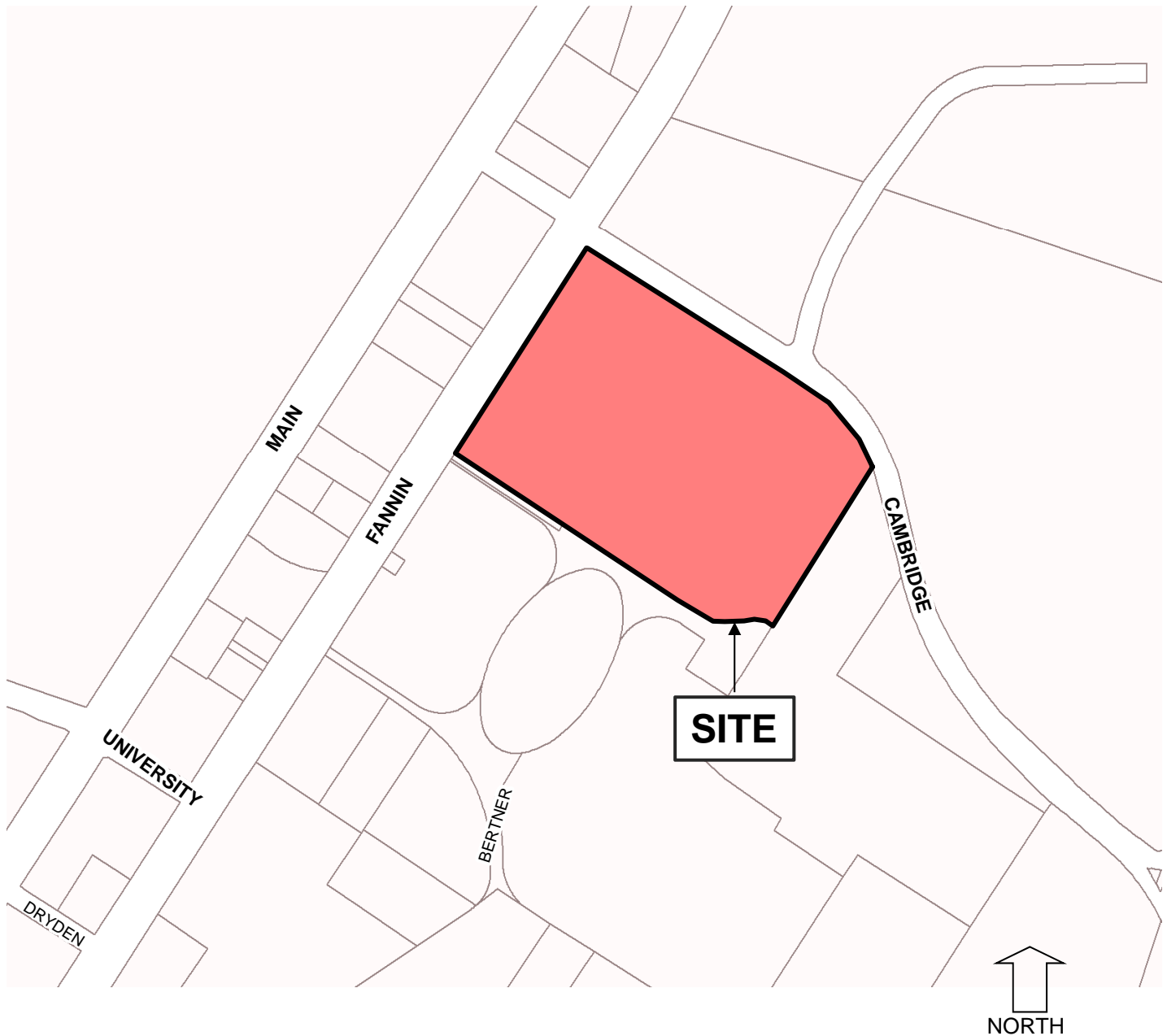
Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Memorial Hermann Hospital (DEF 1)

Applicant: Kuo & Associates, Inc.



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**D – Variances**

**Site Location**

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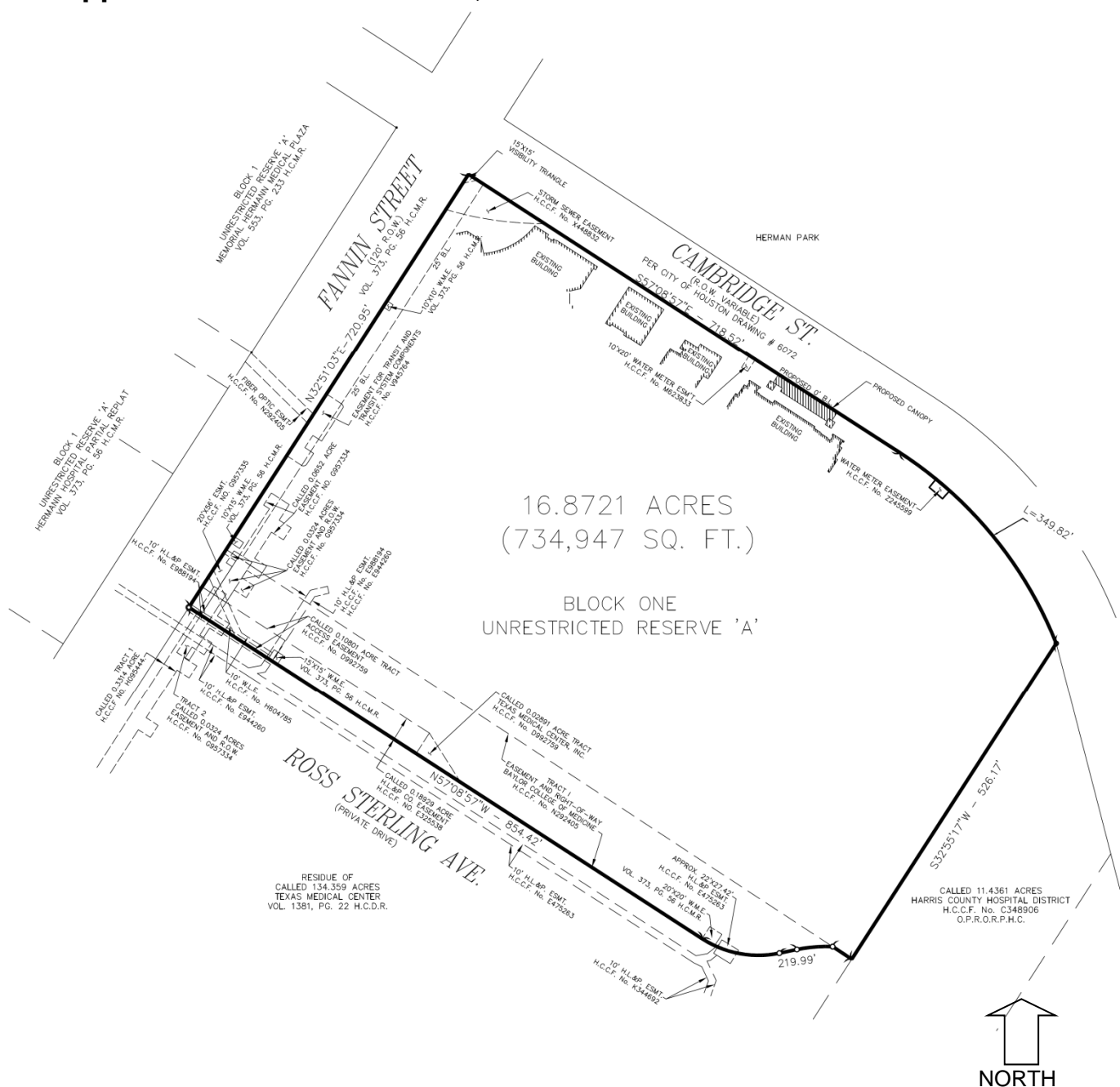
**ITEM : 111**

## Planning and Development Department

**Meeting Date: 04/30/2015**

**Subdivision Name: Memorial Hermann Hospital (DEF 1)**

**Applicant: Kuo & Associates, Inc.**



## D – Variances

## Subdivision



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# Houston Planning Commission

# ITEM : 111

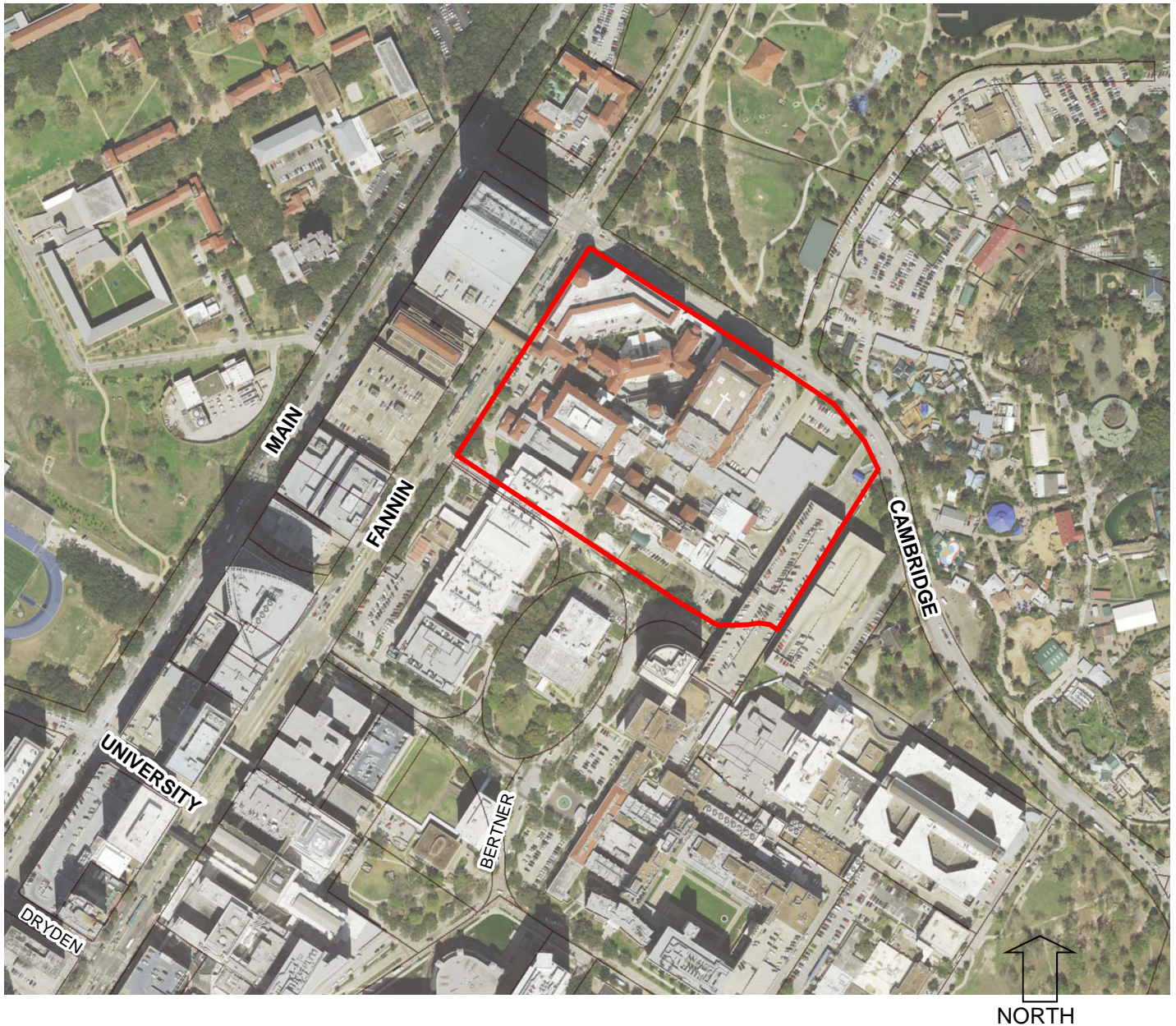
Planning and Development Department

Meeting Date: 04/30/2015

---

Subdivision Name: Memorial Hermann Hospital (DEF 1)

Applicant: Kuo & Associates, Inc.



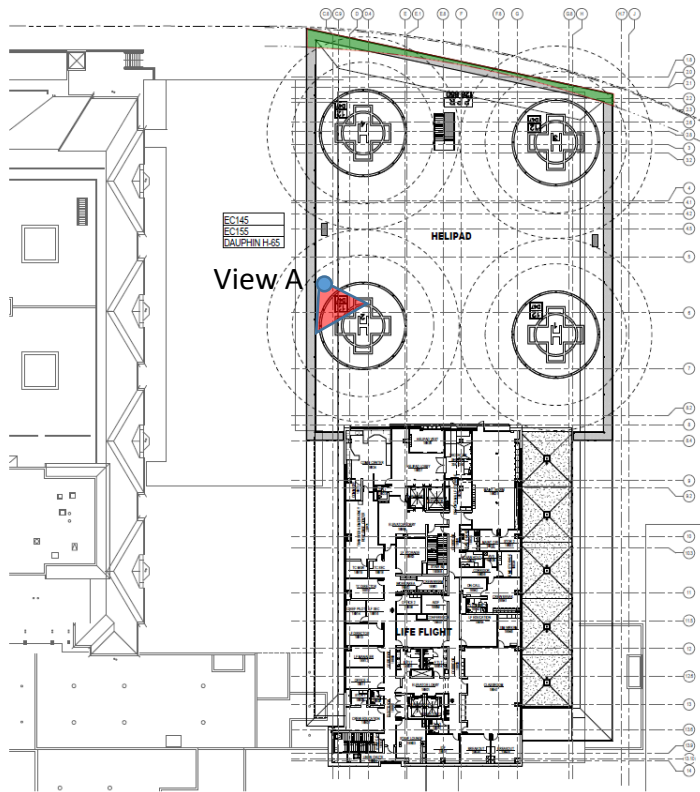
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**D – Variances**

**Aerial**

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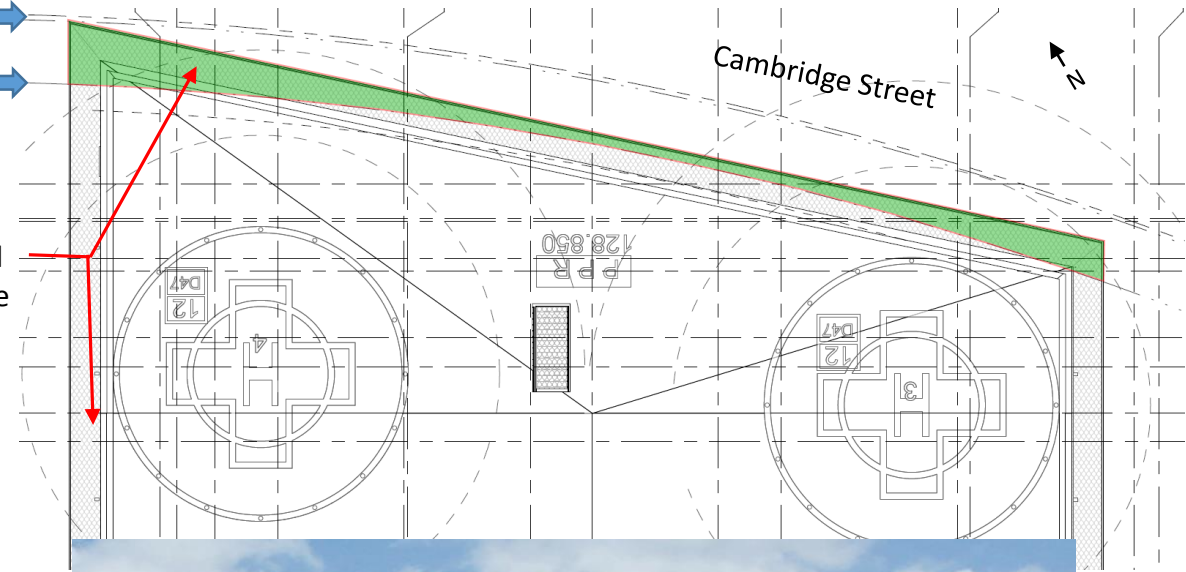


View A

Property Line

Setback Line

Required  
Safety Zone



Proposed HP 2  
Trauma Center

Existing HP 1



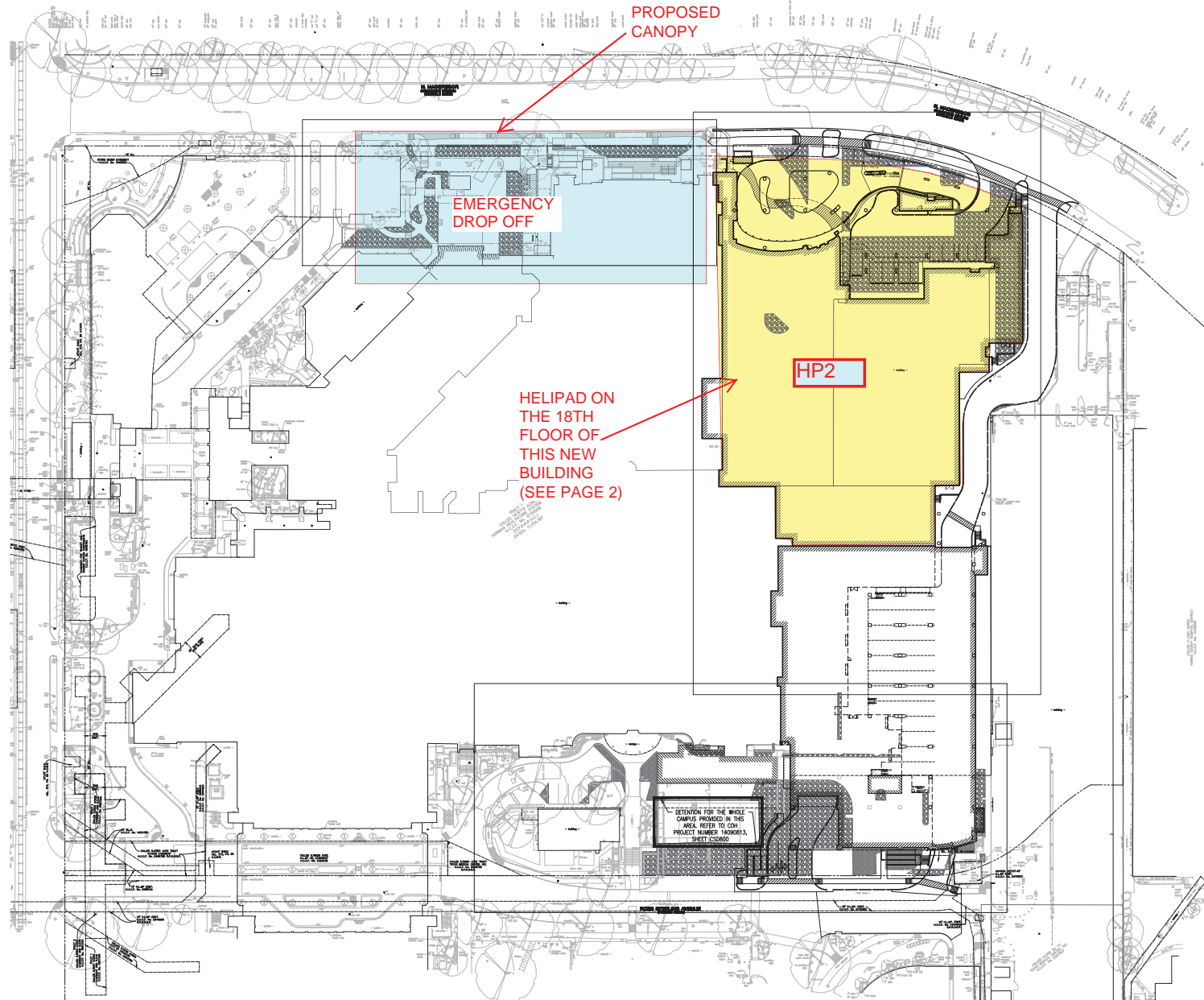
Proposed  
Life Flight Heliport

View A



Proposed  
Emergency  
Dept. Canopy

File Path: C:\Users\jgarcia\OneDrive\Documents\14090813\14090813.dwg  
Plot Date: 07/24/2014

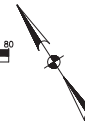


THIS SHEET PROVIDED FOR REFERENCE ONLY TO ADDRESS  
DETENTION REQUIREMENTS FOR ALL PHASES OF THE PROJECT.  
REFER TO CITY OF HOUSTON PROJECT NUMBER 14090813,  
SHEET CSD800 FOR DETENTION DETAILS.

**Benchmark:**  
FLOODPLAIN REFERENCE MARK NUMBER 040100 IS AN HCFCD BRASS DISK  
STAMPED D100 BM13 ON BRIDGE AT HOLCOMBE BOULEVARD AND BRAYS  
BROOK LOCATED ON NORTH DOWNTOWN SIDEWALK OF BRIDGE AT SYSTEM  
CENTER IN KEMP 533E IN THE BRAYS WATERSHED NEAR STREAM  
D100-00-00 ELEV. 43.451 FEET (MAD 1988 (CDS284)\*  
\* OBSERVED BY GPS SURVEYING AND PROCESSED IN REFERENCE TO THE  
CORS DATED OCTOBER 30, 2013 & GEOD 12A.

**Horizontal Datum:**  
ALL HORIZONTAL COORDINATES ARE BASED ON TEXAS STATE PLANE  
COORDINATE SYSTEM, SOUTH CENTRAL ZONE. UNLESS THE COORDINATES &  
DISTANCES SHOWN ARE SURFACE AND MAY BE CONVERTED TO GRID BY  
MULTIPLYING BY A SCALE FACTOR OF 0.999995.

0 40 80  
SCALE: 1"=40'



LEGEND	
EXISTING	PROPOSED
Curb	
Edge of Pavement	
R.O.W.	
Curve Number	
Storm Sewer/MH	
Large Diam. Storm Sewer/MH	
Curb Inlet/Grate Inlet	
Sanitary Sewer/MH/Cleanout	
Large Diam. Sanitary Sewer/MH	
Water Line/Tire Hydrant/Valve	
Gas	
Electric	
Phone	
Fence	
Contour	
Slope	
Top of Pavement	
Top of Wall	
Finished Grade	
Top of Grate	
Flow Line	
Detail Number	

Impervious Areas	
Total Existing Impervious Cover within boundaries of project =	648,038/sf
Total Proposed Impervious Cover within boundaries of project =	676,126/sf
Total Impervious Difference = Increased Impervious Cover =	27,087/sf

Legend	
	PROPOSED PERVIOUS COVER
	PROPOSED INCREASED IMPERVIOUS COVER

**WHRARCHITECTS**  
Architecture with People in Mind

1111 Louisiana 26th Floor  
Houston, Texas 77002  
713.665.5665 phone • whrarchitects.com

Revisions		
No.	Date	Description
1	10/08/2014	CITY COMMENTS
2	02/06/2015	PERMIT REVISION

KEY PLAN

INTERIM  
EMERGENCY  
DEPARTMENT  
ENTRANCES

MEMORIAL  
HERMANN

6411 FANNIN - HOUSTON, TX 77030

Walter P. Moore and Associates, Inc.  
TSP# 1000-1000-1000



EMERGENCY  
DEPARTMENT  
IMPERVIOUS COVER &  
DETENTION

PHASE: CD  
DATE: 07/24/2014

PROJECT NO:  
H13000-02.01

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SEE NEXT PAGE

CAMBRIDGE ST.

OUTLINE OF CANOPY

NEW STREET CUTS WITH  
AMBULATORY TWO-WAY DRIVEWAY,  
CANOPY, RAMPS AND STEPS

OUTLINE OF CANOPY

110' - 7 3/8"

96' - 6"

PROPERTY LINE

BUILDING SETBACK

OUTLINE  
OF CANOPY

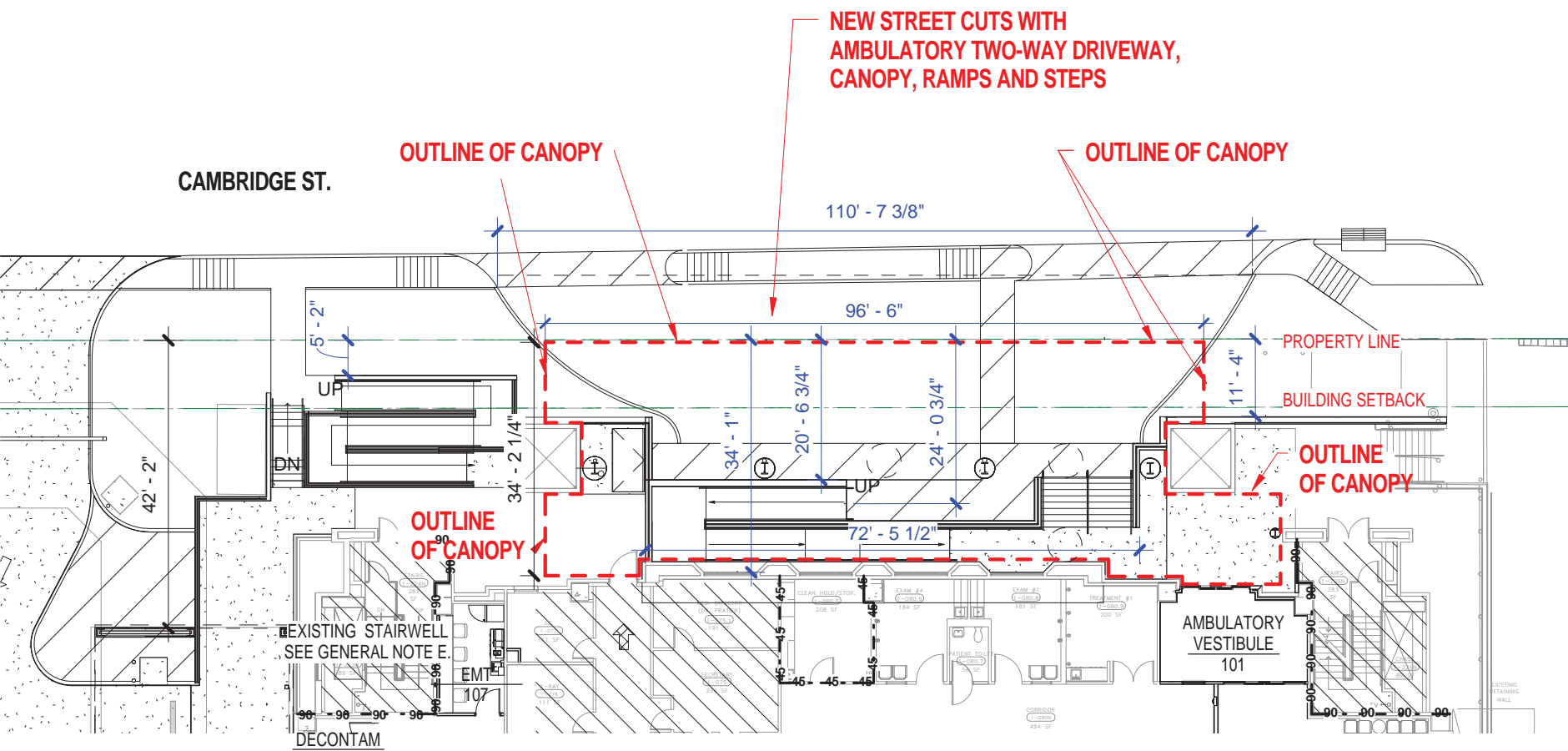
OUTLINE  
OF CANOPY

EXISTING STAIRWELL  
SEE GENERAL NOTE E.

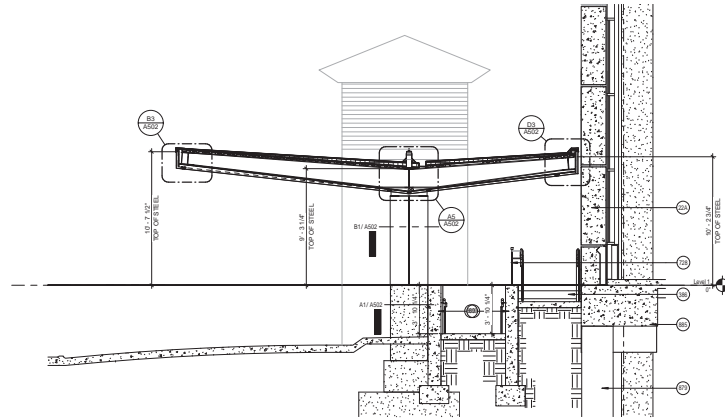
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110

AMBULATORY  
VESTIBULE  
101

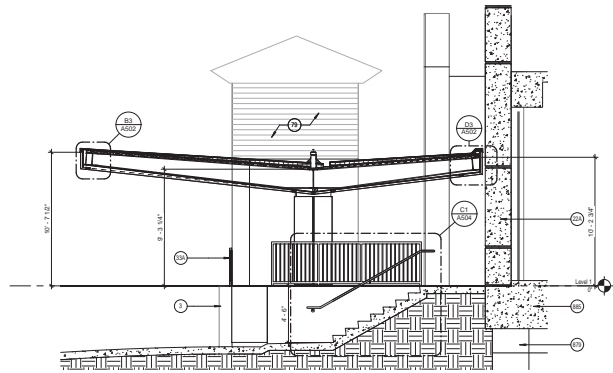
NORTH



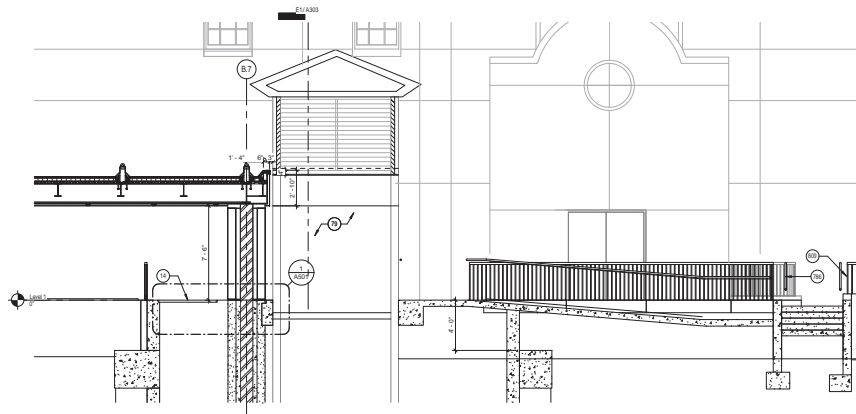




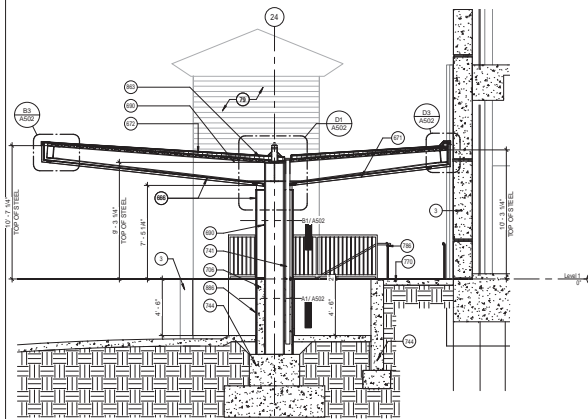
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SCALE: 1/4\"/>



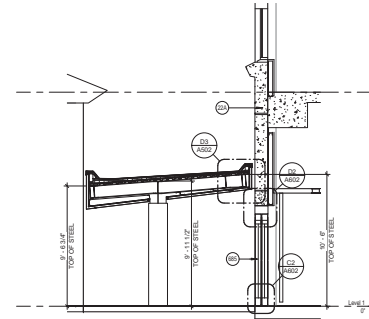
B1 SECTION AT AMBULATORY STAIRS  
SCALE: 1/4\"/>



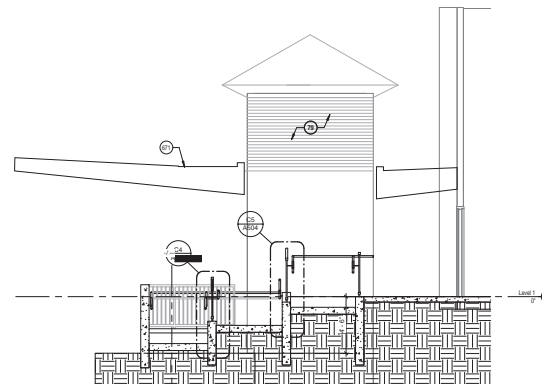
A1 SECTION AT ADA RAMP  
SCALE: 1/4\"/>



D4 WS - CANOPY SECTION @ COLUMN  
SCALE: 1/4\"/>



B4 CANOPY SECTION 2  
SCALE: 1/4\"/>



A4 CROSS SECTION AT ADA RAMP  
SCALE: 1/4\"/>

## GENERAL NOTES

- GENERAL NOTES FOR THIS DRAWING GO HERE
- GENERAL NOTES FOR THIS DRAWING GO HERE
- GENERAL NOTES FOR THIS DRAWING GO HERE

## NOTES TO SHEET

- EXISTING ARCHITECTURAL PRE-CAST TO REMAIN
- EXISTING AREAWAY DOOR TO REMAIN
- EXISTING PRE-CAST WALL TO REMAIN
- EXISTING HANDRAIL/ GUARDRAIL TO REMAIN
- EXISTING MECHANICAL CHASE TO REMAIN, PROTECT FROM DAMAGE
- CONCRETE RAMP/WALKWAY. RE: CIVIL
- COMPOSITE METAL PANEL SYSTEM CANOPY
- ROOF MEMBRANE
- AUTOMATIC ENTRANCE
- STRUCTURAL MEMBER. REFER TO STRUCTURAL
- CONCRETE COLUMN. REFER TO STRUCTURAL
- 1 1/2\"/>
- 1 1/2\"/>
- DRAIN PIPE. REFER TO PLUMBING
- CONCRETE FOOTING. REFER TO STRUCTURAL
- CONCRETE PAD. REFER TO STRUCTURAL
- 1 1/2\"/>
- CONCRETE WALL. REFER TO STRUCTURAL
- PRE-FINISHED ALUMINUM TRENCH DRAIN
- EXISTING SOLDIER PILE
- EXISTING STRUCTURE
- STEEL SLEEVE

**WHR ARCHITECTS**  
Architecture with People in Mind

1111 Louisiana 26<sup>th</sup> Floor  
Houston, Texas 77002  
713.665.5665 phone - whrarchitects.com

Revisions		
No.	Date	Description

KEY PLAN

**INTERIM  
EMERGENCY  
DEPARTMENT  
ENTRANCES  
MEMORIAL  
HERMANN**

**MEMORIAL  
HERMANN**

6411 FANNIN - HOUSTON, TX 77030

These documents are for review only  
and are NOT for regulatory approval,  
permitting, or construction.

Date: 06-27-2014  
Architect of record: Michael Worley  
Title: TXSAS  
Registration No.: 9131

**BUILDING/WALL SECTIONS**

PHASE: CD  
DATE: 07/24/2014

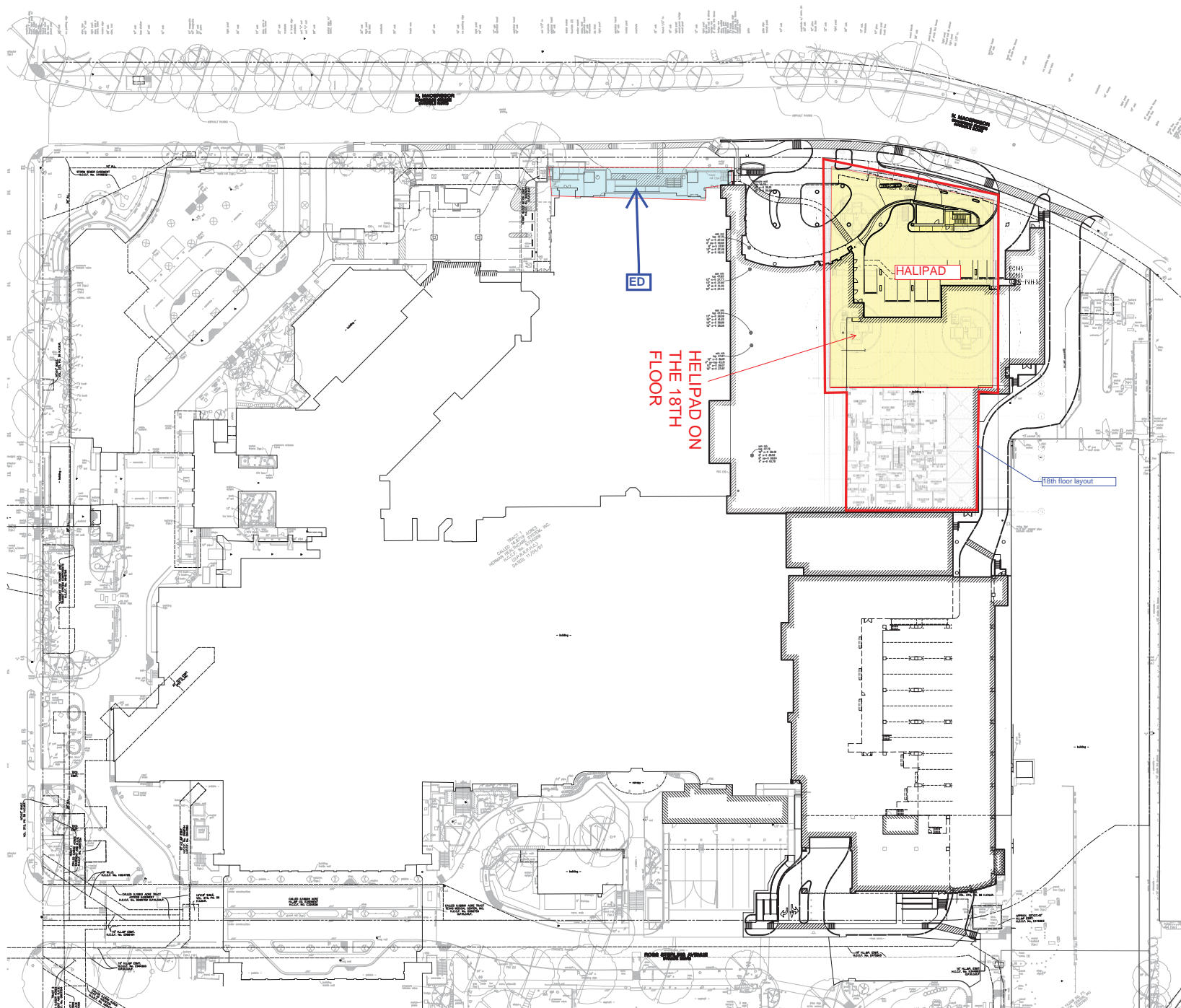
PROJECT NO:  
H13000-02.01

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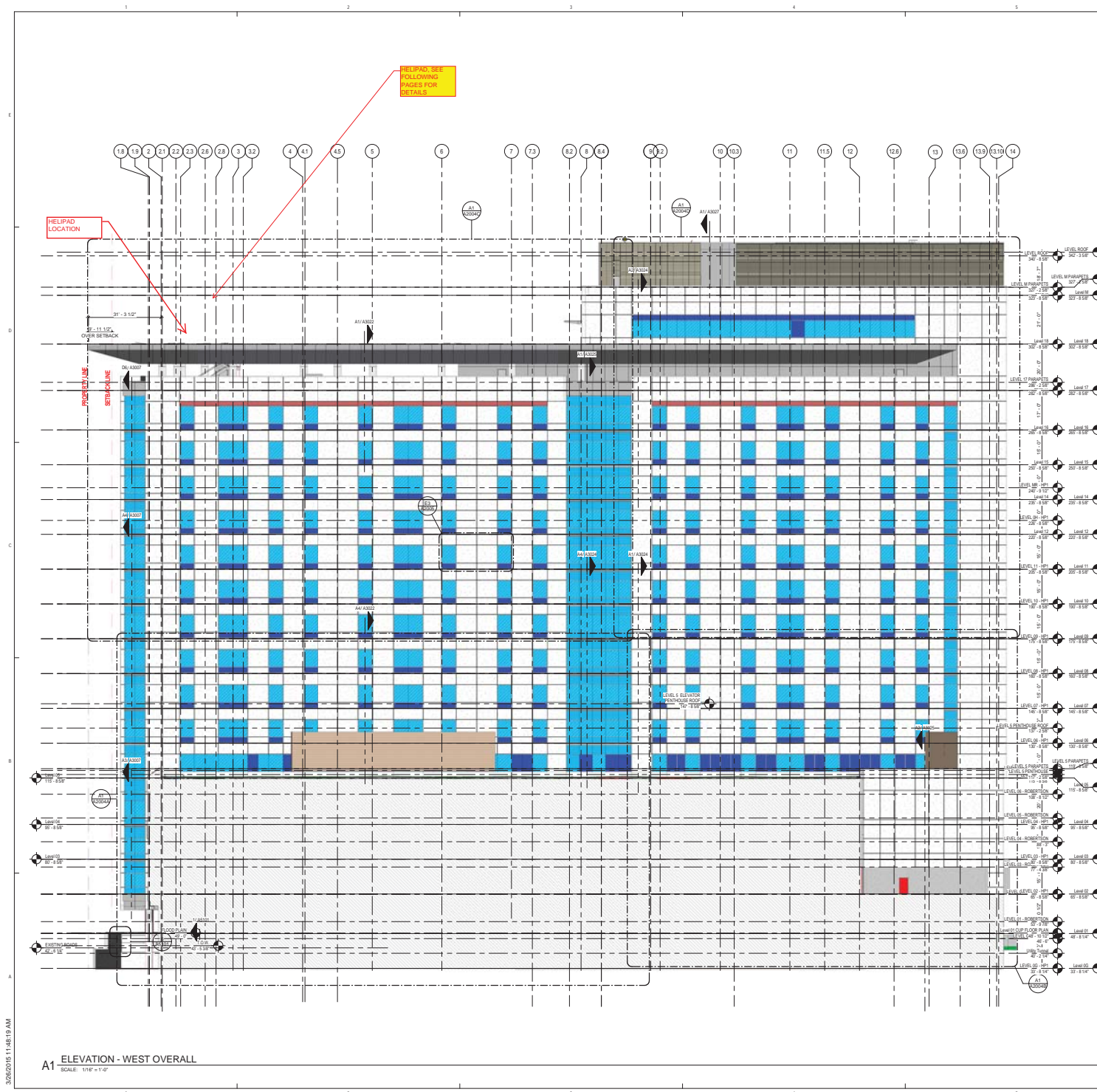
**A302**











## GENERAL NOTES

- ALL PATIENT ROOMS WILL GET INTERNAL BLIND UNITS UNLESS OTHERWISE NOTED.
- FOR ALL GLAZING TYPES - REFER TO THE PROJECT MANUAL.
- REFER TO SHEET A2001 FOR EXTERIOR MATERIAL FINISH SCHEDULE.

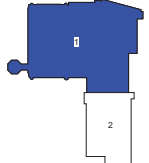
## MATERIAL LEGEND

	LOW E GLASS		TERRA COTTA
	FROSTED GLASS		PRE-CAST
	SPANDREL GLASS		CEMENT PLASTER
	FLAT GLASS		METAL PANEL
	CLEAR GLASS		EXPANDED METAL
			GRANITE

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## KEY PLAN



**HERMANN  
PAVILION II,  
PARKING &  
INFRASTRUCTURE  
BUILDING**



**MEMORIAL  
HERMANN**  
MEMORIAL HERMANN

These documents are for review only  
and are NOT for regulatory approval,  
permitting or construction.  
Date: 02/06/2015  
Architect of record: MITCHELL L. WORTLEY  
Title: TEXAS  
Registration No. 9131

**EXTERIOR - WEST  
ELEVATION**

PHASE: CD PROGRESS PRINTING  
DATE: 02/06/2015

PROJECT NO.  
H13000.01  
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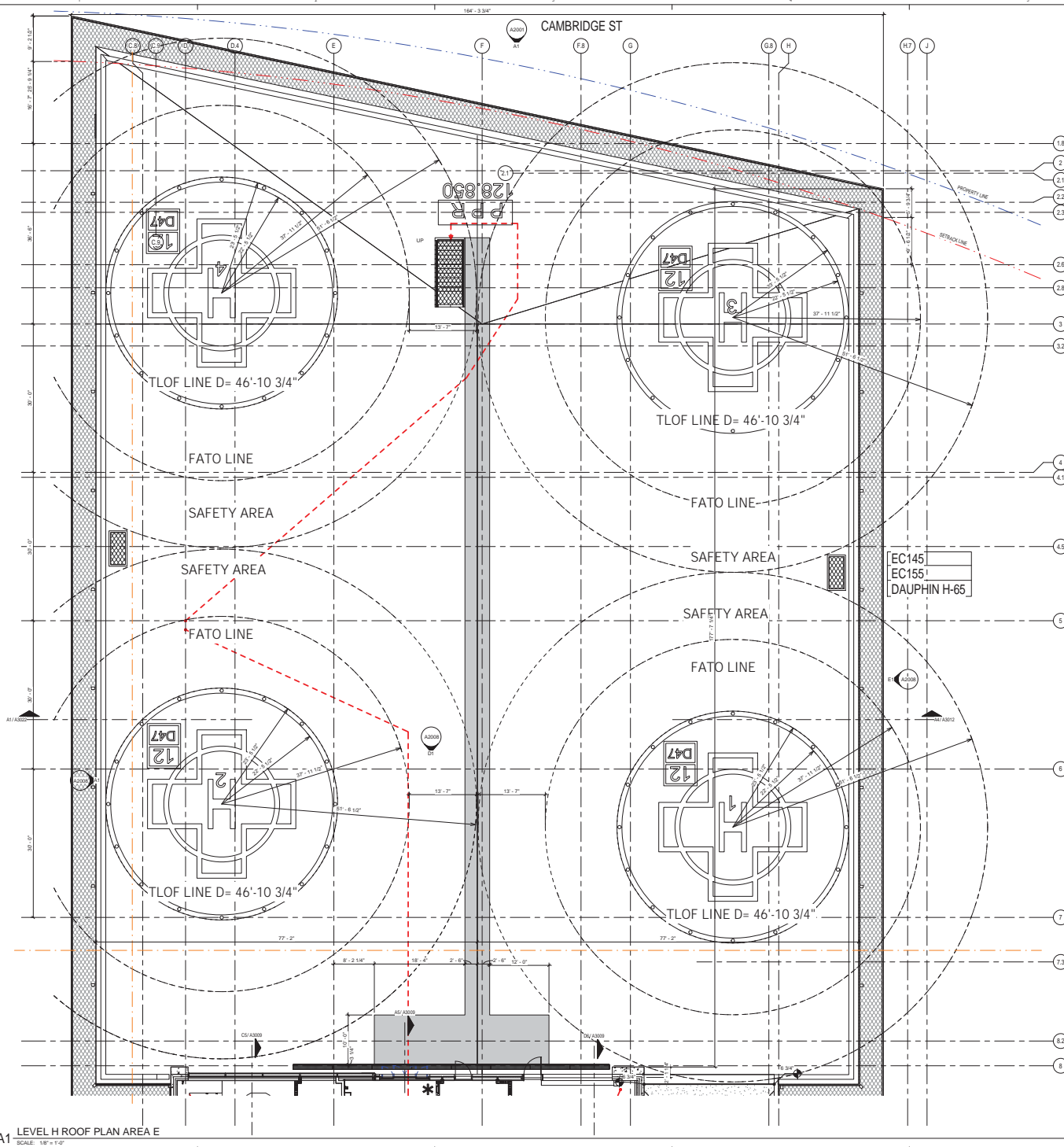
**A2004**

**A1 ELEVATION - WEST OVERALL**  
SCALE: 1/16" = 1'-0"

3/26/2015 11:48:19 AM

3/26/2015 11:53:44 AM

A1 LEVEL H ROOF PLAN AREA E  
SCALE: 1/8" = 1'-0"



## GENERAL NOTES

- REFER TO THE PROJECT MANUAL FOR FRAMED OPENING SCHEDULE AND HARDWARE SCHEDULES.
- PARTITIONS SHALL BE TYPE (S) UNLESS NOTED OTHERWISE.
- REFER TO SHEET A404 FOR PARTITION TYPES.
- PARTITIONS ARE DIMENSIONED TO FINISH FACE OF DRYWALL UNLESS NOTED OTHERWISE.
- REFER TO SHEET A404 FOR TYPICAL INTERIOR PARTITION DETAILS.

## FIRE RATING LEGEND

SYMBOL	PARTITION	DOOR
---	CORRIDOR (REQUIRED)	POSITIVE LATCH
=====	ONE HOUR SMOKE BARRIER	20 MIN.
=====	ONE HOUR	20 MIN.
=====	ONE HOUR	45 MIN.
=====	ONE HOUR	60 MIN.
=====	TWO HOUR	90 MIN.
=====	THREE HOUR	3 HR.
=====	FOUR HOUR	3 HR.
=====	EXISTING	EXISTING
➡	EXIT	

NOTE: FOR SCHEDULED DOORS WHERE SMOKE AND FIRE SEPARATIONS COINCIDE, THE MORE STRINGENT FIRE RATING SHALL APPLY.

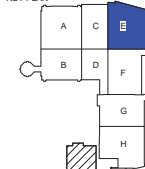
## NOTES TO SHEET

EC145  
EC155  
DAUPHIN H-65

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Houston, Texas 77002  
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## KEY PLAN



**HERMANN  
PAVILION II,  
PARKING &  
INFRASTRUCTURE  
BUILDING**

**MEMORIAL  
HERMANN**

**MEMORIAL  
HERMANN**

MEMORIAL HERMANN

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and are NOT for regulatory approval,  
permitting, or construction.  
Date: 02/06/2015  
Architect of record: MITCHELL L. WORTLEY  
Title: TEXAS  
Registration No.: 9131

**LEVEL 18 FLOOR PLAN  
AREA E - SHELL**

PHASE: CD PROGRESS PRINTING  
DATE: 02/06/2015

PROJECT NO.  
H13000.01

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**A1118.E**



**Application Number:** 2015-0559

**Plat Name:** Memorial Hermann Hospital

**Applicant:** Kuo & Associates, Inc

**Date Submitted:** 03/20/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

A zero building line along Cambridge Street for proposed canopy and helipad areas

**Chapter 42 Section:** 155

**Chapter 42 Reference:**

Sec. 42-155. Collector and local streets--Uses other than single-family residential. (a) The building line requirement for a tract used or to be used for other than single-family residential purposes adjacent to a street that is a collector street or local street that is not an alley shall be ten feet unless otherwise required or authorized by this chapter.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

See 1b.

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

Applicant is requesting a subdivision plat variance for new construction at Hermann Hospital in the Medical Center. Variance is sought for zero building line along Cambridge Street for proposed canopy and helipad areas. Due to the new construction, a temporary emergency drop off is being constructed, which will be in place for two to three years. This canopy will extend past the building setback line and up to the property line. All supports and columns will be inside the setback line, as the canopy is cantilevered over the setback to the property line. There is also a proposed helicopter landing pad on Level 18, over 200 feet above ground elevation. This helipad has a required safety net that extends over the edge of the building, past the setback line, up to the property line. Neither of these will affect the views of pedestrians in the right of way, nor will either of these encroachments extend past the property line. The canopy overhang will extend to the property line for the benefit of the patients being dropped off. A dry surface is needed to ensure the safety of all involved. The helipad safety net is required by the code as a safety feature. These are both being installed to improve the safety of hospital patients and staff.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

This is not a result of a hardship created by the applicant, these are safety recommendations for the benefit and protection of hospital patients and staff.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

Yes, the intent and general purposes of this chapter will be preserved and maintained as neither of the two encroachments change the line of site for any pedestrian or vehicular traffic. The columns that support the canopy at the emergency drop off are all located inside the property, not in the building setback line. The canopy is cantilevered over this setback line. These are both being installed for the safety of hospital patients and staff.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

This variance will not be injurious to the public health, safety or welfare. The canopy will not restrict any line of sight, and the safety net is designed as a safety feature in accordance with the code. Both the canopy and the safety net are being installed for the safety of hospital patients and staff.

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is not the sole justification of the variance, the helipad safety net is required by the code and the cantilevered canopy over the emergency loading drive is to create a safe, dry area to unload patients. Both the canopy and the safety net are being installed to improve the safety of the hospital patients and staff.



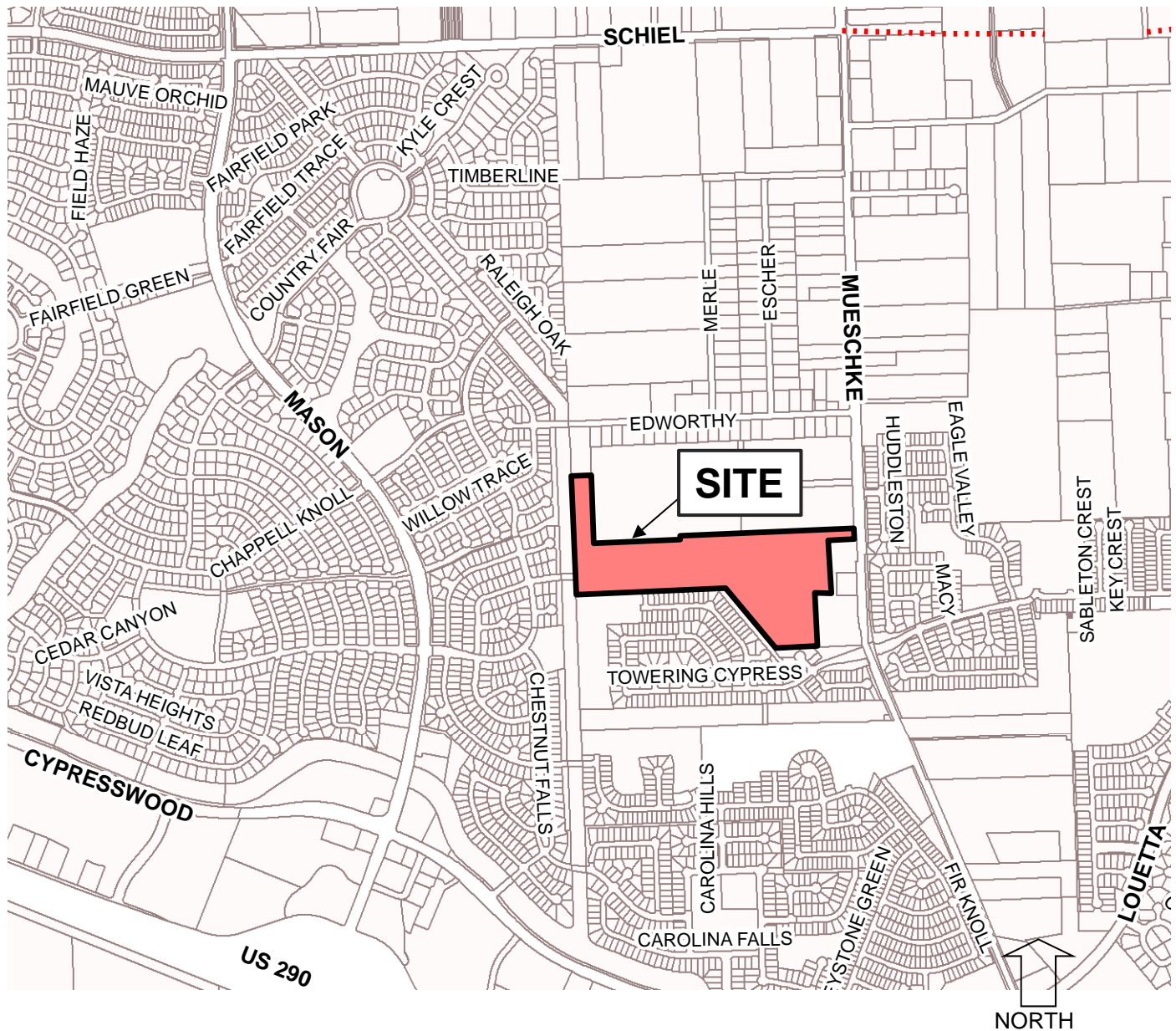
# Houston Planning Commission      ITEM : 112

Planning and Development Department

Meeting Date: 04/30/2015

**Subdivision Name: Mueschke Road Tract (DEF 1)**

**Applicant: BGE|Kerry R. Gilbert Associates**



**D – Variances**

**Site Location**

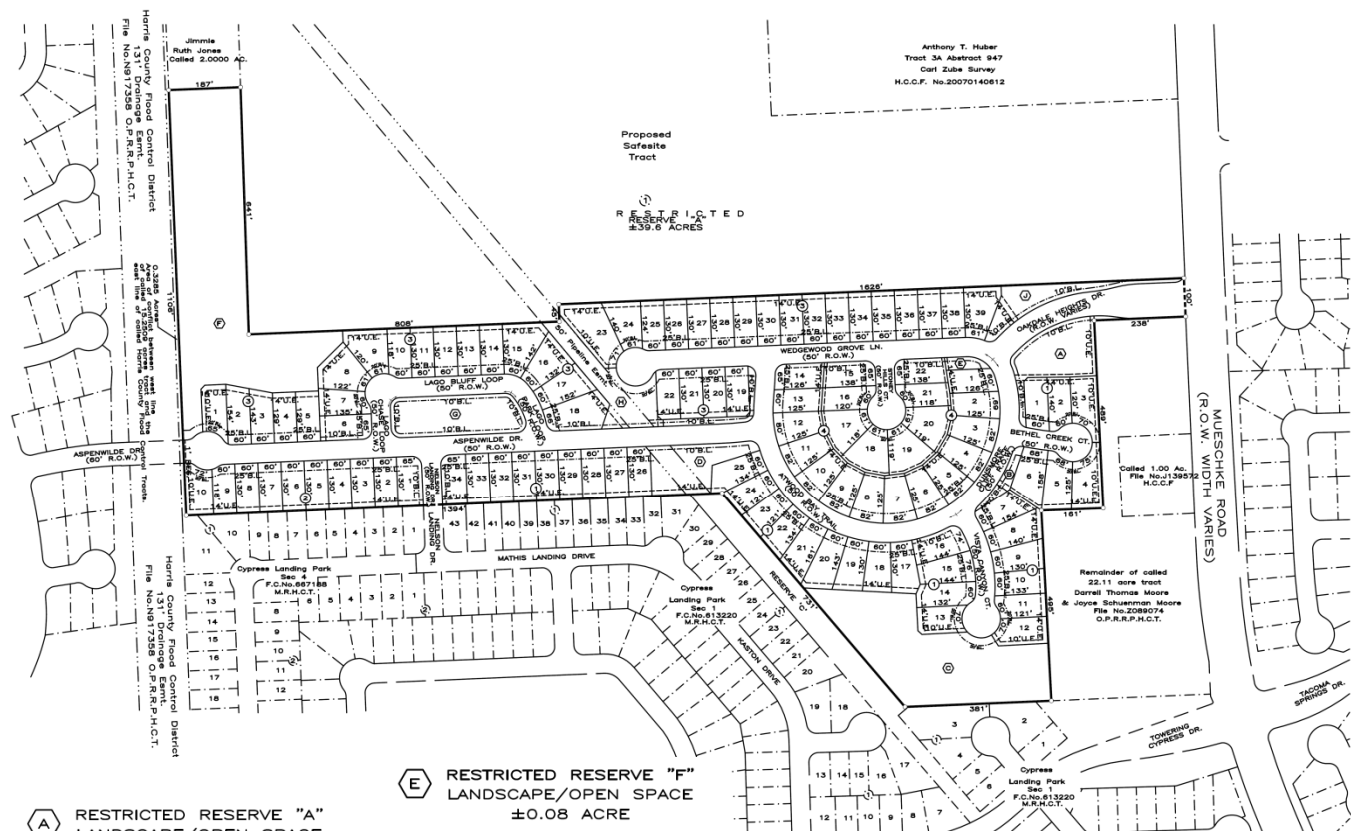
# Houston Planning Commission

## ITEM : 112

Planning and Development Department Meeting Date: 04/30/2015

Subdivision Name: Mueschke Road Tract (DEF 1)

Applicant: BGE|Kerry R. Gilbert Associates



- A** RESTRICTED RESERVE "A" LANDSCAPE/OPEN SPACE  $\pm 0.68$  ACRE
- B** RESTRICTED RESERVE "B" LANDSCAPE/OPEN SPACE  $\pm 0.11$  ACRE
- C** RESTRICTED RESERVE "C" DETENTION  $\pm 2.44$  ACRES
- D** RESTRICTED RESERVE "D" LANDSCAPE/OPEN SPACE  $\pm 0.59$  ACRE
- E** RESTRICTED RESERVE "F" LANDSCAPE/OPEN SPACE  $\pm 0.08$  ACRE
- F** RESTRICTED RESERVE "F" DETENTION  $\pm 4.1$  ACRES
- G** RESTRICTED RESERVE "G" LANDSCAPE/OPEN SPACE  $\pm 0.79$  ACRE
- H** RESTRICTED RESERVE "H" LANDSCAPE/OPEN SPACE  $\pm 0.76$  ACRE
- J** RESTRICTED RESERVE "J" LANDSCAPE/OPEN SPACE  $\pm 0.45$  ACRE



D – Variances

Subdivision



# Houston Planning Commission ITEM : 112

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Mueschke Road Tract (DEF 1)

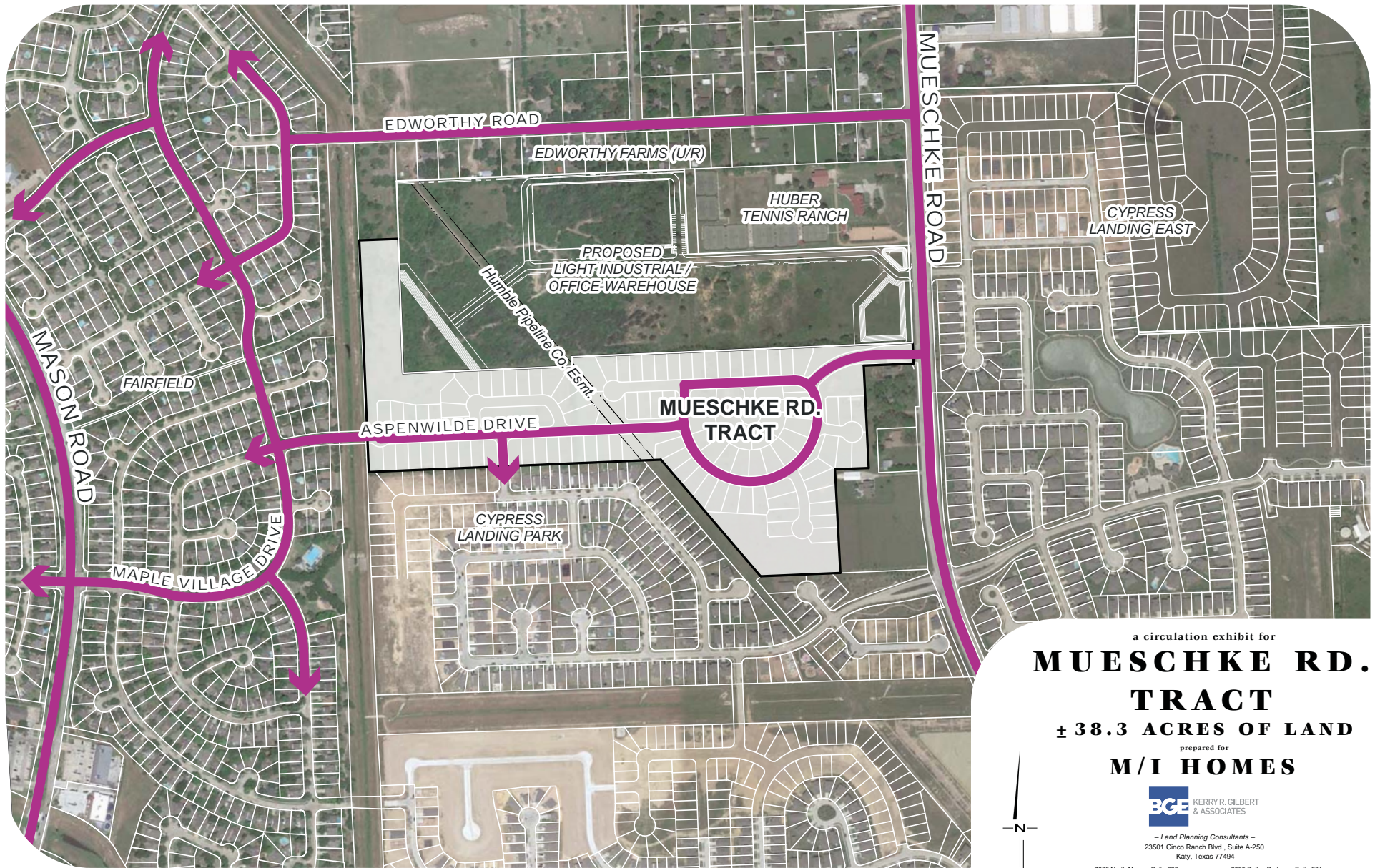
Applicant: BGE|Kerry R. Gilbert Associates



**D – Variances**

**Aerial**





a circulation exhibit for  
**MUESCHKE RD.  
TRACT**  
± 38.3 ACRES OF LAND  
prepared for  
**M/I HOMES**



— Land Planning Consultants —  
23501 Cinco Ranch Blvd., Suite A-250  
Katy, Texas 77494  
7000 North Mopac, Suite 330  
Austin, TX 78731  
2595 Dallas Parkway, Suite 204  
Frisco, TX 75034

Tel: 281-579-0340

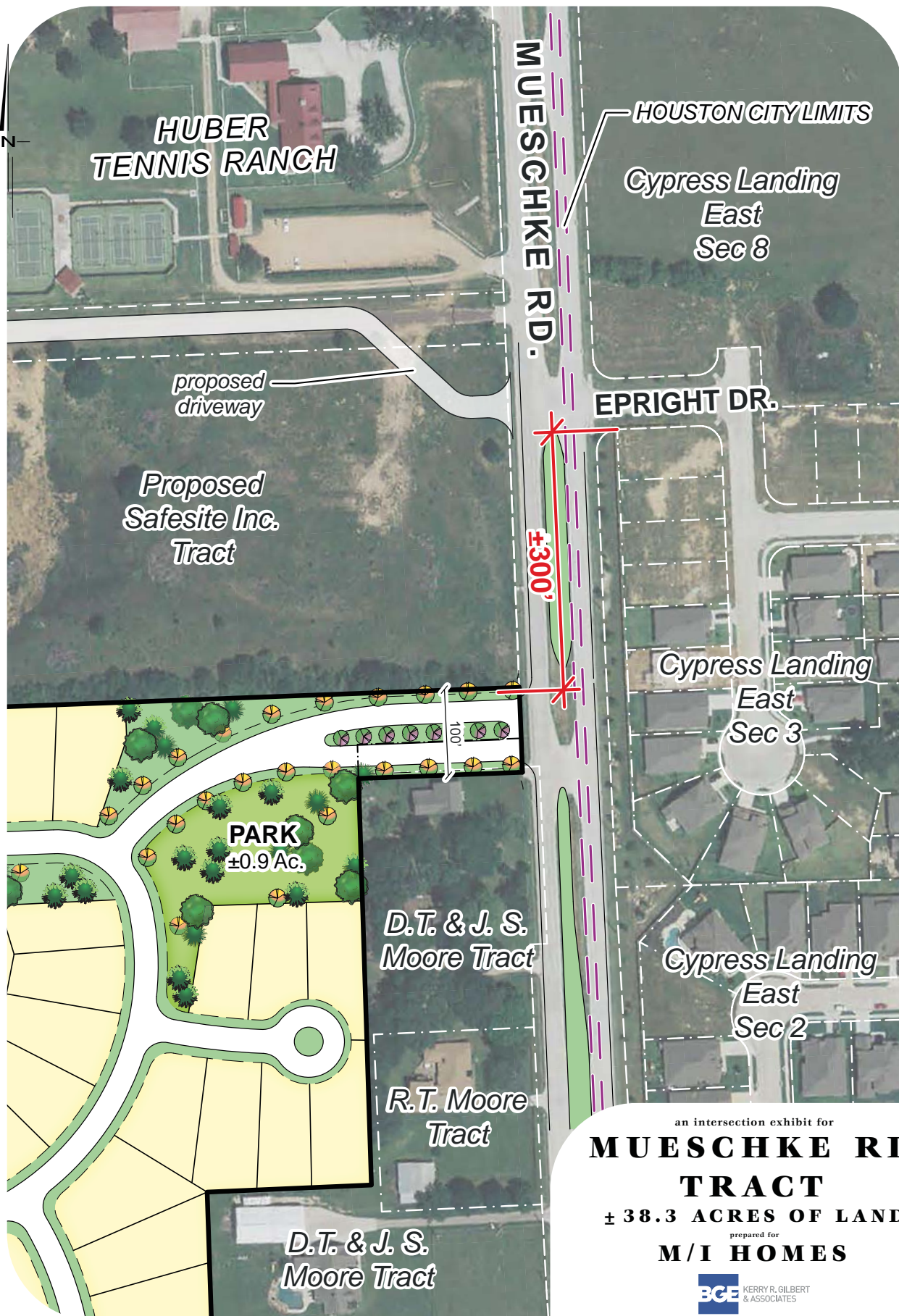
SCALE  
0 50 100 200

APRIL 8, 2015  
KGA #30000

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an intersection exhibit for  
**MUESCHKE RD**  
**TRACT**  
**± 38.3 ACRES OF LAND**  
prepared for  
**M/I HOMES**



— Land Planning Consultants —  
23501 Cinco Ranch Blvd., Suite A-250  
Katy, Texas 77494

7000 North Mopac, Suite 330  
Austin, TX 78731

2595 Dallas Parkway, Suite 204  
Frisco, TX 75034

Tel: 281-579-0340

SCALE  
0 25 50 100

APRIL 6, 2015  
KGA #30000

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**Application Number:** 2015-0743

**Plat Name:** Mueschke Road Tract

**Applicant:** BGE|Kerry R. Gilbert Associates

**Date Submitted:** 04/06/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

To exceed the maximum local street intersection spacing by allowing a block length of approximately 3150' between Mueschke Road and Maple Village Drive.

**Chapter 42 Section:** 42-128

**Chapter 42 Reference:**

Sec 42-128. Intersections of local streets. (a) (1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet; or

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The Mueschke Road Tract is a ±40-acre single-family development located northwest of central Houston on the major thoroughfare Mueschke Road, north of its intersection with Louetta Road and south of its intersection with Cumberland Ridge Road aka Schiel Road. The site is west of Mueschke Road, north of the Cypress Landing Park community, east of the Fairfield community, and south of a proposed light industrial / office-warehouse development. The tract makes three public street connections: east to Mueschke Road, south to the stub street Nelson Landing Drive in Cypress Landing Park, and west to the extension of Aspenwilde Drive in Fairfield. No public street connections are proposed along the northern boundary into the proposed adjacent light industrial / office-warehouse development (see plat app. # 2015-0722). The subject site is also crossed at an angle by an existing pipeline easement.

The tract immediately to the north of the subject site, called the Safesite Tract, proposes a single reserve restricted to non-residential uses, with a proposed land use of light industrial and office-warehouse facilities. This proposed adjacent development will take its access from Mueschke Road and provide private driveways to serve the various large buildings that will be constructed on-site. The site will be accessed by employees and delivery vehicles only, with no customer traffic. The proposed light industrial / office-warehouse land use is incompatible with single-family residential communities such as that proposed within the subject site. Through traffic from the adjacent development into the subject site would be injurious to the public health, safety, and welfare of the future residents living in the community.

Furthermore, the surrounding single-family developments all have ample circulation via the existing and proposed public street network, which adequately serves all the residents of the area with multiple interconnections – see attached regional circulation exhibit. East-west circulation already exists within the parameters of Chapter 42: on the north by Edworthy Road and major thoroughfare Shiel Road further to the north, as well as the excellent circulation and multiple stub streets in Fairfield; in the subject site via the connection to Aspenwilde Drive from Fairfield; as well as other connections already established in Cypress Landing Park further to the south. North-south circulation is currently handled by Mueschke Road to the east and the circulation established in Fairfield to the west, primarily Maple Village Drive, which functions as a collector-type street and makes connections to major thoroughfare Mason Road further west. The distance from Mueschke Road to Maple Village Drive is approximately 3150', which exceeds the required intersection spacing. However, all the lots within this block have immediate access to routes around the block or out to the surrounding areas; no maze-like dead-ends are being created.

A north-south through-street from Edworthy Road to the south is unlikely. The single-family tracts fronting on Edworthy Road are unlikely to ever redevelop or be platted, and even in such a case, the extension of a public street through one of these tracts would deprive that owner of the reasonable use of their land by leaving only a sliver of developable property remaining after extending a public street from Edworthy Rd. Most likely, one of these tracts would have to be condemned in order for a street connection to be made.

To further complicate matters, a public street through the subject site would have to avoid or cross over the existing pipeline easement, and account for the existing tennis club and proposed light industrial / office-warehouse buildings to the north, as well as the various detention facilities required by the two developments, all of which limit the feasible alignments for a public street.

Due to the incompatible nature of the proposed land use on the tract to the north, as well as the existing and proposed public street network that surrounds and connects through the subject site, a public stub street to the north would be both unsafe and unnecessary.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The incompatible nature of the proposed land use on the tract to the north is the supporting circumstance for the granting of the variance.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The overall circulation of the region is upheld by the major thoroughfare grid and the many public street connections that adequately serve the surrounding communities, thereby preserving and maintaining the intent and general purposes of this chapter.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance will prevent cross-traffic between the single-family communities and the proposed light industrial / office-warehouse development, which will protect the health, safety, and welfare of the nearby residents.

**(5) Economic hardship is not the sole justification of the variance.**

The existing and proposed street circulation, the incompatible nature of the proposed land use, the existing pipeline easement, and the required detention facilities are the supporting circumstances for the variance.





**Application Number:** 2015-0743

**Plat Name:** Mueschke Road Tract

**Applicant:** BGE|Kerry R. Gilbert Associates

**Date Submitted:** 04/06/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

To allow an intersection offset of approximately 300' between existing and proposed streets along a major thoroughfare.

**Chapter 42 Section: 127**

**Chapter 42 Reference:**

(b) Intersections along a major thoroughfare shall be spaced a minimum of 600 feet apart.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The Mueschke Road Tract is a ±40-acre single-family development located northwest of central Houston on the major thoroughfare Mueschke Road, north of its intersection with Louetta Road and south of its intersection with Cumberland Ridge Road. The site is west of Mueschke Road, north of the Cypress Landing Park community, east of the Fairfield community, and south of a proposed light industrial / office-warehouse development. The tract has a narrow window of approximately 100' fronting on Mueschke Road, and is otherwise bounded on the east by two small acreage tracts with existing buildings on-site. On the west side of Mueschke Road, the next nearest intersections from this access window are Edworthy Road about 1050' to the north and Towering Cypress Drive / Tacoma Springs Drive about 1050' to the south. On the east side of Mueschke Road, the next nearest intersection is Epright Drive, a local street 300' to the north, which functions as a back-door connection into the Cypress Landing East community. This 300' offset is sufficient distance to establish a safe median cut spacing on Mueschke Road, however it is not in compliance with the required intersection spacing along major thoroughfares, which considers both sides of the street. The 600' intersection spacing south of the Epright Drive and north of Towering Cypress Drive / Tacoma Springs Drive falls adjacent to the existing home sites on the acreage tracts that separate the bulk of the subject site from Mueschke Road. The client purchased the rear portion of one of these acreage tracts to incorporate into the subject site, however the seller retained the portion in which the home sites exist, leaving the 100' window as the only access to Mueschke Road. The development proposes a boulevard entry within the 100' window onto Mueschke Road, which will function as the main entry into the development. However, additional connections are being made to existing stub streets from Cypress Landing Park on the south and Aspenwilde Drive from the west, so traffic circulation will not be limited to the entry from Mueschke Road.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The limited access to Mueschke Road created by the configuration of the site is the supporting circumstance for the variance.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intersection spacing along both sides of the street is sufficient to establish safe separation between median openings, thereby preserving and maintaining the intent and general purposes of this chapter.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The median spacing along Mueschke Road will not exceed the required minimum for safe intersections, therefore the granting of the variance will not be injurious to the health, safety, and welfare.



**(5) Economic hardship is not the sole justification of the variance.**

The limited access to Mueschke Road created by the configuration of the site is the supporting circumstance for the variance.

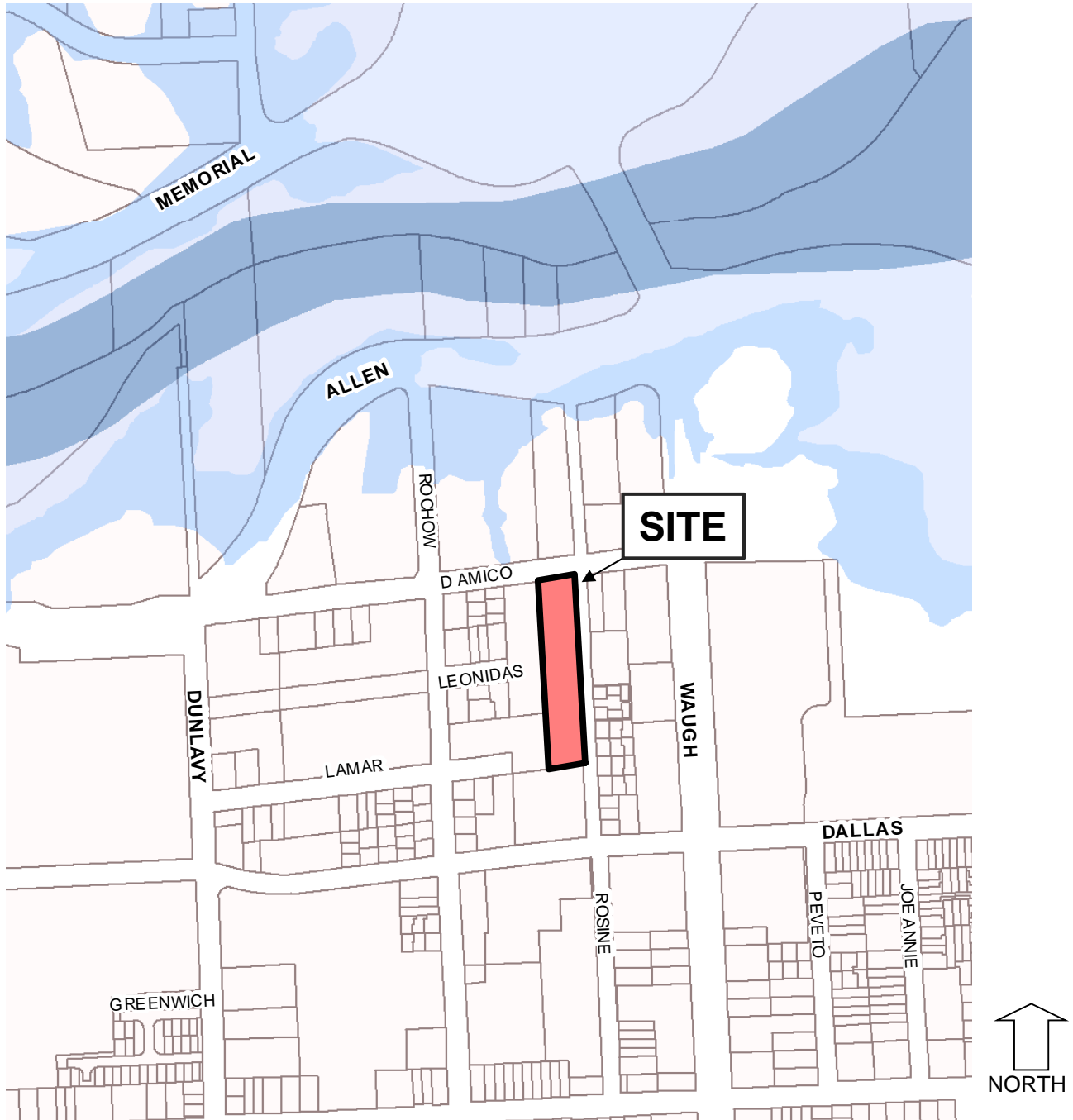
# Houston Planning Commission      ITEM: 113

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Rosine Gardens

Applicant: The Interfield Group



**D – Variances**

**Site Location**

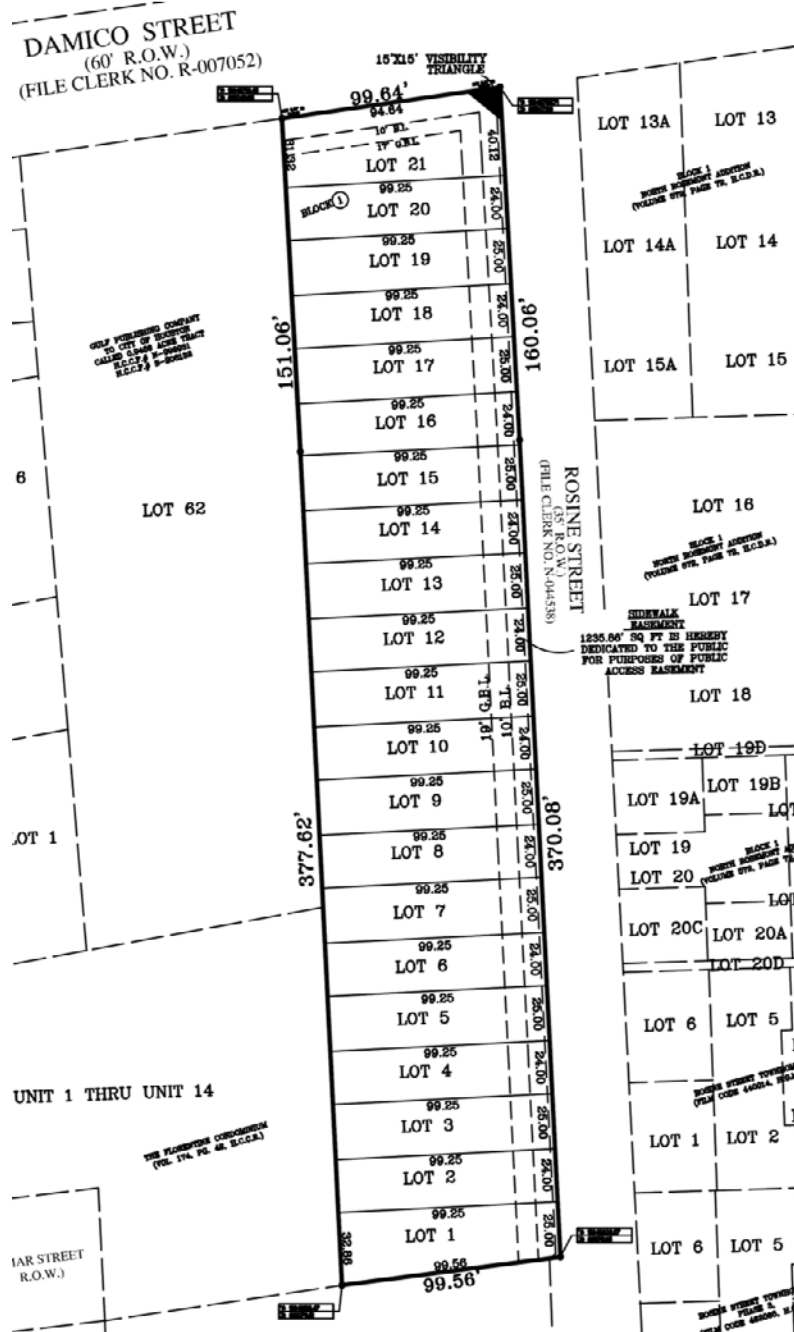
# Houston Planning Commission ITEM: 113

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Rosine Gardens

Applicant: The Interfield Group



D – Variances

Subdivision

# Houston Planning Commission

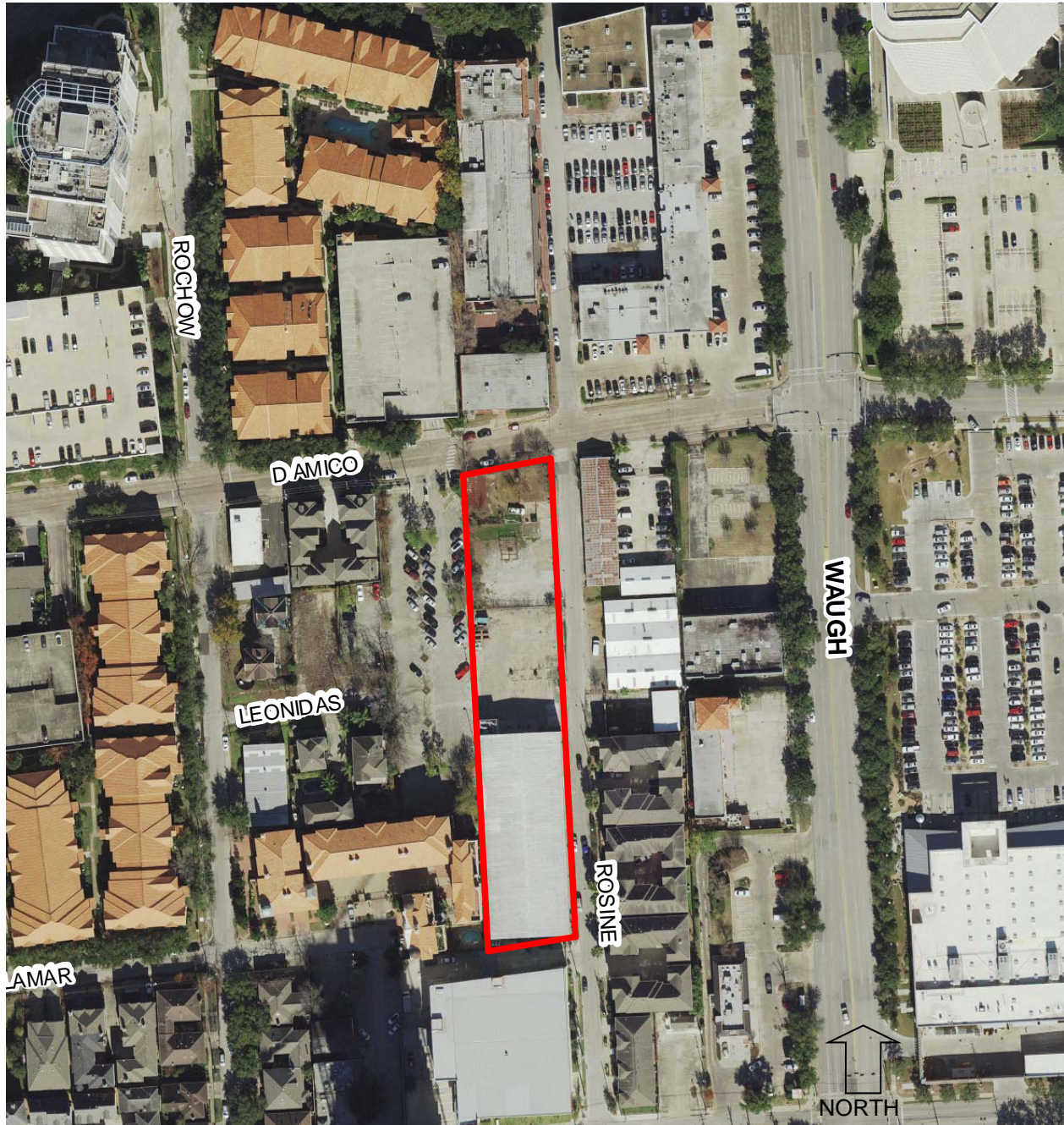
ITEM: 113

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Rosine Gardens

Applicant: The Interfield Group



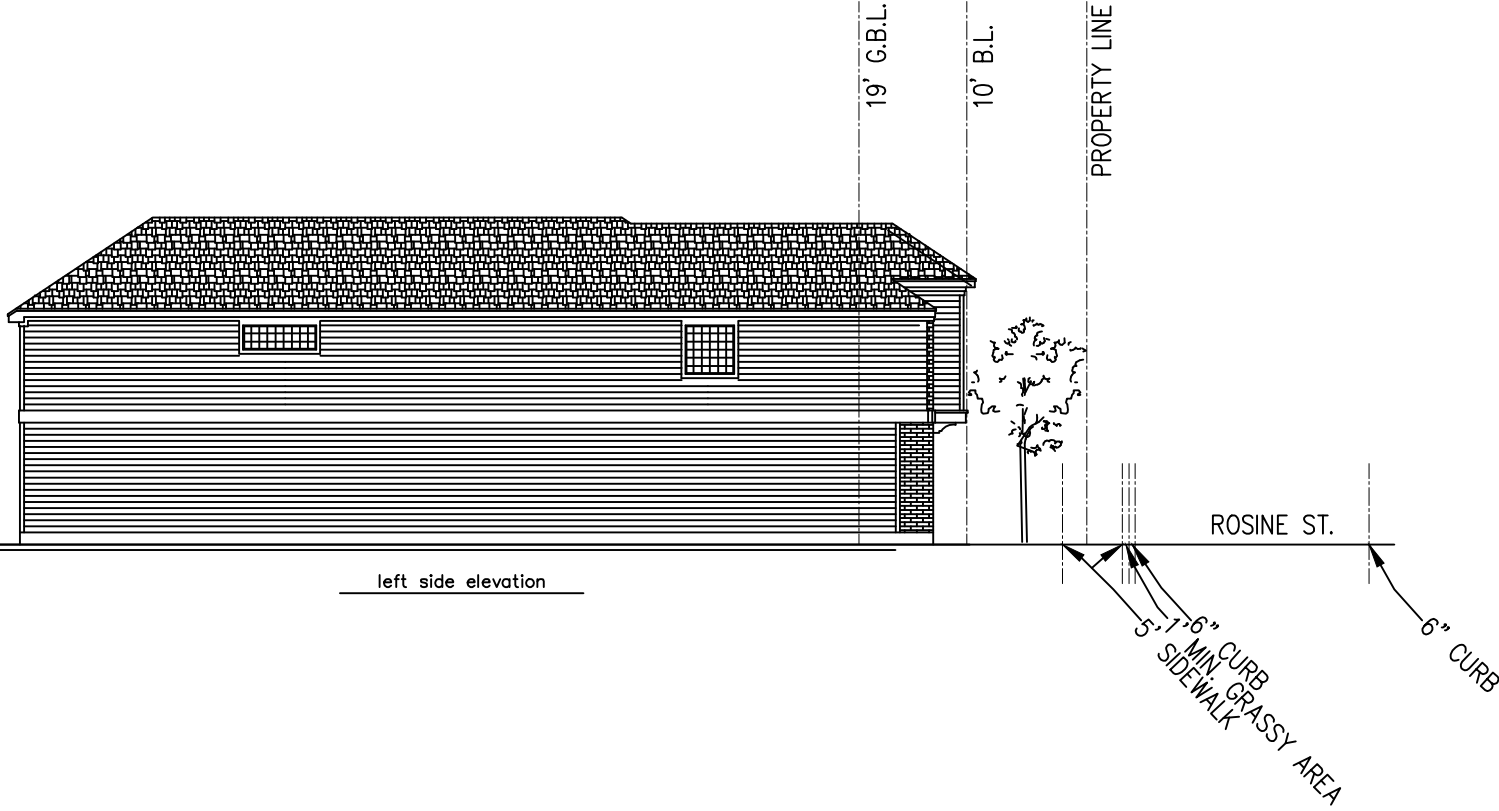
D – Variances

Aerial



**A** ROSINE ST. LEFT ELEVATION  
SCALE: 1/16"=1'-0"

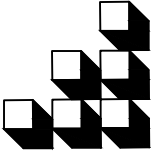
left side elevation



**THE INTERFIELD GROUP**  
ARCHITECTURE / PLANNING / ENGINEERING

401 STUDEWOOD, SUITE 300  
HOUSTON, TEXAS 77007

TEL. (713) 780-0909  
TBAE REG. NO. F-5611  
TBAE REG. NO. BR741



TITLE  
PROPOSED ELEVATIONS

PROJECT  
800 ROSINE

DATE: 04/03/15 JOB #: 15024.00

DRAWN BY: OG

CHECKED BY: MFQ

SHEET NO.

SK3



---

**Application Number:** 2015-0659

**Plat Name:** Rosine Gardens

**Applicant:** The Interfield Group

**Date Submitted:** 03/23/2015

---

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Specific variance is being sought and extent to allow no street widening dedication along Rosine Street.

**Chapter 42 Section: 122**

**Chapter 42 Reference:**

Chapter 42 Reference: 42-122 – Right-of-Way Widths – Local Streets Sec. 42-122. Right-of-way widths. The minimum right-of-way required for each of the following types of streets or public alleys shall be as follows, subject only to the street width exception areas established pursuant to section 42-123 of this Code: Major thoroughfares (1) The lesser of 100 feet or the right-of-way specified by the street hierarchy classification established by the major thoroughfare and freeway plan; or (2) 100 feet for streets designated on the major thoroughfare and freeway plan for which a street hierarchy classification is not established Collector streets designated on the major thoroughfare and freeway plan The right-of-way width established by the major thoroughfare and freeway plan Other collector streets (1) 60 feet; or (2) 50 feet if all properties on both sides of the collector street consist of single-family residential lots that do not have driveway access to the collector street. Local streets (1) 50 feet if adjacent to exclusively single-family residential lots; or (2) 60 feet if adjacent to any other development Public alleys 20 feet Type 1 permanent access easement The width required if the permanent access easement were a public street Type 2 permanent access easement 28 feet The right-of-way width of a type 2 permanent access easement is coterminous with the pavement width and the terms are used interchangeably. The width shall be measured from edge to edge across the surface of the pavement

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land;**  
**OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

Rosine Gardens is located west of Rosine Street, south of Damico Street, east of Rochow Street, north of West Dallas Street. Chapter 42 requires a residential development to front on a 50' right-of-way. In the case of Rosine Patio Homes, the right-of-way of Rosine Street appears to be a recorded as 35'; therefore, owner is required to dedicate one-half the land needed for the right-of-way. In 2000, Rosine Street Townhomes Phase 3, recorded in Harris County Film Code No. 462065, identified Rosine Street as a 60' right-of-way and did not dedicate any of the land needed for street widening purposes. In 2000, Rosine Street Townhomes, recorded in Harris County Film Code No. 440014, identified Rosine Street as a 60' right-of-way and did not dedicate any of the land needed for street widening purposes. Tracts of land north of Rosine Street Townhomes are identified out of North Rosement Addition, and not out of a recent platted subdivision, nor does it appear that any additional right-of-way dedication was provided, in addition to the right-of-way dedication shown in the map of North Rosement Addition, recorded in Volume 572, Page 72 of the Harris County Deed Records. According to the recent survey of subject tract, the front property lines of these lots appear to line up with those of Rosine Street Townhomes to the south. These developments were recently constructed. While life expectancy of a home depends on the quality of construction, there are many known structures that have held up well over the typical life expectancy of a home. Typical industry standards, is to design a home with a life expectancy of a minimum of 50 years. With this said, it is highly unlikely that these recent developments will be re-platted and provide

the needed right-of-way for street widening purposes. There would also be the possibility that the land would not be re-platted, with any new construction being built on existing lots. Rosine Gardens will be an asset to the area. It will provide newly constructed residences with adequate landscaping and a new 5-foot sidewalk which most likely will enhance the pedestrian experience for new and existing surrounding residents.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

No hardship created or imposed by the applicant is used as a basis to support the request for this variance. Variance request is based on factors of nearby surrounding developments, and to be consistent with land use in immediate adjacent properties.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purpose of Chapter 42 will be preserved and maintained, due to the following considerations: a. Proposed development will include a 5-foot sidewalk along Rosine Street. b. Proposed development will dedicate 2.59 feet along the front property line to accommodate new 5-foot sidewalk. c. Development will be landscaped and will preserve and enhance the general character of the community

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance will not be injurious to the public health, safety or welfare. Development will enhance public welfare, without any way compromising public health or safety.

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is not the sole justification of the variance, which is being requested on the basis of a reasonable assessment of prior and nearby prevailing conditions.

# Houston Planning Commission

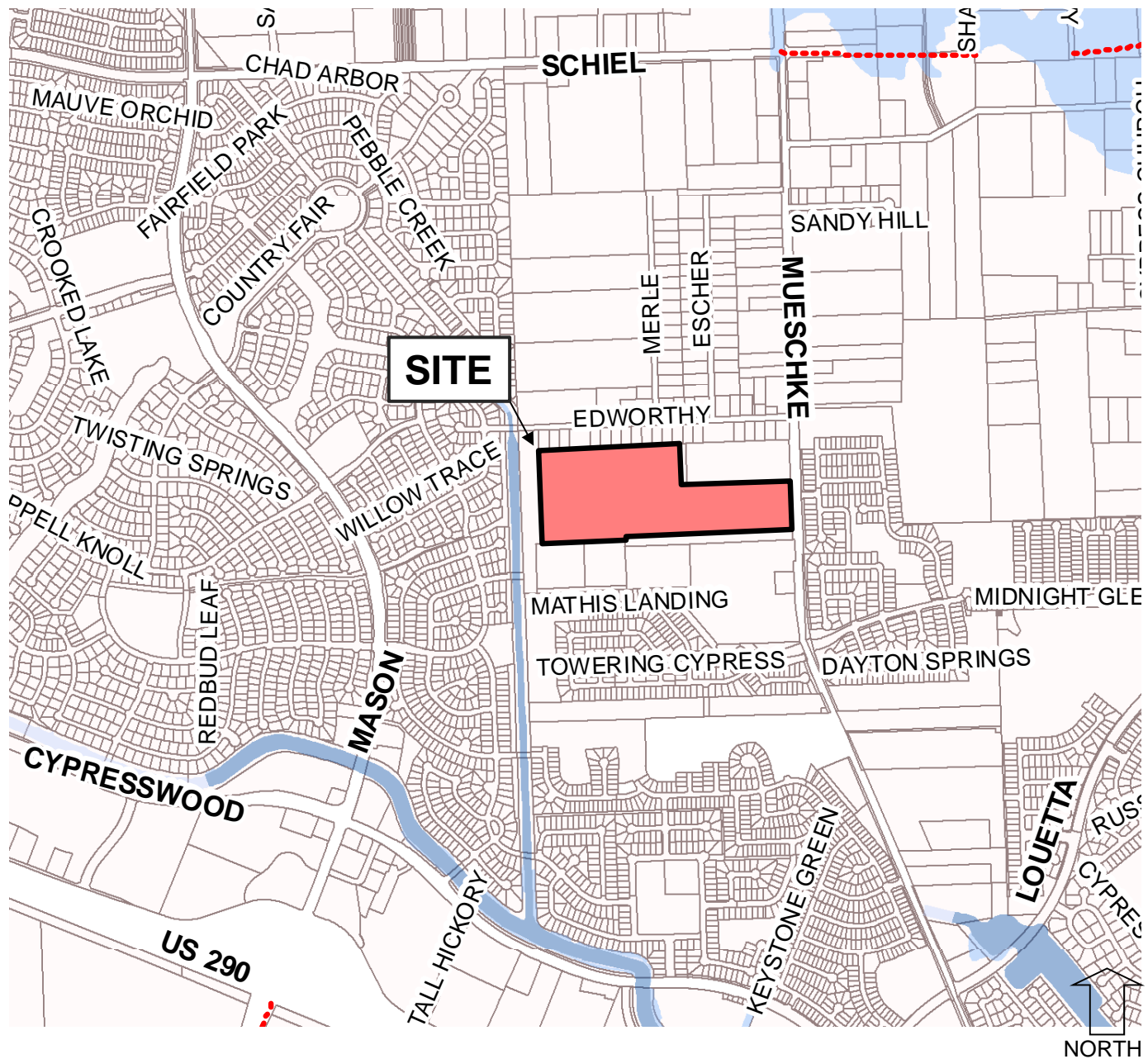
ITEM: 114

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Safesite Tract (DEF 1)

Applicant: BGE|Kerry R. Gilbert Associates



D – Variances

Site Location



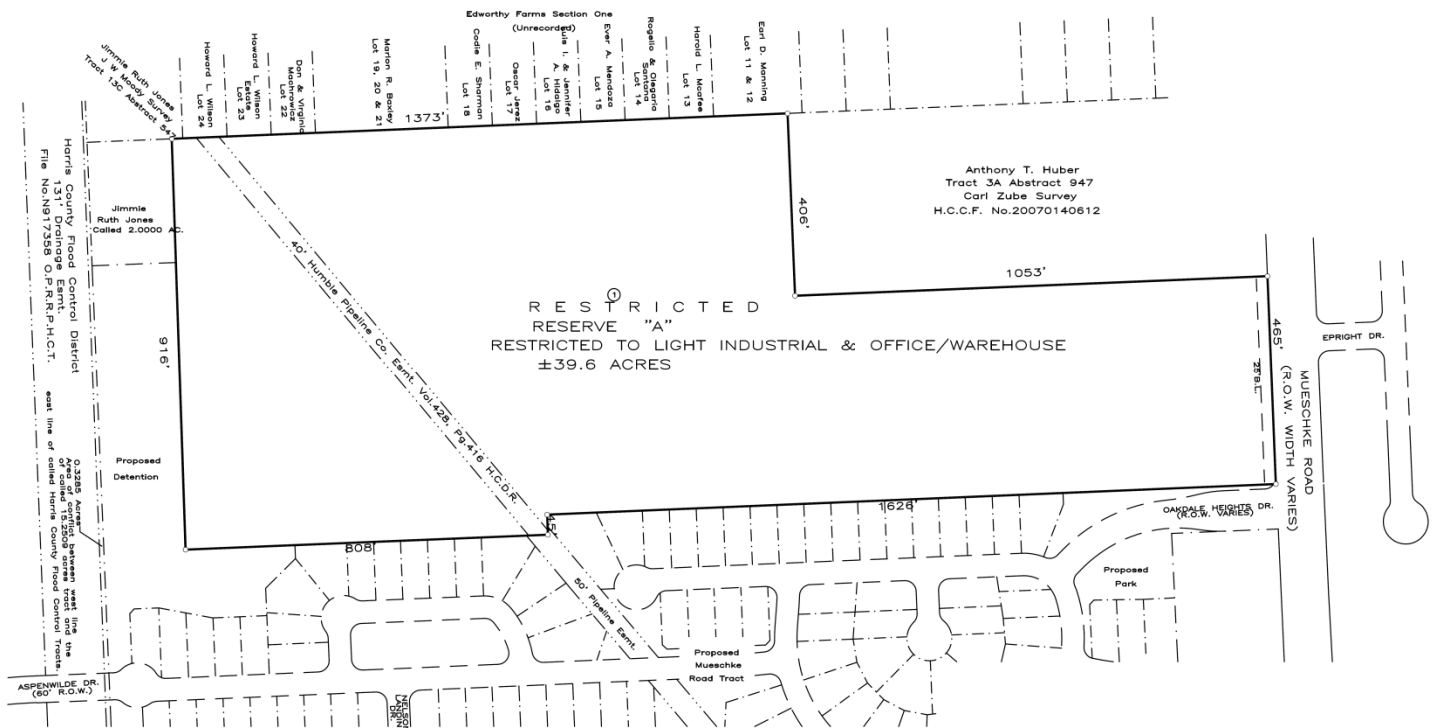
# Houston Planning Commission ITEM: 114

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Safesite Tract (DEF 1)

Applicant: BGE|Kerry R. Gilbert Associates



D – Variances

Subdivision

# Houston Planning Commission

**ITEM: 114**

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Safesite Tract (DEF 1)

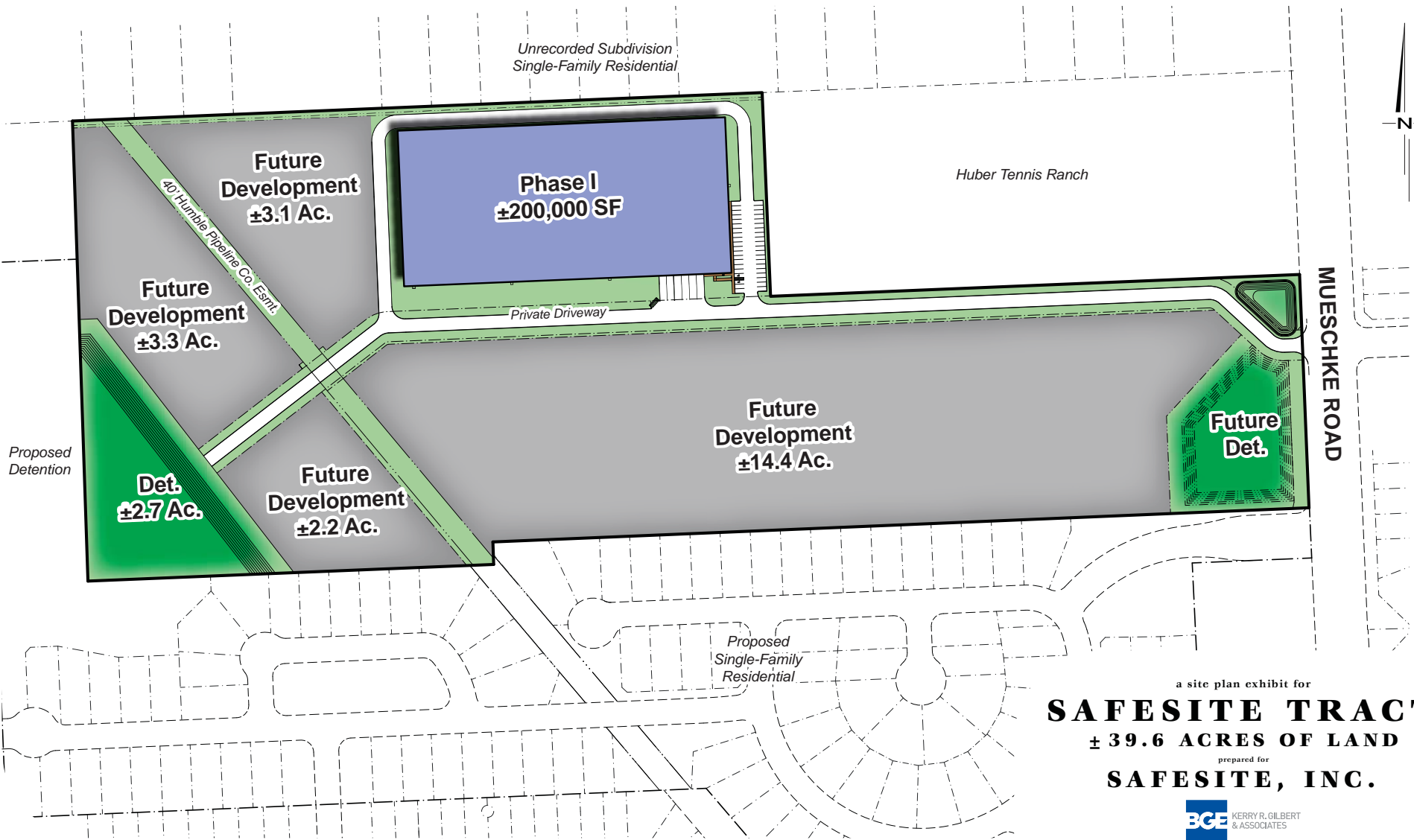
Applicant: BGE|Kerry R. Gilbert Associates



NORTH

**D – Variances**

**Aerial**



a site plan exhibit for  
**SAFESITE TRACT**  
± 39.6 ACRES OF LAND  
prepared for  
**SAFESITE, INC.**



— Land Planning Consultants —  
23501 Cinco Ranch Blvd., Suite A-250  
Katy, Texas 77494

7000 North Mopac, Suite 330  
Austin, TX 78731

2595 Dallas Parkway, Suite 204  
Frisco, TX 75034

Tel: 281-579-0340

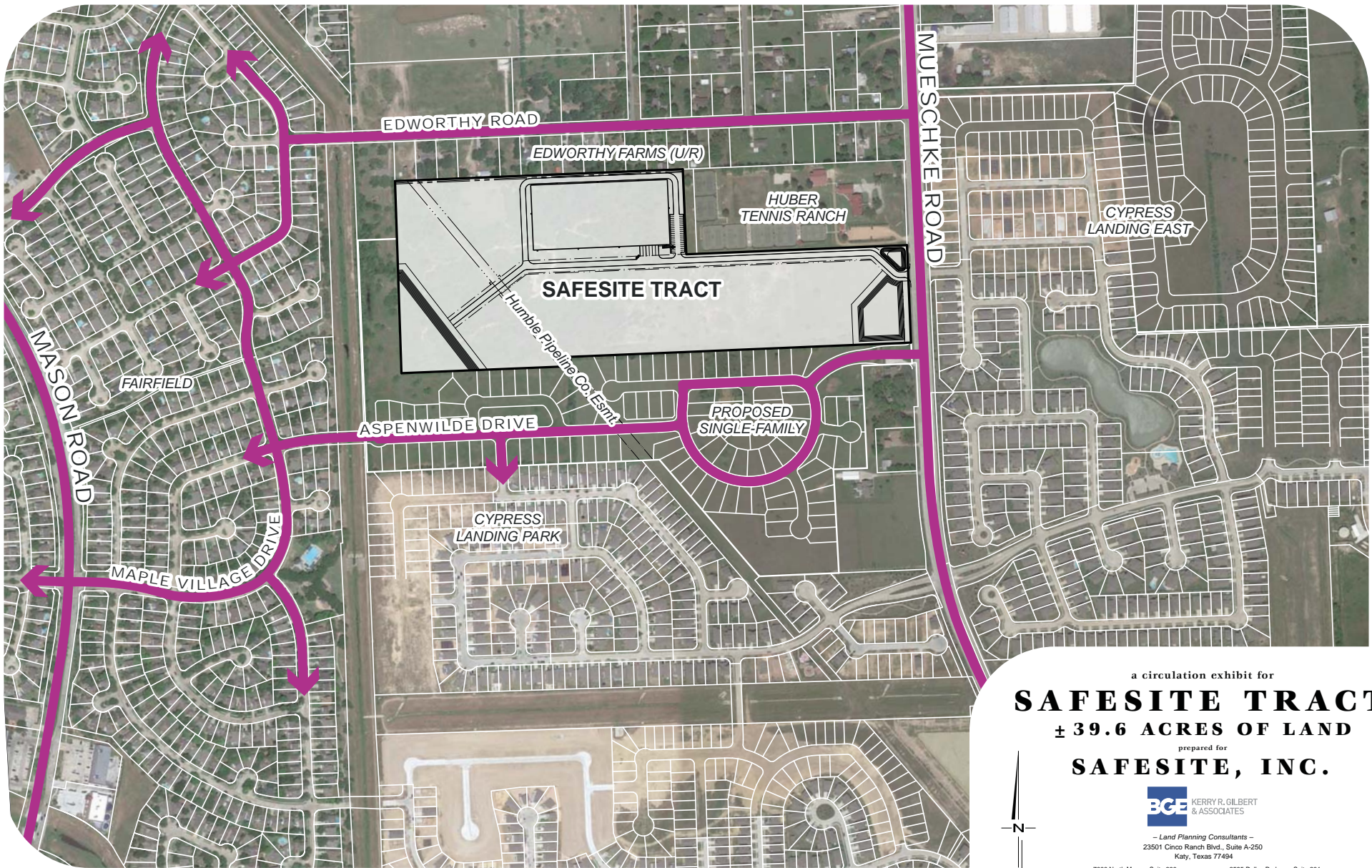
SCALE  
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APRIL 6, 2015  
KGA #30000A

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a circulation exhibit for  
**SAFESITE TRACT**  
± 39.6 ACRES OF LAND  
prepared for  
**SAFESITE, INC.**



— Land Planning Consultants —  
23501 Cinco Ranch Blvd., Suite A-250  
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Austin, TX 78731  
2595 Dallas Parkway, Suite 204  
Frisco, TX 75034

Tel: 281-579-0340

SCALE  
0 50 100 200

APRIL 6, 2015  
KGA #30000A

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**Application Number:** 2015-0722

**Plat Name:** Safesite Tract

**Applicant:** BGE|Kerry R. Gilbert Associates

**Date Submitted:** 04/06/2015

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

To exceed the maximum local street intersection spacing by allowing a block length of approximately 3150' between Mueschke Road and Maple Village Drive.

**Chapter 42 Section: 128**

**Chapter 42 Reference:**

(a) (1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1,400 feet;

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The Safesite Tract is a proposed ±40-acre light industrial/office-warehouse development located generally northwest of central Houston on the major thoroughfare Mueschke Road. Mueschke Road forms the eastern-most boundary of the tract and provides access to the site. To the northeast of the subject site is an existing tennis club facility with several tennis courts, also taking access from Mueschke Road. North of the site is an unrecorded subdivision of single-family lots in one row, all of which front on the east-west street Edworthy Road, which intersects Mueschke Road. To the west is a small acreage tract and proposed detention pond, a ±130'-wide HCFCD drainage ditch, and the Fairfield community. Directly to the south of the subject site is a proposed single-family residential development, which connects to both Fairfield on the west and the Cypress Landing Park community further south, as well as to Mueschke Road on the east. The site is crossed at an angle by an existing pipeline easement.

The Safesite Tract proposes a single reserve restricted to non-residential uses, with a proposed land use of light industrial and office-warehouse facilities. The proposed development will take its access from Mueschke Road and provide private driveways to serve the various large buildings that will be constructed on-site. The attached site plan illustrates the first phase of the development, which includes a ±200,000 SF building and the required detention, utilities, private driveways and parking, etc. This facility will be accessed by employees and delivery vehicles only, with no customer traffic. No public streets are proposed within the subject site. The proposed light industrial / office-warehouse land use is incompatible with the single-family residential developments which surround the tract on all sides. Through traffic from the subject site into the single-family developments would be injurious to the public health, safety, and welfare of the residents living in these communities.

Furthermore, the surrounding single-family developments all have ample circulation via the existing and proposed public street network, which adequately serves all the residents of the area with multiple interconnections – see attached regional circulation exhibit. East-west circulation already exists within the parameters of Chapter 42: on the north by Edworthy Road and major thoroughfare Shiel Road further to the north, as well as the excellent circulation and multiple stub streets in Fairfield; and on the south via the proposed single-family development adjacent to the subject site, which will create a connection from Aspenwilde Drive in Fairfield to Mueschke Road, as well as other connections already established in Cypress Landing Park further to the south. North-south circulation is currently handled by Mueschke Road to the east and the circulation established in Fairfield to the west, primarily Maple Village Drive, which functions as a collector-type street and makes connections to major thoroughfare Mason Road further west. However, the distance from Mueschke Road to Maple Village Drive is approximately 3150', which exceeds the required intersection spacing.

A north-south through-street from Edworthy Road to the south is unlikely. The single-family tracts fronting on Edworthy Road are unlikely to ever redevelop or be platted, and even in such a case, the extension of a public street through one of these tracts would deprive that owner of the reasonable use of their land by leaving only a sliver of developable property remaining after extending a public street from Edworthy Rd. Most likely, one of these tracts would have to be condemned in order for a street connection to be made. To further complicate matters, a public street through the subject site would have to avoid or cross over the existing pipeline easement and take into account the configuration of the adjacent tennis club as well as the required on-site detention, all of which limit the feasible alignments for a public through-street.

Due to the incompatible nature of the proposed land use on the subject site, as well as the existing and proposed public street network surrounding the site, a public through-street across the subject site would be both unsafe and unnecessary.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The surrounding single-family residential communities, the incompatible nature of the proposed land use, and the limiting characteristics of the subject site are the supporting circumstances for the variance.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The overall circulation of the region is upheld by the major thoroughfare grid and the many public street connections that adequately serve the surrounding communities, thereby preserving and maintaining the intent and general purposes of this chapter.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance will prevent cross-traffic between the single-family communities and the proposed light industrial / office-warehouse development, which will protect the health, safety, and welfare of the nearby residents.

**(5) Economic hardship is not the sole justification of the variance.**

The surrounding single-family residential communities, the incompatible nature of the proposed land use, and the limiting characteristics of the subject site are the supporting circumstances for the variance.

# Houston Planning Commission

**ITEM: 115**

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Sunset Ridge West Sec 5

Applicant: Benchmark Engineering Corp.



**D – Variances**

**Site Location**

# Houston Planning Commission

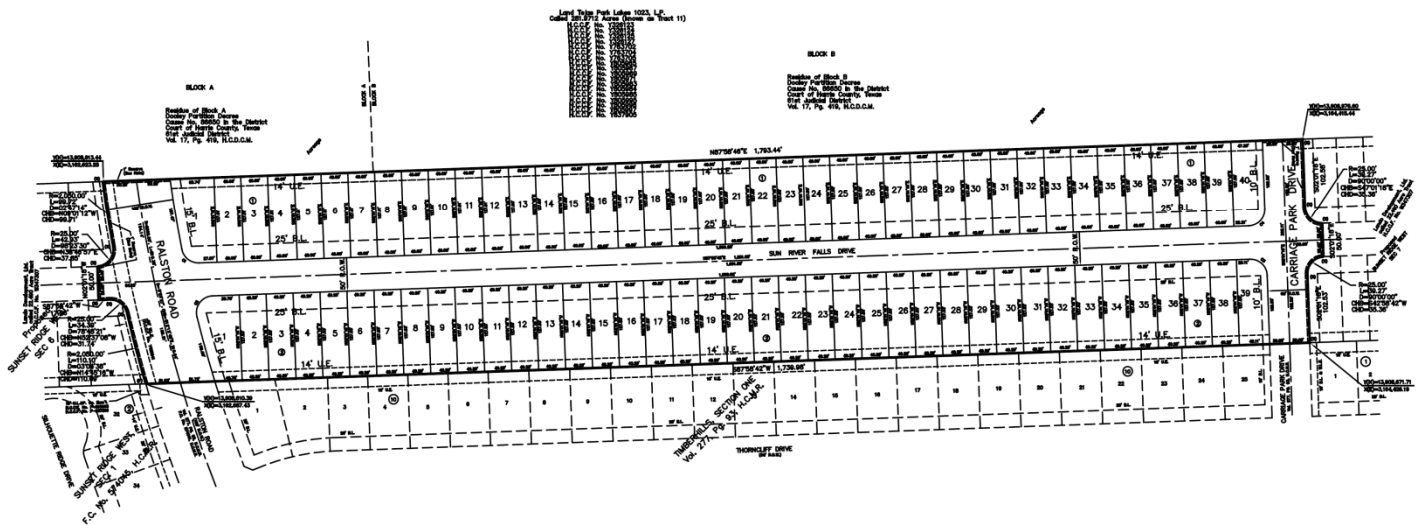
## ITEM: 115

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Sunset Ridge West Sec 5

Applicant: Benchmark Engineering Corp.



D – Variances

Subdivision



# Houston Planning Commission

**ITEM: 115**

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Sunset Ridge West Sec 5

Applicant: Benchmark Engineering Corp.



**D – Variances**

**Aerial**



---

**Application Number:** 2015-0854

**Plat Name:** Sunset Ridge West Sec 5

**Applicant:** Benchmark Engineering Corp.

**Date Submitted:** 04/20/2015

---

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Request for variance to allow a block length less than 600 feet along Ralston Road (100' R.O.W.) a major thoroughfare, between Thorncliff Drive of Timberhills, Sec 1 (Vol. 277, Page 93, H.C.M.R.) and proposed Sun River Falls Drive of Sunset Ridge West Sec 5.

**Chapter 42 Section: Sec. 42-127 (b):**

**Chapter 42 Reference:**

Sec. 42-127. Intersections of major thoroughfares. (b) Intersections along a major thoroughfare shall be spaced a minimum of 600 feet apart.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

The proposed location of Sun River Falls Drive is approx. 315 feet, center line to centerline from Thorncliff Drive as recorded under Timberhill, Sec 1 plat. Sun River Falls Drive is an east-west local street which is located at the "extreme" north portion of the approved overall Sunset Ridge West General Plan approved under Ref #2013-2761.

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

Based on the Sunset Ridge West General Plan approved under Ref #2013-2761, the extension of Sun River Falls Drive to the west of Ralston Road is set and prohibits the block length to be greater than the above mentioned 315' feet, center line to centerline spacing. The developer under the approved General Plan does not own any more property to the north.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

In consideration that the limits of the General Plan to the south of Sunset Ridge West Sec 5 has already been platted and that the fact that the north line of Blocks 1 and 2 is also the extreme perimeter boundary of the General Plan, therefore, the 600' block length (along Ralston road) of Sun River Falls Drive is prohibitive.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

By granting the variance, proposed sun River Falls Drive will provide access to proposed Block 1 to the west of Ralston Road, being the 28 residential lots. Although Sun River Falls Drive intersection can be eliminated, to the east of Ralston Road, the block length from Carriage Park Drive would be greater than the allowed 350' feet distance of cul-de-sac street. Therefore this request is made to allow Sun River Falls Drive intersection to an east and west direction.

**(5) Economic hardship is not the sole justification of the variance.**

This variance is needed based on an existing previously platted condition of Timberhills Sec.1 and Sunset Ridge West Sec. 1.





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**Application Number:** 2015-0854

**Plat Name:** Sunset Ridge West Sec 5

**Applicant:** Benchmark Engineering Corp.

**Date Submitted:** 04/20/2015

---

**(Sec. 42-48 and Sec. 42-82)**

**Specific requirement for which the special exception is being sought:**

Request for Special Exception to allow the block length greater than 1400 feet between Ralston road (100' R.O.W. – major thoroughfare and Carriage Park Drive in Sunset Ridge West, Sec. 5, Preliminary Plat.

**Chapter 42 Section:** **Sec. 42-128 (a) (1)**

**Chapter 42 Reference:**

Sec. 42-128. Intersections of local streets. (a) Each class III plat and each general plan that shows local streets shall provide for internal circulation by meeting either of the following requirements: (1) Each local street shall intersect with a street that meets the requirements of subsection (b) at least every 1400 feet;

**Statement of Facts**

**(1) Special circumstances exist that are unique to the land or the proposed subdivision or development and that are not generally applicable to all other land, subdivision for development in the city or its extraterritorial jurisdiction that justify modification of the standards that would otherwise apply;**

This is attributed to the fact that there is existing 200' width drainage channel (Williams Gully), Harris County Flood Control District (HCFCD) Unit No. P-130-00-00 located within the proximity to the north of the site, in an easterly/westerly direction.

**(2) The proposed special exception will achieve a result contemplated by the standard in article III of Chapter 42 (Planning Standards);**

Additionally, approximate distance between Ralston Road and Carriage Park Drive in proposed Sunset Ridge West Sec 5 is approximately 1,635 feet, which is only 14% more than the maximum distance of 1,400 feet allowed by the ordinance.

**(3) The modification of the standard requested is not disproportionate to the requirement of the standard;**

According to the Sunset Ridge West General Plan Ref. No. 2013-2761 and Sunset Ridge East General Plan Ref. No. 2014-0948, the entire distance along the north boundary is approx. 12,500 feet which provides for nine stub street R.O.W.'s to the north, which is an average of 1375 feet spacing between streets. The requested modification for this exception is 14% and is therefore not disproportionate to the standard requirement.

**(4) The intent and general purposes of this chapter will be preserved and maintained;**

It is noteworthy to mention that both General Plans mentioned above provide two north-south major thoroughfares, being Ralston Road and Woodland Hills Drive that have direct connection to the North Belt Freeway (Beltway 8) which will provide adequate internal street/traffic circulation.

**(5) The granting of the special exception will not be injurious to the public health, safety or welfare.**

This Special Exception is needed based on the fact that under the Ordinance a Special Exception may be granted when there is a crossing of a drainage channel, as mentioned in item 1 above. [ Sec. 42-130-(a)(5) ]

# Houston Planning Commission      ITEM: 116

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Sunset Ridge West Sec 6

Applicant: Benchmark Engineering Corp.



**D – Variances**

**Site Location**



## Subdivision

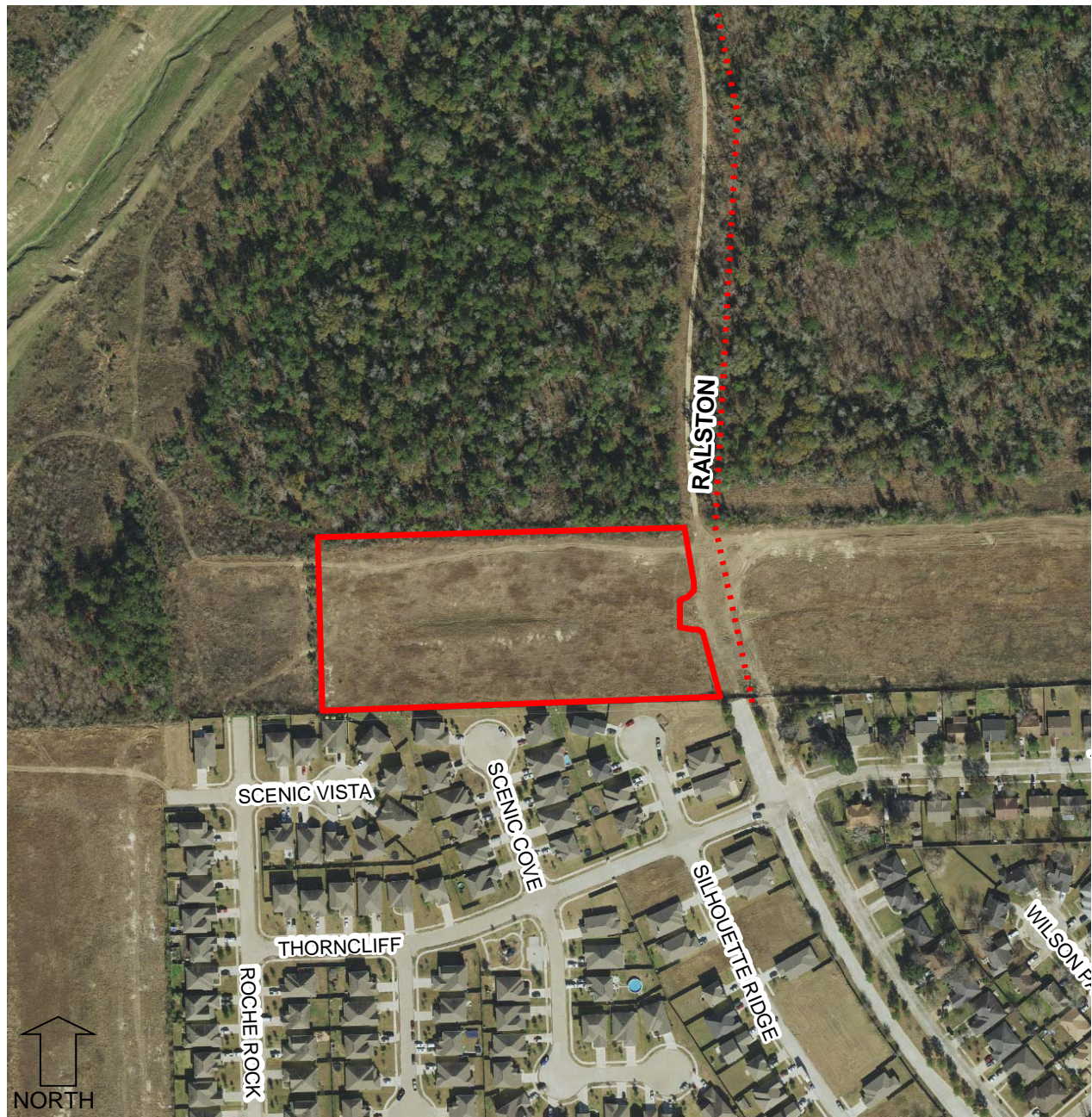
# Houston Planning Commission      ITEM: 116

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Sunset Ridge West Sec 6

Applicant: Benchmark Engineering Corp.



**D – Variances**

**Aerial**



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**Application Number:** 2015-0856

**Plat Name:** Sunset Ridge West Sec 6

**Applicant:** Benchmark Engineering Corp.

**Date Submitted:** 04/20/2015

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**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Request for variance to allow a block length less than 600 feet along Ralston Road (100' R.O.W.) a major thoroughfare, between Thorncliff Drive of Sunset Ridge West Sec 1 existing subdivision to the south and proposed Sun River Falls Drive of Sunset Ridge West Sec 6.

**Chapter 42 Section: 127**

**Chapter 42 Reference:**

(b) Intersections along a major thoroughfare shall be spaced a minimum of 600 feet apart.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

The proposed location of Sun River Falls Drive is approx. 315 feet, center line to centerline from Thorncliff Drive of Sunset Ridge West Sec 1 existing subdivision to the south. Sun River Falls Drive is an east-west local street which is located at the "extreme" north portion of the approved overall Sunset Ridge West General Plan approved under Ref #2013-2761.

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

Based on the Sunset Ridge West General Plan approved under Ref #2013-2761, the extension of Sun River Falls Drive to the west of Ralston Road is set and prohibits the block length to be greater than the above mentioned 315' feet, center line to centerline spacing. The developer under the approved General Plan does not own any more property to the north.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

In consideration that the limits of the Sunset Ridge West Sec 1 plat to the south of Sunset Ridge West Sec 6 has already been platted and that the fact that the north line of our proposed Sunset Ridge West Sec 6 is also the extreme perimeter boundary of the General Plan, therefore, the 600' block length (along Ralston Road) of Sun River Falls Drive is prohibitive.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

By granting the variance, proposed Sun River Falls Drive will provide access to proposed Block 1 to the west of Ralston Road, being the 28 residential lots. Although Sun River Falls Drive intersection can be eliminated, to the east of Ralston Road, the block length from Carriage Park Drive would be greater than the allowed 350' feet distance of cul-de-sac street. Therefore this request is made to allow Sun River Falls Drive intersection to an east and west direction.

**(5) Economic hardship is not the sole justification of the variance.**

This variance is needed based on an existing previously platted condition of Timberhills Sec.1 southeasterly from this section and Sunset Ridge West Sec. 1 immediately to the south both recorded plats.



# Houston Planning Commission

**ITEM: 117**

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Swan Terrace (DEF 1)

Applicant: Jalayer and Associates, INC.



**D – Variances**

**Site Location**



# Houston Planning Commission

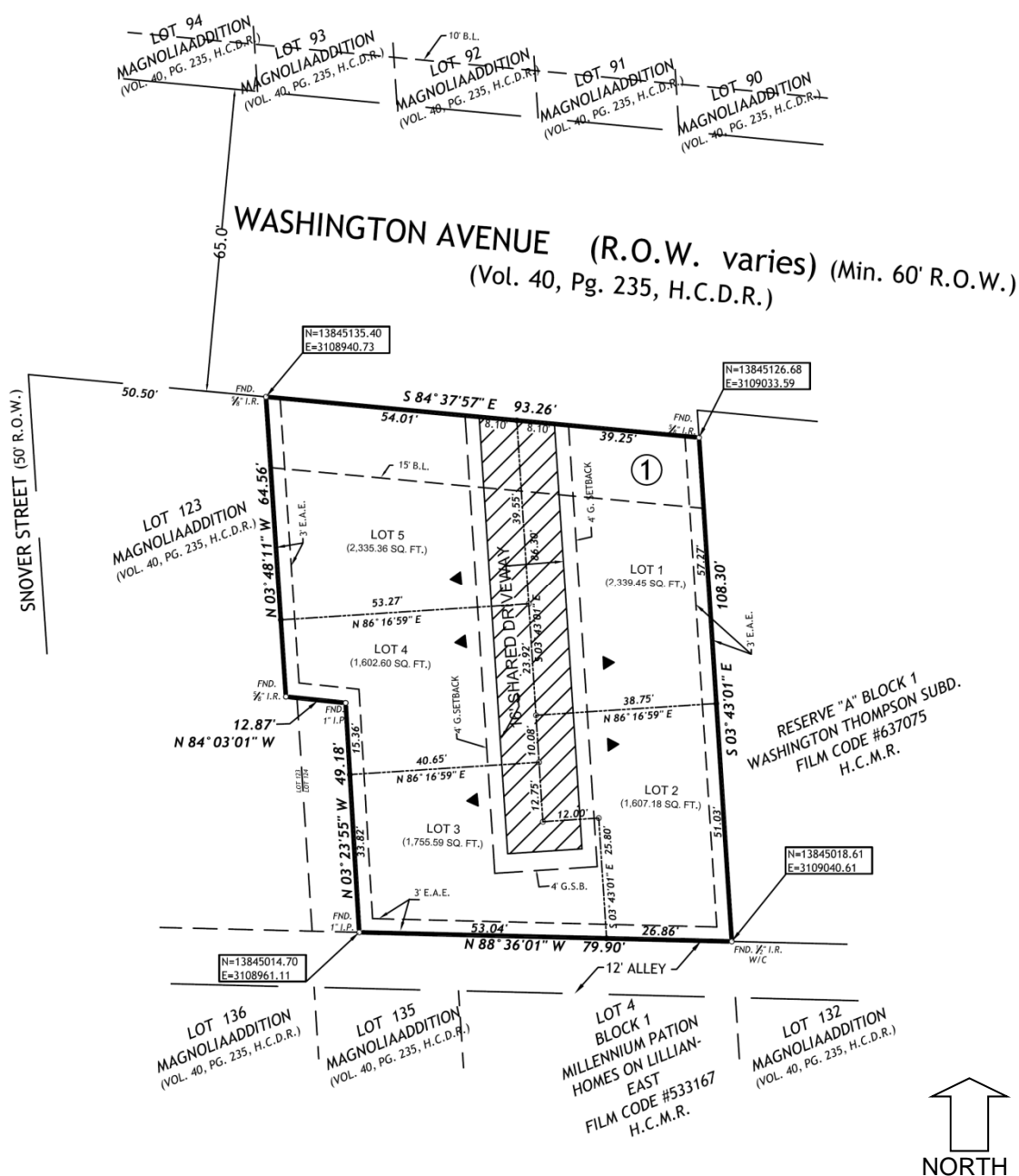
# ITEM: 117

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Swan Terrace (DEF 1)

Applicant: Jalayer and Associates, INC.



D – Variances

Subdivision

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# Houston Planning Commission

## ITEM: 117

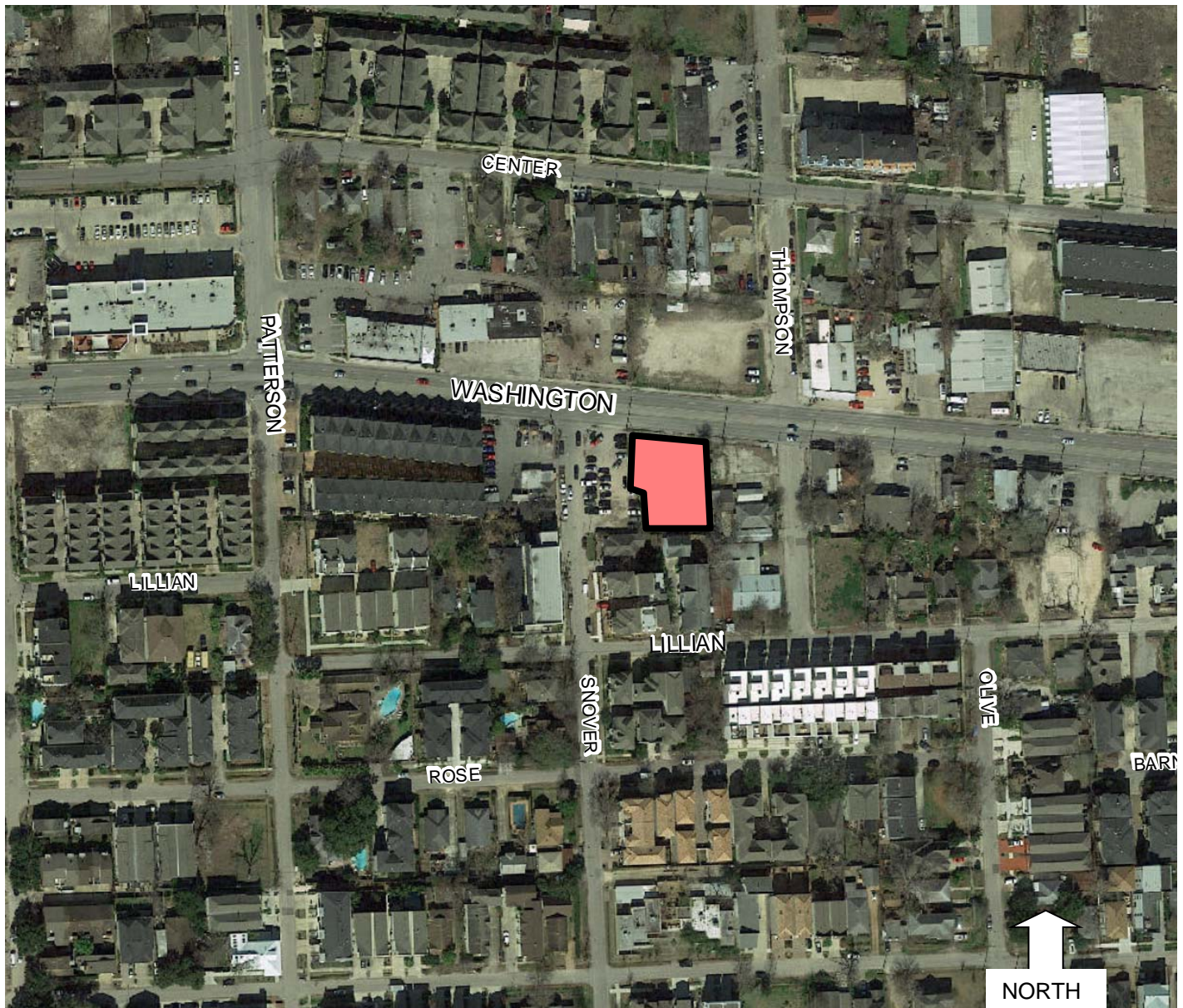
Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Swan Terrace (DEF 1)

Applicant: Jalayer and Associates, INC.



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**D – Variances**

**Aerial**

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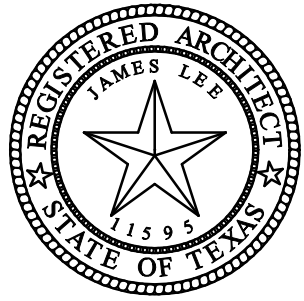






Swan Terrace Subdivision  
4315 Washington Ave., Houston, Texas 77007

Citiscap  
International  
Inc.



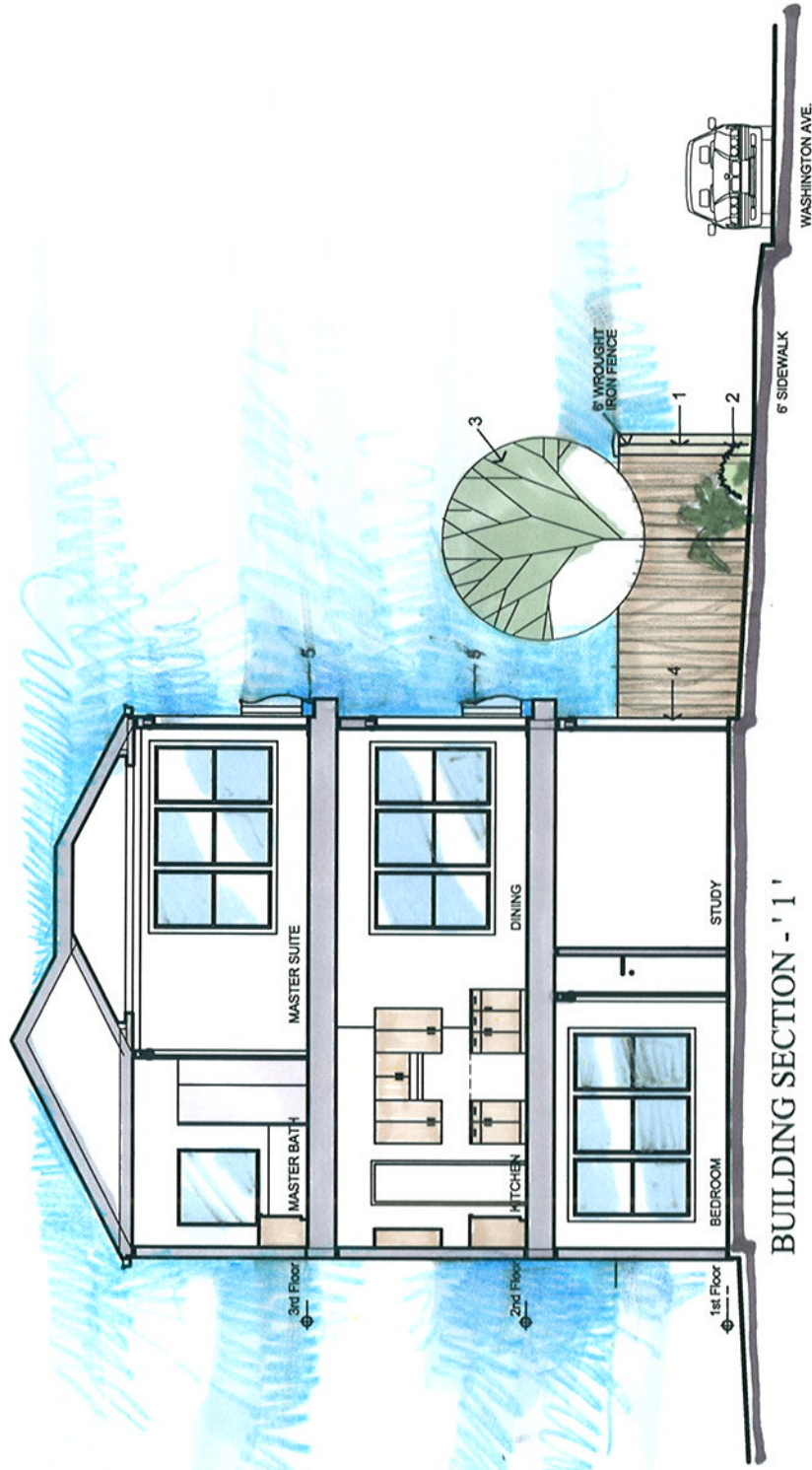
6200 Savoy Drive, Suite 500, Houston, Texas 77056 (713) 783-3188

Streetfront  
Development  
Section

DWG. TITLE:  
JOB NO.: 150101  
SCALE: 1/4" = 1'-0"  
DRAWN:  
CHECKED:  
DWG. NO.:

SD.1





### Development Statement

We proposed a multi-unit single family residential development on this site. The proposed project is based on traditional with contemporary touch theme. We believe the proposed design will not only enhance the ongoing upscale re-development of the area but also contribute to the property value increasing of this site and neighborhood properties as well.

The distinguish design features are listed as follows :

1. A 6' wrought iron fence with masonry column system is proposed along Washington ave. provides security and aesthetically pleased enhancement along the street.
2. Strubs and ground covers behind the fence will beautify the street front and also provide privacy to the home owner.

3. Street trees also will add greenery to the neighborhood.

4. Combination of stone and fiber cement panel are aesthetically pleased, low maintenance building materials will help to maintain property value.

5. Balconies provide natural lighting to the home owner and re-inforce the design statement of the project



---

**Application Number:** 2015-0591

**Plat Name:** Swan Terrace

**Applicant:** Jalayer And Associates, Inc.

**Date Submitted:** 03/22/2015

---

**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Not to apply the 25' building line along Washington Avenue

**Chapter 42 Section:** 152(a)

**Chapter 42 Reference:**

The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25' feet unless otherwise authorized by this chapter.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land;**  
**OR**

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

Subject property as of now is a commercial reserve, present owner wishes to develop it to a single family residential community of five single family lots with one 16' shared driveway taken access from Washington Avenue. Although these lots are not back onto Washington Avenue, they are alongside the major thoroughfare and will take access from the shared driveway only. All vehicle access to and from the Washington Avenue will be denied and will be noted on the plat. The proposed development plan will not only enhance the ongoing upscale re-development of the area but also contribute and assist City's redevelopment effort to this area by providing new buildings of traditional theme with contemporary touch.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The subject property is not rectangular and the property lines are not 90 degrees, the physical nature of the land is difficult to manage to satisfy all the requirements. And to allow the development of this project, it would beautify the neighborhood by adding colors and greenery along Washington Avenue. New street trees, colorful shrubs and ground cover plus a new 6' concrete sidewalk would greatly improve the walkability of this redeveloping neighborhood.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

There is an existing driveway so the number of driveway to Washington Avenue would remain the same. All residents would take access from the only shared driveway and there would be no different road configuration after the development.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The shared driveway crossing the building line would be perpendicular to the adjacent major thoroughfare and the building line, all vehicle access would be taken from the shared drive, and thus no vehicle would be back onto Washington Avenue. Plus, a wide, comfortable 6 foot concrete sidewalk with plenty of lights shine from the building balconies and site at night will provide extra lights to the neighborhood. A nice 6' wrought iron fence, 6' concrete sidewalk to increase the walkability, new street trees, shrubs, ground covers and plenty of lights at nights are the extra comfort this project would bring to this neighborhood.

**(5) Economic hardship is not the sole justification of the variance.**

This project would become a plus to city's redevelopment of this area. Also by granting the 15' building line, this exterior fence of this project would line up with another already developed project "Washington Brownstone" located on the west side along Washington Avenue. The line up of these single home communities will further please the eyes of the public.

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# Houston Planning Commission

# ITEM: 118

Planning and Development Department

Meeting Date: 04/30/2015

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**Subdivision Name: Walmart USA Store No 297 (DEF 1)**

**Applicant: Owens Management Systems, LLC**



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**D – Variances**

**Site Location**

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# Houston Planning Commission

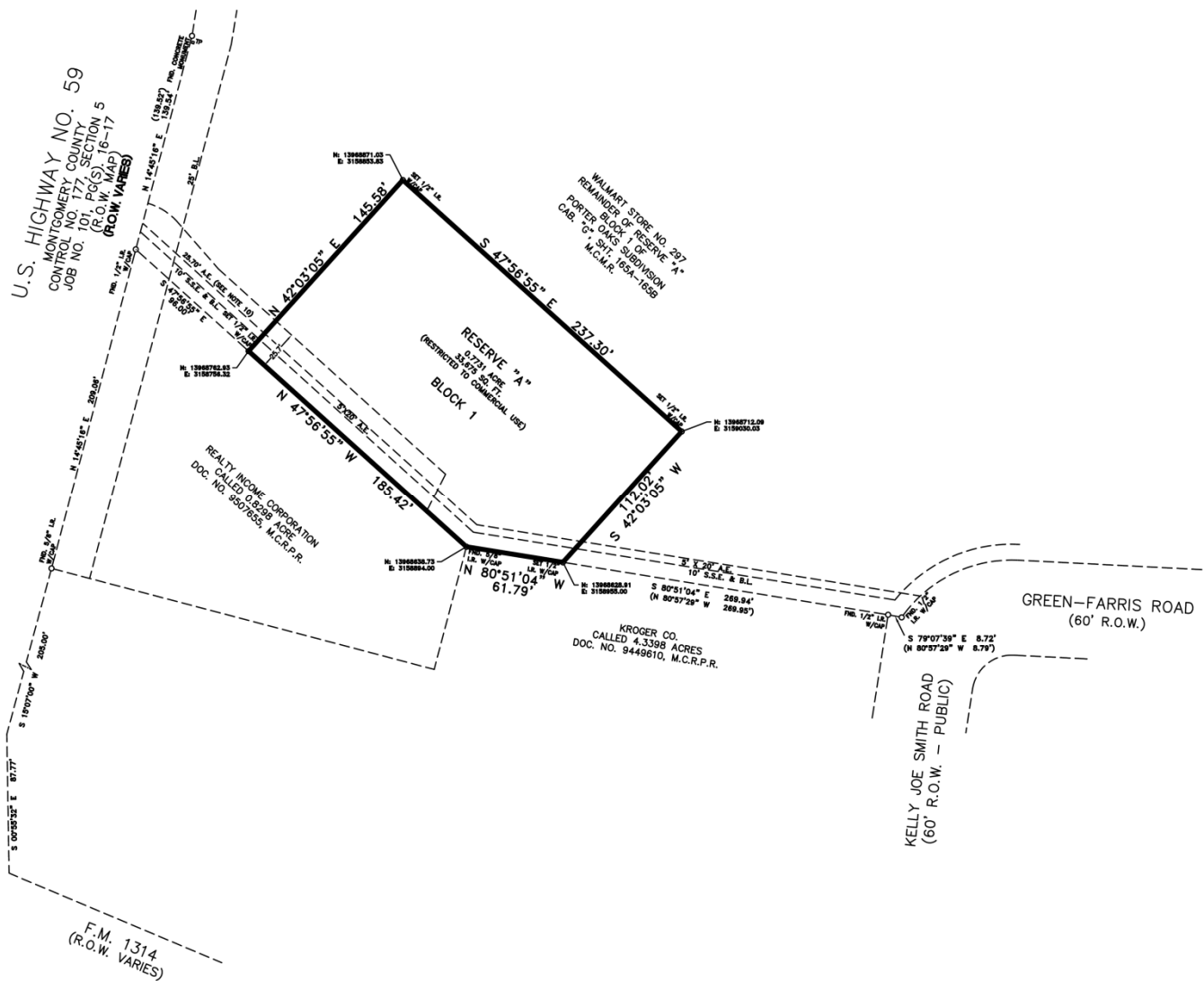
## ITEM: 118

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Walmart USA Store No 297 (DEF 1)

Applicant: Owens Management Systems, LLC



D – Variances

Subdivision

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# Houston Planning Commission

## ITEM: 118

Planning and Development Department

Meeting Date: 04/30/2015

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Subdivision Name: Walmart USA Store No 297 (DEF 1)

Applicant: Owens Management Systems, LLC



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**D – Variances**

**Aerial**

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**Application Number:** 2015-0727

**Plat Name:** WalMart USA Store No 297

**Applicant:** Owens Management Systems, LLC

**Date Submitted:** 04/06/2015

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**(Sec. 42-47 and Sec. 42-81)**

**Specific Variance is being sought and extent of variance:**

Variance is sought to allow a Reserve not to front on a public street

**Chapter 42 Section:** 190

**Chapter 42 Reference:**

Each reserve shall meet the requirements for minimum size, the type and width of street or shared driveway on which it may be located, and the minimum frontage, as applicable to the type of reserve.

**Statement of Facts**

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; OR**

The proposed replat is a 0.7731 acre tract of out of Reserve A, 21.6625 acres in the Porter Oaks subdivision, recorded in 1993 and owned by Wal-Mart Stores, Inc. The development is situated along US 59 North in Porter, Montgomery County, Texas. There is a 3-lane service road that separates the property and US 59 Highway. There is an existing Wal-Mart Super Store and Home Depot on Reserve A. Wal-Mart is proposing to construct a gas station. The gas station will be owned and operated by Murphy Oil, consistent with Wal-Mart Super Stores that have gas stations. However, Murphy Oil Corporation requires the gas station property to be platted separately.

**(1b) Strict application would make this project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The requirement for the Reserve to abut the service road will require additional curb cuts to the service road. The required distance between curb cuts by Texas Department of Transportation will result in the gas station being located too close to the Super Center, thereby resulting in a congested traffic pattern. Porter Oaks plat includes 3.7531 acre detention facilities easement and 20' drainage easement connecting to Loop 494. The requirement for the Reserve to abut the service road will eliminate the pervious green space and require drainage plans to Texas Department of Transportation.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The southwest corner of the gas station will be located 96-feet from the Reserve A property boundary at the US 59 service road. The existing drive lane pattern in the parking lot will allow for traffic flow around the gas station that leads to ingress/egress locations. The location also allows for tankers to access the gas station and be within sufficient distance from the Super Center in case of an emergency. The replat includes a 60- access easement to US 59 service road on the face of plat and separately filed perpetual Easement With Covenants and Restrictions Affecting the Land.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance will not cause traffic circulation problems. The existing green space



between the service road and parking lot will be preserved.

**(5) Economic hardship is not the sole justification of the variance.**

Economic hardship is no the sole justification of the variance. It is based on the location of the gas station to allow vehicular ascess.

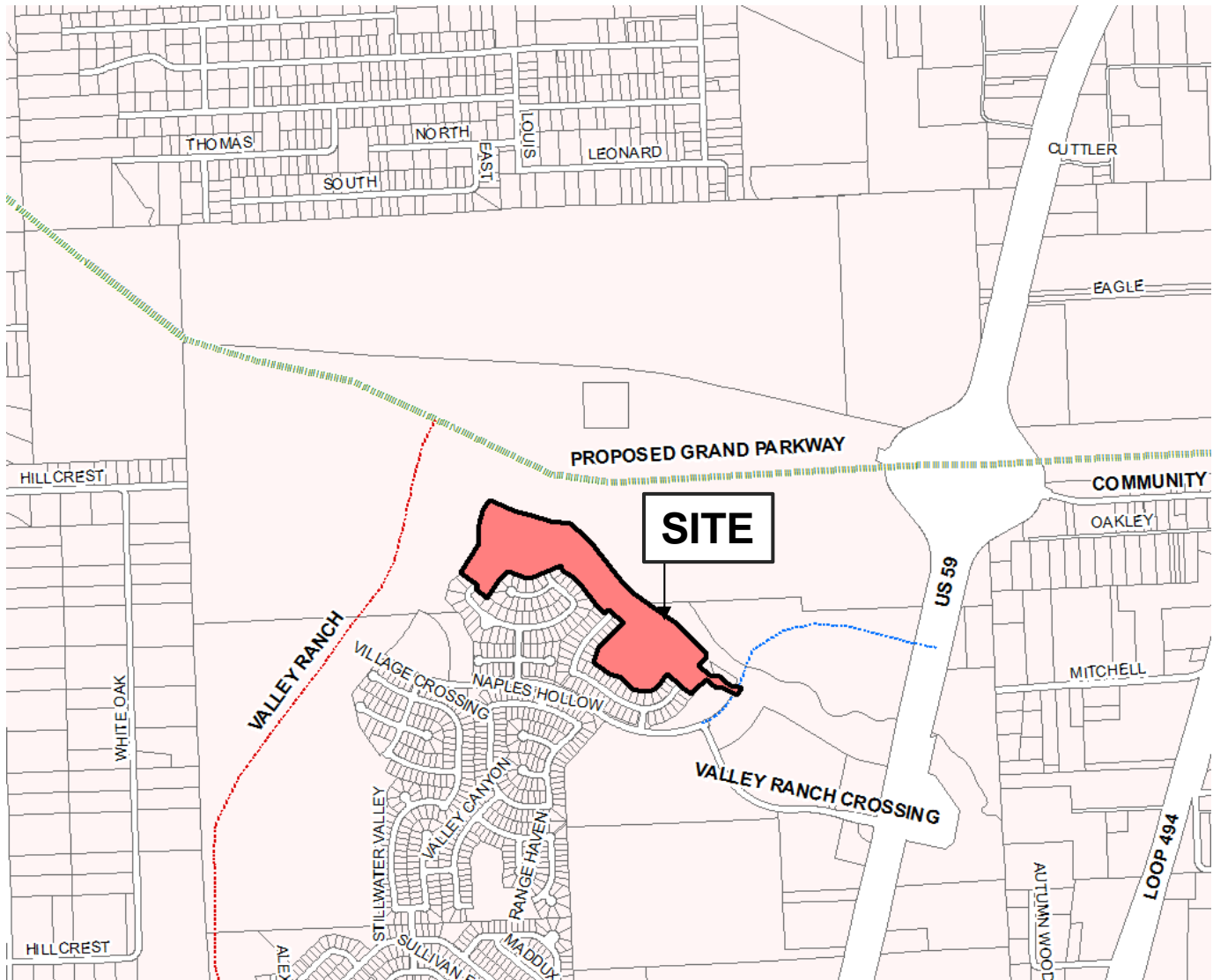
# Houston Planning Commission ITEM: 119

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Valley Ranch Sec 7

Applicant: Hovis Surveying Company Inc.



**F – Reconsideration of Requirements      Site Location**

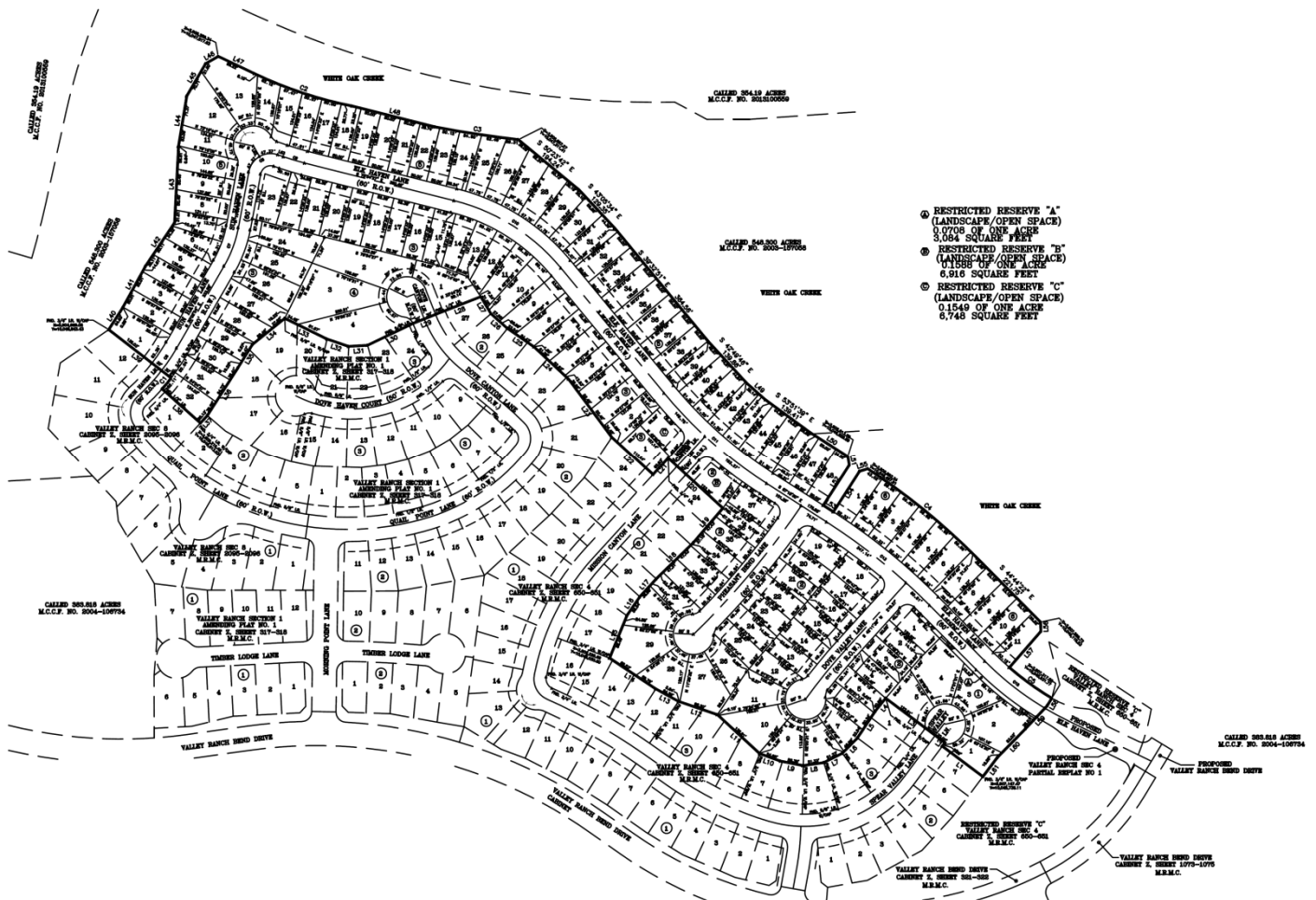
# Houston Planning Commission ITEM: 119

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Valley Ranch Sec 7

Applicant: Hovis Surveying Company Inc.



F – Reconsideration of Requiriements

Subdivision

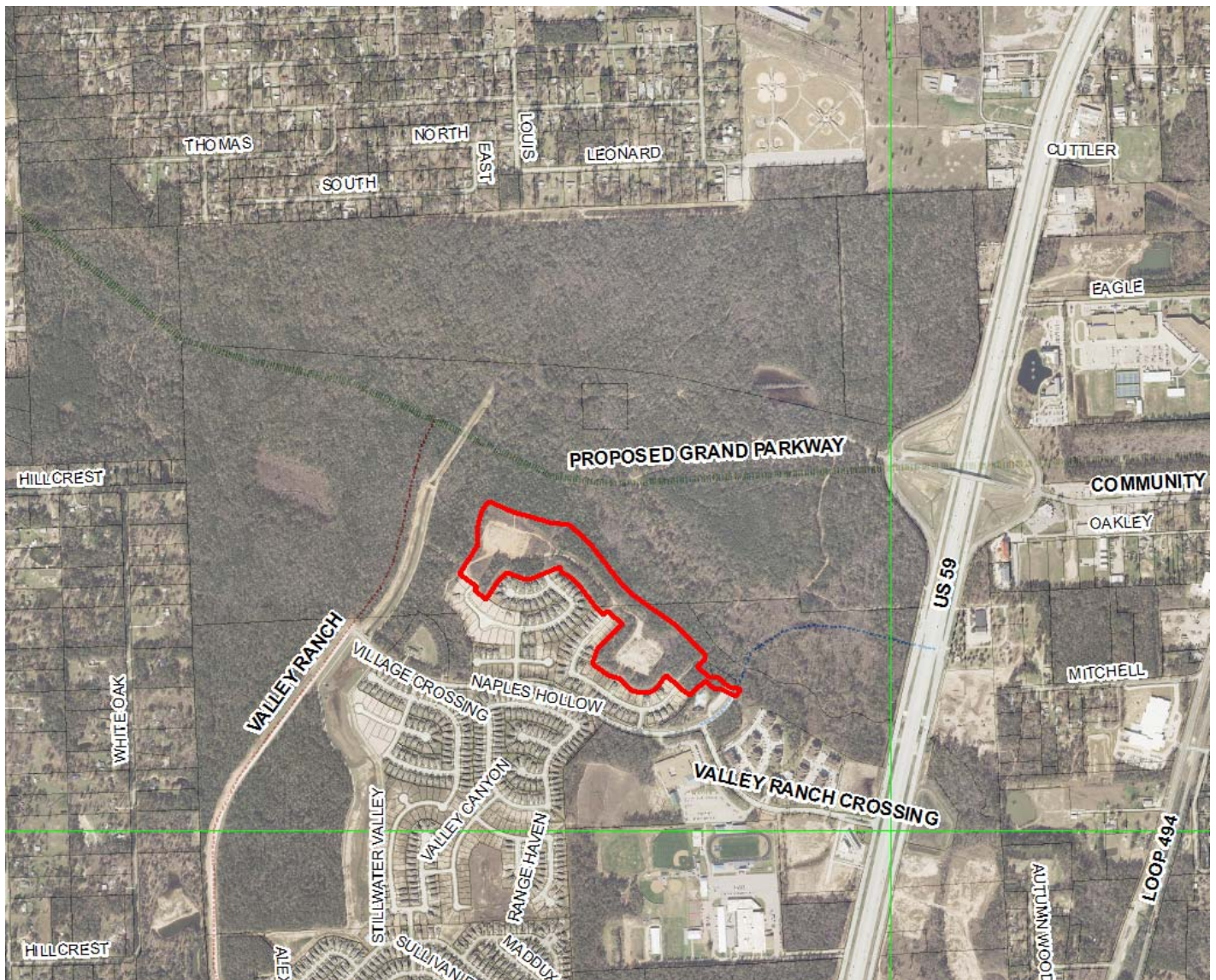
# Houston Planning Commission ITEM: 119

Planning and Development Department

Meeting Date: 04/30/2015

Subdivision Name: Valley Ranch Sec 7

Applicant: Hovis Surveying Company Inc.



F – Reconsideration of Requiriements

Aerial





## RECONSIDERATION OF REQUIREMENT Request Information Form

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Application No: **2015-0809**  
Plat Name: **Valley Ranch Sec 7**  
Applicant: **Hovis Surveying Company Inc.**  
Date Submitted: **04/18/2015**

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(Sec. 42-47 and Sec. 42-81)

**Specific requirement or condition being sought:**

To not extend Spear Valley Lane into Elk Haven Lane and to terminate it with a cul-de-sac

**Chapter 42 Section: 135**

**Chapter 42 Reference:**

Street Extension

If this request requires a variance or special exception, the applicant must comply with the Plat Submittal Requirements and provide a completed Variance Request Information Form or Special Exception Information Form.

**STATEMENT OF FACTS:**

The extension of Spear Valley Lane is not required to meet the 1,400 foot intersection spacing requirement along Elk Haven Lane. The distance from Valley Ranch Bend Drive to Mission Canyon Lane is 1,179 feet which satisfies the intersection spacing along Elk Haven Lane. Internal circulation will be provided in this development with the extension of Sun Valley Lane and Mission Canyon Lane. Spear Valley Lane will be terminated with a cul-de-sac. Spear Valley Lane is a U shaped street which turns into Mission Canyon Lane to the West. The termination of Spear Valley Lane with a cul-de-sac will not hinder circulation within Valley Ranch Sec 7 and the overall Valley Ranch development because north south circulation will be provided by the extension of the other two stub streets within this development. In addition, the extension of Spear Valley Lane is not required to meet intersection spacing.

# CITY OF HOUSTON

HOUSTON PLANNING COMMISSION  
PLANNING & DEVELOPMENT DEPARTMENT

Planning Commission  
Meeting Date: 04/30/15

**ITEM: 129**

**Applicant:** JUANA G. MIRANDA

**Contact Person:** JUANA G. MIRANDA

Location	File No.	Zip	Lamb. No.	Key Map	City/ ETJ
	15-1052	77357	5874	257-M	ETJ
<b>WEST OF:</b> DEER RUN LN <b>NORTH OF:</b> FM 1485					

**ADDRESS:** 26338 Spanish Oak Drive

**ACREAGE:**

**LEGAL DESCRIPTION:**

LOT ONE HUNDRED TWELVE (112), OF PEACH CREEK FOREST, SECTION ONE (1), A SUBDIVISION OUT OF THE CHRISTOPHER BRYAN SURVEY, ABSTRACT No. 75, MONTGOMERY COUNTY, TEXAS, ACCORDING TO THE MAP OR PLSAT THEREOF RECORDED IN VOLUME 647, PAGE 316 OF THE DEED RECORDS OF MONTGOMERY COUNTY, TEXAS.

**PURPOSE OF REQUEST:** Residence

## STAFF REPORT

**STAFF RECOMMENDATION:**

**BASIS OF RECOMMENDATION:**

**ADDITIONAL INFORMATION :**

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# CERTIFICATE OF COMPLIANCE

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## Houston Planning Commission

### VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov) prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at [www.houstonplanning.com](http://www.houstonplanning.com).

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Probstfeld & Associates, Inc.	Mario Colina, P.E.	281.829.0034	<a href="mailto:mario@probstfeld.com">mario@probstfeld.com</a>		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
919 Clearbrook Lane	15014050	77057	5057	491J	G

HCAD ACCOUNT NUMBER(S):	0920980000035
PROPERTY LEGAL DESCRIPTION:	Lot 35, Block 73, Tanglewood, Section 15
PROPERTY OWNER OF RECORD:	Winfrey Design Build, LLC
ACREAGE (SQUARE FEET):	14,000 SQ FT
WIDTH OF RIGHTS-OF-WAY:	Clearbrook Lane ~ 60'; Woodway Drive ~ 80'
EXISTING PAVING SECTION(S):	Clearbrook Lane ~ 28'; Woodway Drive ~ 61' (divided median)
OFF-STREET PARKING REQUIREMENT:	Complies
OFF-STREET PARKING PROVIDED:	Complies
LANDSCAPING REQUIREMENTS:	Complies
LANDSCAPING PROVIDED:	Complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]: Vacant

PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]: 2-Story ~ 6,764 SQ FT

**PURPOSE OF VARIANCE REQUEST:** To allow a reduced building line as originally platted of 10 feet for a single family residential lot abutting Woodway Drive a major thoroughfare instead of the ordinance required 25' building line.

**CHAPTER 42 REFERENCE(S):** SEC. 42-152 Building line requirements along major thoroughfare (a). The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet otherwise authorized by this chapter.

## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### APPLICANT'S STATEMENT OF FACTS

#### SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

Tanglewood section fifteen was recorded on April 17, 1959 which established 10 foot building line and prohibited direct driveway access for lots in block 73 backing or siding Woodway Drive, and also filed separately deed restrictions, on March 17 1959 per Harris Country Clerk's file Volume 3668, Page 638, also established a 10 foot side & rear building line for all the lots in Block 73 abutting Woodway Drive, which at the time was in compliance with applicable provisions of Chapter 42 Code of Ordinances of the City of Houston, Texas. Recently demolished structures built at the time were set at 10 feet. Both existing structures of a 1-story single family residence and garage were demolished in order to build a 2-story single family residence with an attached garage. The new 2-story residence is proposed to be set at 10 feet to its closest location to the south side property line, thus conforming to the existing architectural aesthetic conditions of neighboring structures, and maximizing owner's use of the land. The current owner purchased the lot with the understanding that he could construct a 2-story residence 10 feet from south side property line; based on this fact they developed the proposed project that is compromised if this variance is not granted.

*The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov).*

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or**

This lot is located in the northeast corner of the interception of Clearbrook Lane and Woodway Drive, with the lot fronting Clearbrook Lane and the south property line siding Woodway Drive a major thoroughfare. Most of the existing residences abutting to Woodway Drive have main structures and 2-story garages set at  $\pm 10$  feet from Woodway Drive right-of-way, which was allowed at the time of construction by plat and deed restrictions and City Ordinances when Woodway Drive was not a designated major thoroughfare.

Owners and architects designed a 2-story residence with the main portion (majority) of the inhabited area of the residence set at 34.5 feet from Woodway Drive right-of-way, and the 2-story portion of the garage, set at 10 feet from Woodway Drive right-of-way to maximize land use and to aesthetically harmonize with existing adjacent residence.

Adjacent existing residence to the east, also siding Woodway Drive on the south property line has a similar foot print (configuration) and was constructed at 10 feet from Woodway Drive. There're also numerous existing structures siding Woodway Drive located at  $\pm 10$  feet from right-of-way as shown on attached aerial photo exhibit.

## DEVELOPMENT PLAT VARIANCE





## Houston Planning Commission

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Owners have already secured a letter of approval from the Tanglewood Home Association, Inc, which enforces a 10 foot building line along Woodway Drive per deed restriction, dated November 13, 2014, which has been attached to this application.

The strict imposition of the rules will make this project infeasible in its current configuration and will not allow the owners to maximize the use of their land.

- (1b) **Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**
- (2) **The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**
- The applicant did not create the hardship. The proximity to Woodway Drive is an integral existing physical characteristic of the lot, which the owners can not control.
- (3) **The intent and general purposes of this chapter will be preserved and maintained;**
- The intent and general purposes of this chapter will be preserved and maintained, since the main inhabited portion of the residence at its closest location to the south side property line is 34.5' feet from Woodway Drive right-of-way; which the intent of this chapter is to keep inhabited spaces within acceptable minimum separation distances from right-of-ways.
- (4) **The granting of the variance will not be injurious to the public health, safety or welfare;**
- The granting of this variance will not affect the welfare and safety of the public, since existing curb & gutter concrete street with a separation (buffer zone) of 9 feet between back of curb & property line to a total of 19.5 feet to garage portion of the residence and the existing of an 8-foot precast concrete wall that will serve as a protection barrier and provide additional safety protection measures to the proposed residence. Additionally, there will not be access to the lot from Woodway Drive.
- (5) **Economic hardship is not the sole justification of the variance.**

In consideration of the above reasons, economic hardship, while important, is not the sole justification for the granting of this variance. The owners respectfully request that this variance is granted.

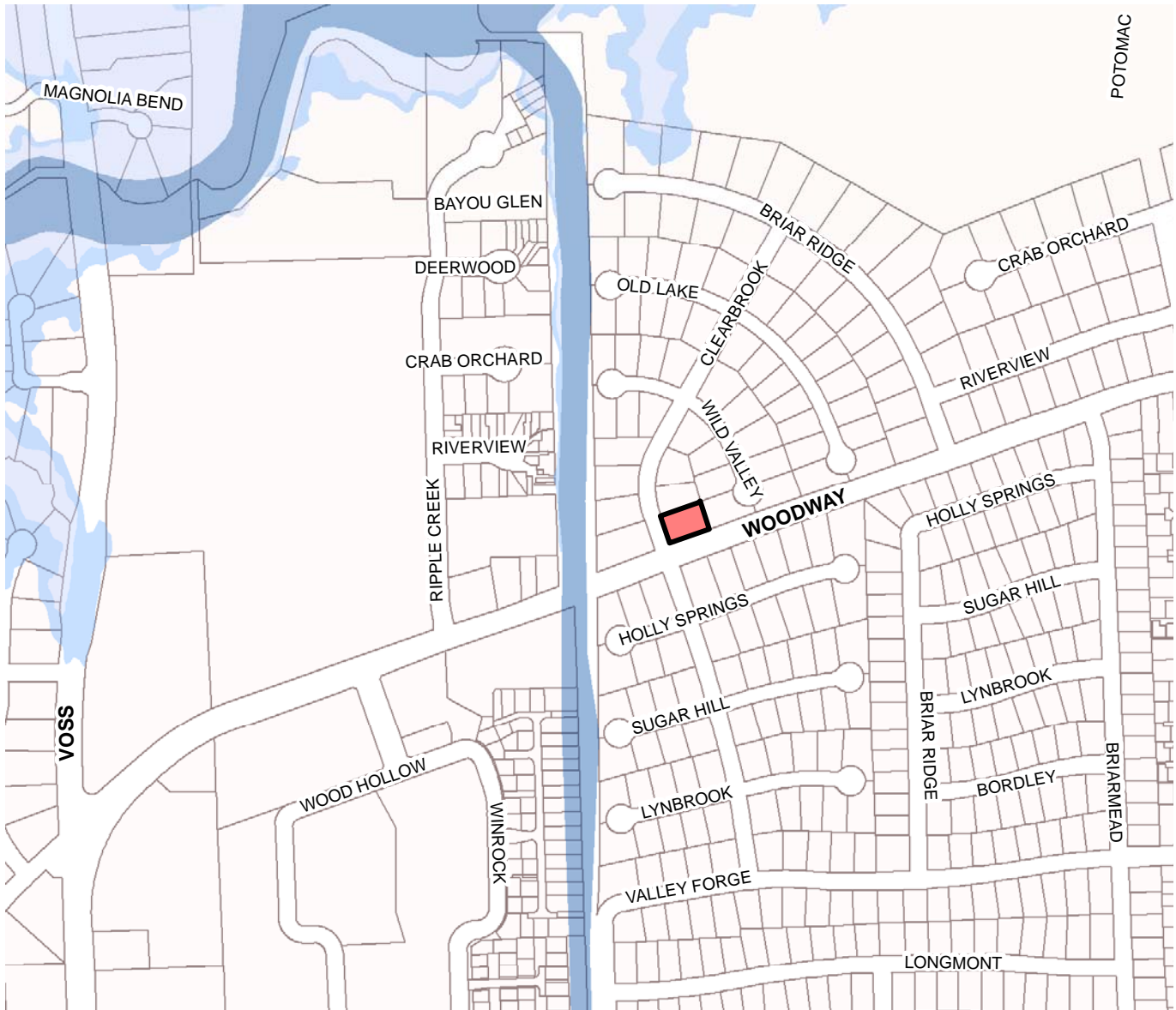
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## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### LOCATION MAP



## DEVELOPMENT PLAT VARIANCE



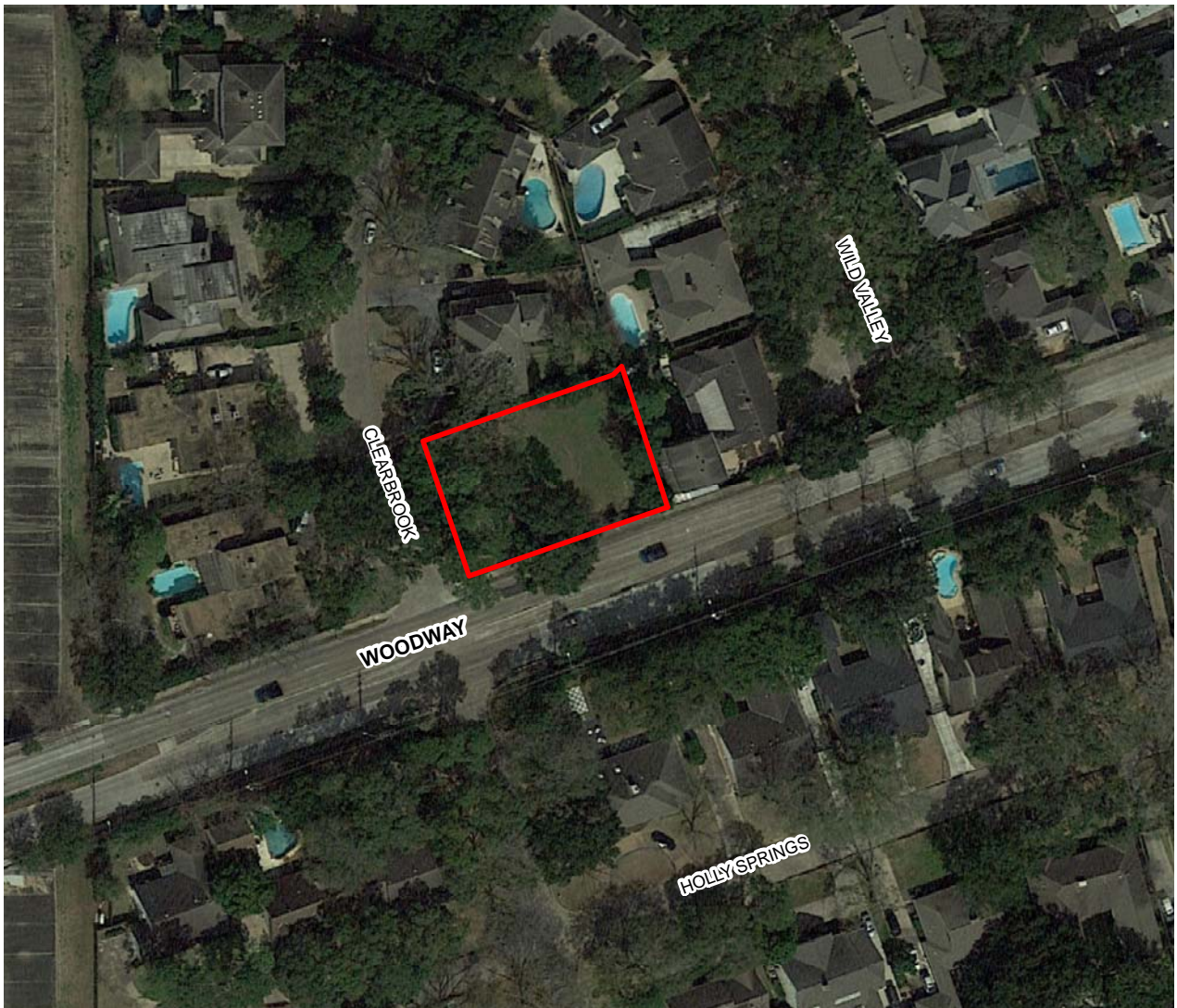
PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: 130**

Meeting Date: 04-30-15

## Houston Planning Commission

### AERIAL MAP



## DEVELOPMENT PLAT VARIANCE









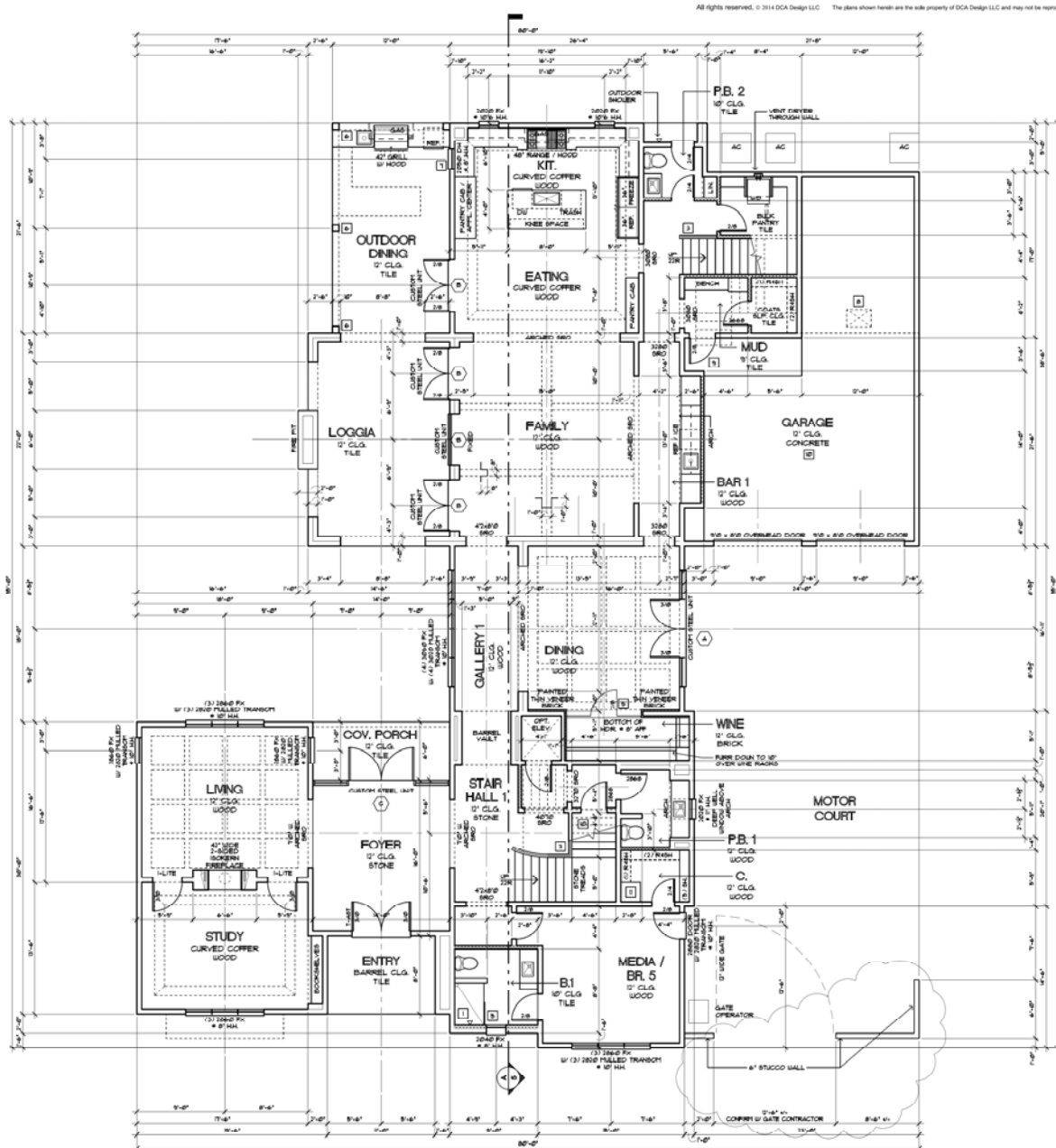


# Houston Planning Commission

**ITEM: 130**

Meeting Date: 04-30-15

## FIRST FLOOR PLAN



# DEVELOPMENT PLAT VARIANCE

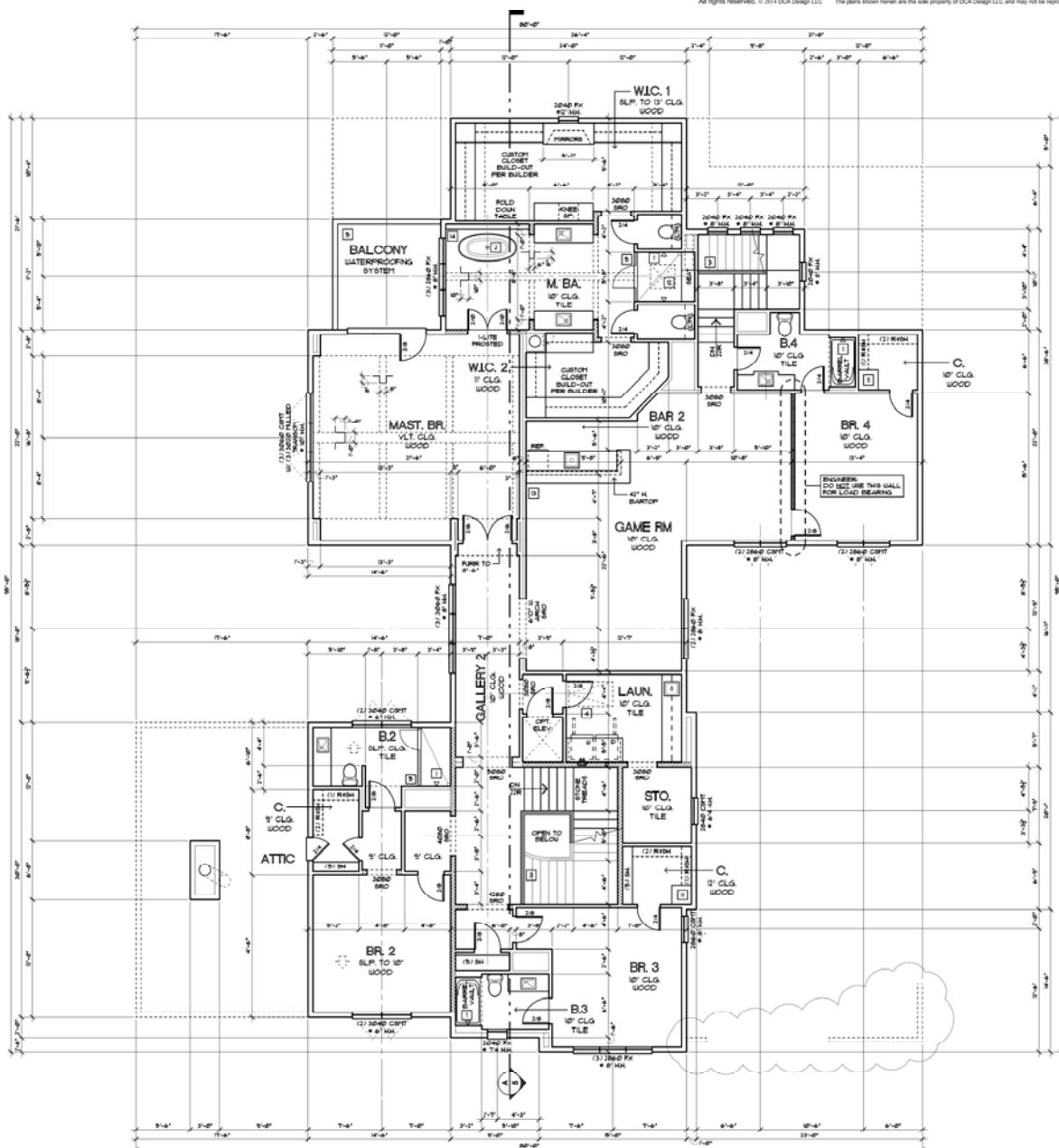


# Houston Planning Commission

**ITEM: 130**

Meeting Date: 04-30-15

## SECOND FLOOR PLAN

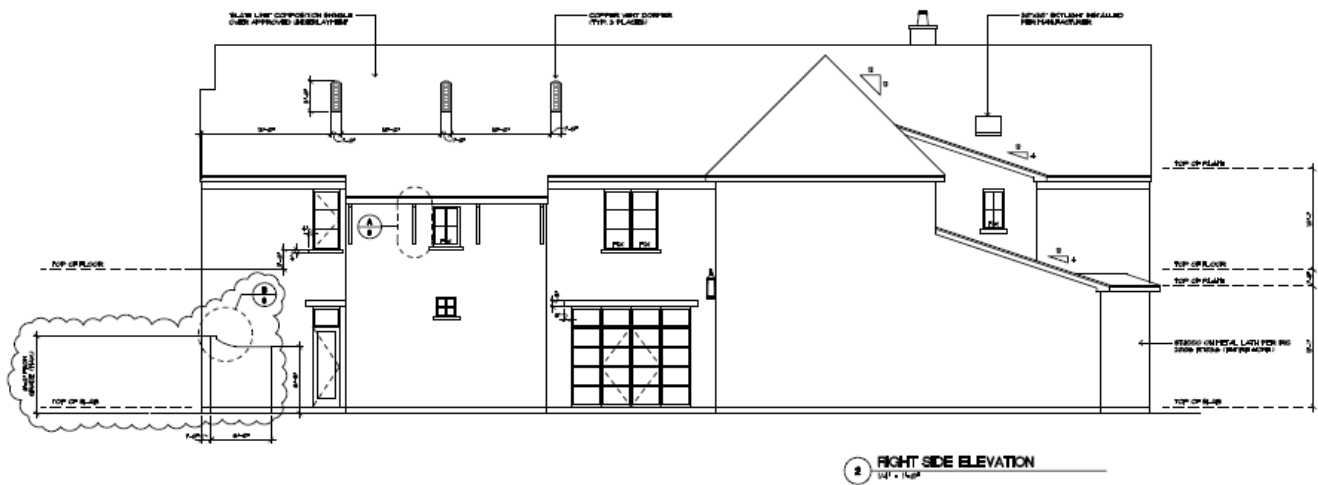
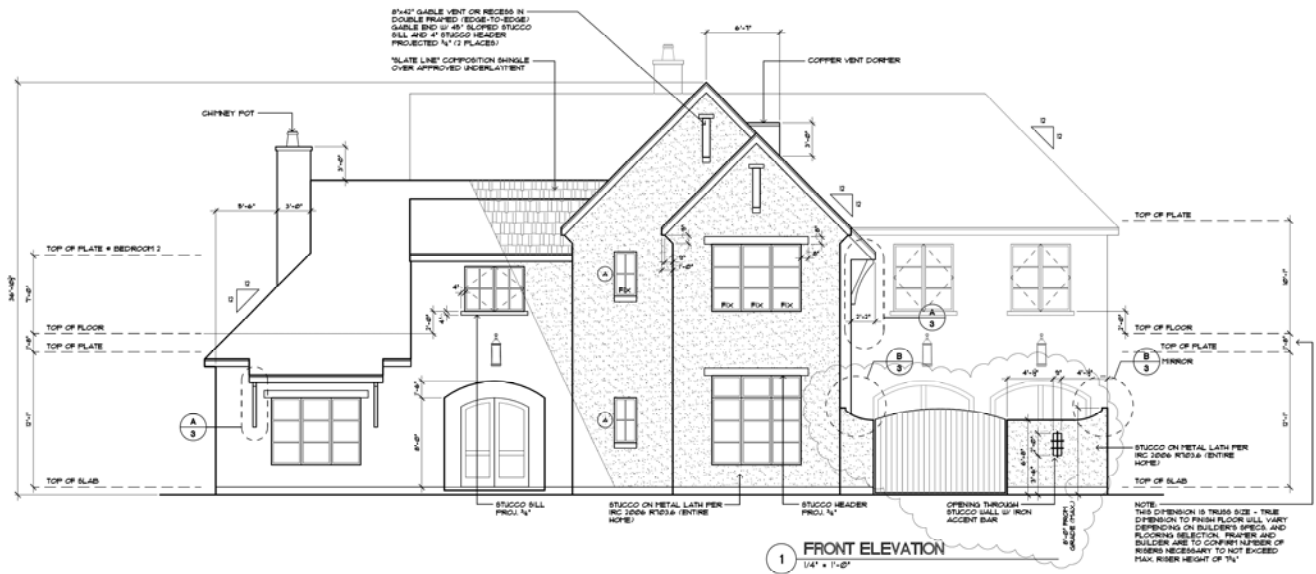


# DEVELOPMENT PLAT VARIANCE



# Houston Planning Commission

## ELEVATIONS



# DEVELOPMENT PLAT VARIANCE





## Houston Planning Commission

### VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov) prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at [www.houstonplanning.com](http://www.houstonplanning.com).

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Mecca Homes	Melvin Collins	832-890-4915	mcbyrd@mhbuilder.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
1813 B Lot 5, Elysian Street	15011552	77026	5458	493H	H

HCAD ACCOUNT NUMBER(S):	0090540000005
PROPERTY LEGAL DESCRIPTION:	Lot 5, Blk 12 Cascara
PROPERTY OWNER OF RECORD:	AZH INVESTMENTS LLC
ACREAGE (SQUARE FEET):	2325 sqft
WIDTH OF RIGHTS-OF-WAY:	Elysian Street- 60' ROW
EXISTING PAVING SECTION(S):	Elysian Street- 45'
OFF-STREET PARKING REQUIREMENT:	complies
OFF-STREET PARKING PROVIDED:	complies
LANDSCAPING REQUIREMENTS:	complies
LANDSCAPING PROVIDED:	complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	N/A
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	Single-Family, 2,829 S.F.

**PURPOSE OF VARIANCE REQUEST:** To allow a lot less than an acre to have direct vehicular access to a major thoroughfare

**CHAPTER 42 REFERENCE(S): 42-188:** A single-family residential lot shall not have direct vehicular access to a major thoroughfare unless (2) the lot is greater than one acre in size and the subdivision plat contains a notation adjacent to the lot requiring a turnaround on the lot that prohibits vehicles from backing onto the major thoroughfare.

## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### APPLICANT'S STATEMENT OF FACTS

#### SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

To provide a curb cut on previously platted property along a major thoroughfare; in order to allow driveway access.

*The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov).*

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or**

**(1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

Due to strict applications, it would cause an undue hardship. The only other option would be to access the rear alley, which is unimproved and would not meet the requirements. Common vehicles could not access the alley without risking potential damage to their vehicles. Our primary goal is to maintain safety of the residents & their property.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

It was not made clear to the owner upon purchase of the property that additional curb cuts would be required, which due to the strict application would cause an undue hardship. The other option of accessing the rear alley would not meet the requirements of the city, is only accessible by four wheel drive vehicles, as well as potentially cause damage to any common vehicle.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

We will uphold life safety; we will provide a "T" turnaround on site to ensure the said goal.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

We will uphold life safety rules. We are asking for one small curb-cut to access a driveway to a single family residence, which otherwise would not be accessible.

**(5) Economic hardship is not the sole justification of the variance.**

It is not. We want to be permitted to use the land to build for single family residence. With the current strict applications, and no other possibilities to access this property, passing a variance is our only option.

## DEVELOPMENT PLAT VARIANCE



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: 131**

Meeting Date: 04.30.15

## Houston Planning Commission

### LOCATION MAP



## DEVELOPMENT PLAT VARIANCE



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: 131**

Meeting Date: 04.30.15

## Houston Planning Commission

AERIAL. MAP



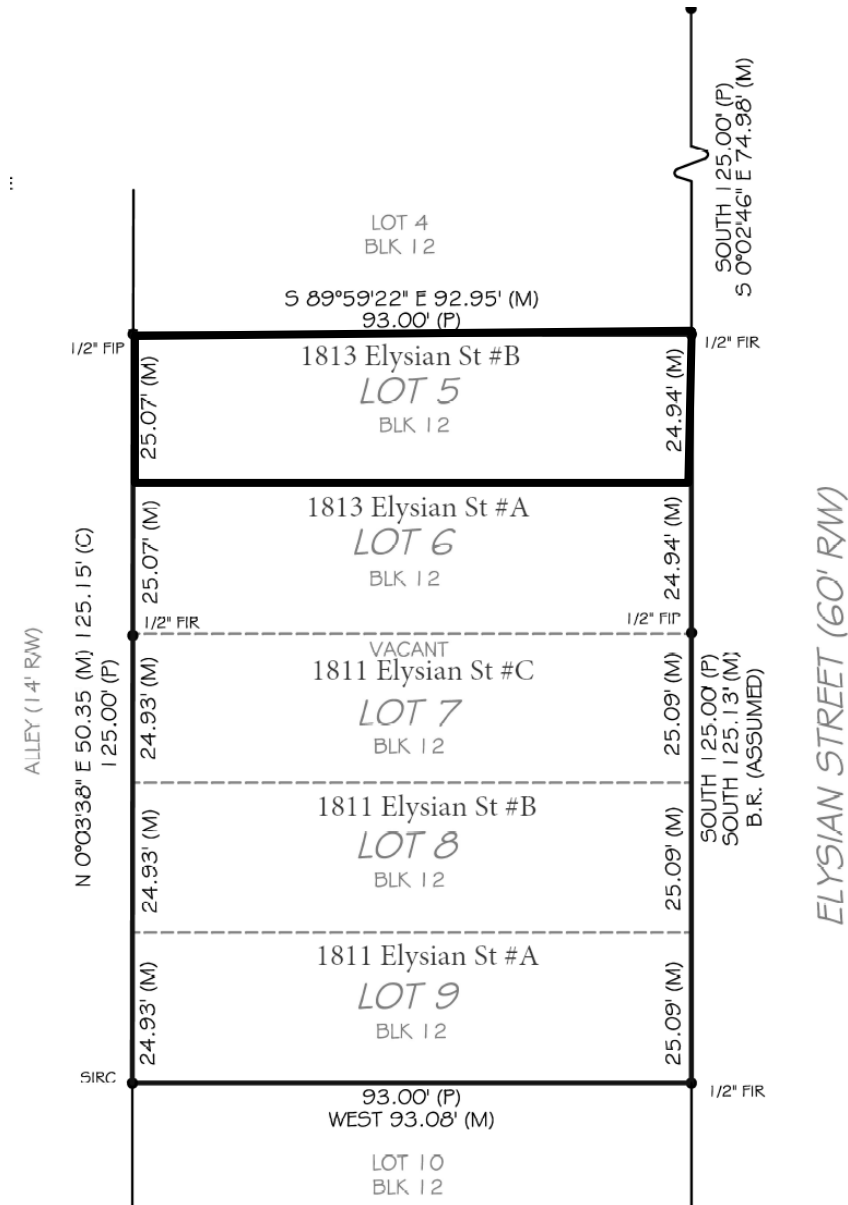
## DEVELOPMENT PLAT VARIANCE





## Houston Planning Commission

### EXISTING CONDITONS SURVEY



## DEVELOPMENT PLAT VARIANCE



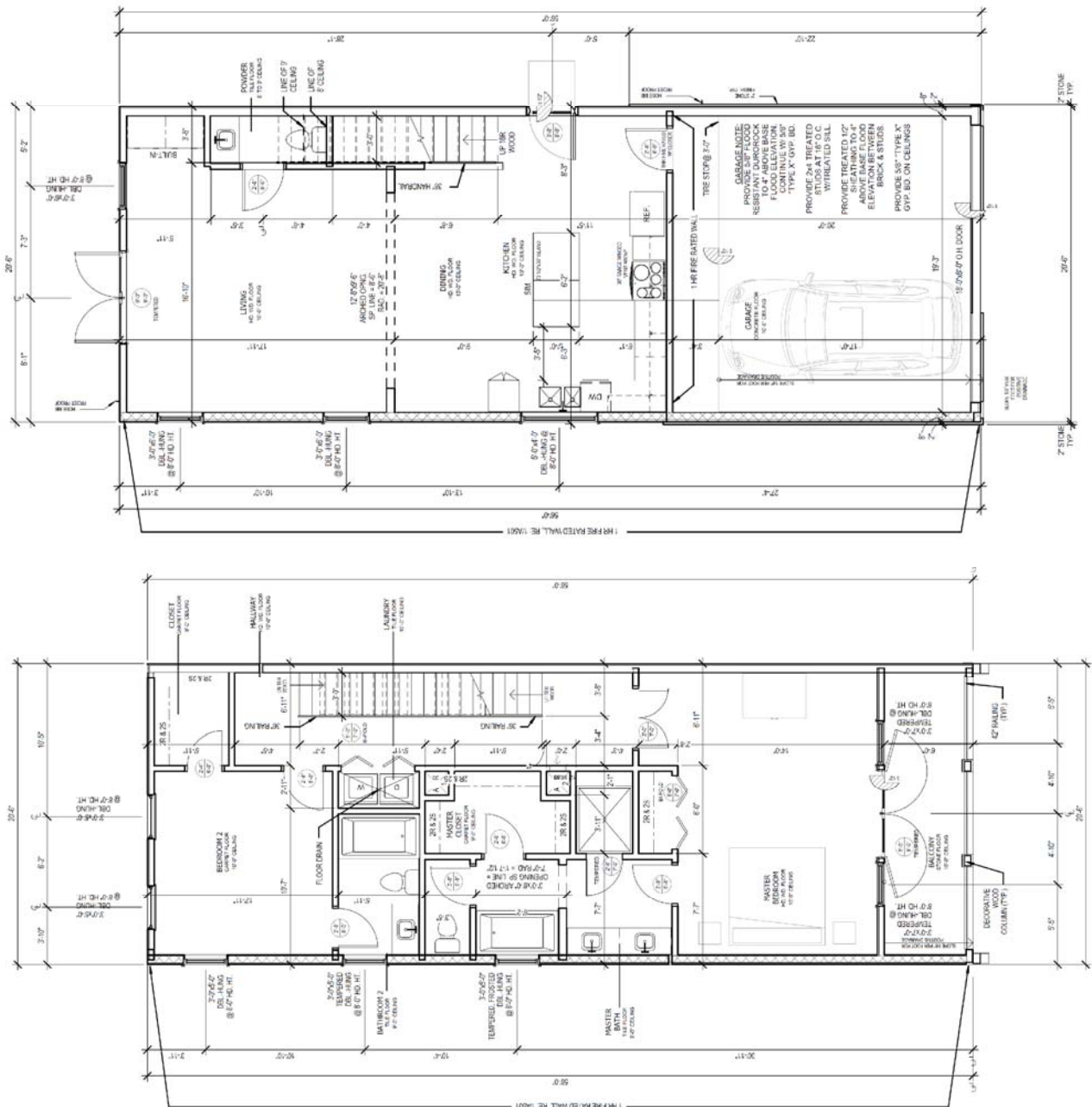


# Houston Planning Commission

**ITEM: 131**

Meeting Date: 04.30.15

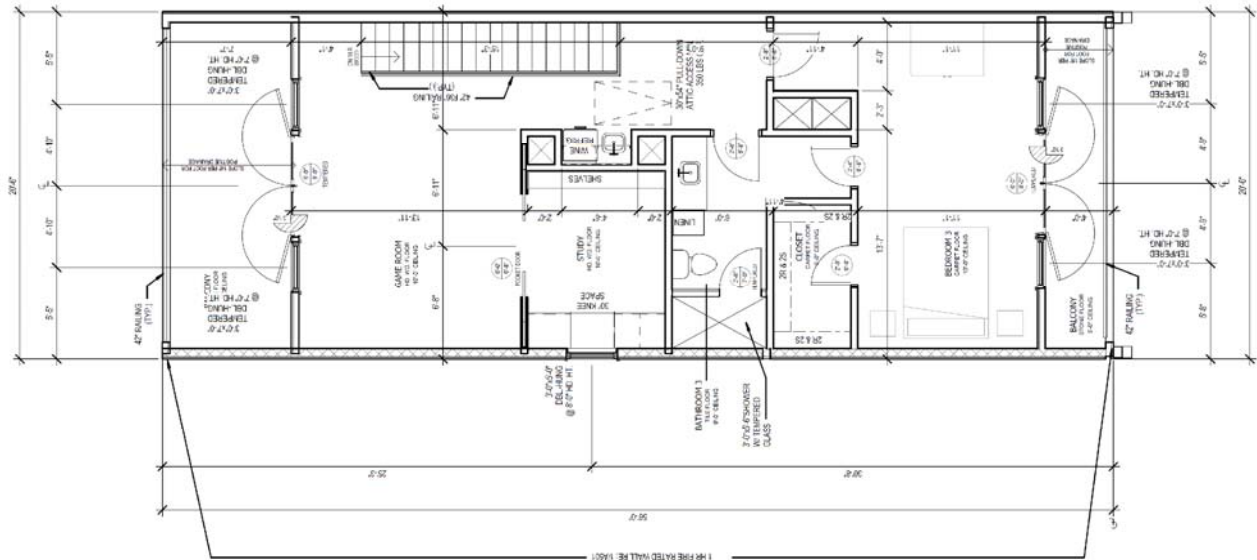
## FLOOR PLANS



# DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission



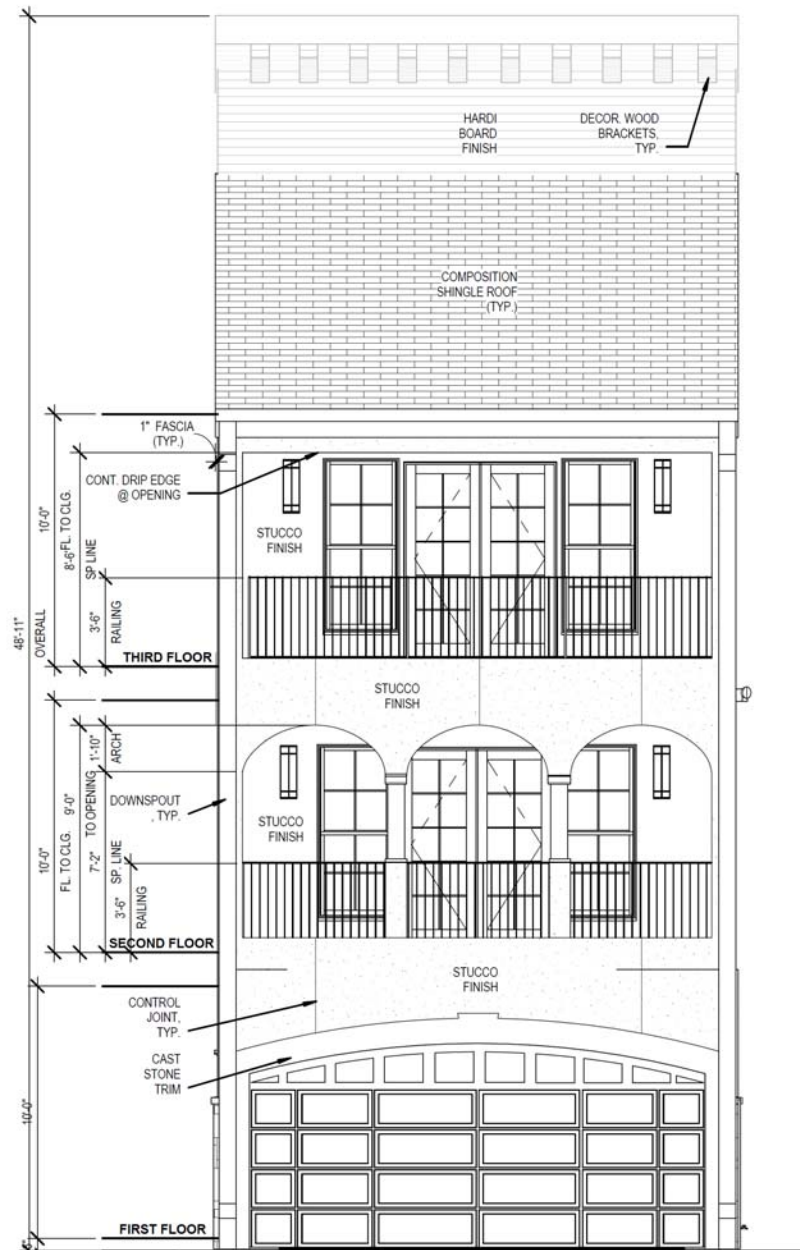
# DEVELOPMENT PLAT VARIANCE





## Houston Planning Commission

### ELEVATION



## DEVELOPMENT PLAT VARIANCE



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: 131**

Meeting Date: 04.30.15

## Houston Planning Commission

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## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov) prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at [www.houstonplanning.com](http://www.houstonplanning.com).

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Zohreh Mossanna	Zohreh Mossanna	832-875-5667	suziemossanna@yahoo.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
12819 Hansel Lane	14117822	77024	4957	489G	G

HCAD ACCOUNT NUMBER(S):	087070000003
PROPERTY LEGAL DESCRIPTION:	Lot 3 Blk 10, Memorial Bend Sec 2
PROPERTY OWNER OF RECORD:	Zohreh Mossanna
ACREAGE (SQUARE FEET):	9600 SF
WIDTH OF RIGHTS-OF-WAY:	Hansel Road-60' ROW; Beltway 8- 300'
EXISTING PAVING SECTION(S):	Hansel Road-21' ROW; Beltway 8- varies
OFF-STREET PARKING REQUIREMENT:	complies
OFF-STREET PARKING PROVIDED:	complies
LANDSCAPING REQUIREMENTS:	complies
LANDSCAPING PROVIDED:	complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	3075 SF
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	402 SF addition

**PURPOSE OF VARIANCE REQUEST:** Above mentioned addition is encroaching the building line from the feeder road of the beltway. The addition is already constructed by a general contractor without a permit and the home owner was not aware of the situation.

**CHAPTER 42 REFERENCE(S):** 42-152 - The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter.

## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### APPLICANT'S STATEMENT OF FACTS

#### SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

I am asking planning commission to please allow me to complete the conversion of my outside patio for a living room space so I could take care of my grandchildren. I assure the commission that this addition will not harm the health and the safety of the citizen of this great city that I have been living for many years and more to come

*The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov).*

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or**

**(1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The addition to the living area has been completed by a General Contractor not applying for a building permit and not knowing anything about the Building Line.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The applicant did not know that the contractor has not pull a building permit for the addition until She was notified by the association. The contractor has left the site/structure (project) as-is (unfinished) and has not returned to the job site. The association has no objection to the structure but having a City's building permit.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

There has been no building line enforcement from the beltway 8 feeder road site until the road improvement. There are several residence either new or addition also have encroach the building line along the feeder road.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

In no way the conversion of my patio to a living space for my 5 grandchildren will be causing any harm to health and safety of the public.

**(5) Economic hardship is not the sole justification of the variance.**

The uncompleted structure has created an unsafe access from the outside to the residence because is an open structure and easy to break in.

## DEVELOPMENT PLAT VARIANCE





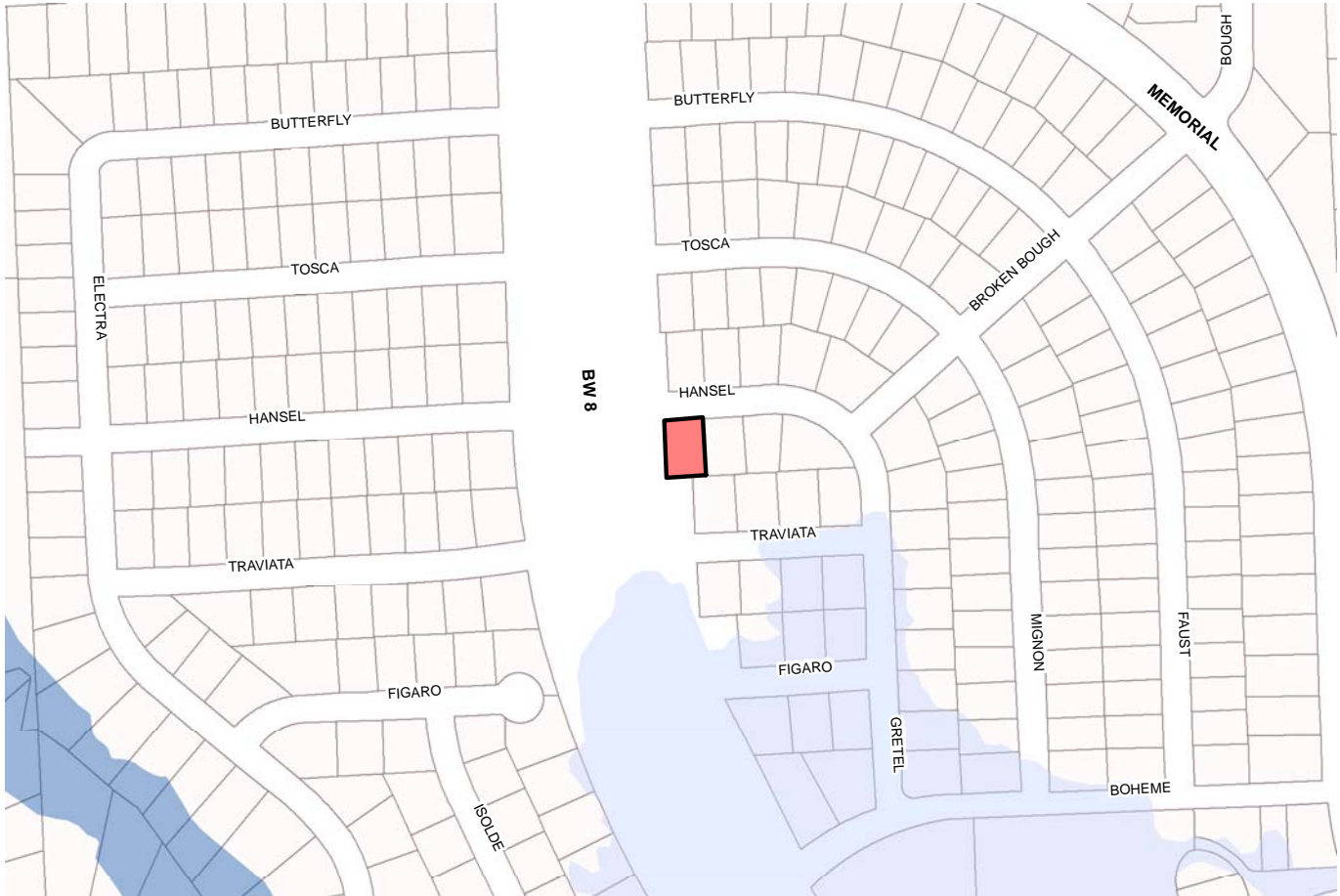
PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: 132**

Meeting Date: 04.30.15

## Houston Planning Commission

### LOCATION MAP



## DEVELOPMENT PLAT VARIANCE



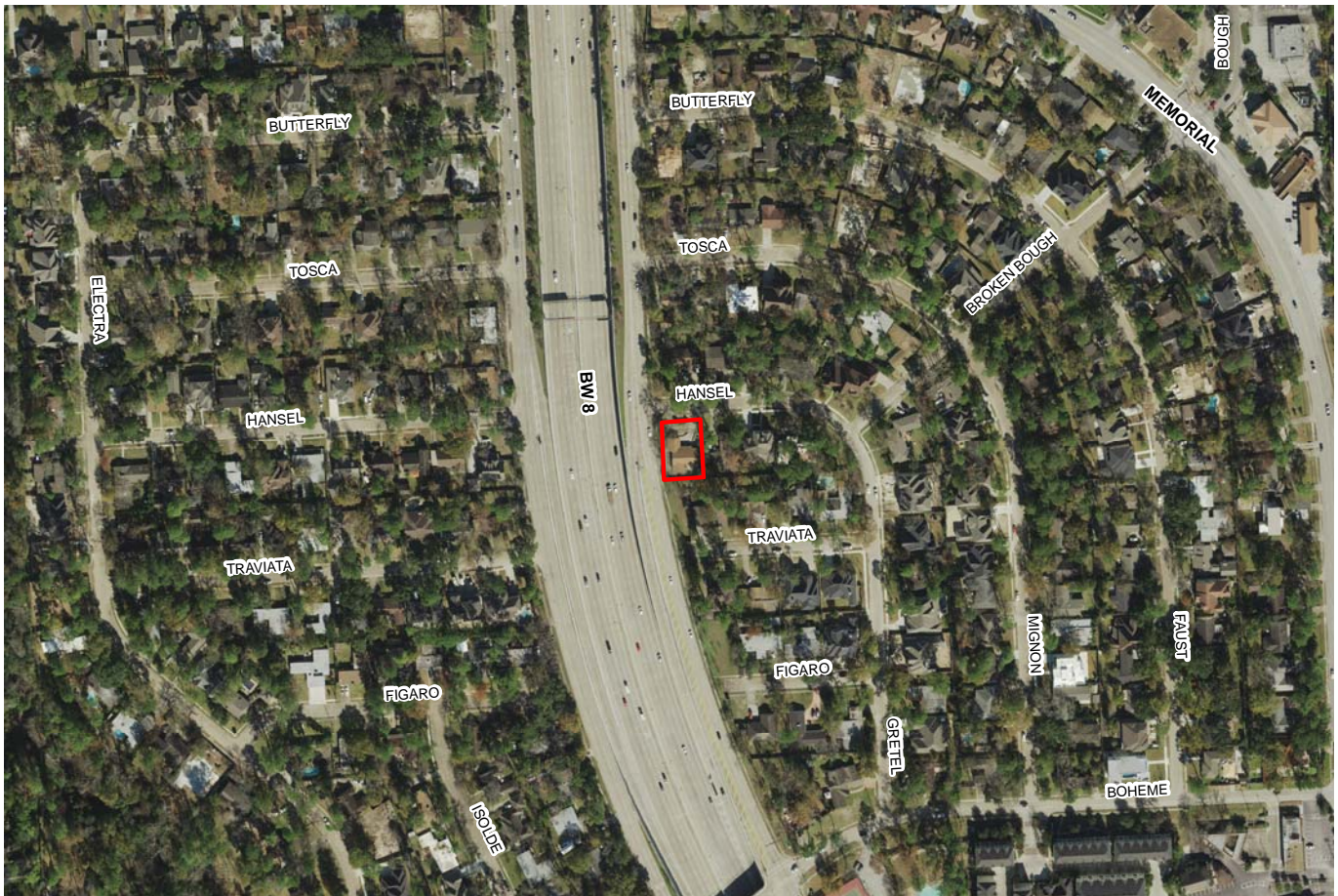
PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: 132**

Meeting Date: 04.30.15

## Houston Planning Commission

AERIAL MAP

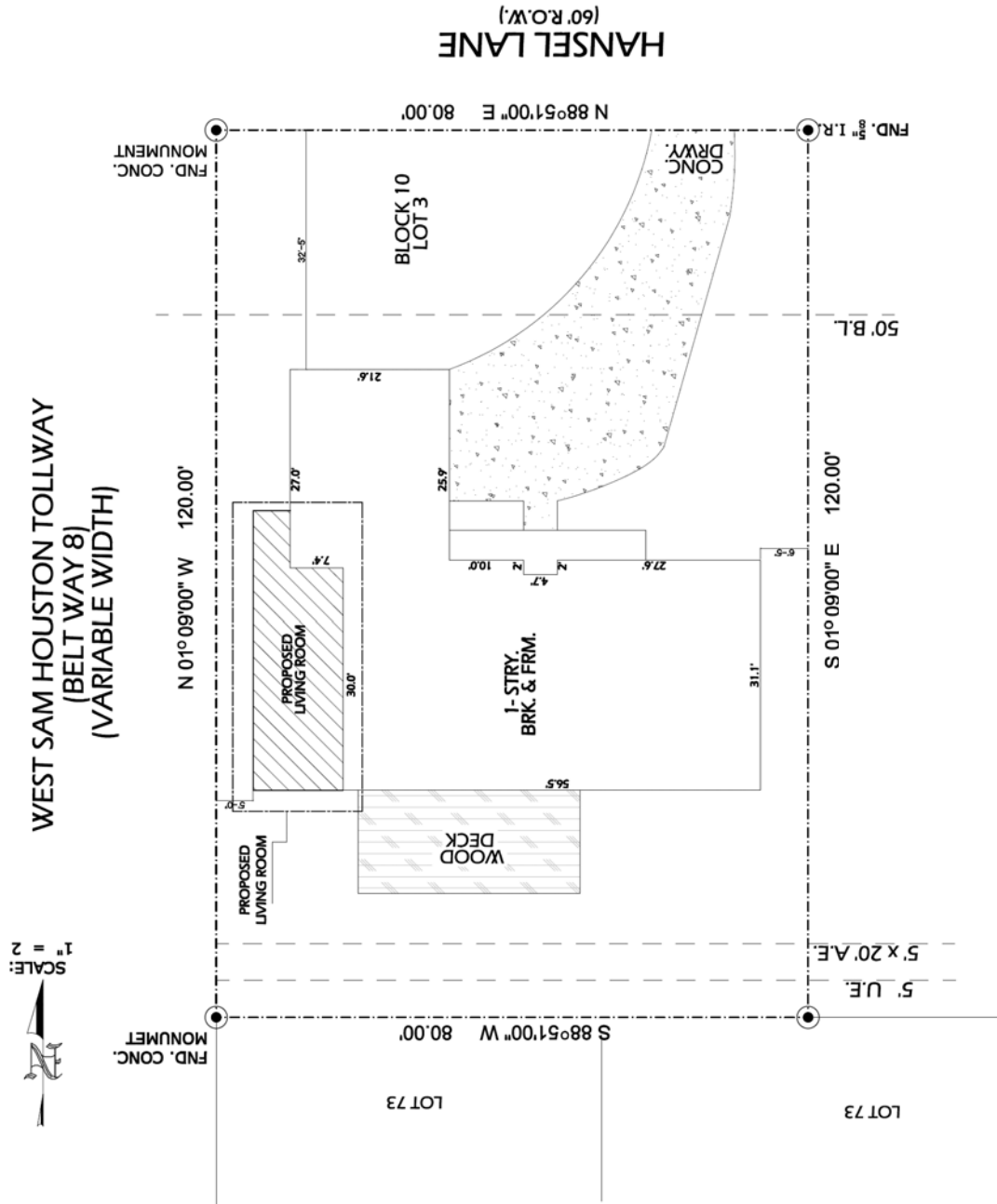


## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### SITE PLAN

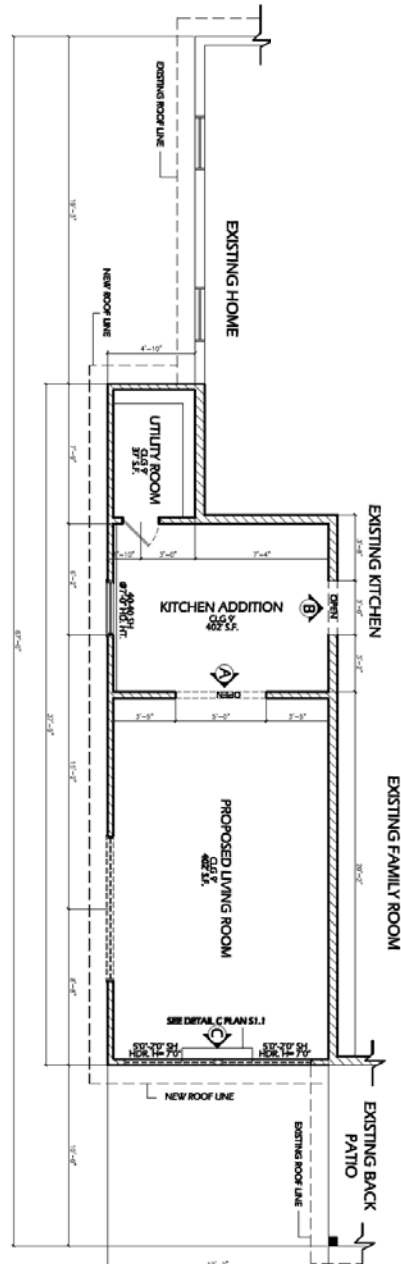


## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

FLOOR PLAN



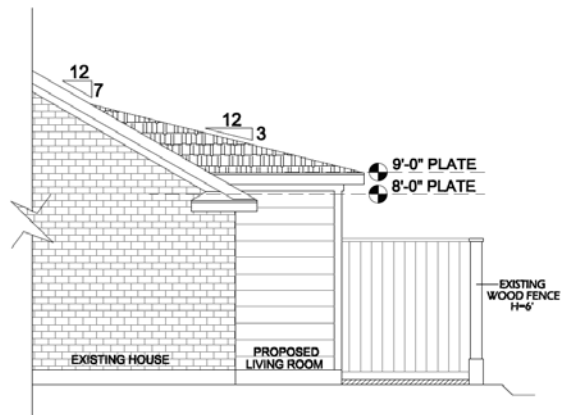
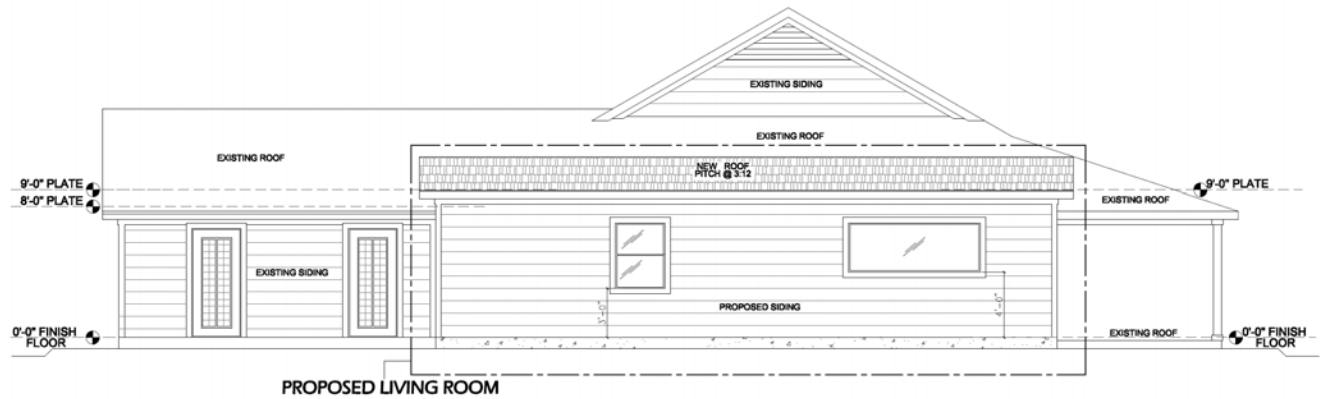
# DEVELOPMENT PLAT VARIANCE





## Houston Planning Commission

### ELEVATION



## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov) prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at [www.houstonplanning.com](http://www.houstonplanning.com).

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS
Richard Grothues Designs, Inc.	Richard Grothues	713.449.9191	<a href="mailto:rick@rgrothuesdesigns.com">rick@rgrothuesdesigns.com</a>

PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
6638 North Main Street	14085559	77009	5359A	453S	H

HCAD ACCOUNT NUMBER(S):	0350840280009
PROPERTY LEGAL DESCRIPTION:	TRS 9 & 10 BLK 28 SUNSET HEIGHTS
PROPERTY OWNER OF RECORD:	PC HOMES LLC
ACREAGE (SQUARE FEET):	4,325 SF
WIDTH OF RIGHTS-OF-WAY:	North Main 60' ROW, East 27 <sup>th</sup> 50' ROW
EXISTING PAVING SECTION(S):	40' and 18' respectively
OFF-STREET PARKING REQUIREMENT:	Two Spaces
OFF-STREET PARKING PROVIDED:	Meets Requirements
LANDSCAPING REQUIREMENTS:	One Tree
LANDSCAPING PROVIDED:	Meets Requirements

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	Single Family Residence; 810 SF
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	Single Family Residence; 2,811 SF

**PURPOSE OF VARIANCE REQUEST:** To allow an encroachment of the front porch of 2'-9 1/2" and 3 steps along East 27<sup>th</sup> Street into the 10' building line instead of the allowed 30" encroachment.

**CHAPTER 42 REFERENCE(S):** 42-151: Exceptions to Building Line requirement.

b) For a building line requirement of 10 feet or greater established by this article, an encroachment shall be permitted as follows: 1) An encroachment of up to 30 inches into the building line requirement shall be permitted

## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

for eaves, bay windows, balconies, fireplace chimneys and decorative features if the minor encroachment is cantilevered into the building line requirement; and

2) An encroachment of up to five feet into the building line requirement shall be permitted for open stairways and wheelchair ramps.

### APPLICANT'S STATEMENT OF FACTS

**SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):** The site consists of 2 lots that are located at the corner of a major thoroughfare and a local street. The front building line is 25' with a side building line of 10', and the minimum clearance to adjacent lots is 3'. The corner of the 2 combined lots where they meet the intersection of the 2 streets form an unspecified radius. Given the radius is unspecified it is unclear where the true building line is located. Furthermore the front 25' building line would taper to meet the side 10' building line, which leaves to true nature of the building lines to interpretation.

*The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov).*

**(1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or**

**(1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

The property line radius of the 2 lots was never clearly defined on the original plat for Sunset Heights in 1910. A clear definition of the building line cannot be determined given the insufficient information on the original plat. The city ordinances were originally adopted in 1968 and later modified in 1985. The lots were originally platted in 1910 with no setback restrictions.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

Originally this project was permitted as a remodel to the existing house. During the process of remodel the house fell down and had to be demolished. The contractor worked under the existing remodel permit unaware of the need to pull a new permit. He then poured new foundation footings where the old house had been located.

The original house was constructed shortly after 1910 when Sunset Heights was originally platted and the lot was created. During this time no building setback lines existed. The original house encroached into the

## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

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now present building lines quite a bit, so much so, that a corner of the house was almost up against the front property line. If you notice from the pictures you will see that the property line radius of 40' is set back quite a bit from the street radius, which is at a standard 12'. The original project had been budgeted to only be a remodel of the existing house. In the attempt to conserve cost and ease the hardship on the owner from the unforeseen complications, the new design utilizes the new footings that were poured. Seven of these footings at the front of the property will no longer be used, thus removing the encroachment into the front building line. However, based on the constraints presented by the footings and the shape of the lot, the design for the house was confined to the perimeter shape established by the footings.

The location of the lot impacted the design as well, since the lot is a corner lot on a major thoroughfare (North Main Street) the need to bring the front entry of the house onto the local street (East 27<sup>th</sup> Street) was important. The primary use of the properties on North Main are Commercial and if the entry of the house faced that direction a disconnection to the neighboring houses on East 27<sup>th</sup> Street would form. By providing the front entry on East 27<sup>th</sup> Street this creates a unity within the neighborhood. Given this, the entry needed to be more clearly defined. To accomplish this a small front porch with a balcony above was added to the front façade of the house. The house is elevated to provide a sense of place within the neighborhood and maintain the character of the original houses in Sunset Heights. In order to achieve this design, the front porch and balcony encroach into the building line by 2'-9 1/2" and have 3 stair steps in front. This entry design establishes character to the house and opens it up into the neighborhood.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The encroachment into the side building line will be kept to a minimum. The intent of which is to not crowd the side street. The distance from the back of the curb to the side property line is approximately 15'.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The encroachment of the side building line will still allow for the 15' x 15' visibility triangle and not interfere with the public right-of-way.

**(5) Economic hardship is not the sole justification of the variance.**

Due to the existing conditions and the existing house on the lot, we are not basing the variance request on economic hardships.

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# DEVELOPMENT PLAT VARIANCE





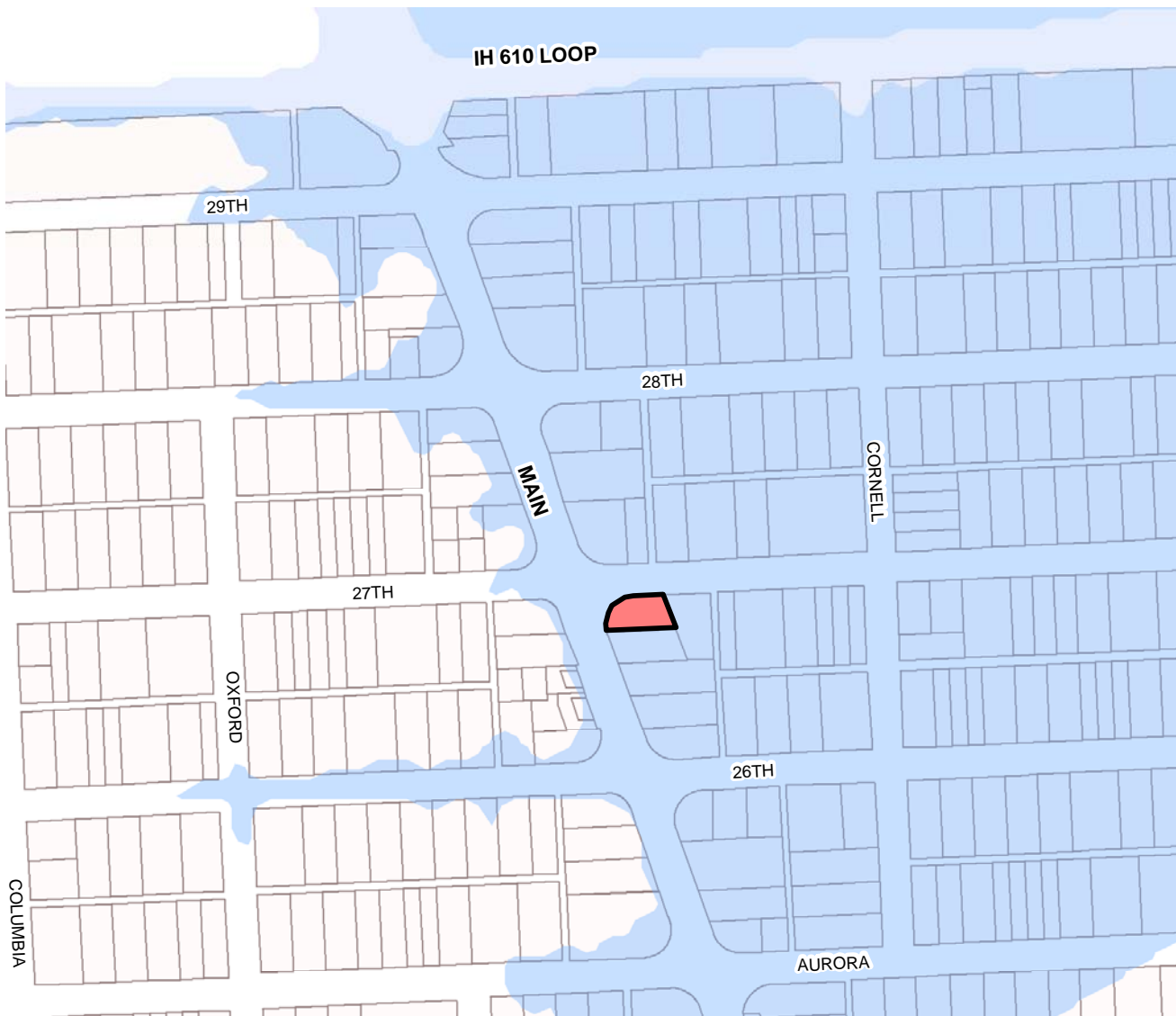
PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: 133**

Meeting Date: 04/30/2015

## Houston Planning Commission

### SITE MAP

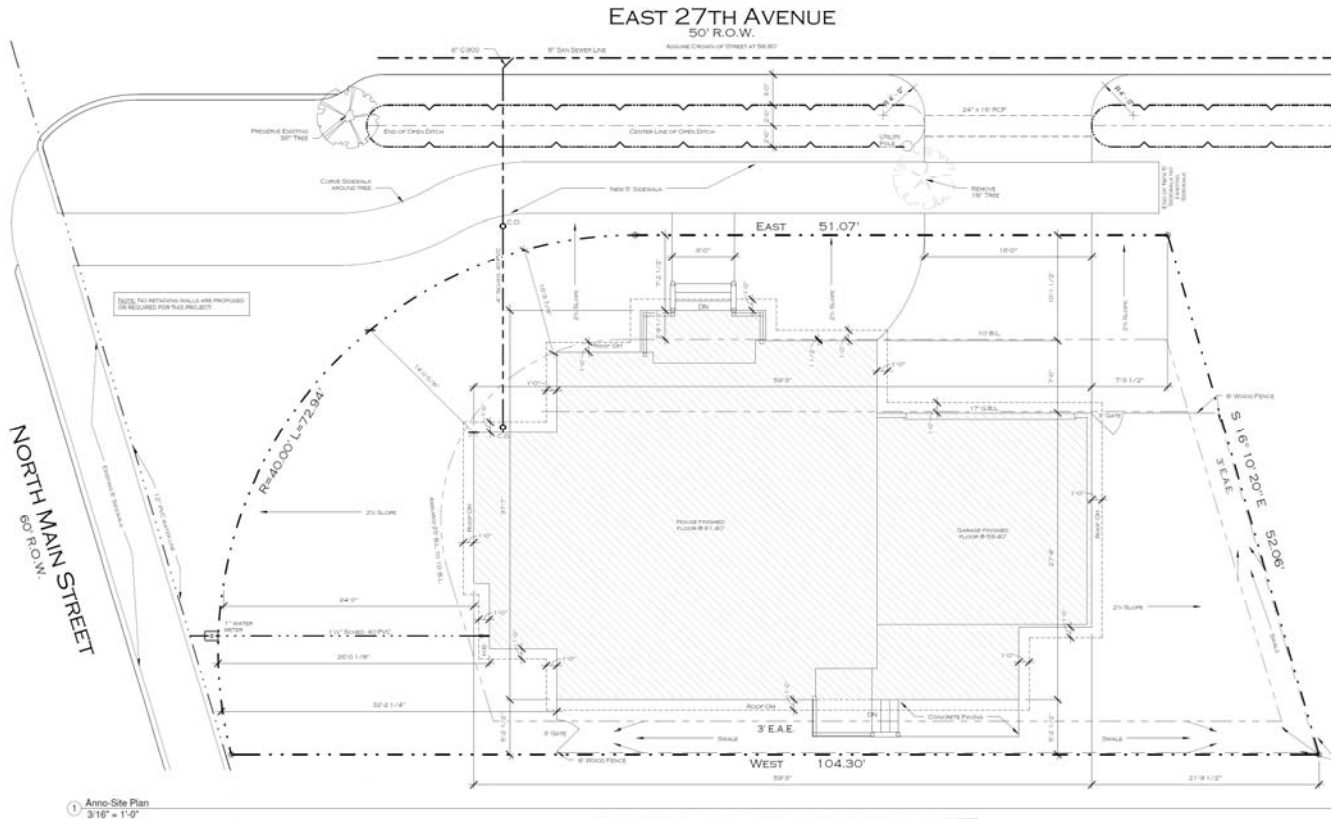


## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### SITE PLAN



## DEVELOPMENT PLAT VARIANCE



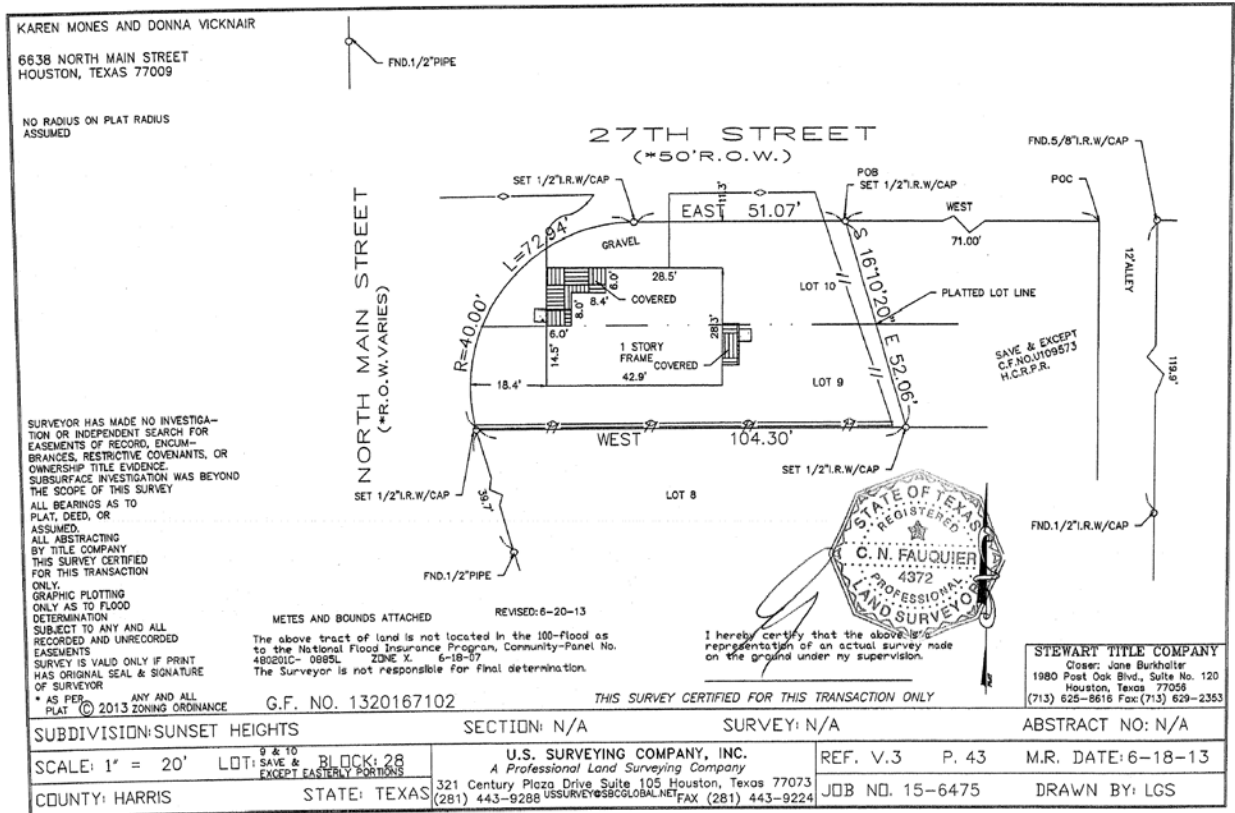
PLANNING &  
DEVELOPMENT  
DEPARTMENT

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# Houston Planning Commission

## SURVEY

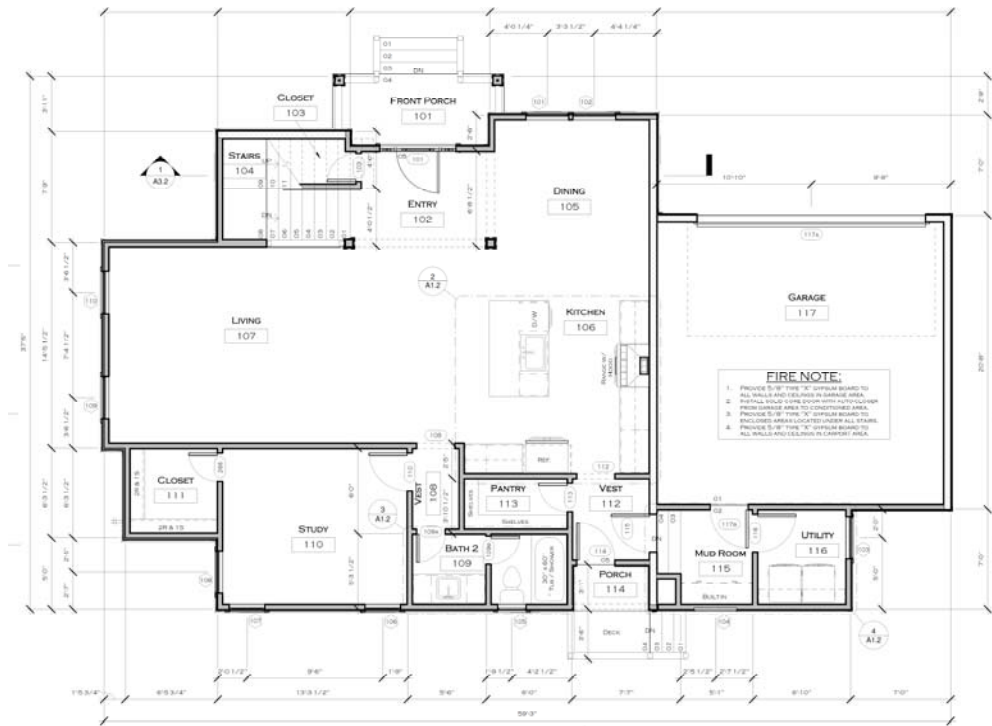


# DEVELOPMENT PLAT VARIANCE

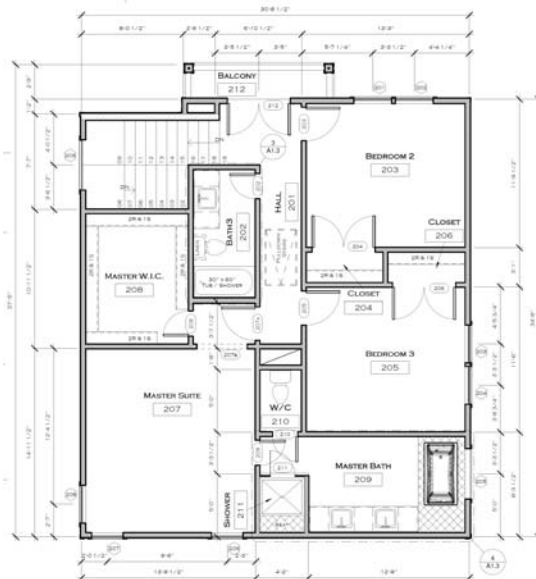


## Houston Planning Commission

First Floor Plan



Second Floor Plan



# DEVELOPMENT PLAT VARIANCE





## Houston Planning Commission

### Elevations



# DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### Elevations



# DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### VARIANCE REQUEST APPLICATION

An applicant seeking a variance and/or special exception to the Planning Standards of Chapter 42 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to [planning.variances@houston.tx.gov](mailto:planning.variances@houston.tx.gov) prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at [www.houstonplanning.com](http://www.houstonplanning.com).

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Brown & Gay Engineers, Inc.	Gerald W. Grissom	281-558-8700	plats@browngay.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
1235 Nasa Parkway	15013897	77058	6048	618V	E

HCAD ACCOUNT NUMBER(S):	130-627-001-0001 & 130-627-001-0002
PROPERTY LEGAL DESCRIPTION:	All of Reserve A and C of Flight Center, F.C. No. 620164, H.C.M.R.
PROPERTY OWNER OF RECORD:	Finger Development Company
ACREAGE (SQUARE FEET):	8.573 Acres / 373,440 s.f.
WIDTH OF RIGHTS-OF-WAY:	Nasa Parkway (F.M. 528) +/- 176' to +/- 165'
EXISTING PAVING SECTION(S):	Nasa Parkway (F.M. 528) - Boulevard (2 - +/-57' to 71')
OFF-STREET PARKING REQUIREMENT:	433 parking spaces required
OFF-STREET PARKING PROVIDED:	603 parking spaces provided
LANDSCAPING REQUIREMENTS:	Project complies
LANDSCAPING PROVIDED:	Project complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]: n/a

PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]: Multi-family development, +/-354,877 s.f.

**PURPOSE OF VARIANCE REQUEST:** To allow a drive aisle to be less than 20-feet in width for a length of  $\pm$  100-feet at an existing private divided drive at a TxDOT controlled signalized intersection. The existing private drive is projected to provide an access point to the proposed multi-family residential development. To allow fire protection hose lay along the west side of building one to increase to 300 feet which is acceptable per 42-235 Performance Standards.

## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

**CHAPTER 42 REFERENCE(S):** Sec. 42-231 Private Streets – General Standards (b)(2) At the option of an applicant, for a distance of not more than 100 feet from the intersection of the private street and the right-of-way of a public street, the right-of-way width of the private street may be comprised of two paving sections of not less than 20 feet each, separated by a curbed section of not less than five feet and not more than 20 feet in width.

Sec. 42-233 Fire Protection (a) Fire hydrants shall be located along each private street in a manner that will allow fire fighting apparatus to park and connect by hose to a hydrant not more than 300 feet away and reach any part of any building within the development with a 200-foot long hose extending from the equipment. The hose distance shall be measured as laid on the ground, around buildings, fences and other obstacles, and not as an aerial radius from a hydrant or parked equipment. Notwithstanding the foregoing, fire hydrants shall be located not more than 600 feet apart, unless the fire chief approves a different configuration where, in his professional judgment, fire protection needs can be adequately provided.

### APPLICANT'S STATEMENT OF FACTS

**SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):**

The site consists of 8.573 acres, also being all of Unrestricted Reserve A and C of Flight Center, recorded at F.C. No. 620164, H.C.M.R. The site is located north of Nasa Road 1 (F.M. 528) at the intersection with Nassau Bay Drive. The subject drive, constructed in 2008, currently serves as one of two access points from Nasa Parkway (F.M. 528) for Walgreens and the Clear Lake Area Chamber of Commerce.

The development proposes a four story building with 350 multi-family units with a five story parking garage for residents. Access and fire protection is accomplished through two points of access from Nasa Parkway (F.M. 528) and a looped internal 28-foot private street. In addition, fire hydrants will be located to meet fire protection requirements.

*The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov).*

- (1a) **The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or**
- (1b) **Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

Strict application of the requirements of this chapter would create an impractical development due to the existing physical characteristics of the subject property. The existing private divided driveway, consisting of

## DEVELOPMENT PLAT VARIANCE





## Houston Planning Commission

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a 24-foot wide paving section and a 15-foot wide paving section, currently provides access to an existing Walgreens and the Clear Lake Area Chamber of Commerce. The existing private divided driveway, constructed in 2008, centerline ties with Nassau Bay Drive at a TxDOT controlled signalized intersection along Nasa Parkway (F.M. 528) immediately east of the Nasa Bypass. The subject one-way 15-foot drive forces vehicular traffic to travel approximately 100-feet into the subject property to prevent queuing of vehicles into the signalized intersection.

The subject property is also encumbered by an existing 10 foot Centerpoint utility and aerial easement. The existing private utility and aerial easement provides electric service to several nearby facilities; the easement is unable to be relocated. The looped 28 foot private street is encumbered by aerial easement along the western portion of the site. The resulting hose lay lengthen is approximately 485 feet; under performance standards requirements the maximum hose lay length is 300 feet for a combined length of 600 feet.

**(2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

The circumstances supporting the granting of the variance are based upon the physical geometrics of the divided driveway constructed in 2008 at the signalized intersection of Nasa Parkway (F.M. 518) and Nassau Bay Drive. In addition, the existing 10 foot Centerpoint utility easement with aerial easement was established before the proposed development was contemplated. Per the City of Houston Fire Marshal, fire protection requirements are not to be calculated from private streets having aerial easement encroachments.

**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purposes of this chapter will be preserved and maintained as ingress/egress will continue to be satisfied through the use of the two existing access points from Nasa Parkway (F.M. 518). Fire protection will be served with ground access from the "T-Type" turn around located north and south of building one.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

The granting of the variance will not be injurious to the public health, safety or welfare. The divided driveway will continue to provide adequate access for emergency vehicles along with residents and the public patronizing the existing Walgreens and/or the Clear Lake Area Chamber of Commerce. Fire protection will be served from the "T-Type" turn around located north and south of building one.

**(5) Economic hardship is not the sole justification of the variance.**

The existing physical conditions of the site are the justification for granting the variance; economic hardship is not the justification of the variance request.

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# DEVELOPMENT PLAT VARIANCE



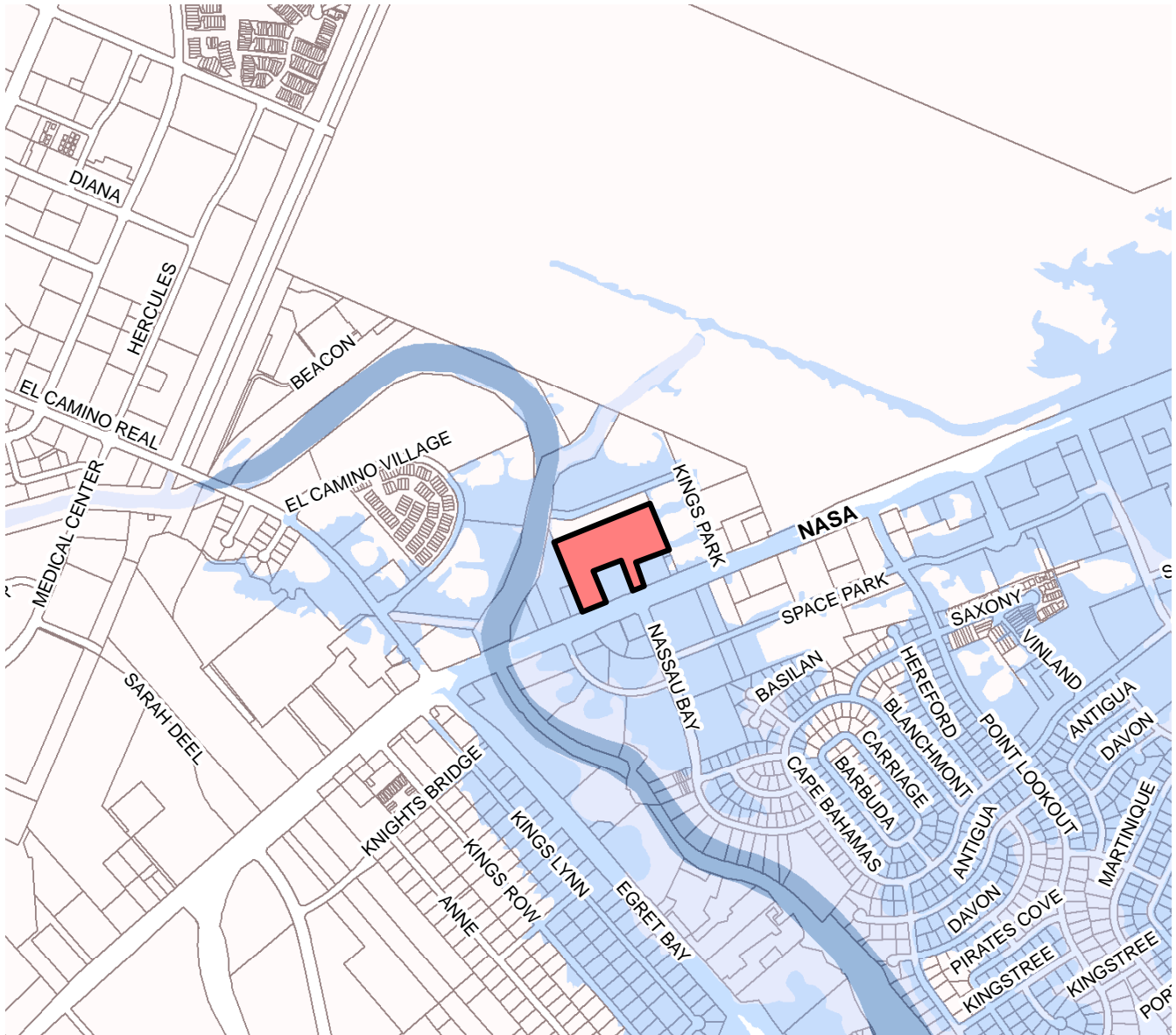
PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: 134**

Meeting Date: 04.30.15

## Houston Planning Commission

Location Map



# DEVELOPMENT PLAT VARIANCE



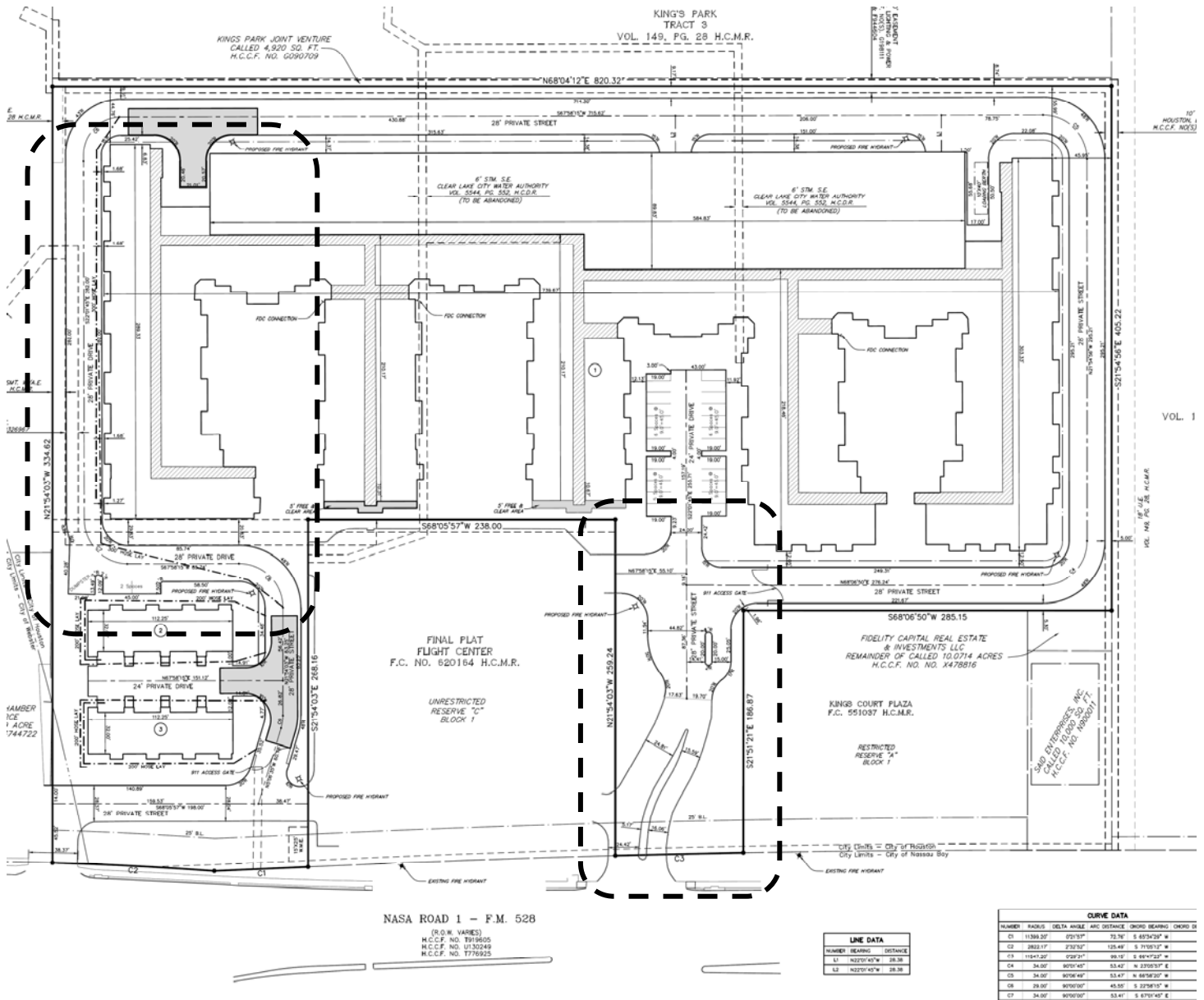
PLANNING &  
DEVELOPMENT  
DEPARTMENT

## Houston Planning Commission

**ITEM: 134**

Meeting Date: 04.30.15

### Site Plan



# DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### VARIANCE REQUEST APPLICATION

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APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Miro' Rivera Architects Jrp Company	Ken Jones Jennifer Pool	412-477-7015 832-594-8420	Ken@Miroriver.Com Jrpcom@Aol.Com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
17 West Lane	14135074	77019	5256A	492N	G

HCAD ACCOUNT NUMBER(S):	0601620880002
PROPERTY LEGAL DESCRIPTION:	LOT 2, TRACT 1A-1 BLOCK 88 RIVER OAKS TALL TIMBERS
PROPERTY OWNER OF RECORD:	EDUARDO & VANESSA C SANCHEZ
ACREAGE (SQUARE FEET):	59,939 Sq Ft
WIDTH OF RIGHTS-OF-WAY:	WEST LANE 60'; SAN FELIPE RD 60'
EXISTING PAVING SECTION(S):	WEST LANE 35'; SAN FELIPE RD 55'
OFF-STREET PARKING REQUIREMENT:	2
OFF-STREET PARKING PROVIDED:	2
LANDSCAPING REQUIREMENTS:	Complies
LANDSCAPING PROVIDED:	Complies

EXISTING STRUCTURE(S) [TYPE; SQ. FT.]:	VACANT
PROPOSED STRUCTURE(S) [TYPE; SQ. FT.]:	10,000

**PURPOSE OF VARIANCE REQUEST:** To allow replacement of existing 8" solid fence, on zero lot line, along San Felipe Road, a major thoroughfare with a 12' solid fence, on zero lot line as approved by the River Oaks Property Owners instead of the 25' building line required by the ordinance.

**CHAPTER 42 REFERENCE (s):** **Sec. 42-152. (a)** The portion of a lot or tract that is adjacent to a major thoroughfare shall have a building line requirement of 25 feet unless otherwise authorized by this chapter **Sec. 42-272. (2).** the buffer area shall include a ten foot landscape buffer from the property line of the abutting development. The landscape buffer shall include: **(a)** An eight foot tall solid masonry wall along the property line or an 8 foot tall wooden fence if a utility easement runs along the property line.

## DEVELOPMENT PLAT VARIANCE





## Houston Planning Commission

### APPLICANT'S STATEMENT OF FACTS

#### SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

HCAD identifies this property as Lot 2, Tract 1A-1 Block 88 of the River Oaks Tall Timbers subdivision. The property faces West Lane, a local street, and the south side of this property is against San Felipe Street, a thoroughfare with an existing 8" solid fence on a zero lot line. Other fences on the north side of San Felipe Street are on a zero lot line with some 8' with others at 10' to 12' many matching solid construction approved by the River Oaks Property Owners.

Lot 2, Tract 1A-1 Block 88 currently is a vacant lot platted for a single family homes per HCAD records. The site is on the north side of San Felipe Street and the south side of West Lane generally west of Willowick Road. The site is 59,939 square feet and has been in this configuration for many years. The proposed single family home will be 10,000 square feet.

*The applicant must clearly identify how the requested variance meets the criteria in either (1a) or (1b) and ALL items (2) through (5). The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov).*

- (1a) The imposition of the terms, rules, conditions, policies and standards of this chapter would create an undue hardship by depriving the applicant of the reasonable use of the land; or**

This is a tract that has functioned as a single family home lot for many years. This lot currently is vacant and has been there since 2009. Requiring a 25' building line for the southern portion of the property would create an undue hardship in that the existing building line on West Lane would unduly constrict the size of the buildable portion of the property. The owner would not reasonably build using the larger building lines.

- (1b) Strict application of the requirements of this chapter would make a project infeasible due to the existence of unusual physical characteristics that affect the property in question, or would create an impractical development or one otherwise contrary to sound public policy;**

Requiring a 25' building line per Sec. 42-152 (a) along San Felipe Street which has a 10' building line per subdivision plat, the property would create an undue hardship in conjunction with the 78'6" building line per River Oaks Property Owners (See attached) along West Lane.

- (2) The circumstances supporting the granting of the variance are not the result of a hardship created or imposed by the applicant;**

Since all other homes on West Lane have been built with the current front building line and 10' building line along the southern side of the property and a zero line for a 12' fence, approved by the River Oaks Property Owners (See attached) the variance will in no way impose undue circumstances on the surrounding homes.

## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

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**(3) The intent and general purposes of this chapter will be preserved and maintained;**

The intent and general purposes of Chapter 42 is to provide sensible development, not prohibit development. Lot 2, Tract 1A-1 Block 88 is an existing lot that does not allow any options for development other than single family. The intent and general purposes of this chapter will be preserved by allowing sensible development and encouraging the uses that are already present in this neighborhood.

**(4) The granting of the variance will not be injurious to the public health, safety or welfare;**

West Lane is a local street it does serve as a major artery in the area. The granting of the variance will not be injurious to the public health, safety or welfare as there are other properties in the area with the south side of the properties along San Felipe Street that are generally the same size and have 8' to 12' fencing. The 12" solid fence has been approved by the River Oaks Property Owners (See attached).

**(5) Economic hardship is not the sole justification of the variance.**

The hardship is that this property is an existing condition with an 8' solid fence on zero lot line. Lot 2, Tract 1A-1 Block 88 is a vacant lot platted for a single family homes. The request to not provide a 25' building line per Sec. 42-152 (a) and limited 8' fence per Sec. 42-272 (2) (a) will allow the lot to be useable and with adequate southern fence for both security and sound attenuation of traffic from San Felipe Street. Without these variances the lot will not be reasonably developable. Lots that are sensibly developed and have nice homes on them is a better use of the land than an empty lot.

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# DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### SITE MAP



## DEVELOPMENT PLAT VARIANCE





PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: 135**

Meeting Date: 04/30/2015

## Houston Planning Commission

### AERIAL MAP



## DEVELOPMENT PLAT VARIANCE



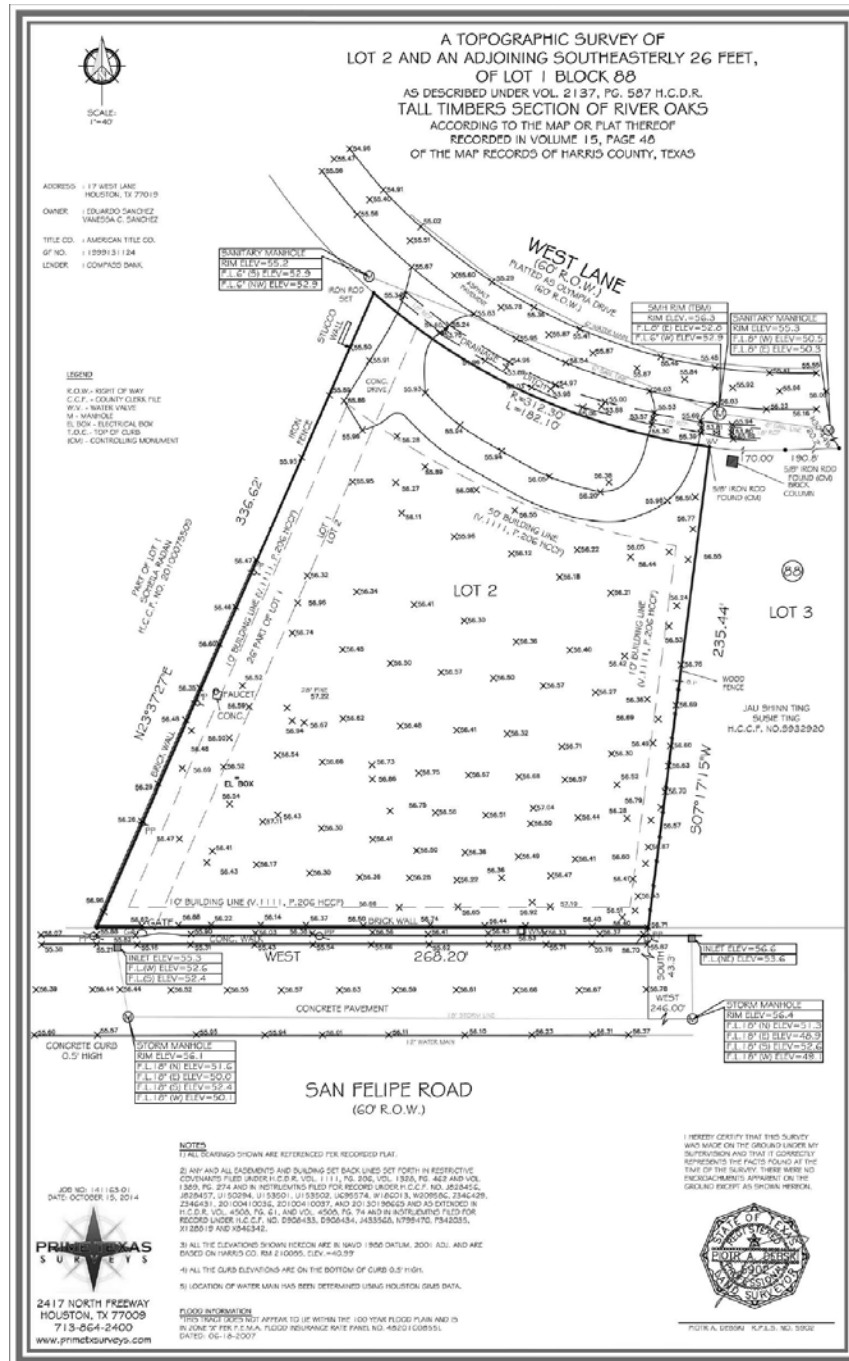


# Houston Planning Commission

ITEM: 135

Meeting Date: 04/30/2015

## SURVEY



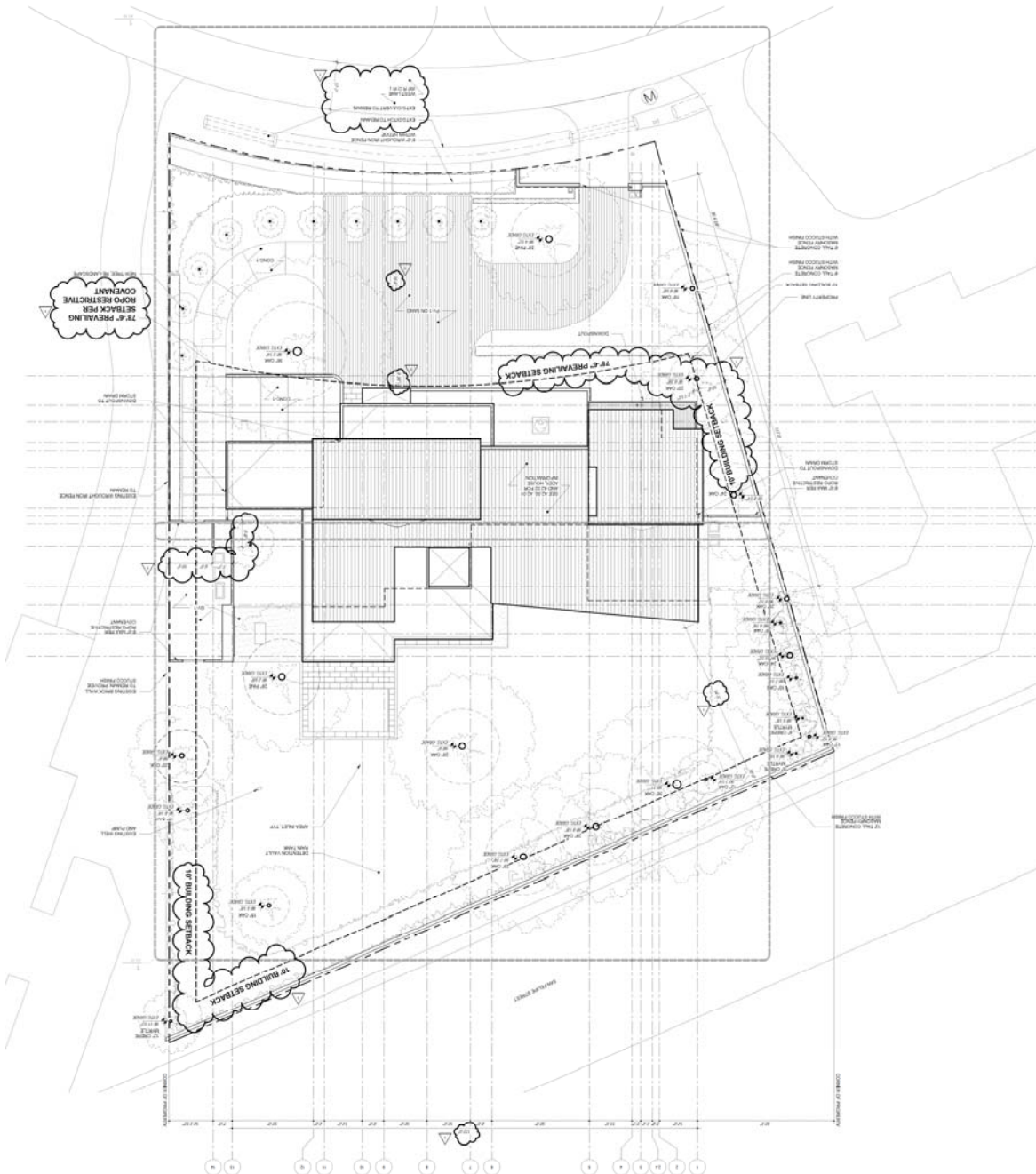
# DEVELOPMENT PLAT VARIANCE





## Houston Planning Commission

### SITE PLAN



## DEVELOPMENT PLAT VARIANCE



## Houston Planning Commission

### VARIANCE REQUEST APPLICATION

An applicant seeking a variance to the Parking Standards of Chapter 26 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov) prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at [www.houstonplanning.com](http://www.houstonplanning.com).

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS
Houston Independent School District	Kedrick Wright	(713) 556-9329	kwright7@houstonisd.org

PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
Energy Institute High School 3501 Southmore Blvd	15021855	77004	5455	533D	D

HCAD ACCOUNT NUMBER(S):	0410310320015
PROPERTY LEGAL DESCRIPTION:	TRS 1D & 58 ABST 545 C Martinez
PROPERTY OWNER OF RECORD:	Houston Independent School District
ACREAGE (SQUARE FEET):	12.17 acres (530,134 SF)
WIDTH OF RIGHTS-OF-WAY:	Southmore = 70'-0", Tierwester = 60'-0"
EXISTING PAVING SECTION(S):	Southmore = 42'-0", Tierwester = 24'-0" (approximately)
OFF-STREET PARKING REQUIREMENT:	706 spaces required (50 bicycle parking)
OFF-STREET PARKING PROVIDED:	357 spaces provided
LANDSCAPING REQUIREMENTS:	Project Complies

EXISTING STRUCTURE(S) [SQ. FT.]:	Vacant
PROPOSED STRUCTURE(S) [SQ. FT.]:	114,117 Sq. Ft. (Total)

**PURPOSE OF VARIANCE REQUEST:** To request a reduction in the required number of off-street parking spaces provided on site from 706 parking spaces to 357.

**CHAPTER 26 REFERENCE(S):** **Section 26-492**, Class 5 - Religious & Educational, c. School, 3. Senior High School - 1.0 parking spaces per every 3 occupants. **Section 26-497**. Reduced parking space requirement for additional bicycle spaces. (b) The maximum reduction in the number of parking spaces under this section shall be 10 percent of the number of parking spaces required by Sec 26-492 of this Code.

## OFF-STREET PARKING VARIANCE





## Houston Planning Commission

### APPLICANT STATEMENT OF FACTS

#### SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

We are requesting a reduction in the required number of parking spaces based on the actual Houston ISD planned occupant load instead of the City of Houston Public Works occupant load.

Designed to serve a total of 813 students and 85 staff members, the design of the new Energy Institute High School is comprised of three separate buildings connected by an exterior courtyard. Based on our internal calculations, assuming this were a typical high school, the reduced occupant load would be 1,071 occupants. (See Exhibit B)

Due to the separation of buildings, the City of Houston requires three separate permits and three separate occupant loads. Because the design of Energy Institute consists of three separate buildings, the cumulative Design Occupant Load increases to 2,157 occupants. The parking count for 2,157 occupants is 719 parking spaces, (706 parking spaces with proposed 50 bicycle spaces).

Energy Institute is not designed for 2,157 occupants and there is no room on the site to ever expand the campus to 2,157 occupants. Energy institute is designed for 813 students and a Design Occupant Load of 1,071. The required parking for 1,071 occupants is 357 spaces.

#### APPLICANT'S STATEMENT OF FACTS:

*The applicant must clearly identify how the requested variance meets the criteria in ALL items (1) through (5); and, if applicable, the sixth (6) condition. The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov).*

**(1) The imposition of the terms, rules, conditions, policies and standards of this article would deprive the owner or applicant of the property of reasonable use of the land or building;**

If Houston ISD is required to provide the required number of spaces per the parking ordinance:

1. The District will be required to provide more than double the amount of parking that is needed.
2. The amount of impervious cover would greatly reduce the District's ability to meet the City's Storm Water Detention requirements.
3. Although Energy Institute does not have an athletics program, they do have a physical education curriculum. The District will not have room to dedicate greenspace for physical education or other outdoor learning opportunities.
4. The additional impervious surface will adversely affect the District's pursuit of LEED Gold certification.
5. HISD is committed to achieving LEED Certification on each of our new schools and a key component of the site is minimizing paved areas to what is needed. The additional impervious surface would also result in the removal of existing mature trees on the site.

## OFF-STREET PARKING VARIANCE



## Houston Planning Commission

- (2) That the circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant and that in granting the variance the general purposes of this article are being observed and maintained;

The proposed EIHS campus is comprised of three separate buildings. Buildings (A) and (B) are the primary buildings used for curriculum education. Building (C) includes the dining commons, kitchen and fitness classroom. In a typical school, these spaces are considered part of the overall building and considered a non-simultaneous use space. Since Building (C) is considered a “standalone building”, we were not able consider these spaces non-simultaneous use. As a result 837 additional occupants must be accounted for, thereby increasing our required parking by 362 spaces.

Houston ISD is designing all new schools in the most compact footprint possible. Our square foot requirement per student is 140 SF. This SF requirement requires the designers to be very efficient as they prepare the plans.

We have prepared a comparative summary of similar high schools which are 100% magnet and have analyzed the modes of transportation used by students, staff and teachers to arrive at the school. Based on this analysis, created with the assistance of HISD demographer and General Manager for Transportation, we can project the future parking needs of the Energy Institute High School.

### EXISTING:

Existing Campus Transportation Comparison													
School Name	Magnet Program	Current Enrollment	Magnet Enrollment	Bus			Drive		Other*		Teacher, Visitor & Staff parking	Parking Spaces Used	Current Parking Spaces
				No.	Magnet Trans.	Percent	No.	Percent	No.	Percent	No.		
DeBakey HSHP	Health Professions	700	700	455	455	65%	95	14%	150	21%	90	185	500
HS Performing and Visual Arts	Performing Arts	710	710	210	210	30%	450	63%	50	7%	69	150	150
Energy Institute HS	Energy	360	360	288	288	80%	4	1%	68	19%	45	55	79
HS Law Enforcement and Criminal Justice	Law	492	492	300	300	61%	40	8%	152	31%	50	90	205

\*This data was collected from the business managers and principals at each campus, the District's General Manager of Transportation and independent Traffic Impact Analysis.

### NOTES:

1. The Energy Institute High School is currently located at 1808 Sampson St. In its current configuration, the campus serves freshman and sophomore students only.
2. As noted in the chart above the transportation for the existing EIHS represents 80% bus riders, 1% drivers, and 19% other, i.e. parent drop-off, walk, ride their bike, ride the METRO, etc.
3. The proposed new facility, located at 3501 Southmore Blvd., will accommodate 813 freshman through senior level students. The projected staff count is 85.
4. Approximately 13 busses service the EIHS. In addition to HISD bus transportation, the proposed site is served by a Metro stop at the corner of Tierwester and Southmore. It is likely that this stop will be utilized by both teachers and students to travel to and from the school.

# OFF-STREET PARKING VARIANCE



## Houston Planning Commission

5. Please refer to the table on the following page for the basis of providing 357 spaces in lieu of the ordinance required amount.

**PROJECTED:**

Projected Transportation Requirements for new campus													
											X	Y	X + Y
School Name	Maximum Enrollment <small>(including Magnet students)</small>	Magnet Enrollment	HISD Bus			Drive		Other		Teacher, Visitor & Staff parking	Parking spaces required	Event parking*	Total spaces required
			# of Riders	Magnet Trans.	%	Quantity	%	Quantity	%	Quantity			
Energy Institute HS	813	813	528	528	65%	200	25%	85	10%	100	85	50	350

\*Based on 1 parking space per 3 seats, Energy's 470 seat "cafetorium" requires 157 parking spaces. Because events using the "cafetorium" by visitors to campus will generally occur after school hours, we are providing 32% of that total as a buffer in case of overlap of use by school and after hour events

**NOTES:**

- Campus administration has projected a Maximum of 200 student drivers and 85 teacher/staff drivers. This allows for 72 additional parking spaces for daily visitor and event buffer parking.
- The future projections of 65% bus riders, 25% drivers, and 10% other, as shown in the chart above is the anticipated transportation needs once juniors and seniors are added to the curriculum.
- The Energy Institute High School is a 100% Magnet program. Currently 80% of the student population is transported via bus. Campus administration has projected 65% of the student population will be transported via bus once juniors and seniors are added to the program.

**(3) The intent of this article is preserved;**

Adequate and convenient parking will be provided on the school site. All parking lots will be easily visible and will have security lighting.

**(4) The parking provided will be sufficient to serve the use for which it is intended;**

Adequate and accessible parking will be provided for the students, staff and visitors of the Energy Institute High School. Daily student, staff and visitor needs along with special event parking needs have been addressed.

**(5) The granting of such a variance will not be injurious to the public health, safety or welfare; and**

The new Energy Institute High School will have adequate parking for students, staff and visitors to prevent overflow parking in the surrounding neighborhood.

**(6) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII, chapter 33, of this Code.**

Not applicable.

# OFF-STREET PARKING VARIANCE



## Houston Planning Commission

### STANDARDS FOR VARIANCES

(a) The commission is authorized to consider and grant variances from the provisions of this article by majority vote of those members present and voting, when the commission determines that the first five of the following conditions exist, and if applicable, the sixth condition, exists:

- (1) The imposition of the terms, rules, conditions, policies and standards of this article would deprive the owner or applicant of the property of reasonable use of the land or building;
- (2) That the circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant and that in granting the variance the general purposes of this article are being observed and maintained;
- (3) The intent of this article is preserved;
- (4) The parking provided will be sufficient to serve the use for which it is intended;
- (5) The granting of such a variance will not be injurious to the public health, safety or welfare; and
- (6) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII, chapter 33, of this Code.

(b) In addition, if the variance involves an off-site parking facility, the commission must determine that a proposed off-site parking facility will be located so that it will adequately serve the use for which it is intended. In making this determination, the following factors, among other things, shall be considered:

- (1) The location of the proposed building and the proposed off-site parking facility.
- (2) Existing and potential parking demand created by other occupancies in the vicinity.
- (3) The characteristics of the occupancy, including employee and customer parking demand, hours of operation, and projected convenience and frequency of use of the off-site parking.
- (4) Adequacy, convenience, and safety of pedestrian access between off-site parking and the occupancy.
- (5) Traffic patterns on adjacent streets, and proposed access to the off-site parking.
- (6) The report and recommendation of the director and the traffic engineer.

Any variance granted under the provisions of this section will apply only to the specific property and use upon which the commission was requested to grant a variance by the applicant and shall not constitute a change of this article or any part hereof. All variances as granted shall be in writing shall be signed by the secretary of the commission and maintained as a permanent record of the commission.

## OFF-STREET PARKING VARIANCE





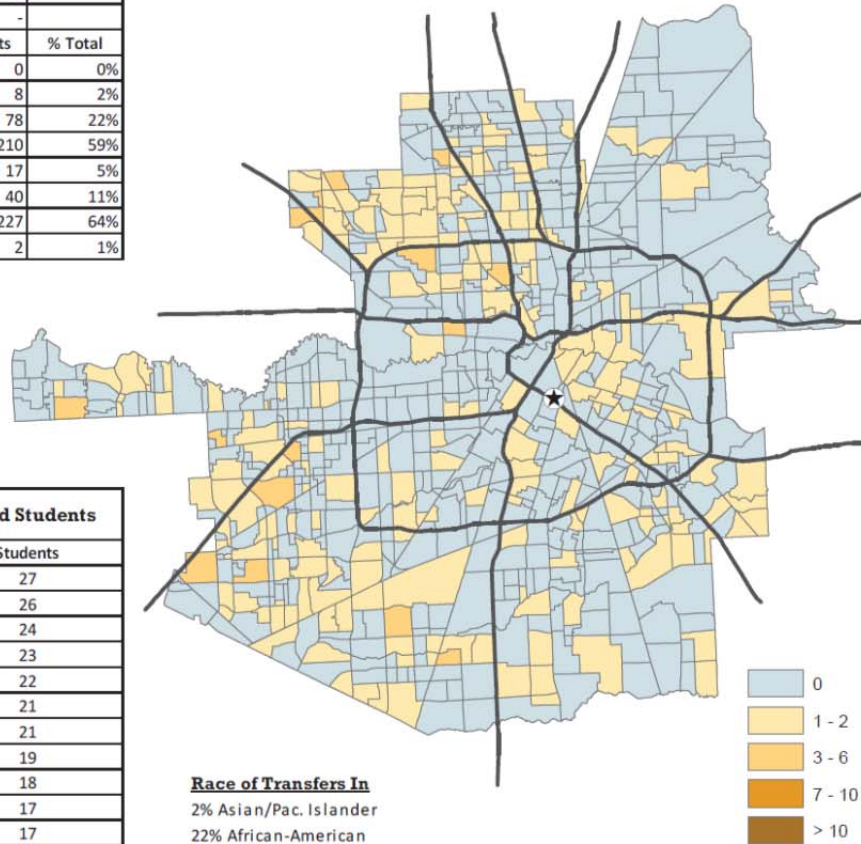
## Houston Planning Commission



### Energy Institute High School

STEM Magnet

Campus Enrollment and Capacity		
Snapshot 2014	Students	Share
Living in Zone	0	0%
Transfers In	353	100%
Membership	353	
Facility Capacity	0	
Facility Utilization	-	
Group	Students	% Total
American Indian	0	0%
Asian/Pac. Islander	8	2%
African-American	78	22%
Hispanic	210	59%
Multi-Racial	17	5%
White	40	11%
Econ. Disadvantaged	227	64%
Immigrant	2	1%



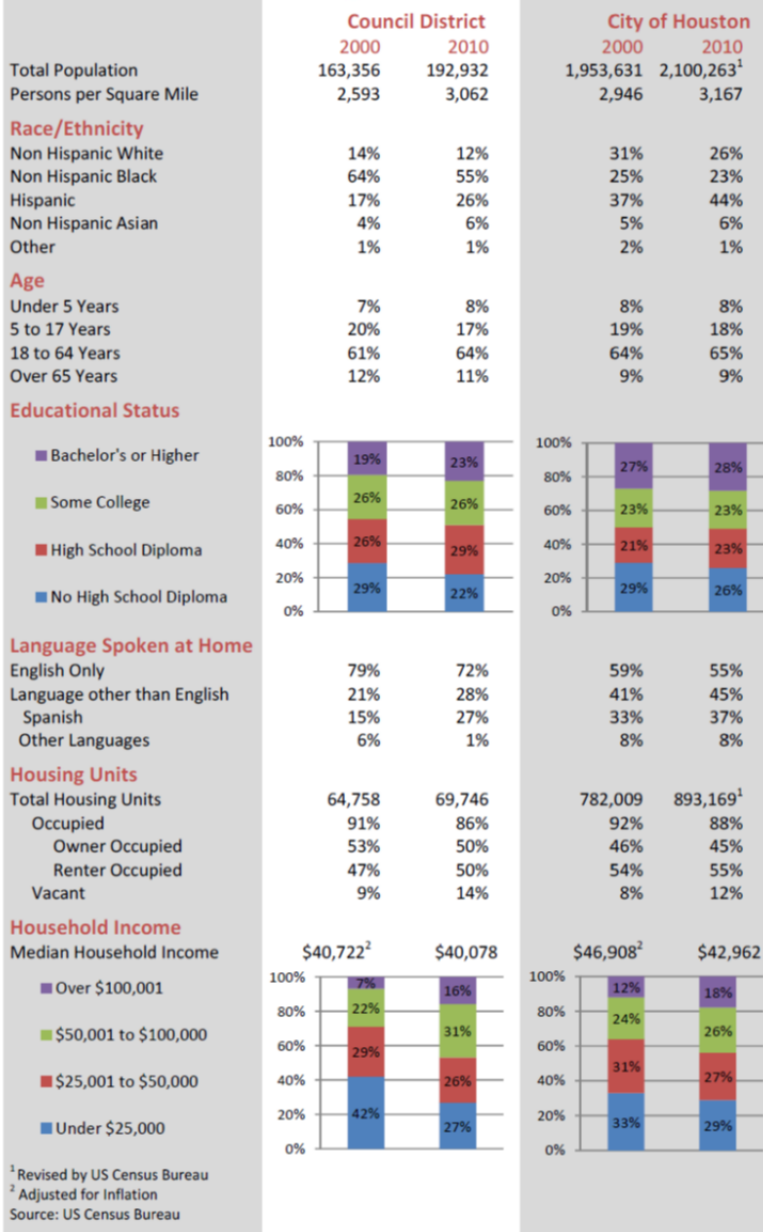
Home Campus of Enrolled Students	
Campus	Students
Scarborough	27
Waltrip	26
Sharpstown	24
Madison	23
Westbury	22
Lee	21
Sam Houston	21
Worthing	19
Reagan	18
Out of District	17
Sterling	17
Washington	16
Wheatley	14
Westside	13
Davis	12
Austin	12
Lamar	11
Chavez	9
All Other Schools	31

## OFF-STREET PARKING VARIANCE



## Houston Planning Commission

# D Council District Profile



### Council Office:

Dwight Boykins, Council Member  
Phone: 832-393-3001  
Email: districtd@houston.tx.gov

### District Landmarks:

Texas Medical Center  
Hermann Park / The Houston Zoo  
Museum District  
Emancipation Park  
Texas Southern University  
University of Houston

### Special Districts:

OST / Alameda Corridors TIRZ  
Midtown TIRZ  
HCID 16  
HCRID #1  
Five Corners Improvement District  
Midtown Management District  
Greater Southeast Management District

### Super Neighborhoods:

Astrodome Area  
Greater Hobby Area  
Greater OST / South Union  
Greater Third Ward  
MacGregor  
Medical Center Area  
Midtown  
Minnetex  
Museum Park  
South Acres / Crestmont Park  
South Belt / Ellington  
South Park  
Sunnyside

October 2014



PLANNING &  
DEVELOPMENT  
DEPARTMENT

713-837-7701 pd.planning@HoustonTX.gov

# OFF-STREET PARKING VARIANCE



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## Houston Planning Commission

**ITEM: IV**

Meeting Date: 04/30/15



Department of Public Works & Engineering  
Planning & Development Services Division



### REQUEST FOR A REDUCED OCCUPANT LOAD FOR AN EDUCATIONAL OCCUPANCY

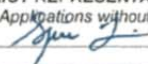
The purpose of this form is to calculate an *actual* occupant load in an educational space that is governed by Texas Educational Agency (TEA) rules that limit maximum class sizes. The code review will be based on the *design* occupant load. Once the code review is approved, the *actual* value will be used to correlate the Wastewater Capacity Reservation letter with the Certificate of Occupancy. This will eliminate unnecessary Wastewater Capacity fees for the school.

**PART I. APPLICATION** - Use the instructions in Part II, to help complete this form.

#### General Information

1. School Name:	Energy Institute High School - Building 'B'	5. Date:	1/2/2015 Revised 2/20/15
School District:	HISD		
2. Project Address	3501 Southmore Boulevard	6. Project Number:	VLK: 1420.00 COH # TBD pending ROL Review
Mailing Address:	Houston, TX 77004		
3. Contact Name:	Tim Kunz - VLK Architects	7. Phone:	(281) 671-2300
Email:	tkunz@vlkarchitects.com	Fax:	(281) 671-2313
4. District Representative:	Sizwe Lewis - HISD	8. Phone:	(713) 556-9292
Email:	SLEWIS9@houstonisd.org	Fax:	(713) 556-9277

#### Occupant Load Calculation.

9. Number of Buildings:	(2 of 2) - Building 'B'	12. Total TEA student allocation per building:	741 (Bldg. B)
(1 unless Temporary Buildings)			
10. Number of Classrooms:	15	13. Assigned School Staff per building:	+ 49 (Bldg. B)
11. Design Occupant Load:	903	14. Additional Occupant Load:	+ **Optional**
<b>DISTRICT REPRESENTATIVE SIGNATURE **REQUIRED**</b> Note: Applications without the signature will not be processed. 		15. Actual Occupant Load:	= 790 (Bldg. B) <b>87.5% ROL</b>

#### Comments and Explanations - Please list any additional information to assist with approval

#### PART II. DEFINITIONS AND INSTRUCTIONS

Definitions: Use these definitions to help with the terms in Part I of the form.

TEA - The Texas Education Agency.

DESIGN OCCUPANT LOAD - The number of persons for which the means of egress of a building or a portion thereof is designed. Using the formulas in Section 1004 of the Building Code.



ACTUAL OCCUPANT LOAD - The number of students allowed by TEA in an educational space plus the maximum number of staff assigned to those students. This may be increased by a proposed simultaneous use that adds more people.

Instructions: Use these instructions to complete the Occupant Load Calculation of Part I. Application.

- |   |   |
|---|---|
| 1. Enter the name of the school and district for which the request is being made.                     | 9. Enter the total number of buildings. Only 1 (one) building is allowed per request, unless they are temporary buildings.  |
| 2. Enter the project address as it appears on the building permit application. Enter mailing address. | 10. Enter the number of classrooms.   |
| 3. Enter the name and email of the person requesting the occupant load reduction.                     | 11. Enter the Design Occupant Load, calculated by Section 1004.1.1 of the Building Code.  |
| 4. Enter the name and email of the district representative.   | 12. Enter the value assigned by TEA.  |
| 5. Enter today's date.  | 13. Enter the number of staff assigned to this school by the district.  |
| 6. Enter the project number.  | 14. This is an <u>optional</u> additional number of persons, groups or organizations that will be using the school simultaneously- during school hours. Enter the number of additional persons that would be using the school in the box. |
| 7. Enter the phone number and fax number of the person requesting the occupant load reduction.        | 15. Enter the sum of boxes 10, 11, and 12 (if used).  |
| 8. Enter the phone number and fax number of the district representative.                              |   |

#### PART III. FEES

STANDARD REQUEST \$67.09 (\$41.29 + \$25.80 Administrative Fee)

FOR OFFICE USE ONLY			
Approving Initials	Building Official	Date	Receipt #
			

Form No: CE-1131 01/03/112

(832) 394-6039

Public Works & Engineering

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# OFF-STREET PARKING VARIANCE





**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

# Houston Planning Commission

**ITEM: IV**

**Meeting Date: 04/30/15**



Department of Public Works & Engineering  
Planning & Development Services Division



## REQUEST FOR A REDUCED OCCUPANT LOAD FOR AN EDUCATIONAL OCCUPANCY

The purpose of this form is to calculate an *actual* occupant load in an educational space that is governed by Texas Educational Agency (TEA) rules that limit maximum class sizes. The code review will be based on the *design* occupant load. Once the code review is approved, the *actual* value will be used to correlate the Wastewater Capacity Reservation letter with the Certificate of Occupancy. This will eliminate unnecessary Wastewater Capacity fees for the school.

**PART I. APPLICATION** - Use the instructions in Part II, to help complete this form.

### General Information

1. School Name:	Energy Institute High School - Building 'A'	5. Date:	1/2/2015
School District:	HISD		Revised 2/20/15
2. Project Address	3501 Southmore Boulevard	6. Project Number:	VLK: 1420.00
Mailing Address:	Houston, TX 77004		COH # TBD pending ROL Review
3. Contact Name:	Tim Kunz - VLK Architects	7. Phone:	(281) 671-2300
Email:	tkunz@vlkarchitects.com	Fax:	(281) 671-2313
4. District Representative:	Sizwe Lewis - HISD	8. Phone:	(713) 556-9292
Email:	SLEWIS9@houstonisd.org	Fax:	(713) 556-9277

### Occupant Load Calculation.

9. Number of Buildings:	(1 of 2) - Building 'A'	12. Total TEA student allocation per building:	507 (Bldg. A)
(1 unless Temporary Buildings)		13. Assigned School Staff per building:	+ 24 (Bldg. A)
10. Number of Classrooms:	14	14. Additional Occupant Load:	+ <b>**Optional**</b>
11. Design Occupant Load:	615	15. Actual Occupant Load:	= 531 (Bldg. A)

**DISTRICT REPRESENTATIVE SIGNATURE \*\*REQUIRED\*\***

Note: Applications without the signature will not be processed.

**Comments and Explanations** - Please list any additional information to assist with approval

### PART II. DEFINITIONS AND INSTRUCTIONS

Definitions: Use these definitions to help with the terms in Part I of the form.

TEA - The Texas Education Agency.

**DESIGN OCCUPANT LOAD** - The number of persons for which the means of egress of a building or a portion thereof is designed. Using the formulas in Section 1004 of the Building Code.

**ACTUAL OCCUPANT LOAD** - The number of students allowed by TEA in an educational space plus the maximum number of staff assigned to those students. This may be increased by a proposed simultaneous use that adds more people.

Instructions: Use these instructions to complete the Occupant Load Calculation of Part I. Application.

- |   |   |
|---|---|
| 1. Enter the name of the school and district for which the request is being made.                     | 9. Enter the total number of buildings. Only 1 (one) building is allowed per request, unless they are temporary buildings.  |
| 2. Enter the project address as it appears on the building permit application. Enter mailing address. | 10. Enter the number of classrooms.   |
| 3. Enter the name and email of the person requesting the occupant load reduction.                     | 11. Enter the Design Occupant Load, calculated by Section 1004.1.1 of the Building Code.  |
| 4. Enter the name and email of the district representative.   | 12. Enter the value assigned by TEA.  |
| 5. Enter today's date.  | 13. Enter the number of staff assigned to this school by the district.  |
| 6. Enter the project number.  | 14. This is an <u>optional</u> additional number of persons, groups or organizations that will be using the school simultaneously- during school hours. Enter the number of additional persons that would be using the school in the box. |
| 7. Enter the phone number and fax number of the person requesting the occupant load reduction.        | 15. Enter the sum of boxes 10, 11, and 12 (if used).  |
| 8. Enter the phone number and fax number of the district representative.                              |   |

### PART III. FEES

STANDARD REQUEST \$67.09 (\$41.29 + \$25.80 Administrative Fee)

FOR OFFICE USE ONLY	
Approving Initials: <i>MGH</i>	Building Official: <i>[Signature]</i>
Date: <i>2/23/15</i>	Receipt #

Form No: CE-1131 01/03/112

(832) 394-9039

Public Works & Engineering

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# OFF-STREET PARKING VARIANCE





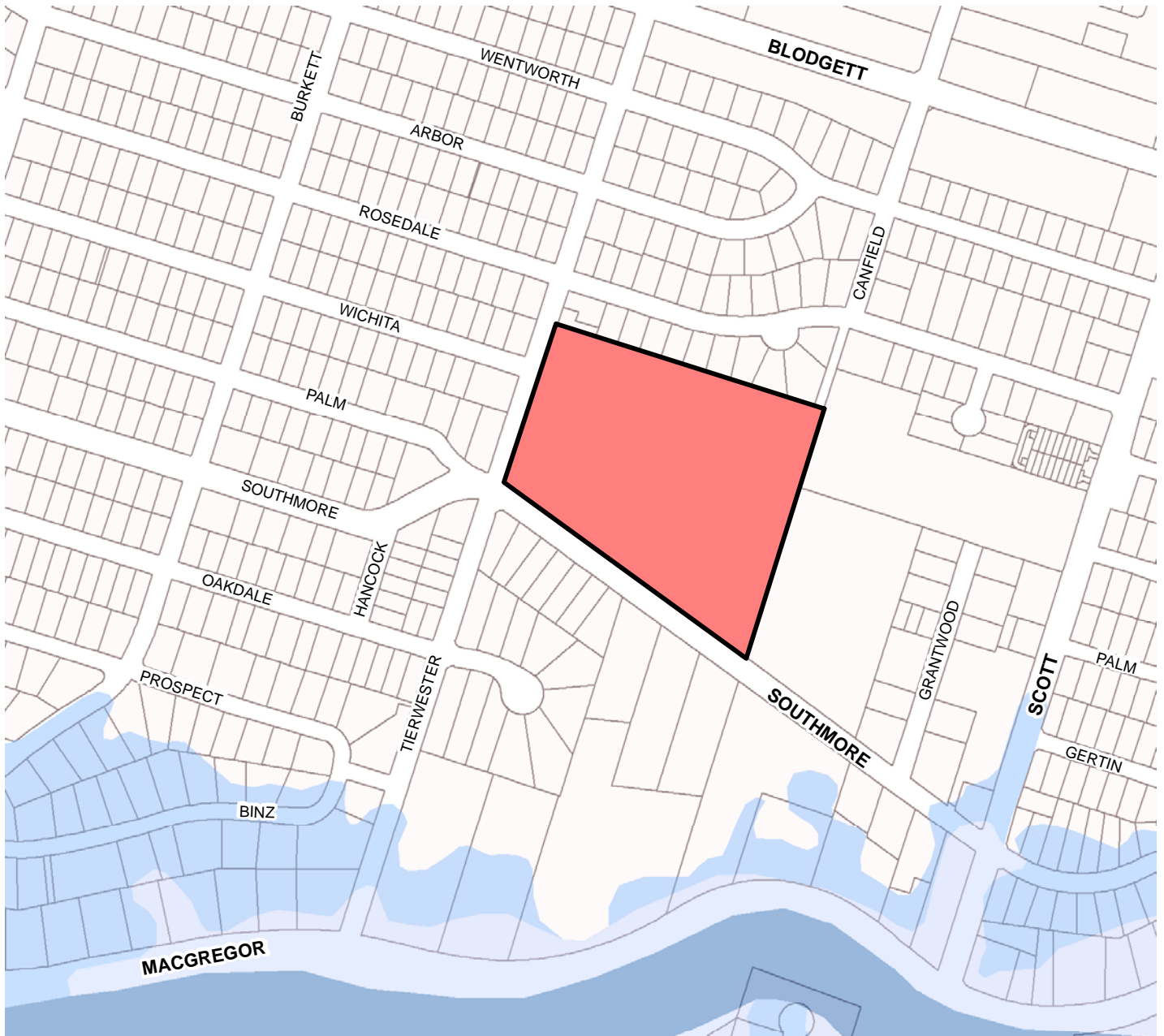
PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: IV**

Meeting Date: 04/30/15

## Houston Planning Commission

### SITE MAP



## OFF-STREET PARKING VARIANCE



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: IV**

Meeting Date: 04/30/15

## Houston Planning Commission

### AERIAL MAP



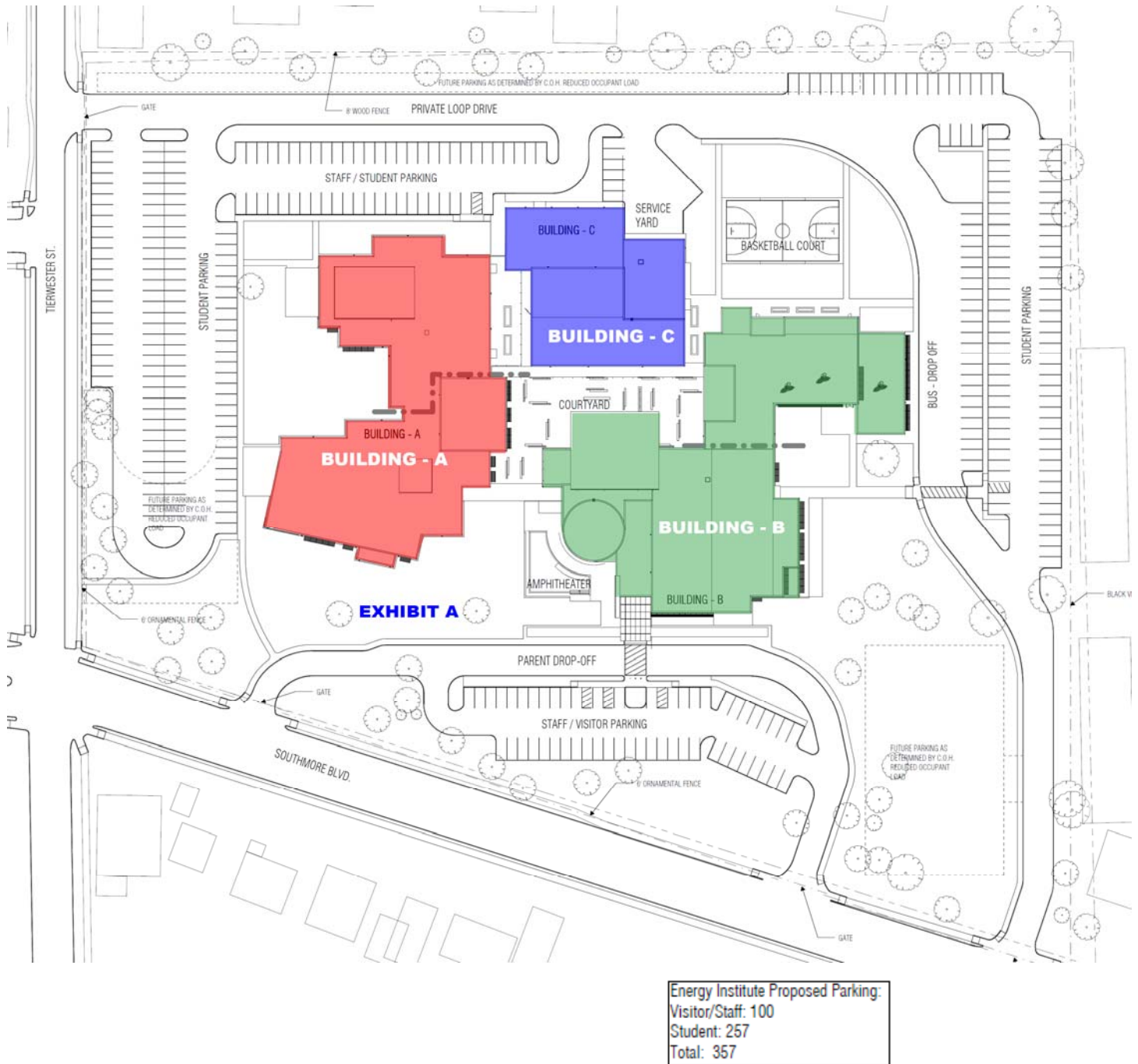
## OFF-STREET PARKING VARIANCE





## Houston Planning Commission

### PROPOSED SITE PLAN \_ EXHIBIT A

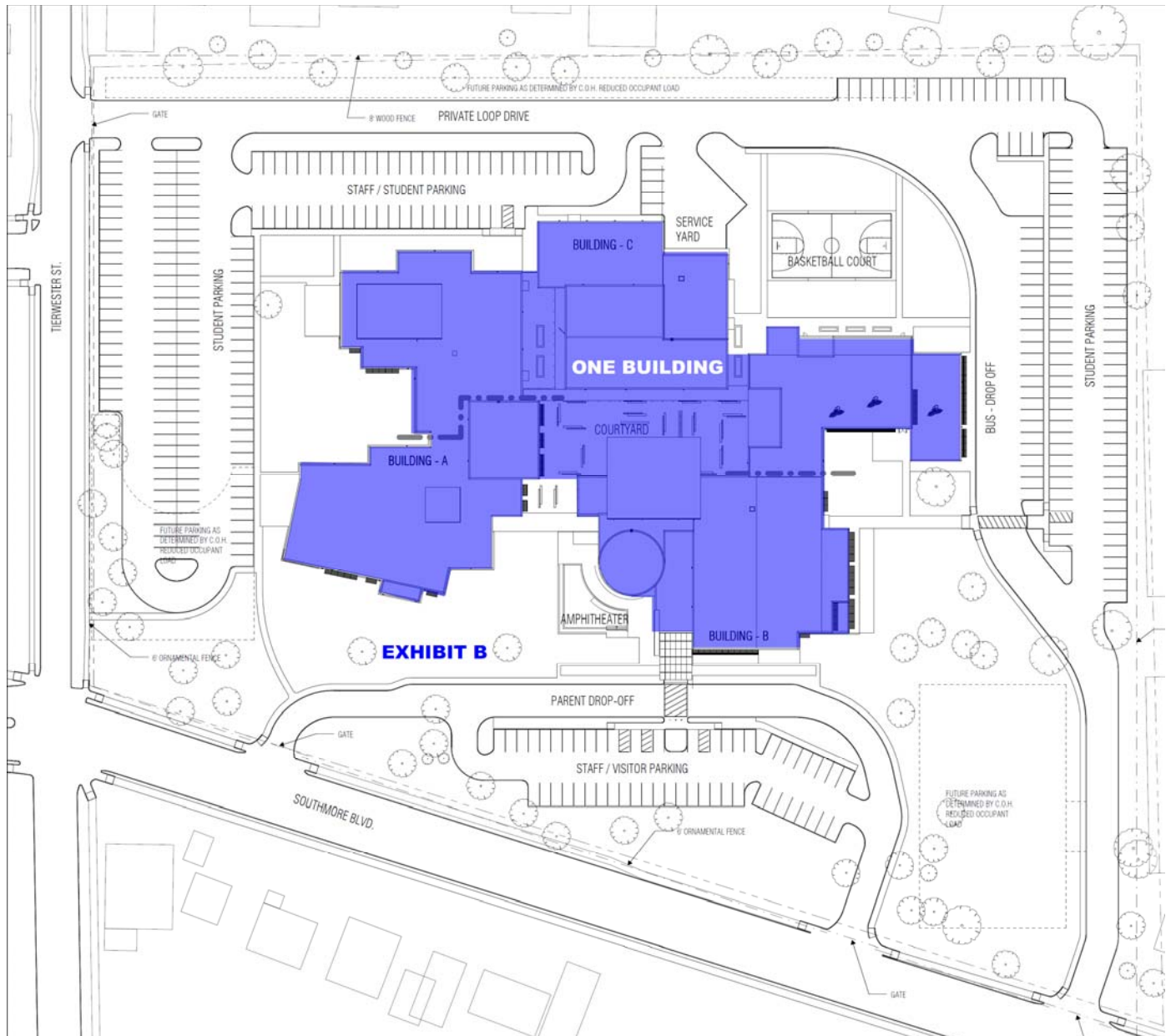


# OFF-STREET PARKING VARIANCE



## Houston Planning Commission

### PROPOSED SITE PLAN \_ EXHIBIT B



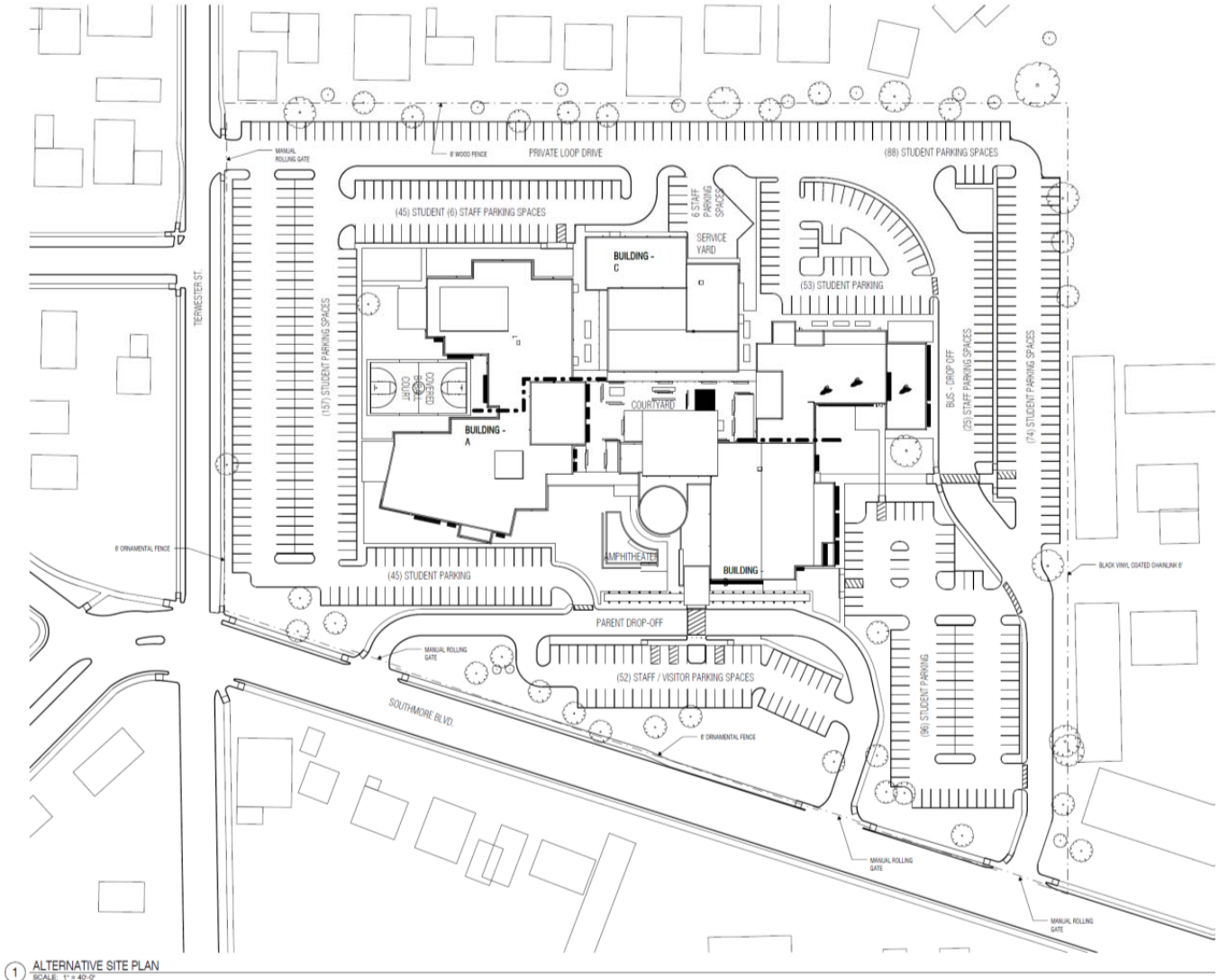
## OFF-STREET PARKING VARIANCE





## Houston Planning Commission

### PROPOSED SITE PLAN \_ REQUIRED PARKING



# OFF-STREET PARKING VARIANCE



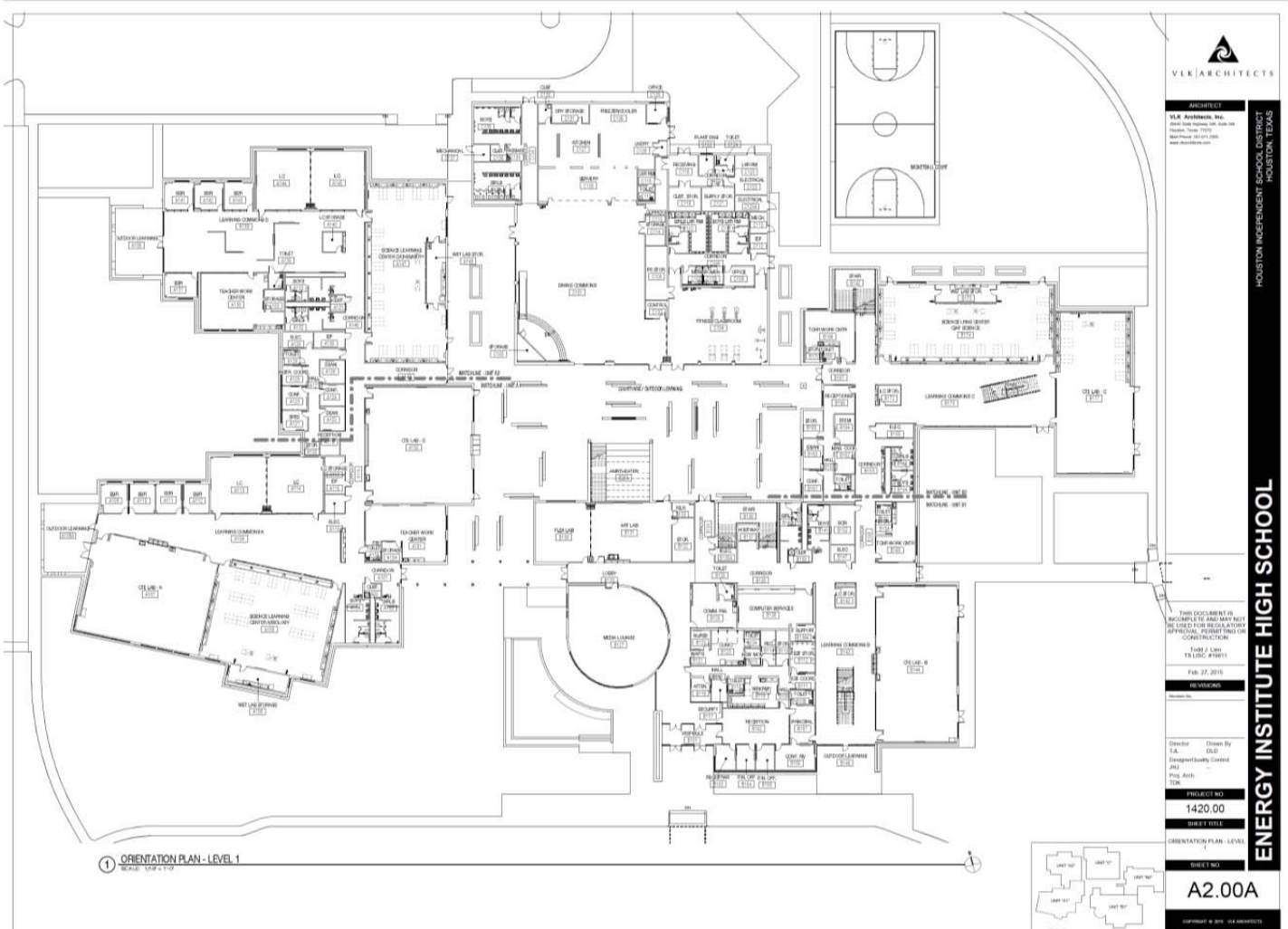
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DEPARTMENT

## Houston Planning Commission

**ITEM: IV**

Meeting Date: 04/30/15

### PROPOSED FLOOR PLANS



# OFF-STREET PARKING VARIANCE



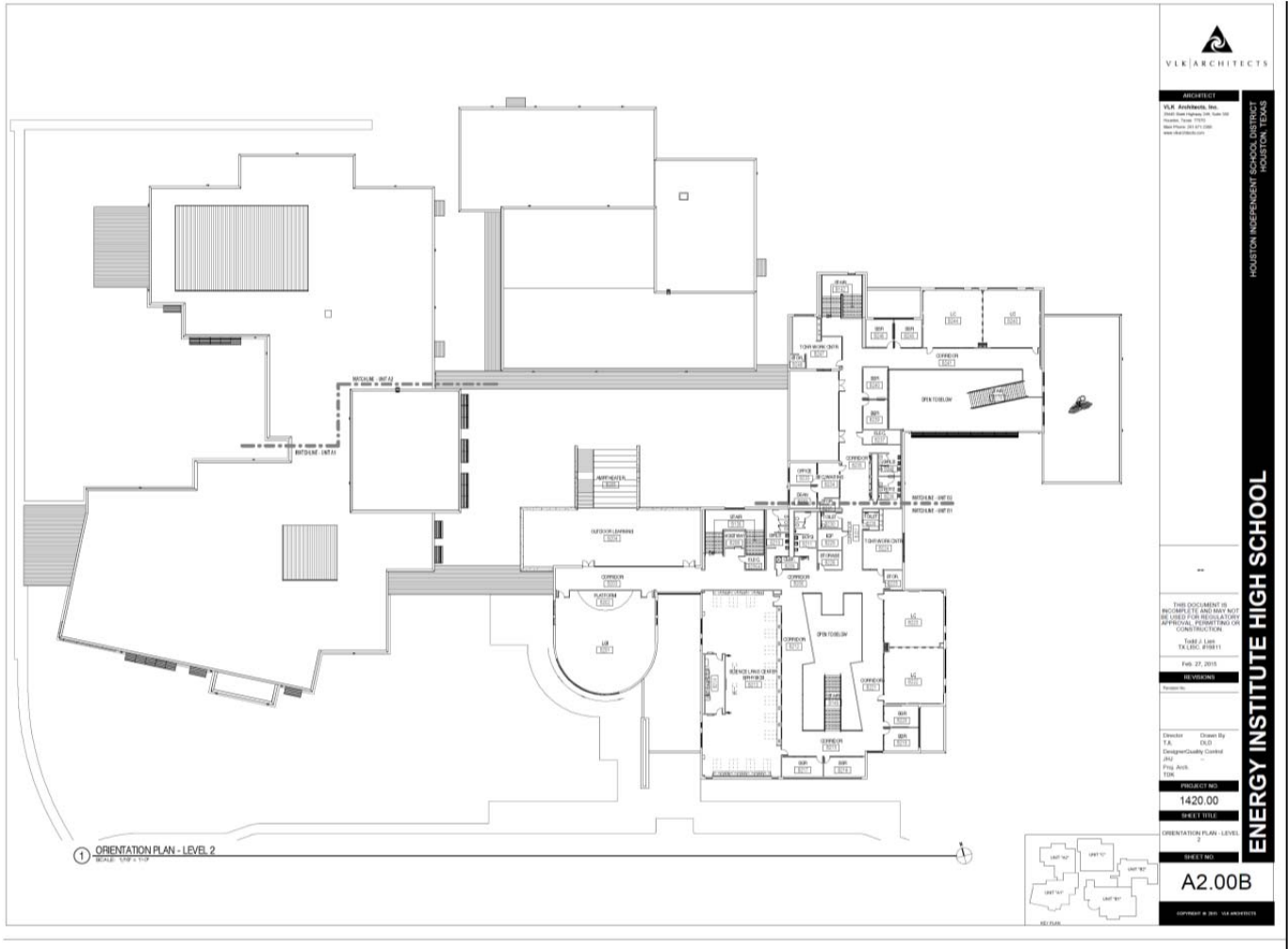
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## Houston Planning Commission

**ITEM: IV**

Meeting Date: 04/30/15

### PROPOSED FLOOR PLANS



# OFF-STREET PARKING VARIANCE



## Houston Planning Commission

### SITE/FLOOR LEVEL 1 PLAN



SITE/FLOOR PLAN LEVEL 1

# OFF-STREET PARKING VARIANCE





PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: IV**

Meeting Date: 04/30/15

## Houston Planning Commission



FRONT



ENTRY



CENTRAL COURTYARD



INTERIOR

# OFF-STREET PARKING VARIANCE



## Houston Planning Commission

### VARIANCE REQUEST APPLICATION

An applicant seeking a variance to the Parking Standards of Chapter 26 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov) prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at [www.houstonplanning.com](http://www.houstonplanning.com).

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS
Houston Independent School District	Kedrick Wright	751-556-9329	kwright7@houstonisd.org

PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
520 Mercury Drive Furr High School	# 14114072	77013	5658	495H	I

HCAD ACCOUNT NUMBER(S):	0432110000019
PROPERTY LEGAL DESCRIPTION:	TRS 1D & 58 ABST 545 C MARTINEZ
PROPERTY OWNER OF RECORD:	Houston Independent School District
ACREAGE (SQUARE FEET):	96,900 SF
WIDTH OF RIGHTS-OF-WAY:	Oates - 60ft; Mercury - 100 ft
EXISTING PAVING SECTION(S):	Oates - Asphalt, open ditch; Mercury - Concrete curb and gutter
OFF-STREET PARKING REQUIREMENT:	562 off-street parking spaces (with 256 bicycle spaces)
OFF-STREET PARKING PROVIDED:	295 off-street parking spaces provided
LANDSCAPING REQUIREMENTS:	Project Complies

EXISTING STRUCTURE(S) [SQ. FT.]:	175,749 S.F.
PROPOSED STRUCTURE(S) [SQ. FT.]:	184,006 S.F..

**PURPOSE OF VARIANCE REQUEST:** To request a reduction in the required number of off-street parking spaces provided on site from 562 parking spaces to 295. (Current onsite parking space is 282 parking spaces.)

**CHAPTER 26 REFERENCE(S):** Section 26-492, Class 5 - Religious & Educational, c. School, 3. Senior High School - 1.0 parking spaces per every 3 occupants. Section 26-497. Reduced parking space requirement for

## OFF-STREET PARKING VARIANCE



## Houston Planning Commission

additional bicycle spaces. (b) The maximum reduction in the number of parking spaces under this section shall be 10 percent of the number of parking spaces required by Sec 26-492 of this Code.

### APPLICANT STATEMENT OF FACTS

#### SUMMARY OF VARIANCE CONDITIONS (BE AS COMPLETE AS POSSIBLE):

Houston Independent School District strives to provide each new high school campus with, at minimum, a regulation sized football field, soccer field, softball field, baseball field and tennis courts. Building the required 624 off-street parking spaces would prevent the new Furr HS from having a regulation baseball and softball fields and tennis courts, which are all part of the Physical Education program. These exclusions would prevent the new Furr from having comparable athletic and Physical Education facilities to other new high schools in HISD. HISD is requesting a reduction in the required number of off-street parking spaces from 562 to 295 at the new Furr High School. This request is based on the projected parking needs of the proposed new school. Based on demographic analysis of the current school, comparative analysis with similar programs/schools within HISD, development projections of the surrounding area and demographic analysis of the surrounding community, we feel 295 off-street parking spaces will adequately serve the new campus now and for the next 25-30 years, please see the attached demographic analysis. HISD is committed to providing an equitable educational experience as part of the 2012 Bond Program. The District has made sacrifices to the athletic and Physical Education program to fit the proposed 410 off-street parking spaces.

#### APPLICANT'S STATEMENT OF FACTS:

*The applicant must clearly identify how the requested variance meets the criteria in ALL items (1) through (5); and, if applicable, the sixth (6) condition. The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at [planning.variances@cityofhouston.net](mailto:planning.variances@cityofhouston.net).*

**(1) The imposition of the terms, rules, conditions, policies and standards of this article would deprive the owner or applicant of the property of reasonable use of the land or building;**

If Houston ISD is required to build the required number of off-street parking spaces, the District will not have adequate room on-site to provide the new Furr High School with comparable athletic and Physical Education facilities as compared to other new high schools in the District. Specifically, Furr will not have regulation sized baseball and softball fields and tennis courts. All of which are vital to the athletic and physical educational programs

## OFF-STREET PARKING VARIANCE



## Houston Planning Commission

- (2) That the circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant and that in granting the variance the general purposes of this article are being observed and maintained;

Houston ISD is designing all new schools in the most compact footprint possible. Our square foot requirement per student is 140 SF. This SF requirement requires the designers to be very efficient as they prepare the plans.

We have prepared a comparative summary of similar high schools with magnet programs and have analyzed the modes of transportation used by students, staff and teachers to arrive at the school as well as the environmental and existing site conditions. Based on this analysis, created with the assistance of HISD demographer and General Manager for Transportation, as well as our Design Consultants, we can project the future parking needs and address and protect the environmental well-being of the Furr High School Community.

Existing Campus Transportation Comparison													
School Name	Magnet/Charter Program	Current Enrollment	Magnet Enrollment	Bus			Drive		Other*		Teacher, Visitor & Staff parking	Parking Spaces Used	Current Parking Spaces
				No.	Magnet Trans.	Percent	No.	Percent	No.	Percent	No.		
Sterling	Aviation Science	818	48	293	17	36%	50	6%	448	55%	100	150	234
Sharpstown	Leadership	1,323	150	218	36	16%	75	6%	1,030	78%	130	205	351
Milby HS	Science Institute	1,960	400	350	250	18%	85	4%	1,525	78%	190	275	424
Furr HS	STEM Magnet	1021	260	361	66	33%	57	4%	797	62%	80	137	205
*This data was collected from the business managers and principals at each campus, the District's General Manager of Transportation and independent Traffic Impact Analysis.													

\*This data was collected from the business managers and principals at each campus, the District's General Manager of Transportation and independent Traffic Impact Analysis.

Ebbert L. Furr High School currently has an enrollment of 1,021 students. The existing Ebbert L. Furr High School houses the Reach Charter School which has enrollment of 260 charter students. Of the 1,021 regular zoned students attending Ebbert L. Furr High School, 361 of the regular zoned students ride the HISD Bus to school. Of the 260 magnet students, 66 ride the HISD bus to school. The remainder of the students either walk to school or are dropped off.

The Reach Charter School will move to a different site once the new Furr High School is completed further reducing the need for parking spaces.

Ebbert L. Furr High School is served by two Metro stops located at corner of Mercury Drive and the IH 10 Service Road. Per the principal, teachers as well as students use Metro to travel to school. (*Reference Transit Location Stop Map*)

Please see the table below for the basis of the request to provide 295 parking spaces in lieu of the ordinance required amount. The new Furr High School will be designed to accommodate an overall enrollment of 1,200 regular zoned and magnet students. A 20% increase in the enrollment of magnet students, HISD Bus Riders (Zoned Riders and Magnet Transfers), Student Drivers, and teacher and staff augmentation is projected. This projected 20% growth of student, teacher, and staff drivers as well as visitors will require about 165 parking spaces. We have included 80 event parking spaces in the projection to accommodate after school events and programs bringing the total parking spaces required to 245 spaces. The proposed onsite parking is 295 parking spaces which is 50 more parking spaces than our projection.

## OFF-STREET PARKING VARIANCE





## Houston Planning Commission

Projected Transportation Requirements for new campus:			HISD Bus			Drive		Other (Walk or Dropped Off)		Teacher, Visitor/Staff Parking			
School Name:	Max Enrollment	Max Magnet Enrollment	# of Riders	Magnet Trans.	%	Quantity	%	Quantity	%	Quantity	Parking Spaces required	Event parking *	Total Spaces Reqd.
Furr HS	1200	312	396	79	31%	69	10%	735	49%	96	165	80	245

\*Event parking for auditorium requires 167 spaces. Events using the auditorium by visitor to campus will occur after school hours.

Provide 80 spaces as a buffer in case of overlap of use by school and after hours event.

As you can see from the table above, the calculation shows that a total of 245 spaces should adequately serve the school and community. We are proposing to provide 295 spaces. In the event additional parking is required in the future, the areas where the paved parking is proposed to be eliminated could be paved and used as parking space.

**(3) The intent of this article is preserved;**

Adequate and accessible parking will be provided for the students, staff and visitors of Furr High School. The reduced number of off-street parking spaces will be sufficient to prevent overflow street parking in the surrounding community.

**(4) The parking provided will be sufficient to serve the use for which it is intended;**

As detailed in the above table, Adequate and accessible parking will be provided for the students, staff and visitors of the new Furr High School. Daily student, staff and visitor needs along with special event parking needs have been addressed. Sixteen (16) Handicap parking spaces as well as parking spaces for bicycles will be provided.

**(5) The granting of such a variance will not be injurious to the public health, safety or welfare; and**

The new Furr High School will have adequate off-street parking spaces for students, faculty, staff and visitors. The parking will be conveniently and strategically located to prevent parking on the surrounding streets. Providing convenient off-street parking will keep the campus parking and traffic onsite and away from the surrounding community.

**(6) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII, chapter 33, of this Code.**

Not applicable.

# OFF-STREET PARKING VARIANCE



## Houston Planning Commission

### STANDARDS FOR VARIANCES

(a) The commission is authorized to consider and grant variances from the provisions of this article by majority vote of those members present and voting, when the commission determines that the first five of the following conditions exist, and if applicable, the sixth condition, exists:

- (1) The imposition of the terms, rules, conditions, policies and standards of this article would deprive the owner or applicant of the property of reasonable use of the land or building;
- (2) That the circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant and that in granting the variance the general purposes of this article are being observed and maintained;
- (3) The intent of this article is preserved;
- (4) The parking provided will be sufficient to serve the use for which it is intended;
- (5) The granting of such a variance will not be injurious to the public health, safety or welfare; and
- (6) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII, chapter 33, of this Code.

(b) In addition, if the variance involves an off-site parking facility, the commission must determine that a proposed off-site parking facility will be located so that it will adequately serve the use for which it is intended. In making this determination, the following factors, among other things, shall be considered:

- (1) The location of the proposed building and the proposed off-site parking facility.
- (2) Existing and potential parking demand created by other occupancies in the vicinity.
- (3) The characteristics of the occupancy, including employee and customer parking demand, hours of operation, and projected convenience and frequency of use of the off-site parking.
- (4) Adequacy, convenience, and safety of pedestrian access between off-site parking and the occupancy.
- (5) Traffic patterns on adjacent streets, and proposed access to the off-site parking.
- (6) The report and recommendation of the director and the traffic engineer.

Any variance granted under the provisions of this section will apply only to the specific property and use upon which the commission was requested to grant a variance by the applicant and shall not constitute a change of this article or any part hereof. All variances as granted shall be in writing shall be signed by the secretary of the commission and maintained as a permanent record of the commission.

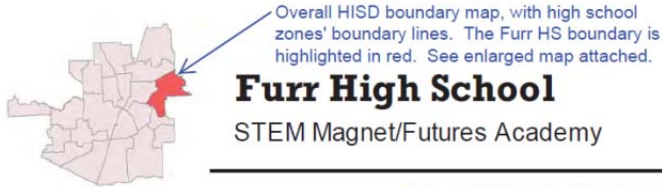
## OFF-STREET PARKING VARIANCE



# Houston Planning Commission

**ITEM: IV**

Meeting Date: 04/30/15

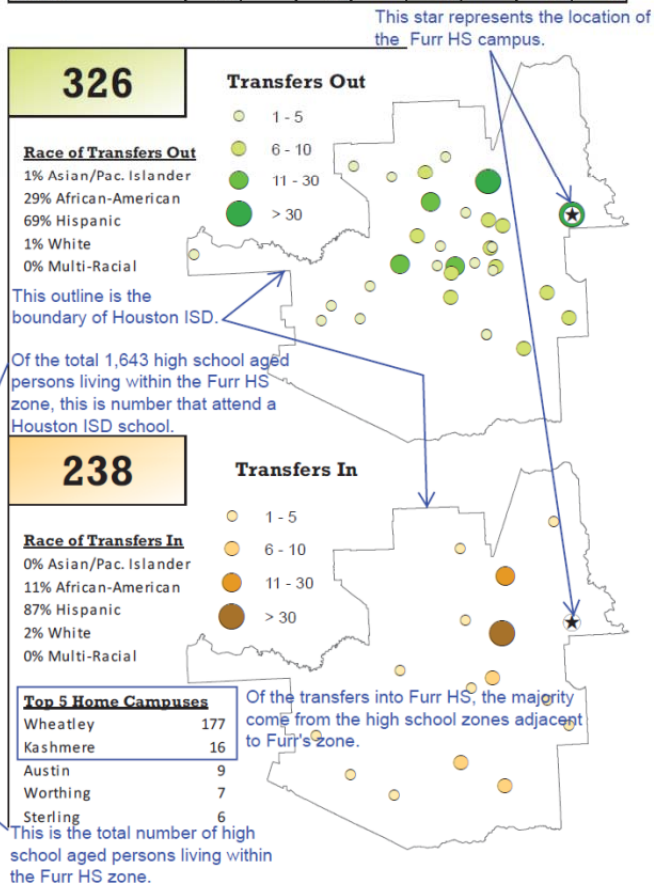


Campus Enrollment and Capacity		
Snapshot 2014	Students	Share
Living in Zone	777	77%
Transfers In	238	23%
Membership	1,015	
Facility Capacity	1,407	
Facility Utilization	72%	
Group	Students	% Total
American Indian	0	0%
Asian/Pac. Islander	5	0%
African-American	171	17%
Hispanic	804	79%
Multi-Racial	12	1%
White	23	2%
Econ. Disadvantaged	977	96%
Immigrant	66	7%

At time of this study, this is the number of students living within the Furr HS zone that attend Furr HS.

Zone Enrollment by Demographic Group							
Grades 9-12	2012	2013	2014	1yr△	2yr△		
American Indian	2	0%	0	0%	0	0	-2
Asian/Pac. Islander	11	1%	9	1%	8	1%	-1
African-American	241	22%	249	23%	239	22%	-10
Hispanic	797	74%	788	74%	822	75%	34
Multi-Racial	2	0%	2	0%	11	1%	9
White	22	2%	21	2%	23	2%	2
Total	1,075		1,069		1,103		34
Econ. Disadvantaged	930	87%	946	88%	968	88%	22
Immigrant	8	1%	17	2%	66	6%	49
Grade 8	254		250		277		23

Schools the Zone Population Attend		
Campus	Type	Students
Furr	Zone	777
REACH	HISD	102
Jordan	HISD	40
Reagan	HISD	25
Lamar	HISD	17
HAIS	HISD	12
Chavez	HISD	10
LECHS	HISD	10
Young Women's	HISD	9
East Early Ctg.	HISD	9
All Other Schools	HISD	92
Total in HISD		1,103
Campus	Type	Students
North Shore HS	GPISD	32
Galena Park HS	GPISD	23
Yes Prep East End	Charter	19
Deer Park HS	DPIPSD	12
Houston Can North	Charter	9
Texas Virtual Acad.	Charter	7
KIPP Generations	Charter	6
Houston Can Hobby	Charter	4
Phoenix School	Charter	2
Other Public School		13
Total in Charters/Other Districts		127
Not in Public School		413
Census Estimate (Fall 2013)		1,643



## OFF-STREET PARKING VARIANCE

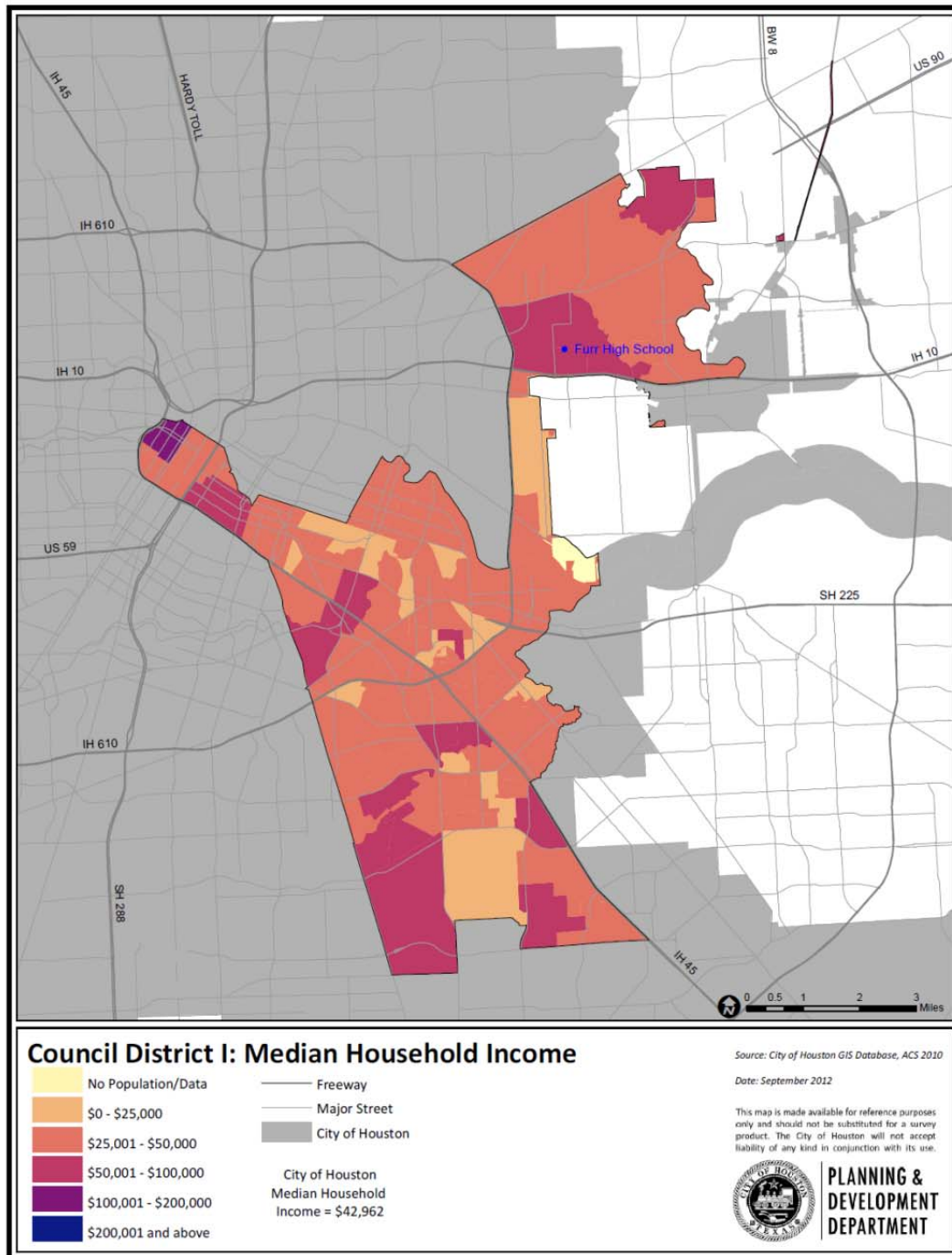


PLANNING &  
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DEPARTMENT

## Houston Planning Commission

**ITEM: IV**

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# OFF-STREET PARKING VARIANCE





PLANNING &  
DEVELOPMENT  
DEPARTMENT

# Houston Planning Commission

ITEM: IV

Meeting Date: 04/30/15



Revised 2/16/2015  
Department of Public Works & Engineering  
Building Code Enforcement Branch



## REQUEST FOR A REDUCED OCCUPANT LOAD FOR AN EDUCATIONAL OCCUPANCY

The purpose of this form is to calculate an *actual* occupant load in an educational space that is governed by Texas Educational Agency (TEA) rules that limit maximum class sizes. The code review will be based on the *design* occupant load. Once the code review is approved, the *actual* value will be used to correlate the Wastewater Capacity Reservation letter with the Certificate of Occupancy. This will eliminate unnecessary Wastewater Capacity fees for the school.

**PART I. APPLICATION** - Use the instructions in Part II, to help complete this form.

General Information			
1. School Name: <b>Ebbert L. Furr High School</b>	5. Date: <b>February 09, 2015</b>		
School District: <b>Houston Independent School District</b>	6. Project Number: <b>1411407</b>		
2. Project Address: <b>520 mercury Drive, Houston, Texas 77013</b>	7. Phone: <b>281-841-1507</b>		
Mailing Address: <b>3200 Center Street, Houston, Texas 77007</b>	Fax: <b>281-370-6504</b>		
3. Contact Name: <b>Roderick Sias</b>	8. Phone: <b>751-556-9329</b>		
Email: <b>Rod.Sias@Vanir.com</b>	Fax: <b>281-370-6504</b>		
4. District Representative: <b>Kedrick Wright</b>			
Email: <b>kwright7@houstonisd.org</b>			
Occupant Load Calculation			
9. Number of Buildings: (1 unless Temporary Buildings)	<b>1</b>	12. Total TEA student allocation per building:	<b>1,731</b>
10. Number of Classrooms:	<b>45</b>	13. Assigned School Staff per building:	<b>+ 141</b>
11. Design Occupant Load:	Floor 1 = 361+190 = 551 Floor 2 = 518+104 = 620 Floor 3 = 319+231 = 550	14. Additional Occupant Load: <b>**Optional**</b>	<b>+</b>
<b>DISTRICT REPRESENTATIVE SIGNATURE ** REQUIRED**</b> Note: Applications without the signature will not be processed.		15. Actual Occupant Load:	<b>= 1,872</b>
Comments and Explanations – Please list any additional information to assist with approval			

### PART II. DEFINITIONS AND INSTRUCTIONS

**Definitions:** Use these definitions to help with the terms in Part I of the form.

**TEA** - The Texas Education Agency.

**DESIGN OCCUPANT LOAD** - The number of persons for which the means of egress of a building or a portion thereof is designed. Using the formulas in Section 1004 of the Building Code.

**ACTUAL OCCUPANT LOAD** - The number of students allowed by TEA in an educational space plus the maximum number of staff assigned to those students. This may be increased by a proposed simultaneous use that adds more people.

**Instructions:** Use these instructions to complete the Occupant Load Calculation of Part I. Application.

- Enter the name of the school and district for which the request is being made.
- Enter the project address as it appears on the building permit application. Enter mailing address.
- Enter the name and email of the person requesting the occupant load reduction.
- Enter the name and email of the district representative.
- Enter today's date.
- Enter the project number.
- Enter the phone number and fax number of the person requesting the occupant load reduction.
- Enter the phone number and fax number of the district representative.
- Enter the total number of buildings. Only 1 (one) building is allowed per request, unless they are temporary buildings.
- Enter the number of classrooms.
- Enter the Design Occupant Load, calculated by Section 1004.1.1 of the Building Code.
- Enter the value assigned by TEA.
- Enter the number of staff assigned to this school by the district.
- This is an optional additional number of persons, groups or organizations that will be using the school simultaneously- during school hours. Enter the number of additional persons that would be using the school in the box.
- Enter the sum of boxes 10, 11, and 12 (if used).

### PART III. FEES

STANDARD REQUEST \$69.56 (\$42.87 + \$26.75 Administrative Fee)

FOR OFFICE USE ONLY			
Approving Initials: <b>[Signature]</b>	Building Official: <b>[Signature]</b>	Date: <b>2-20-15</b>	Receipt #

Form No: CE-1131 rev 01/01/2014

(832) 394-9039

Public Works & Engineering

Page 1 of 1

# OFF-STREET PARKING VARIANCE

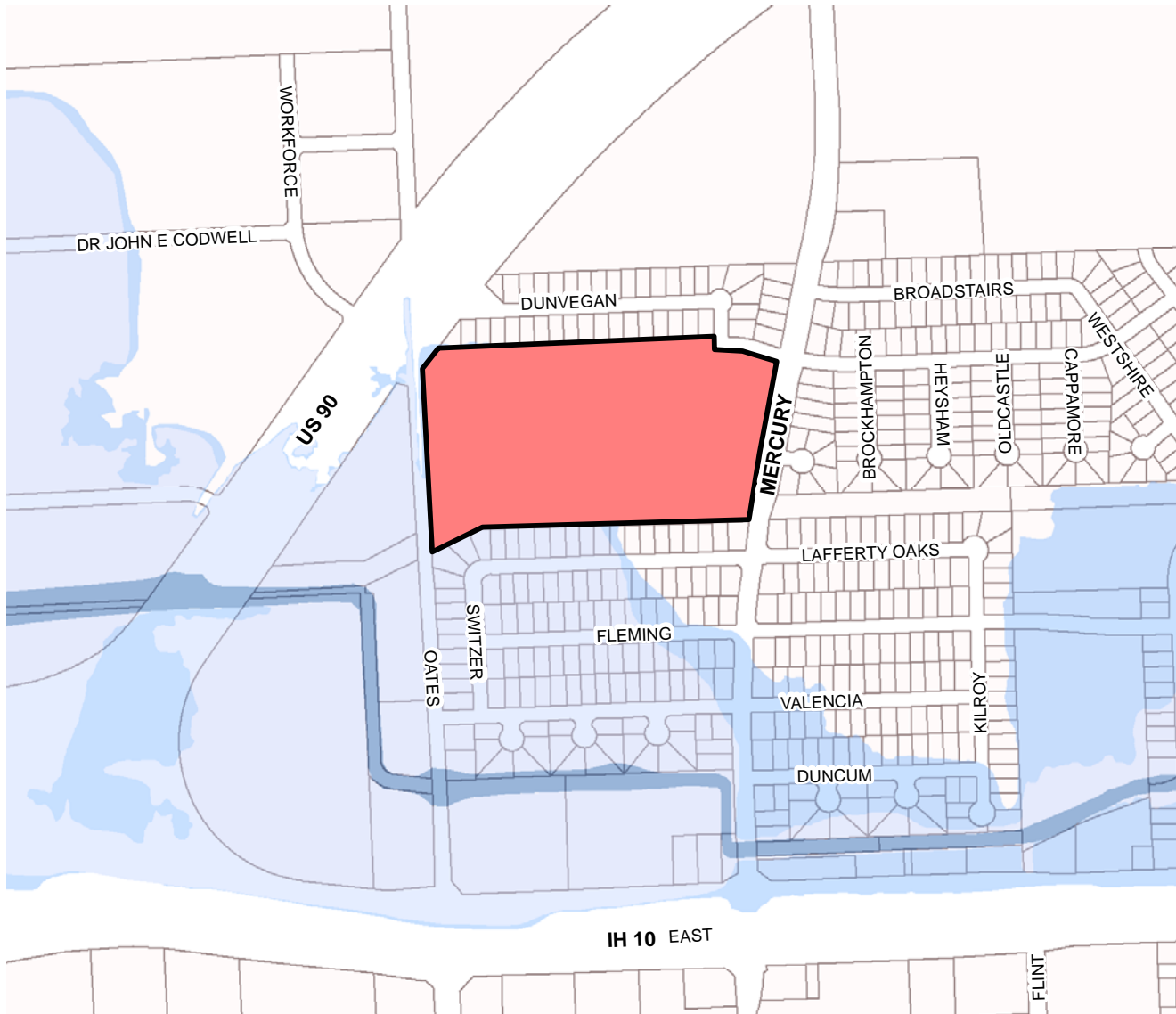


## Houston Planning Commission

**ITEM: IV**

Meeting Date: 04/30/15

SITE MAP



## OFF-STREET PARKING VARIANCE



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## Houston Planning Commission

**ITEM: IV**

Meeting Date: 04/30/15

### AERIAL MAP

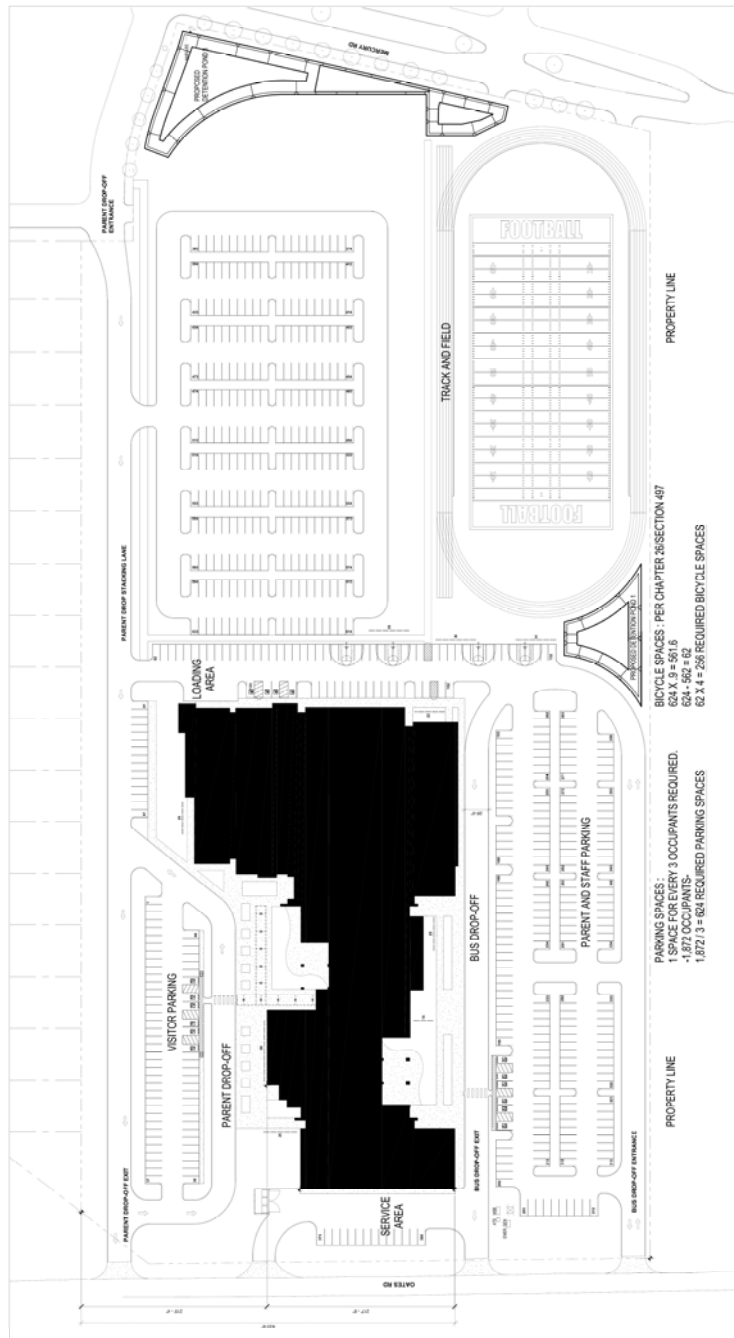


## OFF-STREET PARKING VARIANCE





PROPOSED SITE PLAN

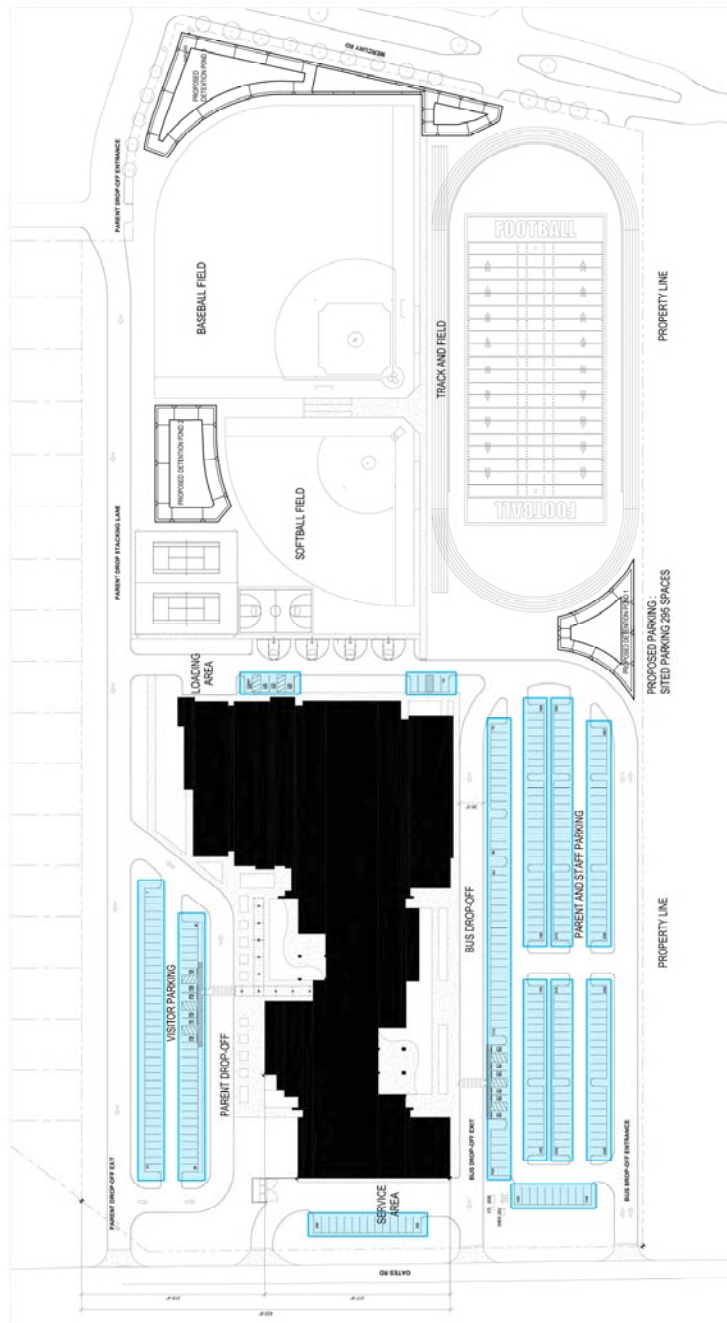


OFF-STREET PARKING VARIANCE





SITE PLAN WITH REQUIRED SPACES



OFF-STREET PARKING VARIANCE



## Houston Planning Commission

### VARIANCE REQUEST APPLICATION

An applicant seeking a variance to the Tree, Shrub and Landscape Standards of Chapter 33 of the City of Houston's Code of Ordinances must complete the following application and submit an electronic copy of the Microsoft Word document to [planning.variances@houstontx.gov](mailto:planning.variances@houstontx.gov) prior to 11:00am on the submittal dates adopted by the Houston Planning Commission. For complete submittal requirements, please visit the City of Houston Planning & Development Department website at [www.houstonplanning.com](http://www.houstonplanning.com).

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS		
Starpak Ltd.	Raul Medrano	832.856.5345	medrano@powersbrown.com		
PROPERTY ADDRESS	FILE NUMBER	ZIP CODE	LAMBERT	KEY MAP	DISTRICT
9690 West Wingfoot Road	14016067	77041	4960B	450-F	A

**PROJECT NAME:** Starpak Warehouse Expansion – Phase IV  
**HCAD ACCOUNT NUMBER(S):** 1044220000018  
**PROPERTY LEGAL DESCRIPTION:** Unrestricted Reserve "D" in Block 3 of Fairbanks Industrial Park, Situated in the J.B. Gardner Survey, Abstract no. 294, Harris County, Texas  
**PROPERTY OWNER OF RECORD:** Starpak Ltd.  
**ACREAGE (SQUARE FEET):** 12.5 acres (544,488 sq. ft)  
**WIDTH OF RIGHTS-OF-WAY:** 60 ft R.O.W. - Campbell Road; 60 ft R.O.W. – Wingfoot Drive  
**EXISTING PAVING SECTION(S):** 24' wide – Campbell Road; 40' wide – Wingfoot Drive  
**OFF-STREET PARKING REQUIREMENT:** Complies  
**OFF-STREET PARKING PROVIDED:** Complies

**EXISTING STRUCTURE(S) [SQ. FT.]:** 202,348 Sq. Ft.  
**PROPOSED STRUCTURE(S) [SQ. FT.]:** 109,960 Sq. Ft. (Expansion)

**PURPOSE OF VARIANCE REQUEST:** To allow planting of required landscaping trees and shrubs within an alternate location along partial road frontage off Campbell.

**CHAPTER 33 REFERENCE(S):** Article V – Division 2 Building Sites – Sec 33 -126 Street trees required (c) The planting scheme for street trees shall be such that no street tree is planted closer than 20 feet to any other street

## LANDSCAPE PLAN VARIANCE



## Houston Planning Commission

tree (whether an existing tree or a tree planted hereunder) with the trees being spaced without extreme variation in distance across each blockface frontage taking into account existing site conditions and driveway locations....

Sec 33-127 Parking Lot planting of trees and shrubs required. In addition to the street tree and parking lot tree requirements established within section 33-126 and subsection (a), above, the owner of a building site included under section 33-121 shall plant or cause shrubs to be planted along the perimeter of all parking surfaces so that the parking lot is screened from all adjacent public streets, exclusive of driveway entrances, pedestrian walkways and visibility triangles. Shrubs shall be maintained at a height of no more than 36 inches nor less than 18 inches as measured from the surrounding soil line. The number of shrubs required under this subsection shall be equal to the total number of street trees required under this division multiplied by ten. No less than 75 percent of the shrubs required under this section shall be planted along the perimeter of the parking surface adjacent to the public street

### APPLICANT STATEMENT OF FACTS

**SUMMARY OF VARIANCE CONDITIONS:** The hardship presently onsite is that planting along the Campbell Rd. R.O.W. frontage is a difficult task given a roadside ditch of steep grade not conducive to healthy trees' growing needs. The project was originally permitted during the 2011 calendar year where at the time the market was in a slump and therefore the construction of the building was placed on hold. Only site paving was installed and the building proceeded within the 2014 year where a mis-coordination grading onsite field condition prevents the support of healthy trees alongside the Campbell frontage. We are requesting for an alternate landscape area to be approved in favor of screening the Campbell Rd. frontage by use of evergreen vines on a fence line as well as well as concentrating trees at the corner of Campbell Rd & W. Wingfoot.

#### APPLICANT'S STATEMENT OF FACTS:

*The applicant must clearly identify how the requested variance meets the criteria in ALL items (1) through (4); and, if applicable, the fifth (5) condition. The information provided will be used to evaluate the merits of the request. An electronic copy of any supporting documentation reference within the "Applicant's Statement of Facts" should be emailed to the Planning Department at [planning.variances@cityofhouston.net](mailto:planning.variances@cityofhouston.net).*

- (1) **The imposition of the terms, rules, conditions, policies and standards of this division would deprive the owner or applicant of the property of reasonable use of the land or building;**

The imposition of the landscape requirements would not deprive the ownership of reasonable use of the building. Ownership is requesting the requirements be considered via an approved alternate means given that the field conditions pose spatial limitations to plant along Campbell frontage given the existing ditch is parallel along a paved fire lane of the building. The building use for storage of combustible materials requires the building owner to provide adjacent access (by means of a fire lane 26ft wide) to the building for the sole fire protection in an event of an emergency.

## LANDSCAPE PLAN VARIANCE



## Houston Planning Commission

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- (2) **The circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant, and the general purposes of this division are observed and maintained;**

The general purpose of the division's requirements are being observed and intended to be maintained. The resulting reason for the variance request is due to an unnoticed nature of steep graded ditch along the frontage where planting was proposed. Installation of shrubs and trees at this location presently would not sustain the tree's longevity and therefore the purposes of this division would not be met. An alternate location for planting the required trees and shrubs is being requested; please refer to attached proposed planting.

- (3) **The intent of this article is preserved;**

Ownership fully intends to preserve the article's intent, by planting trees in an approved location.

- (4) **The granting of such a variance will not be injurious to the public health, safety or welfare; and**

The granting of variance will not be a threat to the health or safety of the public.

- (5) **For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII of chapter 33 of this Code.**

The requirements of article VII do not apply to the subject property/building.

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# LANDSCAPE PLAN VARIANCE





## Houston Planning Commission

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### STANDARDS FOR VARIANCES

#### **Sec. 33-136. Standards for variance.**

(a) The commission is authorized to consider and grant variances from the provisions of this division by majority vote of those members present and voting, when the commission determines that the first four of the following conditions exist, and if applicable, the fifth condition, exists:

- (1) The imposition of the terms, rules, conditions, policies and standards of this division would deprive the owner or applicant of the property of reasonable use of the land or building;
- (2) The circumstances supporting the granting of the variance are not the result of a hardship imposed or created by the applicant, and the general purposes of this division are observed and maintained; and
- (3) The intent of this article is preserved;
- (4) The granting of such a variance will not be injurious to the public health, safety or welfare; and
- (5) For a development that is subject to the requirements of article VII, chapter 33, of this Code, the granting of the variance is necessary to accomplish the purposes of a certificate of appropriateness issued pursuant to article VII of chapter 33 of this Code.

#### **Sec. 33-137. Applicability of variance.**

Any variance granted under the provisions of this section will apply only to the specific property and use upon which the commission was requested to grant a variance by the applicant. All variances as granted shall be in writing, shall be signed by the secretary of the commission and maintained as a permanent record of the commission.

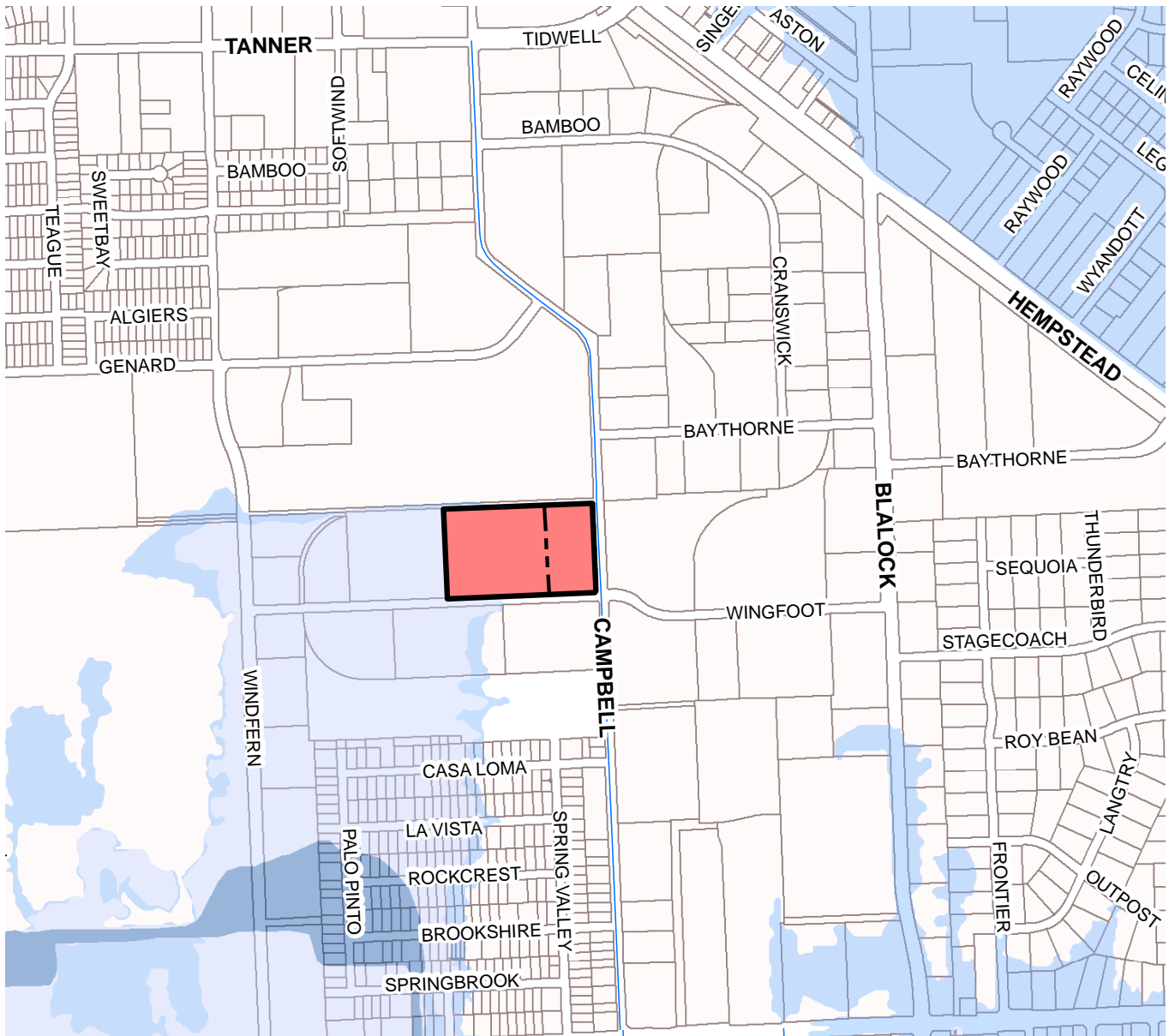
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## LANDSCAPE PLAN VARIANCE



## Houston Planning Commission

### LOCATION MAP



## LANDSCAPE PLAN VARIANCE



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**ITEM: V**

Meeting Date: 04.30.15

## Houston Planning Commission

### AERIAL MAP



## LANDSCAPE PLAN VARIANCE



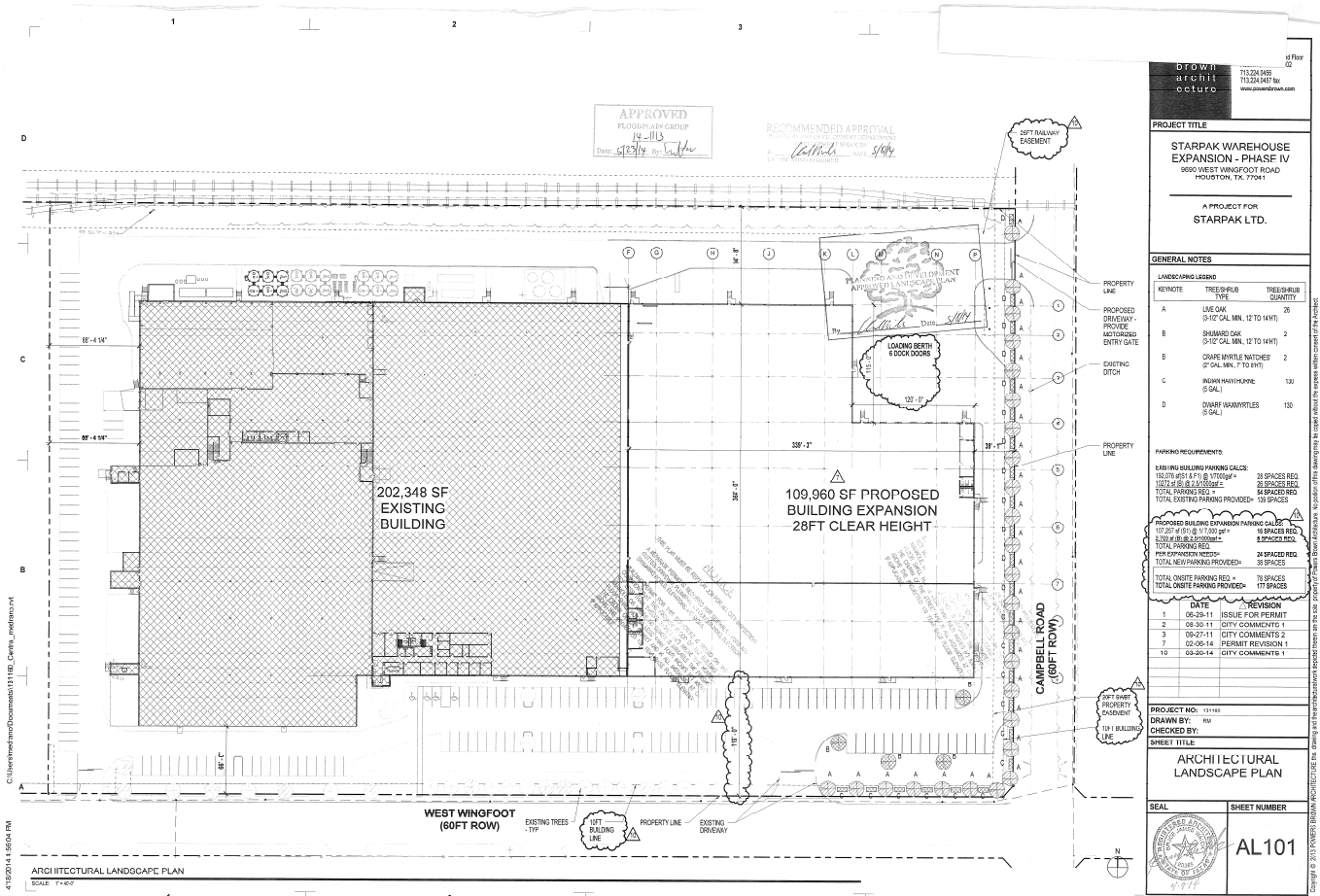
PLANNING &  
DEVELOPMENT  
DEPARTMENT

## Houston Planning Commission

ITEM: V

Meeting Date: 04.30.15

### PREVIOUSLY APPROVED SITE PLAN



# LANDSCAPE PLAN VARIANCE



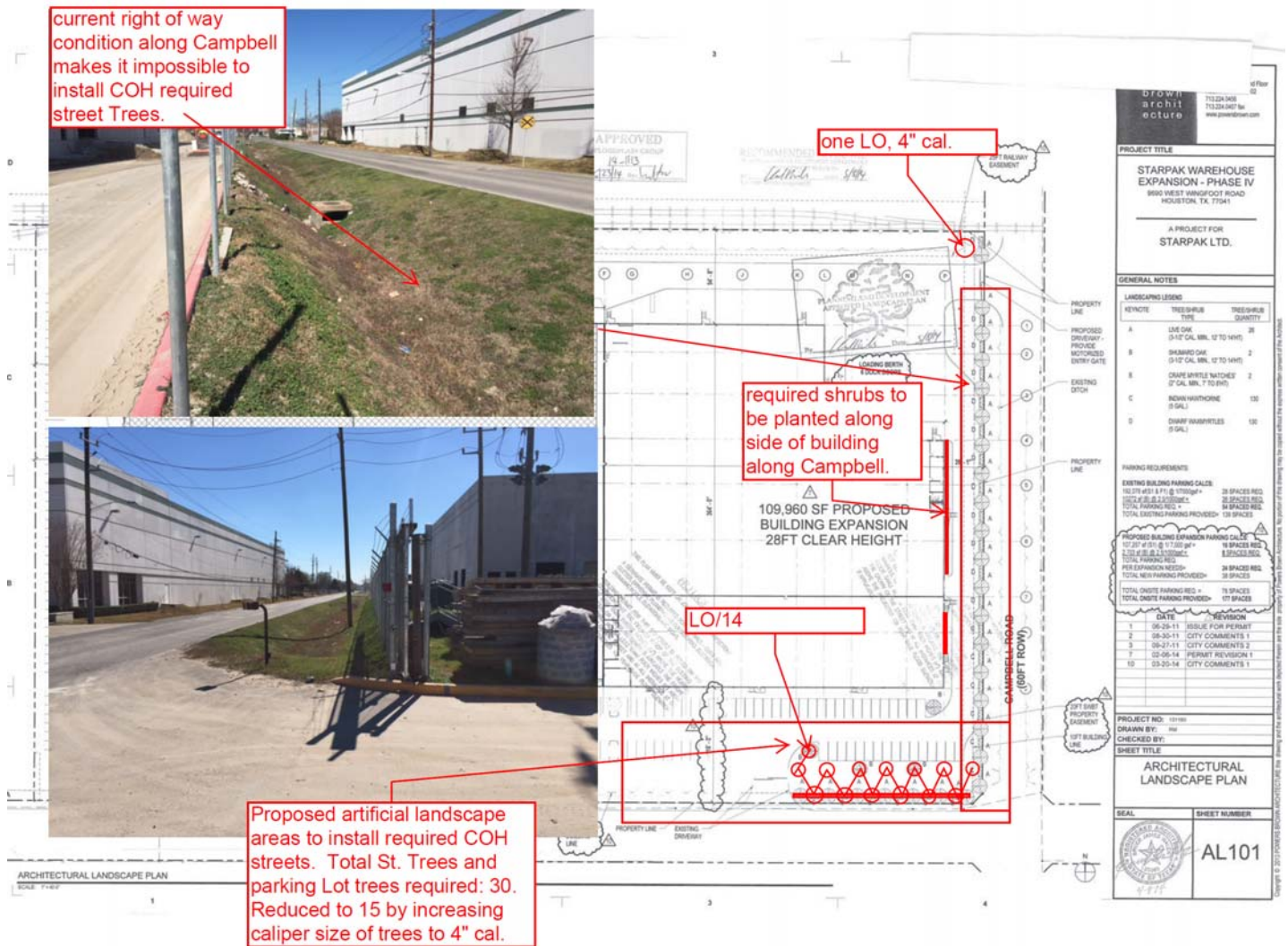


## Houston Planning Commission

**ITEM: V**

Meeting Date: 04.30.15

### PROPOSED SITE PLAN WITH REVISED LOCATION FOR TREE AND SHRUB PLANTING



## LANDSCAPE PLAN VARIANCE



## Meeting Date: 04.30.15

[illegible]

## Feb 27, 2015



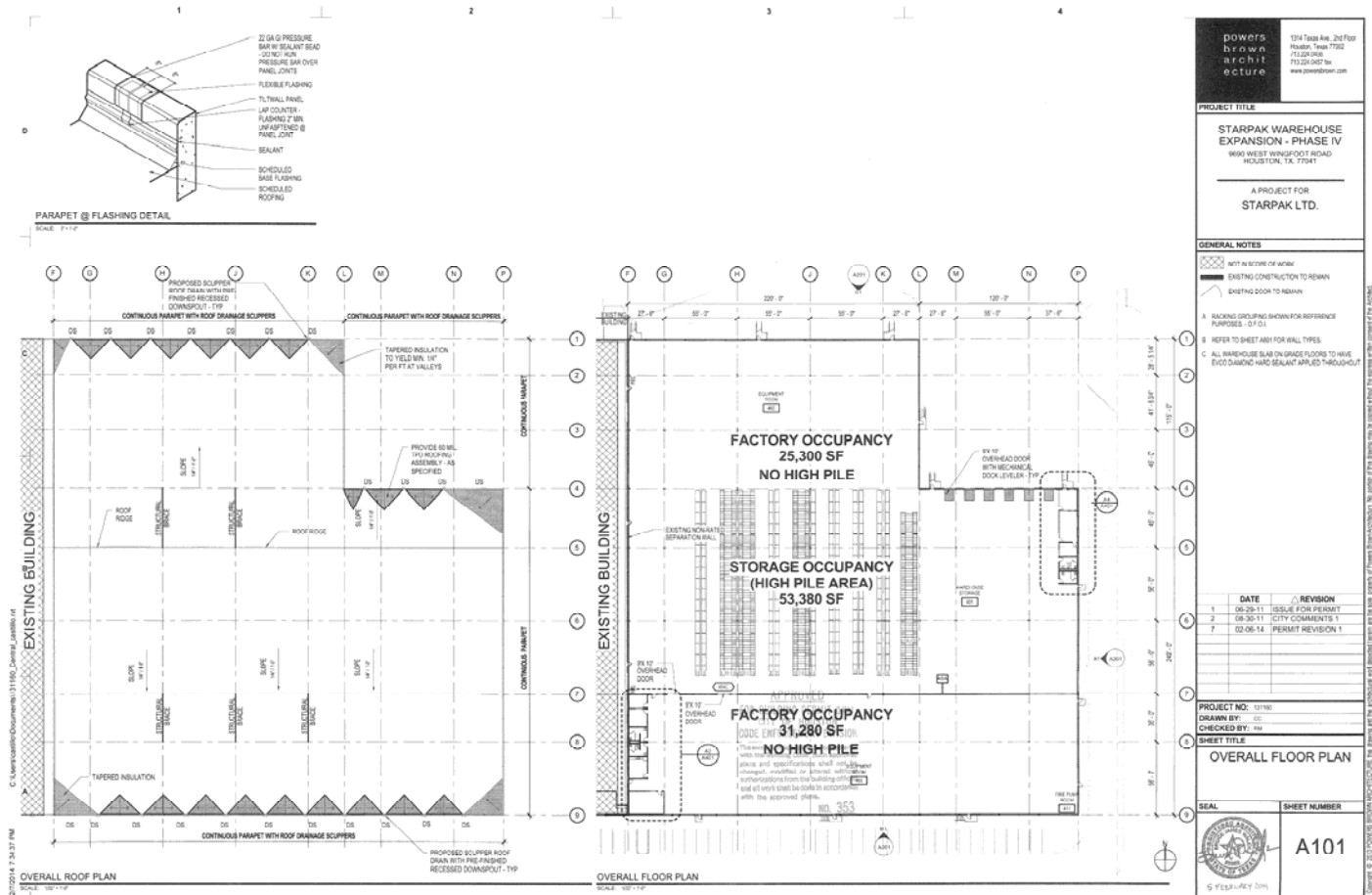
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DEPARTMENT

## Houston Planning Commission

**ITEM: V**

Meeting Date: 04.30.15

### FLOOR PLANS FOR EXPANSION



## LANDSCAPE PLAN VARIANCE

### AGENDA: VI

#### **SMLSA Application No. 391:** Navigation Subdivision, Blocks 1, 2, 3, 4, 5, 6, 7 and 8

#### **BACKGROUND:**

The Planning and Development Department received an application for the establishment of a Special Minimum Lot Size Area (SMLSA) for Navigation Subdivision. Analysis shows that a minimum lot size of 4,790 square feet exists for the area. A petition was signed by the owners of 71% of the property within the proposed SMLSA. An application was filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-204. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

#### **PROCEDURES:**

Following acceptance of an initially complete application, the Planning Director notifies all owners of property within the proposed SMLSA. Any property owner who wishes to vote for or against the creation of the minimum lot size area may return the response form within thirty days. The Director shall forward a complete application to Planning Commission for public hearing and consideration upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 55% of the property within the proposed SMLSA

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSA shall contain no less than five block faces, composed of 5 lots or more on each blockface;
- at least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- the proposed SMLSA does not include a significant area developed as or restricted to a use that is not single family residential and;
- does not include a significant area that does not share a lot size character with the rest of the proposed area
- that the applicant has demonstrated sufficient support of 55% for the establishment of the proposed SMLSA;
- that the establishment of the SMLSA will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSA has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.

Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSA is enforceable for forty (40) years from the effective date of the ordinance.



### STAFF ANALYSIS:

This application includes eight-four (84) properties in Navigation Subdivision

Analysis of the application resulted in the following findings:

- *The boundaries of the proposed SMLSA must contain not less than five (5) blockfaces composed of five (5) lots or more on each blockface;*  
The application contains nine (9) blockfaces with at least 5 lots on 5 blockfaces
- *At least 80% of the lots to be included within the proposed SMLSA, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*  
Land use of the properties consists of sixty-nine (69) single-family residential properties representing 82% of the total lots.
- *The applicant has demonstrated sufficient support for the SMLSA;*  
The applicant obtained 58% support from property owners in the proposed SMLSA
- *Establishment of the SMLSA will further the goal of preserving the area lot size character;*  
A minimum lot size of 4,790 square feet exists on fifty-six (56) of eighty-four (84) lots in the area.
- *The proposed SMLSA has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*  
The subdivision was platted in 1938, and some of the houses were constructed in the 1930s. The establishment of a 4,790 square foot minimum lot size will preserve the lot size character of the area.
- *The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*  
Fifty-six (56) out of eighty-four (84) lots representing 70% of the application area is at least 4,790 square feet in size.

Public notice of the public hearing was transmitted to all property owners in the area.

### ATTACHMENTS:

1. Staff Analysis Summary Page
2. Map of Support
3. Map of Lots that meet SMLSA
4. Land Use Map
5. Aerial Map
6. Application
7. HCAD Map

### SPECIAL MINIMUM LOT SIZE AREA YOUR SUBDIVISION

ADDRESS	Lot size (in sq ft)	% by Area	Cumulative % by Area	Response Form	Signed Petition	Land Use
4523 IRA ST	12,036	2.7%	2.7%	Y	Y	SFR
617 N EASTWOOD AVE	9,072	2.0%	4.7%	Y	Y	COM
617 N EASTWOOD ST	9,021	2.0%	6.7%	Y	Y	COM
713 N EASTWOOD ST	6,544	1.4%	8.1%		Y	SFR
707 N EASTWOOD ST	6,392	1.4%	9.5%	Y	Y	SFR
605 EASTWOOD ST	5,952	1.3%	10.8%	Y	Y	SFR
611 N EASTWOOD ST	5,952	1.3%	12.1%	Y	Y	SFR
615 N EASTWOOD ST	5,952	1.3%	13.5%	Y	Y	SFR
602 N EASTWOOD ST	5,764	1.3%	14.7%	Y	Y	SFR
601 N SUPER ST	5,763	1.3%	16.0%	Y	Y	SFR
602 N SUPER ST	5,763	1.3%	17.3%		Y	SFR
606 N EASTWOOD ST	5,763	1.3%	18.6%	Y	Y	VAC
610 N EASTWOOD ST	5,763	1.3%	19.8%	Y	Y	SFR
714 N SUPER ST	5,749	1.3%	21.1%		Y	SFR
604 N SUPER ST	5,742	1.3%	22.4%	Y	Y	SFR
607 N SUPER ST	5,742	1.3%	23.6%	Y	Y	SFR
611 N SUPER ST	5,742	1.3%	24.9%	Y	Y	SFR
614 N EASTWOOD ST	5,742	1.3%	26.2%	Y	Y	SFR
615 N SUPER ST	5,742	1.3%	27.4%			SFR
618 N EASTWOOD ST	5,742	1.3%	28.7%	Y	Y	SFR
618 N SUPER ST	5,742	1.3%	30.0%		Y	SFR
619 N SUPER ST	5,742	1.3%	31.3%		Y	SFR
620 N SUPER ST	5,742	1.3%	32.5%	Y	Y	SFR
622 N EASTWOOD ST	5,742	1.3%	33.8%	Y	Y	SFR

## Special Minimum Lot Size Area

Planning and Development Department

701 N SUPER ST	5,742	1.3%	35.1%		Y	SFR
702 N SUPER ST	5,742	1.3%	36.3%	Y	Y	SFR
706 N SUPER ST	5,742	1.3%	37.6%	Y	Y	SFR
707 N SUPER ST	5,742	1.3%	38.9%	Y	Y	SFR
710 N SUPER ST	5,742	1.3%	40.1%		Y	SFR
711 N SUPER ST	5,742	1.3%	41.4%	N	Y	SFR
614 N SUPER ST	5,741	1.3%	42.7%			SFR
702 N EASTWOOD ST	5,741	1.3%	43.9%	Y	Y	SFR
715 N SUPER ST	5,704	1.3%	45.2%			MF
543 N EASTWOOD ST	5,225	1.2%	46.4%	Y		SFR
714 N EASTWOOD ST	5,163	1.1%	47.5%	Y	Y	SFR
714 N EASTWOOD ST	5,163	1.1%	48.6%	Y	Y	SFR
529 N EASTWOOD ST	5,035	1.1%	49.7%	Y		SFR
531 EASTWOOD ST	5,035	1.1%	50.9%	Y	Y	SFR
535 N EASTWOOD ST	5,035	1.1%	52.0%			SFR
537 N EASTWOOD ST	5,035	1.1%	53.1%			SFR
0 DRENNAN ST	5,000	1.1%	54.2%			COM
4415 NAVIGATION BLVD	4,992	1.1%	55.3%			COM
507 N EASTWOOD ST	4,982	1.1%	56.4%	Y	Y	SFR
511 N EASTWOOD ST	4,982	1.1%	57.5%		Y	SFR
513 N EASTWOOD ST	4,982	1.1%	58.6%	Y		SFR
519 N EASTWOOD ST	4,982	1.1%	59.7%		Y	SFR
523 N EASTWOOD ST	4,982	1.1%	60.8%	Y		SFR
4515 IRA ST	4,970	1.1%	61.9%	Y	Y	SFR
4519 IRA ST	4,970	1.1%	63.0%	Y	Y	SFR
4525 IRA ST	4,970	1.1%	64.1%		Y	SFR
538 EASTWOOD ST	4,957	1.1%	65.2%	Y	Y	MF
543 N SUPER ST	4,874	1.1%	66.3%	Y	Y	SFR
0 N SUPER ST	4,790	1.1%	67.3%			COM

## Special Minimum Lot Size Area

Planning and Development Department

4419 NAVIGATION BLVD	4,790	1.1%	68.4%			COM
4503 NAVIGATION ST	4,790	1.1%	69.4%	N		COM
4503 NAVIGATION ST	4,790	1.1%	70.5%	N		COM
0 N SUPER ST	4,770	1.1%	71.6%			COM
502 N EASTWOOD ST # 4	4,770	1.1%	72.6%			MF
508 N EASTWOOD ST	4,770	1.1%	73.7%			MF
512 EASTWOOD ST	4,770	1.1%	74.7%	Y	Y	SFR
512 N SUPER ST	4,770	1.1%	75.8%		Y	SFR
514 N EASTWOOD ST	4,770	1.1%	76.8%	Y	Y	SFR
515 N SUPER ST	4,770	1.1%	77.9%			SFR
516 N EASTWOOD ST	4,770	1.1%	78.9%	Y	Y	SFR
516 N SUPER ST	4,770	1.1%	80.0%	Y	Y	SFR
517 N SUPER ST	4,770	1.1%	81.0%	Y	Y	MF
518 N EASTWOOD ST	4,770	1.1%	82.1%	Y	Y	SFR
518 N SUPER ST	4,770	1.1%	83.1%			SFR
521 N SUPER ST	4,770	1.1%	84.2%			SFR
524 N SUPER ST	4,770	1.1%	85.3%		Y	SFR
528 N EASTWOOD ST	4,770	1.1%	86.3%	Y	Y	SFR
528 N SUPER ST	4,770	1.1%	87.4%		Y	SFR
529 N SUPER ST	4,770	1.1%	88.4%		Y	SFR
531 N SUPER ST	4,770	1.1%	89.5%	Y		SFR
532 N EASTWOOD ST	4,770	1.1%	90.5%	Y	Y	SFR
532 N SUPER ST	4,770	1.1%	91.6%	Y		SFR
533 N SUPER ST	4,770	1.1%	92.6%	Y	Y	SFR
534 N EASTWOOD ST	4,770	1.1%	93.7%	Y	Y	SFR
536 N EASTWOOD ST	4,770	1.1%	94.7%	Y	Y	SFR
536 N SUPER ST	4,770	1.1%	95.8%	Y	Y	SFR
539 N SUPER ST	4,770	1.1%	96.8%		Y	SFR
540 N SUPER ST	4,770	1.1%	97.9%			SFR



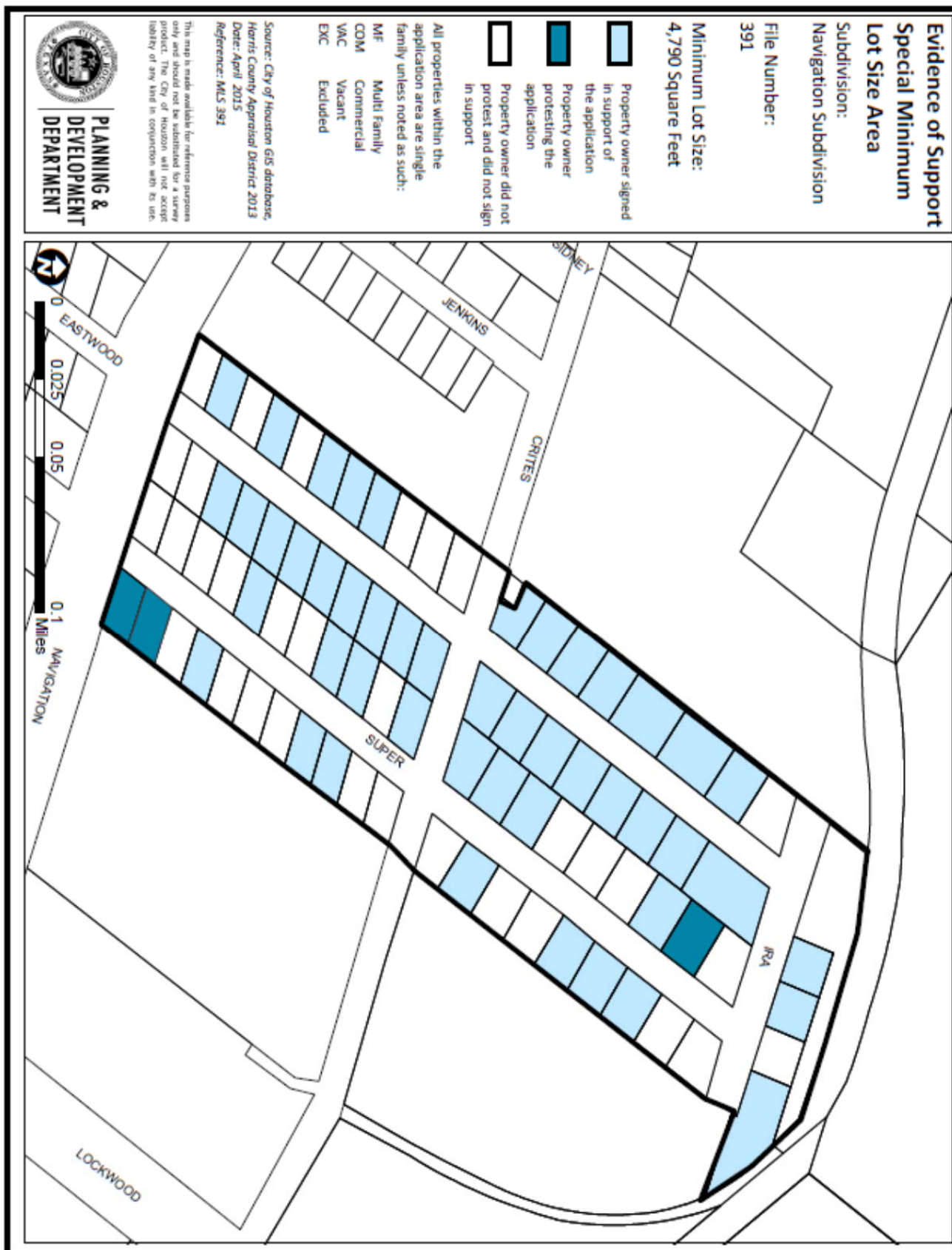
## Special Minimum Lot Size Area

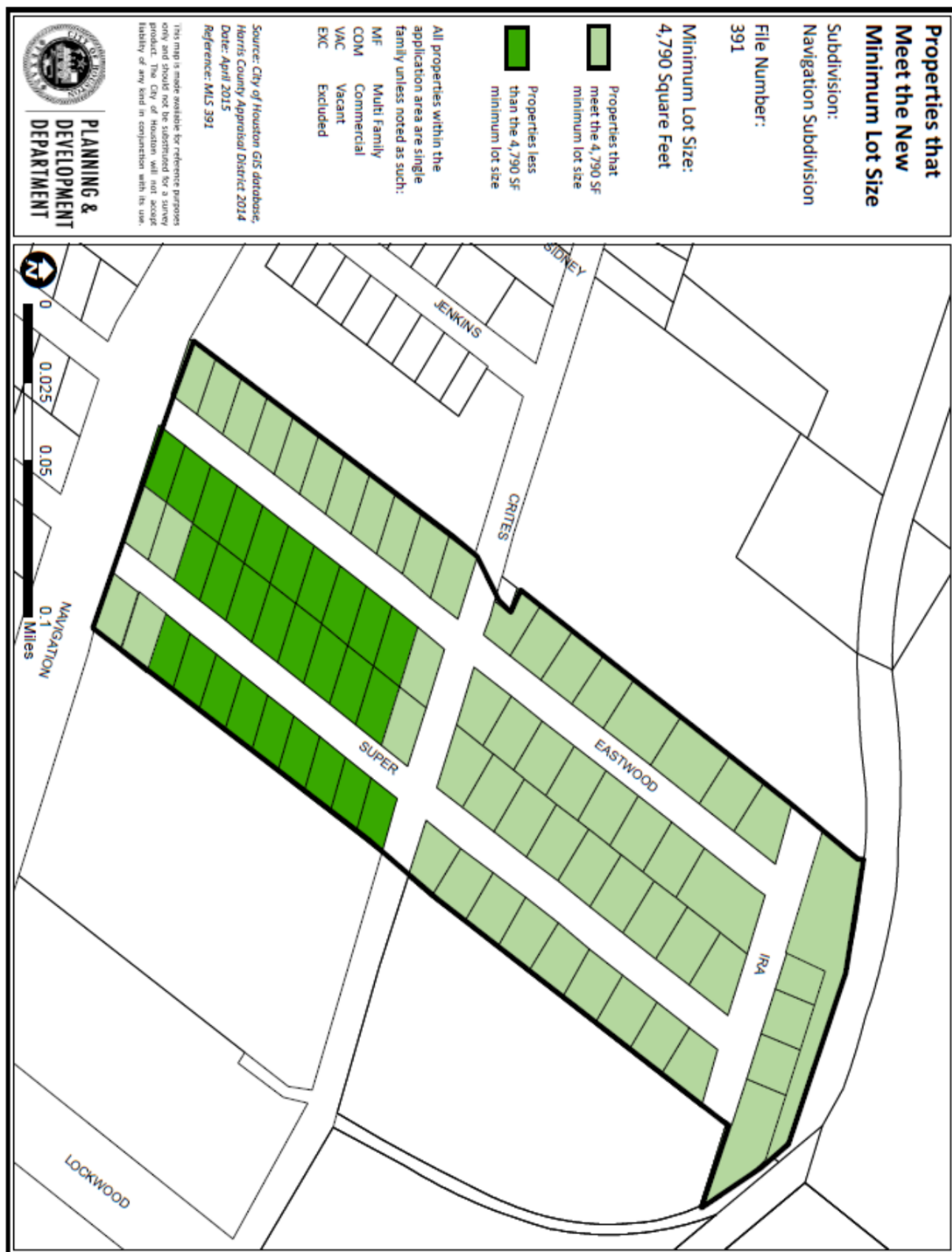
Planning and Development Department

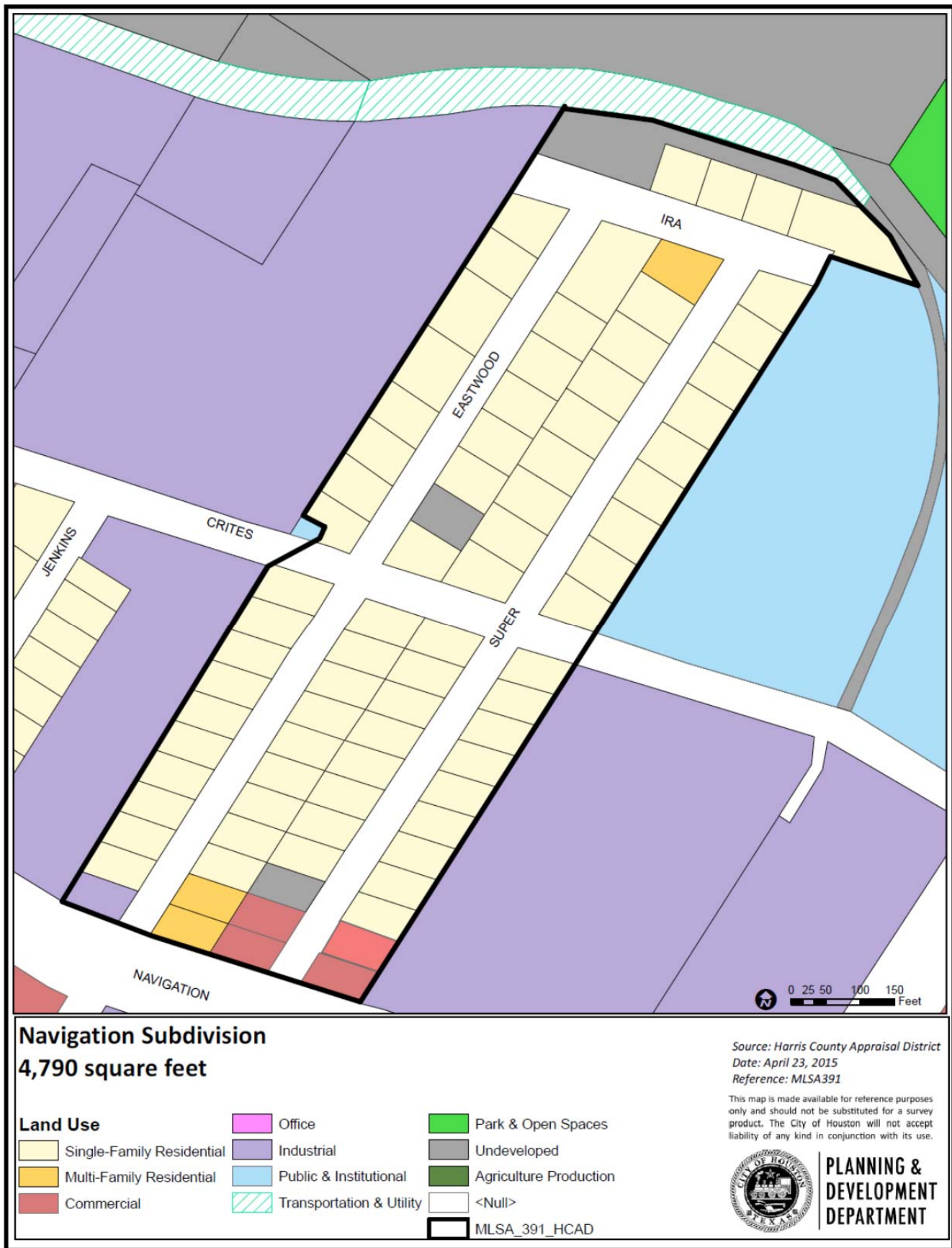
544 N SUPER ST	4,761	1.1%	99.0%		Y	SFR
601 N EASTWOOD ST	4,733	1.0%	100.0%	Y	Y	SFR

This application qualifies for a Special Minimum Lot Size of:	4,790 sq ft
Response forms received in support of the SMLSA:	49
Response forms received in opposition of the SMLSA:	3
Percentage of property owners in support of the SMLSA boundary: (must be at least 55%)	58.3%
Percentage of property owners signed the petition for the SMLSA application: (must be at least 10%)	60

# of developed or restricted to no more than two SFR Units	69
# of Multifamily lots	5
# of Commercial lots	9
# of Vacant Lots	1
# of Excluded Lots	0
TOTAL NUMBER OF LOTS	84
Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 80%):	82%











**Navigation Subdivision**  
**4,790 square feet**

Source: Harris County Appraisal District  
Date: April 23, 2015  
Reference: MLSA391

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

 MLSA\_391\_HCAD

### Special Minimum Lot Size Area Application

According to  
Section 42-197 of Chapter 42 of the Code of Ordinances



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

Please complete entire application form.

#### 1. Location:

BLOCK 1	LOTS 1-6	BLOCK 6	LOTS 1-10
BLOCK 2	LOTS 1-6	BLOCK 7	LOTS 1-23
BLOCK 3	LOTS 1-5	BLOCK 8	LOTS 1-11
BLOCK 4	LOTS 1-18		
BLOCK 5	LOTS 1-9	NAVIGATION ADDITION	

Example: Blocks 15 - 19, Lots 1-37, in Cocker Spaniel Subdivision

#### 2. Contacts:

Primary Applicant	MARYHELEN ORTEGA	Phone #	713-8190586
Address	617 N. EASTWOOD ST.	E-mail	
City	HOUSTON	State	TX, Zip 77011
Alternate Applicant	ROLANDO MARTINEZ	Phone #	832-4664153
Address	604 N. EASTWOOD ST.	E-mail	
City	HOUSTON SUPER ST.	State	TX, Zip 77011

#### 3. Project Information (Staff Use Only-Do Not Fill In):

File #	391	Key Map #		TIRZ
Lambert #		Super N'hood		Census Tract
City Council District	H			

#### 4. Submittal Requirements:

	Please Check
Completed application form (this page)	<input checked="" type="checkbox"/>
Signed petition signed by the applicant (page 5)	<input checked="" type="checkbox"/>
Signed petition of support signed by 10% of lot owners within the boundary area (page 6)	<input checked="" type="checkbox"/>
Signed deed restriction statement (page 6)	<input checked="" type="checkbox"/>
Three (3) recommended locations for a community meeting (page 7)	<input checked="" type="checkbox"/>
Sample of Notification Sign (page 10)	<input checked="" type="checkbox"/>
Copy of deed restrictions, if applicable	<input checked="" type="checkbox"/>
Map or sketch showing the address, land use and the size of all lots within boundary area	<input checked="" type="checkbox"/>





## **AGENDA: VII**

**SMLSB Application No. 527:** 5000 block of W Hunting Street, east side, between Pardee and N George Streets

### **BACKGROUND:**

The Planning and Development Department received an application for the establishment of a Special Minimum Lot Size Block (SMLSB) for the 5000 block of W Hunting Street, east side, between Pardee and N George Streets. Analysis shows that a minimum lot size of 9,408 sf exists for the block face. A petition was signed by the owners of 22% of the property within the proposed Special Minimum Lot Size Block. No protest was filed and the Director has referred the application to the Planning Commission in accordance with the provisions of Chapter 42-197. This report provides the Commission with a synopsis of procedures and appropriate application criteria.

### **PROCEDURES:**

Following acceptance of a completed application, the Planning Director notifies all owners of property within the proposed SMLSB. Any property owner who wishes to protest the creation of the minimum lot size block may file a protest within thirty days of the notice letter. The Director can grant administrative approval upon finding that the application complies with all of the following:

- meets all criteria required for Planning Commission approval (listed in next paragraph);
- shows evidence of support from owners of at least 51% of the property within the proposed SMLSB; and
- receives no timely protest filed by a property owner within the proposed SMLSB.

Upon finding that an application meets the above criteria, the Director forwards the request to City Council for consideration of establishing the SMLSB. Should the application not meet one or more criteria, the application must be forwarded to the Planning Commission for public hearing and consideration.

After close of a public hearing the Planning Commission shall consider the following:

- the boundaries of the proposed SMLSB shall include all properties within at least one block face, and no more than two opposing blockfaces;
- at least 60% of the area to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, is developed with or are restricted to not more than two single-family units per lot;
- that the applicant has demonstrated sufficient support for the establishment of the proposed SMLSB;
- that the establishment of the SMLSB will further the goal of preserving the lot size character of the area; and
- that the proposed SMLSB has a lot size character that can be preserved by the establishment of a minimum lot size, taking into account the age of the neighborhood, the age of structures in the neighborhood, existing evidence of a common plan and scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.



Should the Commission find that the application meets these requirements; the Commission must forward the application to City Council for consideration. City Council approval of the SMLSB is enforceable for twenty years from the effective date of the ordinance.

### STAFF ANALYSIS:

The application includes four (4) lots along the 5000 block of W Hunting Street, east side, between Pardee and N George Streets.

Analysis of the application resulted in the following findings:

- The boundaries of the proposed SMLSB must include all properties within at least one block face, and no more than two opposing block faces;*  
The application comprises one block face, the east side of W Hunting Street.
- At least 60% of the lots to be included within the proposed SMLSB, exclusive of land used for a park, library, place of religious assembly or a public or private elementary, middle, junior high or high school, must be developed with, or restricted to, not more than two single-family units per lot; For any lot or tract that was not vacant and was in use for other than single family residential purposes, the subdivision plat, development plat, or building permit may provide for any use permitted by law or, if applicable, deed restrictions.*  
Land uses of the properties consist of four (4) of four (4) single-family residential properties (representing 100% of the total lots within the boundary area).
- The applicant has demonstrated sufficient support for the SMLSB;*  
The applicant obtained one (1) of four (4) signatures of support from property owners in the proposed SMLSB (owning 22% of the total area). There was no protest.
- Establishment of the SMLSB will further the goal of preserving the area lot size character;*  
A minimum lot size of 9,408 sf exists on three (3) lots in the block face.
- The proposed SMLSB has a lot size character that can be preserved by the establishment of a special minimum lot size, taking into account the age of the neighborhood, the age and architectural features of structures in the neighborhood, existing evidence of a common plan or scheme of development, and such other factors that the director, commission or city council, respectively as appropriate, may determine relevant to the area.*  
The subdivision was platted in 1946. The houses originate from the 1950s. The establishment of a 9,408 sf minimum lot size will preserve the lot size character of the area.
- The minimum lot size for this application was determined by finding the current lot size that represents a minimum standard for 70% of the application area.*  
Three (3) out of four (4) lots (representing 82% of the application area) are at least 9,408 square feet in size.

Public notice of the public hearing was transmitted to all property owners on the block face.

### ATTACHMENTS:

1. Calculation Analysis
2. Map of Support
3. Application
4. Boundary Map

SPECIAL MINIMUM LOT SIZE BLOCK			
Application	527		
Date Received:	3/23/2015		Date Complete: 3/27/2015
Street(s) Name:	W Hunting St		Lot(s) 5000 block W Hunting St
Cross Streets:	Pardee St	and	N George St
Side of street:	East		
MINIMUM LOT SIZE:			
<u>Address</u>	<u>Land Use</u>	<u>Signed in Support</u>	<u>Lot size (in Sq Feet)</u>
5002 W Hunting	SFR	Y	9,408
0 N Hunting (Lot 201)	SFR		12,580
0 N Hunting (Lot 200)	SFR		7,454
5020 W Hunting	SFR		12,580

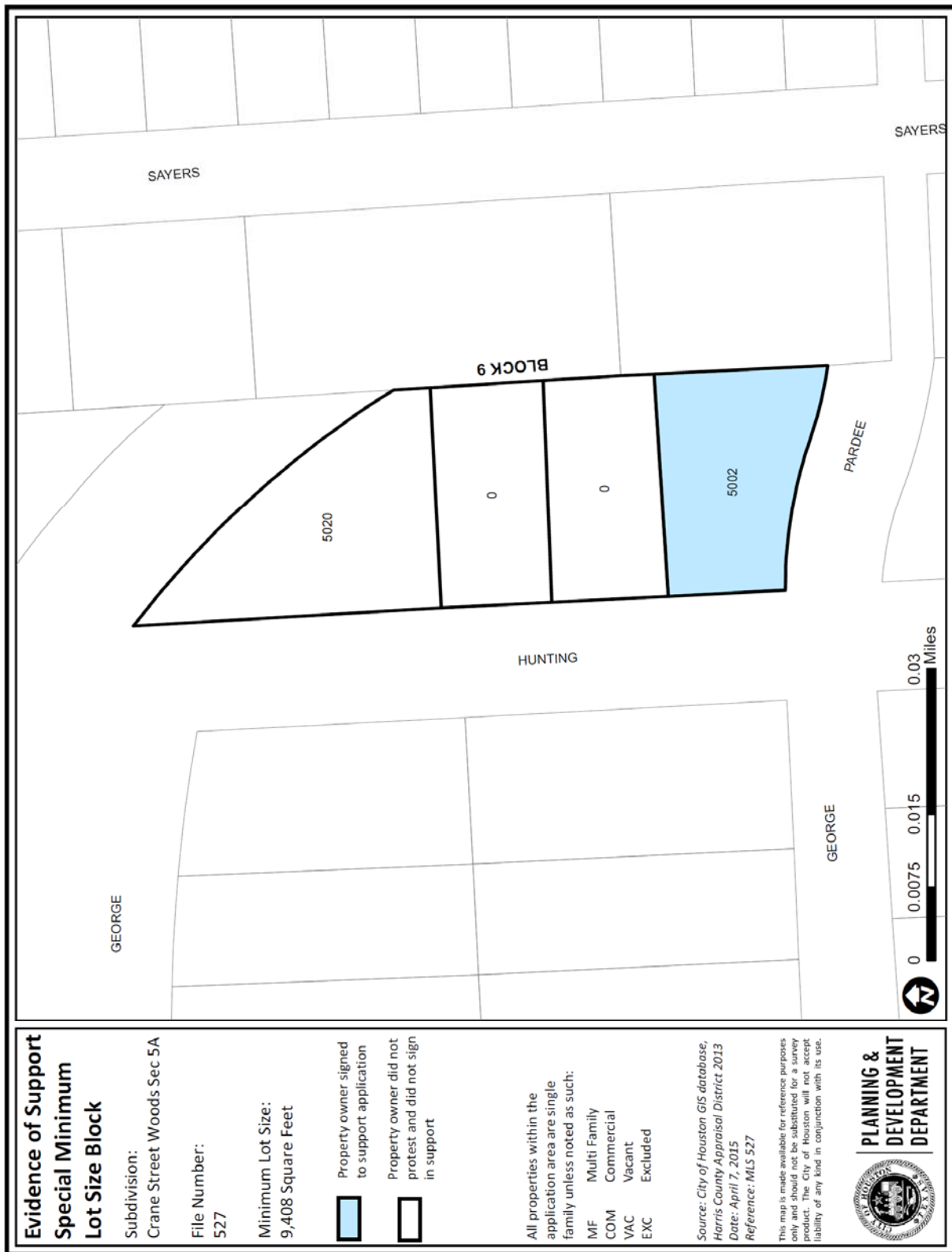
Evidence of Support (must be 51% or more by area for Director administrative approval):							
Of	<b>42,022</b>	Square Feet in the Proposed Application Area	<b>9,408</b>	Square Feet are Owned by Property Owners Signing in Support of the Petition =	<b>22%</b>		
Single Family Calculation:							
Percentage of lots developed or restricted to no more than two SFR units per lot (must be at least 60%):							
	<b>4</b>	# developed or restricted to no more than two SFR Units	Of	<b>4</b>	Total number of SFR lots in the Proposed Application Area	<b>4</b>	Total number of lots in the Proposed Application Area <b>100%</b>
	<b>0</b>	# of Multifamily lots					
	<b>0</b>	# of Commercial lots					
	<b>0</b>	# of Vacant Lots					
	<b>4</b>	Total					

### Special Minimum Lot Size Block

Planning and Development Department

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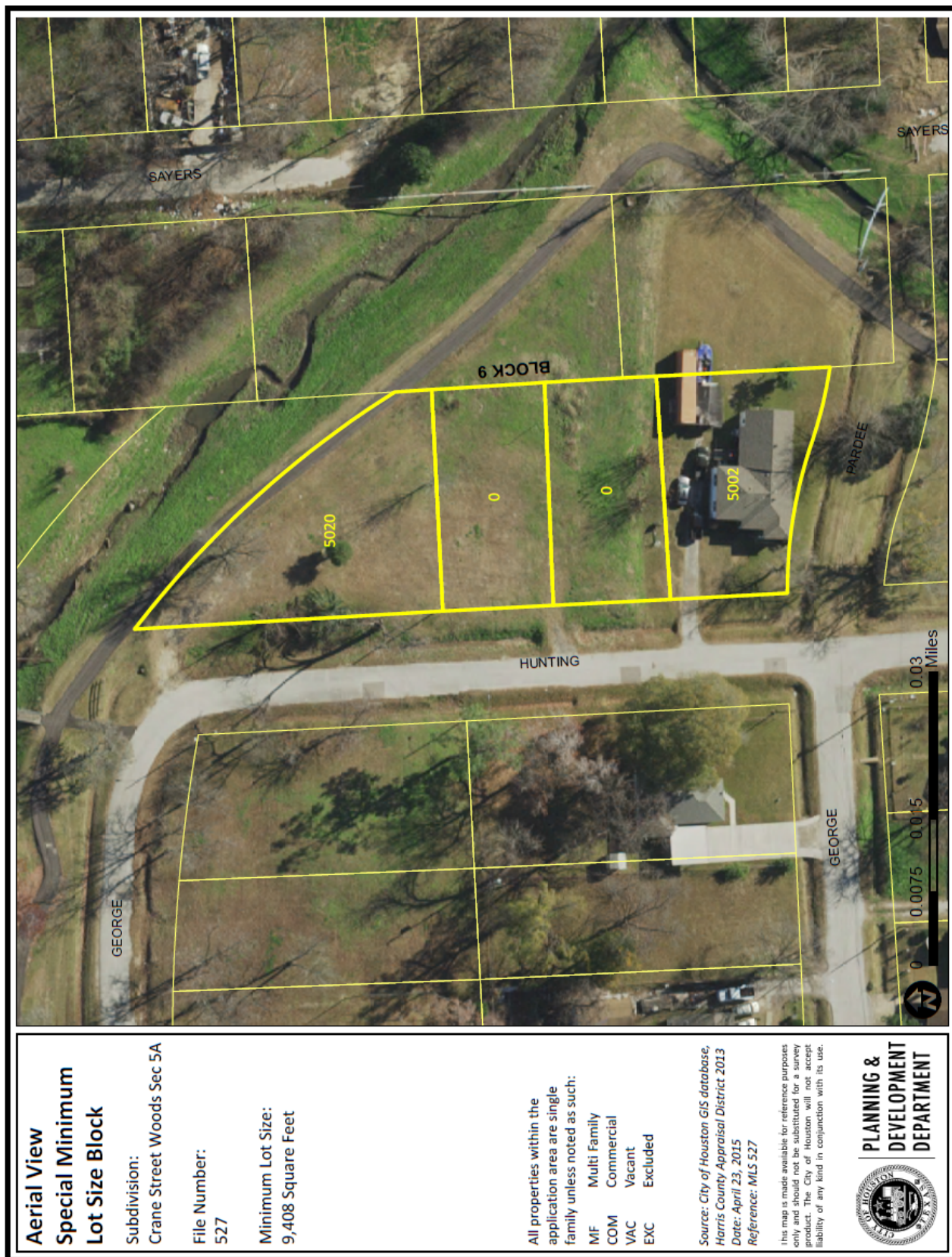




# City of Houston

## Special Minimum Lot Size Block

Planning Commission Staff Report  
Planning and Development Department



### Special Minimum Lot Size Block Application

According to

Section 42-197 of Chapter 42 of the Code of Ordinances



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

Please complete entire application form.

#### 1. Location:

General Location:

Example: North side of Golden Retriever Drive between Boxer and Schnauzer Streets

Specific Legal Description

Block 9<sup>Lots</sup> 199-202 IN CRANE STREET WOODS  
SUBDIVISION SECTION 5A

Example: Blocks 15, Lots 1-5, in Cocker Spaniel Subdivision

#### 2. Contacts:

Primary

Applicant

CAROLYN MURRAY

Phone #

832-643-9207.1

Address

5002 W. HUNTING ST.

E-mail

City

HOUSTON, TEXAS

State

Zip 77026

Alternate

Applicant

PAULINE JUSTICE

Phone #

(713) 876-4413

Address

3520 LE BAOIE ST.

E-mail

City

HOUSTON, TEXAS

State

Zip 77026

#### 3. Project Information (Staff Use Only-Do Not Fill In):

File #

527

Key Map #

TIRZ

Lambert #

Super N'hood

Census Tract

City Council District

B

#### 4. Submittal Requirements:

Please Check

Completed application form (this page)

☐

Petition signed by the applicant (page 4)

☐

Evidence of support from the property owners within the boundary (page 5)

☐

Signed deed restriction statement (page 6)

☐

Copy of deed restrictions, if applicable

☐

Sample of Notification Sign (page 8)

☐

Map or sketch showing the address, land use and size of all lots within boundary area

☐

Data showing the actual size of each lot

☐



# City of Houston

## Special Minimum Lot Size Block

Planning Commission Staff Report  
Planning and Development Department

